



Supplemental Form (SF)

**SUBDIVISION**

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): Mullen Heller Architecture, PC. PHONE: 505-268-4144  
 ADDRESS: 1718 Central Ave SW Suite D FAX: 505-268-4244  
 CITY: Albuquerque STATE NM ZIP 87104 E-MAIL: doug@mullenheller.com

APPLICANT: THR Properties LLC. PHONE: 505-892-9010  
 ADDRESS: 9201 Eagle Ranch Rd NW FAX: \_\_\_\_\_  
 CITY: Albuquerque STATE NM ZIP 87114 E-MAIL: \_\_\_\_\_  
 Proprietary interest in site: Owner List all owners: \_\_\_\_\_

**DESCRIPTION OF REQUEST:** Obtain an Administrative Amendmend - See attached letter of explanation.

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Tract H Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv/Addn/TBKA: Fountain Hills Plaza Subdivision  
 Existing Zoning: SU-1 FOR PDA TO INCLUDE C-3 USES Proposed zoning: N/A MRGCD Map No N/A  
 Zone Atlas page(s): C-12-Z UPC Code: 101206451026111904

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_,Z\_, V\_, S\_, etc.): \_\_\_\_\_  
DRB #: 1003445, 15DRB70020 DRB #: 1000762, 17DRB70099

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill?  No  
 No. of existing lots: 1 No. of proposed lots: 1 Total site area (acres): 0.9755 AC.  
 LOCATION OF PROPERTY BY STREETS: On or Near: Physical Address: 9201 Eagle Ranch Road, NW.  
 Between: Paseo Del Norte NW. and Nunzio Avenue NW.

Check if project was previously reviewed by: Sketch Plat/Plan  or Pre-application Review Team(PRT) . Review Date: \_\_\_\_\_

SIGNATURE *Douglas Heller* DATE 04/2/2018  
 (Print Name) Douglas Heller Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

Revised: 4/2012

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	_____	_____	_____	\$ _____
<input type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				Total
<input type="checkbox"/> F.H.D.P. fee rebate				\$ _____

Hearing date \_\_\_\_\_

Project # \_\_\_\_\_

**FORM P(4): SITE DEVELOPMENT PLAN REVIEW – ADMINISTRATIVE APPROVAL (AA)**

**AMENDMENT TO SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (AA02)**

- Letters: four (4) copies describing and justifying the request
- Four (4) copies of all applicable sheets of the approved Site Development Plan being amended, folded to fit into an 8.5" x 14" pocket. Approved site development plans should contain signatures of the Development Review Board (DRB).
- N/A 4 Copies of EPC or DRB *Official Notice of Decision* associated with the approved site development plan
- Four (4) copies of the proposed Site Development Plan, with changes circled and noted, folded to fit into an 8.5" x 14" pocket. Refer to the Site Development Plan for Building Permit or Site Development Plan for Subdivision *Checklist* for information needed on the proposed Site Development Plan.
- Maps: four (4) copies from the most recent Zone Atlas, with the entire property(ies) precisely and clearly outlined
- Letter of authorization from the property owner, if the application is submitted by an agent
- Fee (see fee schedule)
- Any original and/or related file numbers must be listed on the cover application
- Electronic copy (PDF) of approved and proposed Site Development Plans

**NOTE: The next two items are also required if the square footage change is 2% or more of the approved square footage and/or if any person may be substantially aggrieved by the altered plan.**

- Notification letter addressed to owners of adjacent properties and certified mail receipts
- Office of Neighborhood Coordination (ONC) inquiry response, notification letter to affected Neighborhood Associations and certified mail receipts

**AMENDMENT TO SITE DEVELOPMENT PLAN FOR SUBDIVISION (AA03)**

- Letters: four (4) copies describing and justifying the request
- Four (4) copies of all applicable sheets of the approved Site Development Plan being amended, folded to fit into an 8.5" x 14" pocket. Approved site development plans should contain signatures of the Development Review Board (DRB).
- 4 Copies of EPC or DRB *Official Notice of Decision* associated with the approved site development plan
- Four (4) copies of the proposed Site Development Plan, with changes circled and noted, folded to fit into an 8.5" x 14" pocket. Refer to the Site Development Plan for Building Permit or Site Development Plan for Subdivision *Checklist* for information needed on the proposed Site Development Plan.
- Maps: four (4) copies from the most recent Zone Atlas, with the entire property(ies) precisely and clearly outlined
- Letter of authorization from the property owner, if the application is submitted by an agent
- Fee (see fee schedule)
- Any original and/or related file numbers must be listed on the cover application
- Electronic copy (PDF) of approved and proposed Site Development Plans

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- Notification letter addressed to owners of adjacent properties and certified mail receipts
- Office of Neighborhood Coordination (ONC) inquiry response, notification letter to affected Neighborhood Associations and certified mail receipts

Doug Heller

Applicant's Name (please print!)

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in rejection of this application and/or deferral of actions.



Applicant's Signature

4/2/2018

Date



- Checklists complete     Application case numbers:
- Fees collected             \_\_\_\_\_ - \_\_\_\_\_
- Case #s assigned            \_\_\_\_\_ - \_\_\_\_\_
- Related #s listed            \_\_\_\_\_ - \_\_\_\_\_

Planner's Signature / D  
**Project #:** \_\_\_\_\_

April 2, 2018

Kym Dicome  
Current Planning Manager, Urban Design and Development  
City of Albuquerque Planning Department  
P.O. Box 1293  
Albuquerque, NM 87103

**Re: Request for Administrative Amendment for a Pedestrian Walkway to Fountain Hills Plaza, Tract H & Lot 10-A-1**

DRB Project Number: 1003445, 15DRB70020

DRB Project Number: 1000762, 17DRB70099

Dear Kym;

This Administrative Amendment requests approval for a small, non-inhabited structure on a site that has an approved Site Development Plan.

The proposed structure is a raised pedestrian walkway that spans over the depressed vehicular ramp into an existing underground parking garage and will connect two buildings on two properties (Tract H and Lot 10-A-1). With the addition of this walkway, there is no change to the vehicular circulation pattern from what was approved.

Currently, there is not a sidewalk within the site that connects the two buildings. This is a result of the timing when the buildings were built. As such, the owner has requested a convenient and safe way to staff and clients to move between the two buildings out of the way of traffic. There is a sidewalk connection from each building to the public right-of-way once this infrastructure is constructed.

The design of the proposed walkway complements elements on the existing buildings; a steel framed structure painted to match the buildings' white and yellow accents and a glass railing to match the second floor balcony rail.

The walkway will sit independently of the buildings and will connect the sidewalks in front of each building to one another.

There is a recorded easement between the two properties stating "As part of the development on the adjacent property, Tract H, a blanket perpetual easement for drainage, parking, construction access, ingress and egress across the property, Lot 10-A-1." This easement was recorded on 3/31/15.

We believe that this walkway will not only provide a safe path for individuals to travel between the two buildings, but also provide a unique feature that will be appreciated and highly used by the buildings' namesakes: 'kids.' Thank you for your consideration, and do not hesitate to contact me if you have any questions regarding this request.

Sincerely,

**Mullen Heller Architecture, PC**

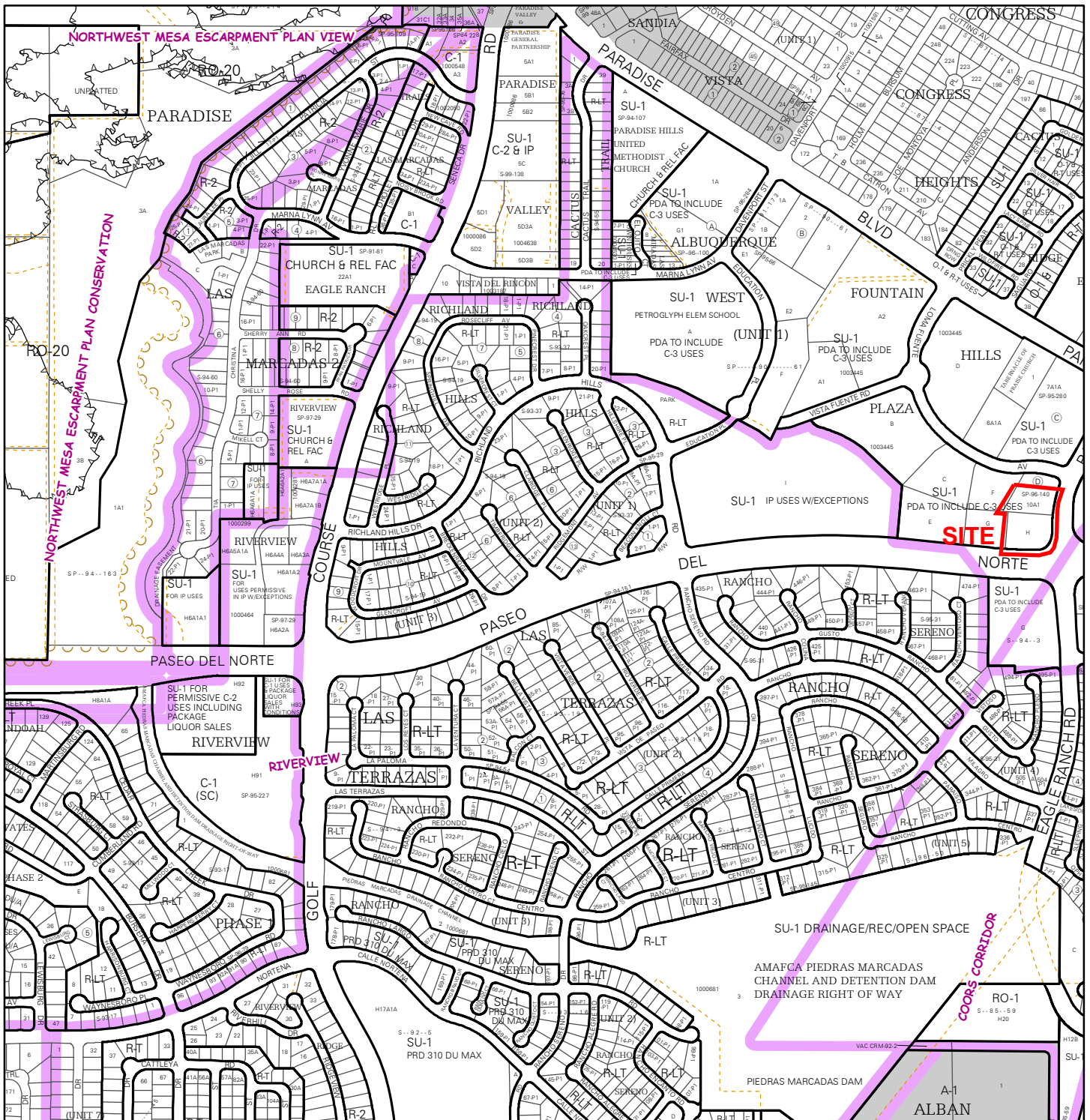


Douglas Heller, AIA, LEED AP

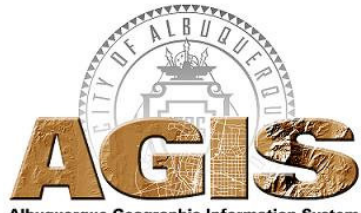
Mullen Heller Architecture PC

1718 Central Avenue SW Suite B  
Albuquerque New Mexico 87102  
505 268 4144 [p] 505 268 4244 [f]

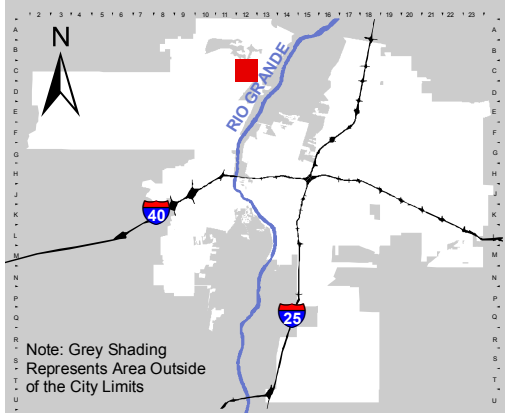




For more current information and details visit: <http://www.cabq.gov/gis>












Map amended through: 9/2/2014

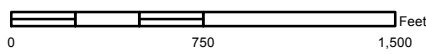


Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**C-12-Z**

Selected Symbols

 SECTOR PLANS	 Escarpment
 Design Overlay Zones	 2 Mile Airport Zone
 City Historic Zones	 Airport Noise Contours
 H-1 Buffer Zone	 Wall Overlay Zone
 Petroglyph Mon.	

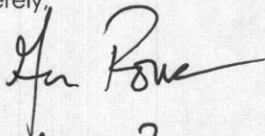


January 14, 2015

To Whom It May Concern:

This letter serves as authorization that Mullen Heller Architecture is the agent for THR Properties LLC., owner of the property being "TRACT H, FOUNTAIN HILLS PLAZA SUBDIVISION" in all matters for the City of Albuquerque's Site Development Process.

Sincerely,

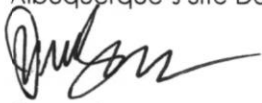
A handwritten signature in black ink, appearing to read "R. Cannon Rowan". The signature is written in a cursive style with a long horizontal stroke at the end.

R. Cannon Rowan DMD

March 2, 2017

To Whom It May Concern:

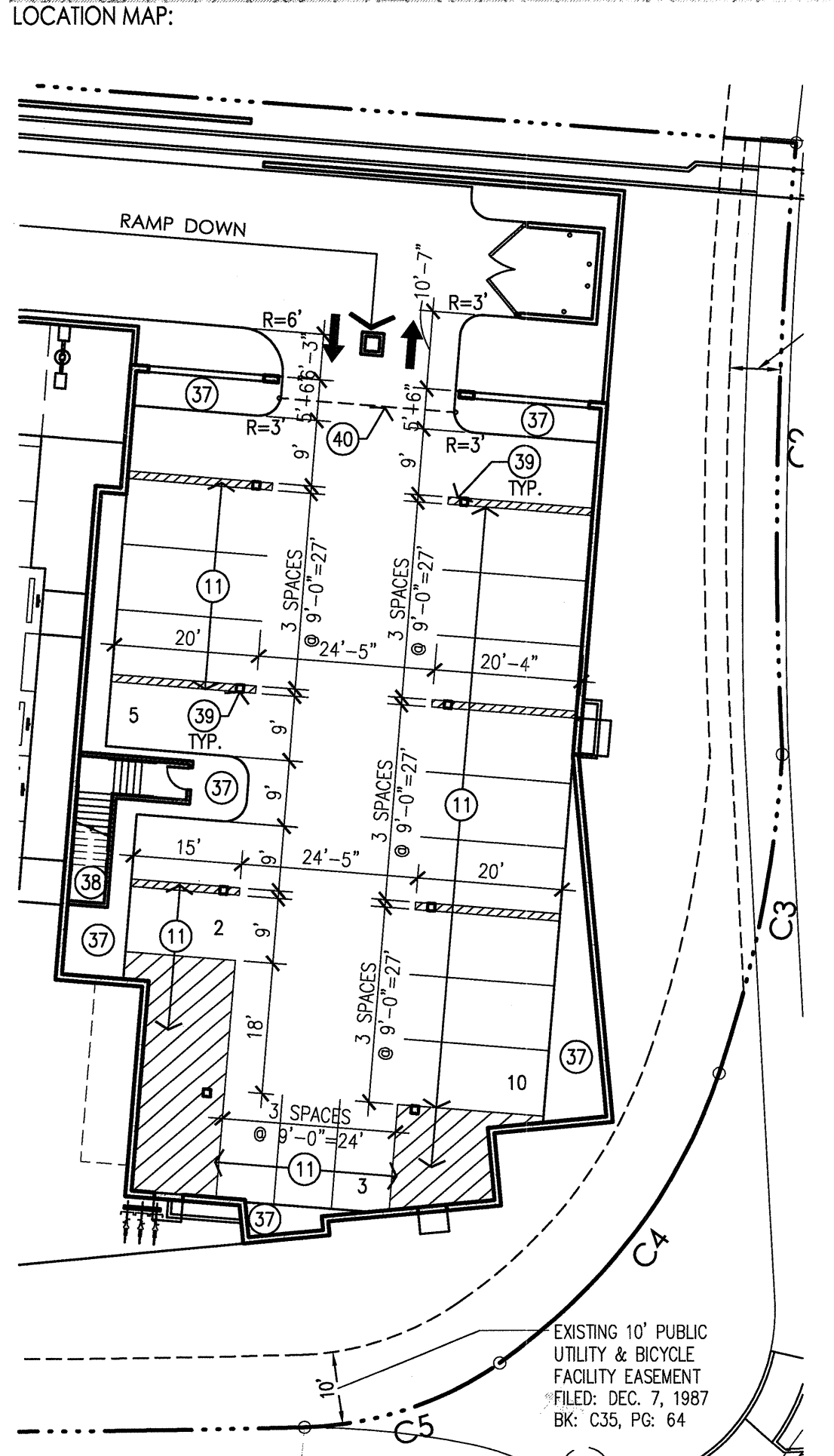
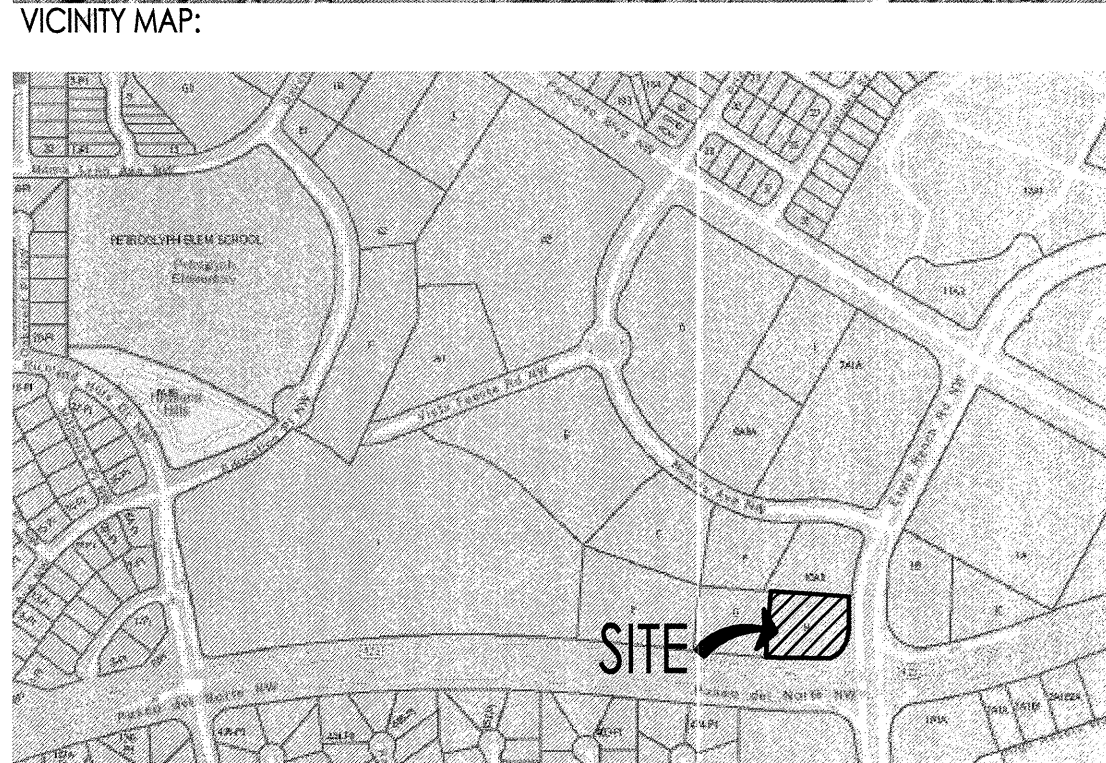
This letter serves as authorization that Mullen Heller Architecture is the agent for THR Properties LLC., owner of the property being "Lot 10-A-1, FOUNTAIN HILLS PLAZA SUBDIVISION" in all matters for the City of Albuquerque's Site Development Process.

A handwritten signature in black ink, appearing to read "Mullen", written over a faint, illegible stamp or watermark.

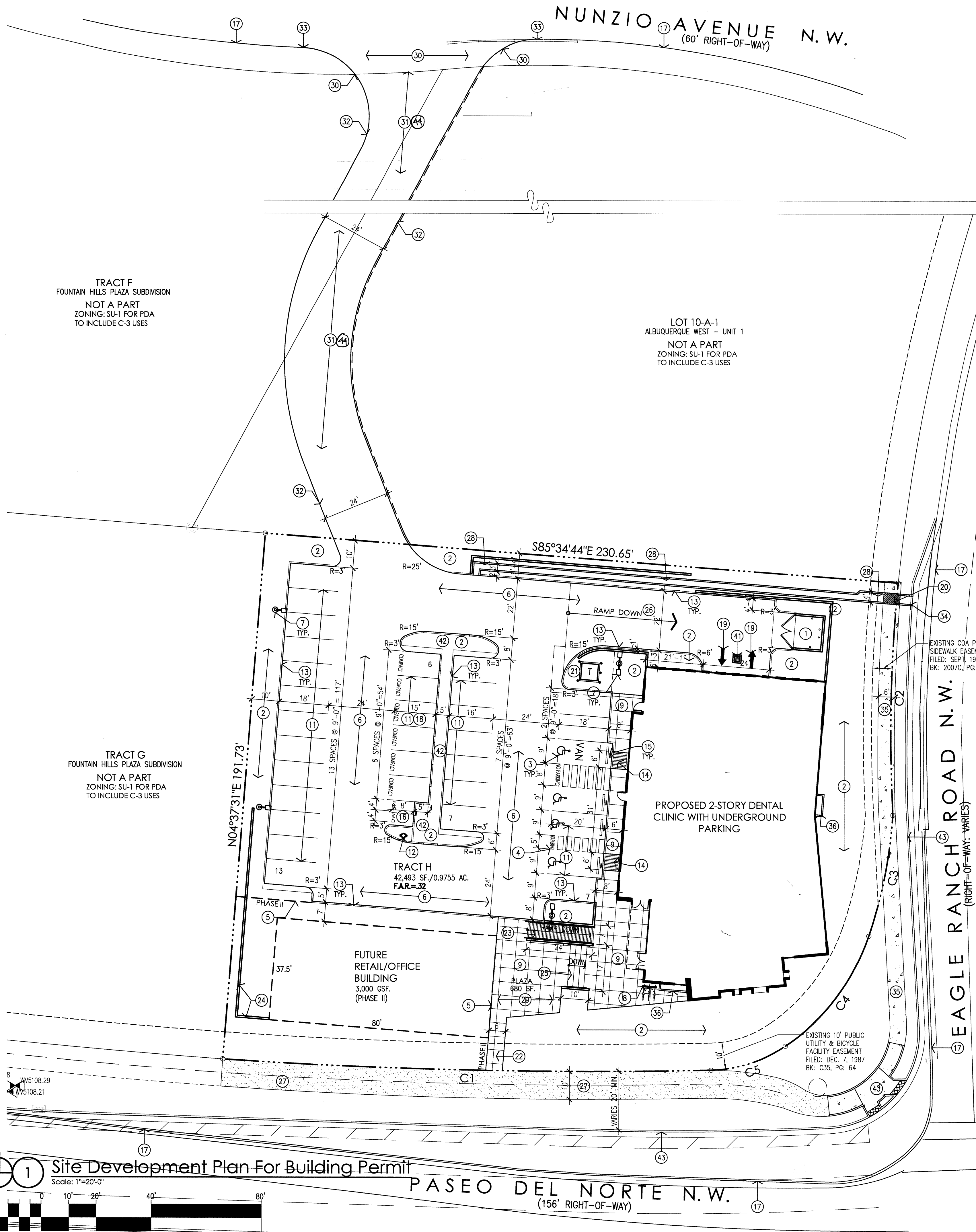
Sincerely,

**THR Properties LLC**

ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	05°17'48"	88.90'	177.68'	1922.00'	177.62'	N88°45'30"W
C2	06°32'05"	42.33'	84.50'	567.24'	84.42'	S01°17'15"W
C3	15°07'38"	22.57'	44.88'	170.00'	44.75'	S11°11'34"W
C4	36°33'40"	26.43'	51.05'	80.00'	50.19'	S37°07'26"W
C5	32°59'26"	14.81'	28.79'	50.00'	28.39'	S71°48'41"W



**2** Underground Parking Plan  
Scale: 1"=20'-0"



**1** Site Development Plan For Building Permit  
Scale: 1"=20'-0"

**PARKING CALCULATIONS: (CONT'D)**

**COMPACT PARKING CALCULATION:**  
59 REQ'D SPACES x 33% = 19 SPACES ALLOWED  
TOTAL COMPACT SPACES = 6 SPACES PROVIDED

**DISABLED PARKING REQUIREMENTS:**  
TOTAL DISABLED SPACES REQUIRED = 4 SPACES  
TOTAL DISABLED SPACES PROVIDED = 4 SPACES

**MOTORCYCLE REQUIREMENTS:**  
TOTAL MOTORCYCLE SPACES REQUIRED = 2 SPACE  
TOTAL MOTORCYCLE SPACES PROVIDED = 2 SPACE

**COMMERCIAL BICYCLE REQUIREMENTS:**  
1 BICYCLE SPACE FOR EACH 20 PARKING SPACES = 59 PARKING SPACES/20 = 3 TOTAL SPACE REQUIRED  
TOTAL BICYCLE SPACES REQUIRED = 3 SPACES  
TOTAL BICYCLE SPACES PROVIDED = 3 SPACES

**KEYED NOTES:**

- [1] PROPOSED REFUSE ENCLOSURE WITH STUCCO FINISH TO MATCH BUILDING COLOR.
- [2] PROPOSED LANDSCAPING PLAN. REFER TO LANDSCAPING PLAN.
- [3] PROPOSED HANDICAP PAVEMENT SIGN.
- [4] PROPOSED STAMPED CONCRETE HANDICAP AISLE WITH 12" HIGH PAINTED LETTERING "NO PARKING" PER 66-1-4.1.8 NMSA 1978.
- [5] PHASE II AND LIMITS OF CONSTRUCTION LINE FROM BACK OF CURB/SIDEWALK.
- [6] PROPOSED ASPHALT PAVING.
- [7] PROPOSED SITE LIGHTING. HEIGHT NOT TO EXCEED 20' TALL.
- [8] PROPOSED BIKE RACK WITH 3 SPACES.
- [9] PROPOSED CONCRETE SIDEWALK.
- [10] PROPOSED STAMPED CONCRETE PEDESTRIAN CONNECTION.
- [11] PROPOSED PAINTED PARKING STRIPING.
- [12] PROPOSED FIRE HYDRANT LOCATION. REFER TO UTILITY PLAN.
- [13] PROPOSED CONCRETE CURB. SEE GRADING & DRAINAGE PLAN AND COA STD. DWG. 2415A.
- [14] PROPOSED HANDICAP RAMP. REFER TO DETAIL.
- [15] PROPOSED HANDICAP PARKING SIGN. "VAN" WHERE NOTED. SIGN TO BE NOTED PER 66-7-352.4C NMSA 1978. "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING".
- [16] PROPOSED 4'-0" WIDE x 8'-0" LONG MOTORCYCLE SPACES WITH SIGNAGE AT EACH SPACE.
- [17] CURRENT CURB LINE.
- [18] COMPACT PARKING SPACES 9'-0"x15'-0" WITH PAINTED "COMPACT CAR" PAVEMENT DESIGNATION.
- [19] PROPOSED PAINTED DIRECTION ARROW ON PAVEMENT.
- [20] PROPOSED SIDEWALK CULVERT WITH METAL GRATE TOP TO BE FLUSH WITH TOP OF CONCRETE SIDEWALK. REFER TO CIVIL AND COA STD. DWG. 2236.
- [21] PROPOSED ELECTRICAL TRANSFORMER LOCATION.
- [22] PROPOSED CONCRETE SIDEWALK CONNECTION TO EXISTING SIDEWALK. MAX SLOPE 1:12
- [23] PROPOSED CONCRETE RAMP WITH STEEL PIPE HANDRAILS, PAINTED.
- [24] PROPOSED CONCRETE RETAINING WALL. REFER TO GRADING AND DRAINAGE.
- [25] PROPOSED CONCRETE STAIR WITH STEEL PIPE HANDRAILS, PAINTED.
- [26] PROPOSED RAMP DOWN INTO PARKING GARAGE BELOW BUILDING.
- [27] PROPOSED 10'-0" WIDE ASPHALT TRAIL.
- [28] PROPOSED CONCRETE DRAINAGE CHANNEL ALONG PROPERTY LINE OUT TO EAGLE RANCH ROAD. REFER TO GRADING AND DRAINAGE PLAN.
- [29] PROPOSED PLAZA (680 SF.) WITH BENCH SEATING.
- [30] PROPOSED CONCRETE DRIVEWAY (STD. DWG. 2426) AND RAMP (STD. DWG. 2426) TO BE CONSTRUCTED TO COA STANDARDS.
- [31] TEMPORARY ASPHALT PAVING TO NEW DRIVEWAY LOCATION ON NUNZIO AVENUE (SHOWN HATCHED).
- [32] TEMPORARY ASPHALT CURB ALONGSIDE TEMPORARY DRIVEWAY.
- [33] THE NEW DRIVEWAY CURB INTO EXISTING CURB AND GUTTER SYSTEM. REFER TO GRADING AND DRAINAGE PLAN.
- [34] PROPOSED OPENING IN EXISTING CURB AND GUTTER SYSTEM FOR DRAINAGE. REFER TO GRADING AND DRAINAGE PLAN.
- [35] PROPOSED CONCRETE SIDEWALK (STD. DWG. 2430).
- [36] PROPOSED CONCRETE VENT OPENING FROM UNDERGROUND PARKING TO GRADE ABOVE.
- [37] PROPOSED CONCRETE ISLAND.
- [38] PROPOSED STAIRWELL TO FIRST FLOOR.
- [39] PROPOSED BUILDING COLUMNS.
- [40] PROPOSED UNDERGROUND PARKING GATE.
- [41] SUMP PUMP PIT WITH GRATE COVER REFER TO GRADING AND DRAINAGE.
- [42] PARKING ISLAND TO SERVE AS FIRST FLUSH DRAINAGE AREA. PROVIDE CURB OPENINGS ON UPSTREAM SIDE.
- [43] FUTURE OFFSITE IMPROVEMENTS.
- [44] ACCESS EASEMENT AS SHOWN IN RECORDED DOCUMENT # 201502063 DATED: 03/31/2015

**SITE DEVELOPMENT DATA:**

**LEGAL DESCRIPTION:**  
TRACT H OF FOUNTAIN HILLS PLAZA SUBDIVISION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

**LAND AREA:**  
0.9755 ACRES (42,493 SQ. FT.)

**CURRENT ZONING:**  
SU-1 FOR PDA TO INCLUDE C-3 USES (PERMISSIVE AND CONDITIONAL)

**ZONE ATLAS PAGE:**  
C-12-7

**BUILDING AREAS: (GROSS BUILDING AREAS)**

2-STORY DENTAL OFFICE:	10,674 GSF.
7,678 GSF.-1ST FLOOR	
2,996 GSF.-2ND FLOOR	
<b>FUTURE BUILDING (PHASE II):</b>	<b>3,000 SF.</b>
<b>TOTAL GROSS BUILDING AREA</b>	<b>13,674 SF.</b>

**SITE DEVELOPMENT PHASING:**

**PHASE I:**  
PHASE I WILL INCLUDE THE CONSTRUCTION OF PROPOSED 2-STORY DENTAL CLINIC, UNDERGROUND PARKING BELOW BUILDING FOOTPRINT, TEMPORARY PAVING OF ACCESS DRIVE THRU ADJACENT LOT 10-A-1 TO THE NORTH OUT NUNZIO AVENUE NW, AND RELATED AT GRADE PARKING FOR PROPOSED USES.

**PHASE II:**  
PHASE II WILL INCLUDE THE CONSTRUCTION OF THE FUTURE BUILDING ONLY. PHASE II SHALL BE REVIEWED AND APPROVED BY THE DEVELOPMENT REVIEW BOARD (DRB) AND ADHERE TO THE DESIGN STANDARDS INCLUDED IN THE PREVIOUSLY APPROVED SITE DEVELOPMENT PLAN FOR SUBDIVISION.

**SITE DEVELOPMENT GENERAL NOTES:**

- [A] THE DESIGN STANDARDS INCLUDED IN THE APPROVED SITE DEVELOPMENT PLAN FOR SUBDIVISION-FOUNTAIN HILLS PLAZA (EPC APPROVAL: MAY 2007 & DRB APPROVAL: JUNE 2007) SHALL GOVERN ALL NEW BUILDINGS FOR TRACT H OF THIS DEVELOPMENT.
- [B] THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
- [C] LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- [D] ANY ENROACHMENT OR OVERHANG INTO THE ROW FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC., WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.
- [E] ALL CURBS SURROUNDING LANDSCAPING, SHALL PROVIDE WATER RUNOFF OPENINGS TO ALLOW SURFACE DRAINAGE INTO THE LANDSCAPED AREAS (WATER HARVESTING).
- [F] ALL SIGNAGE AND FENCES WILL BE DONE UNDER SEPARATE PERMIT.
- [G] TRACTS C, F, & G ARE SUBJECT TO A TWENTY-FIVE FOOT WIDE FLOATING ACCESS, WATER, DRAINAGE AND SANITARY SEWER EASEMENT FOR THE BENEFIT OF AND TO BE MAINTAINED BY TRACTS E, F, & G GRANTED WITH THIS PLAN. THIS EASEMENT WILL BE CONFINED AND DEFINED WITH FUTURE PLATTING. PLAT OF FOUNTAIN HILLS PLAZA SUBDIVISION RECORDED ON: 09/19/07

**SITE DEVELOPMENT SITE LIGHTING NOTES:**

- [A] THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.
- [B] THE MAXIMUM HEIGHT OF A LIGHT POLE MEASURED FROM THE FINISH GRADE TO THE TOP OF THE POLE SHALL BE 20'-0" MAXIMUM.
- [C] LIGHTING TO BE PROVIDED ON COMMERCIAL BUILDING FACADES SHALL BE MOUNTED AT 12 FEET MAXIMUM.
- [D] SITE LIGHTING SHALL BE FULLY SHIELDED, AND HIGH-PRESSURE SODIUM LIGHTING AND UN-SHIELDED UPLIGHTING SHALL BE PROHIBITED AT 12 FEET MAXIMUM.

**PARKING CALCULATIONS: (NET LEASABLE AREAS)**

**PROPOSED 2-STORY DENTAL CLINIC:**  
7,178 NSF.-1ST FLOOR/200 = 36 SPACES  
2,840 NSF.-2ND FLOOR/300 = 9 SPACES  
REQUIRED SPACES = 45 SPACES

**FUTURE BUILDING: (PHASE II)**  
2,700 NSF./200 = 14 SPACES  
TOTAL REQUIRED SPACES = 59 SPACES  
TOTAL REQUIRED = 59 SPACES

**TRANSIT REDUCTIONS:**  
59 SPACES REQ'D x 10% REDUCTION = (PROXIMITY TO BUS ROUTE 94)  
59 x 10% = 5.9 TOTAL SPACES REQUIRED  
TOTAL PARKING SPACES REQUIRED = 53 SPACES  
TOTAL PARKING SPACES PROVIDED = 53 SPACES

43 REGULAR SPACES  
6 COMPACT SPACE  
4 HANDICAP VAN PARKING SPACE

<b>PROJECT NUMBER: 1003445</b>	<b>APPLICATION NUMBER: 05EPC-00022</b>
THIS PLAN IS CONSISTANT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED: AUGUST 18, 2005 AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.	
<b>IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES ( ) NO</b> IF YES THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.	
<b>DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:</b>	
<i>[Signature]</i> TRAFFIC ENGINEER, TRANSPORTATION DIVISION	3/25/15 Date
<i>[Signature]</i> UTILITIES DEVELOPMENT	05/11/15 Date
<i>[Signature]</i> PARKS AND RECREATION DEPARTMENT	5-25-15 Date
<i>[Signature]</i> CITY ENGINEER	3-25-15 Date
<i>[Signature]</i> *ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	5-13-15 Date
SOLID WASTE MANAGEMENT APPROVAL IS ATTACHED AS SEPARATE SHEET	
<i>[Signature]</i> SOLID WASTE MANAGEMENT	Date
<i>[Signature]</i> DRB CHAIRPERSON, PLANNING DEPARTMENT	5-13-15 Date

revision  
by  
date  
rev

3/18/15  
3/13/15  
02/17/15

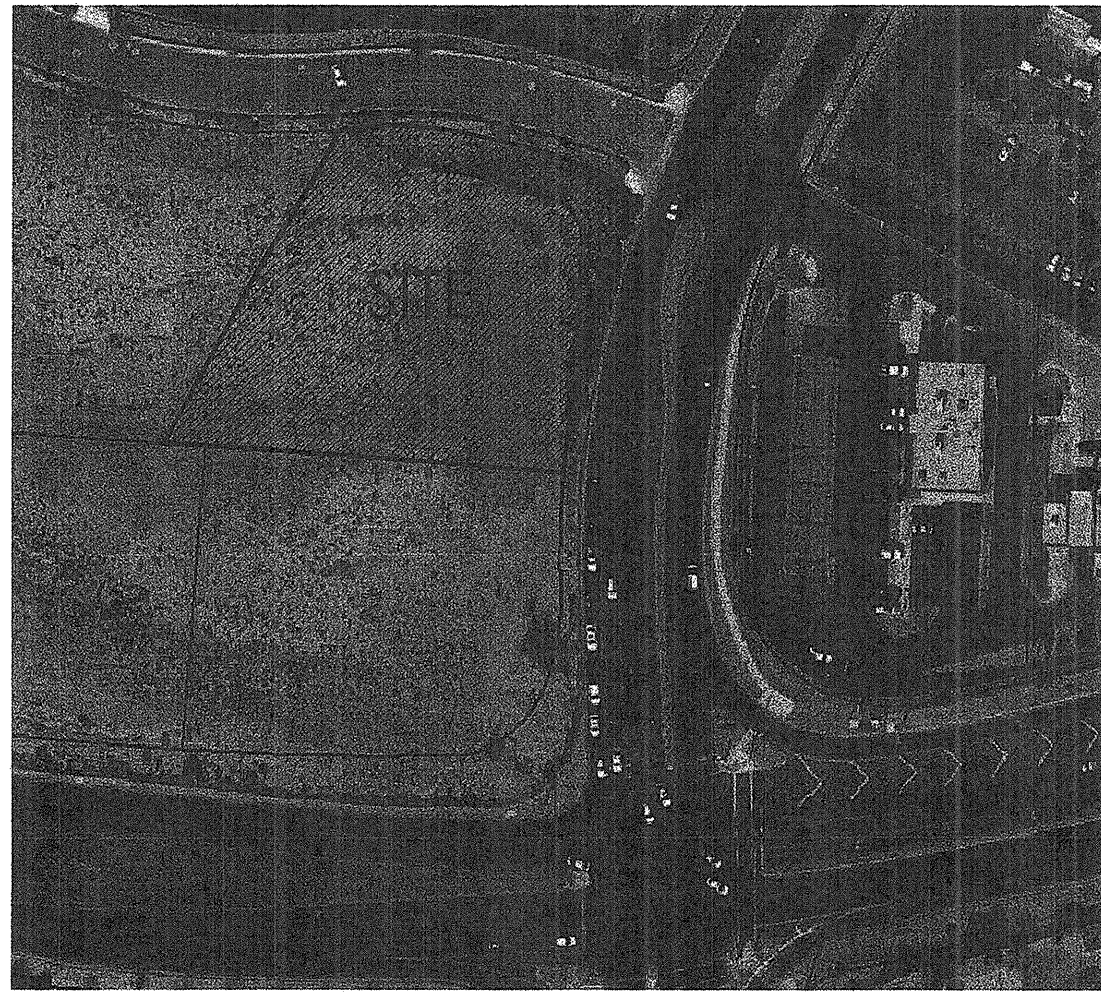
**Mullen Heller Architecture P.C.**  
924 Park Avenue SW  
Suite B  
Albuquerque 87102  
505 268 4144 [p]  
505 268 4244 [f]

14-22  
cv.mws  
Douglas Heller, AIA  
3/5/15

project title  
Smiles for Kids Dental Office  
9201 Eagle Ranch Road, NW  
Albuquerque, New Mexico 87114

sheet title  
Site Development Plan For Building Permit

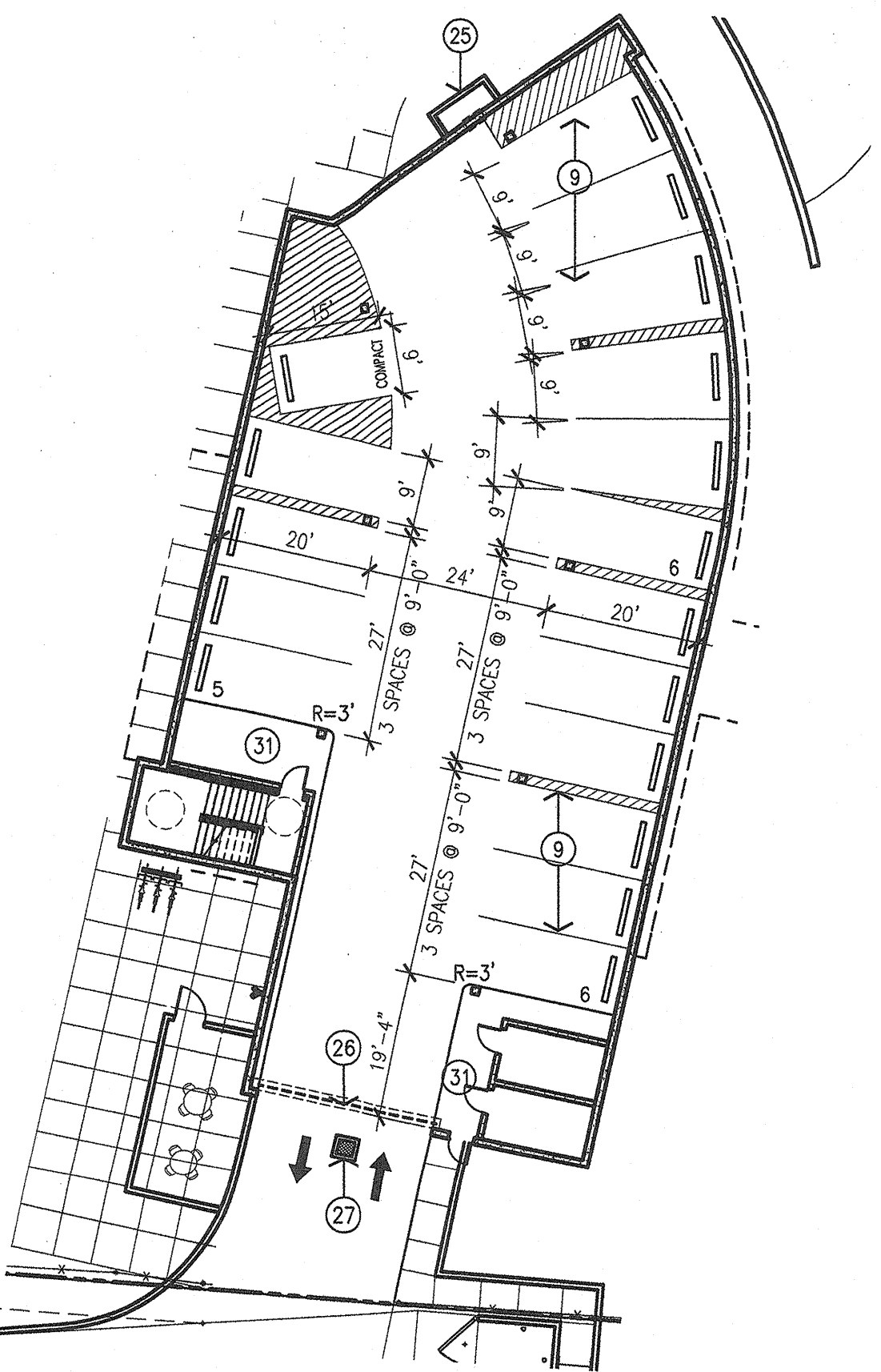
sheet  
**SDPBP**  
SHEET 1 of 7



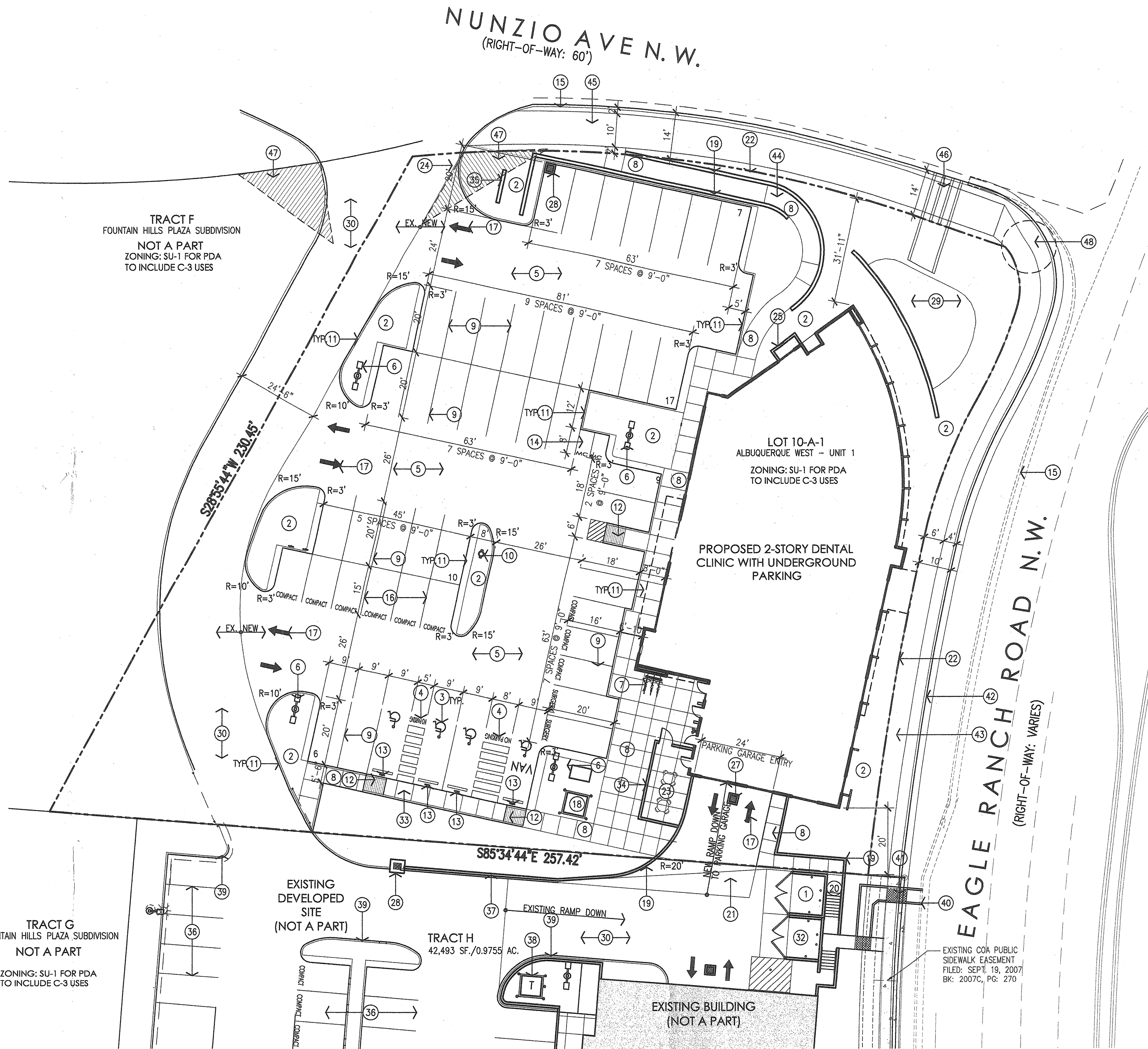
VICINITY MAP:



LOCATION MAP:



**2** Underground Parking Plan  
Scale: 1"=20'-0"



**1** Architectural Site Plan  
Scale: 1"=20'-0"

**EASEMENT INFORMATION:**

AS PART OF THE DEVELOPMENT ON THE ADJACENT PROPERTY, TRACT H, A BLANKET PERPETUAL EASEMENT FOR DRAINAGE, PARKING, CONSTRUCTION ACCESS, INGRESS AND EGRESS ACROSS THIS PROPERTY, LOT 10-A-1, WAS RECORDED ON 3/31/15.

ADDITIONALLY, THE PROPERTIES ADJACENT TO BOTH LOT 10-A-1 AND TRACT H ARE SUBJECT TO A 25' WIDE FLOATING ACCESS, WATER AND SANITARY SEWER FOR THE BENEFIT OF TRACT H AS PART OF THE ORIGINAL EPC APPROVAL IN 2005.

**PHASING:**

THIS PROJECT IS PROPOSED TO BE BUILT IN ONE PHASE.

**GENERAL NOTES:**

- [A] THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
- [B] LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- [C] ANY ENCROACHMENT OR OVERHANG INTO THE ROW FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC. WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.
- [D] ALL CURBS SURROUNDING LANDSCAPING, SHALL PROVIDE WATER RUNOFF OPENINGS TO ALLOW SURFACE DRAINAGE INTO THE LANDSCAPED AREAS (WATER HARVESTING).
- [E] ALL SIGNAGE AND FENCES WILL BE DONE UNDER SEPARATE PERMIT.
- [F] ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER.

**KEYED NOTES:**

- [1] PROPOSED REFUSE ENCLOSURE TO MATCH EXISTING.
- [2] PROPOSED LANDSCAPING AREA. REFER TO LANDSCAPING PLAN.
- [3] PROPOSED HANDICAP PAVEMENT SIGN.
- [4] PROPOSED STAMPED CONCRETE HANDICAP AISLE WITH 12" HIGH PAINTED LETTERING "NO PARKING" PER 66-1-4.1.B NMSA 1978.
- [5] PROPOSED ASPHALT PAVING.
- [6] PROPOSED SITE LIGHTING. HEIGHT NOT TO EXCEED 20' TALL.
- [7] PROPOSED BIKE RACK WITH 3 SPACES.
- [8] PROPOSED CONCRETE SIDEWALK.
- [9] PROPOSED PAINTED PARKING STRIPING.
- [10] PROPOSED FIRE HYDRANT LOCATION. REFER TO UTILITY PLAN.
- [11] PROPOSED CONCRETE CURB. SEE GRADING & DRAINAGE PLAN AND COA STD. DWG. 2415A.
- [12] PROPOSED HANDICAP RAMP. REFER TO DETAIL.
- [13] PROPOSED HANDICAP PARKING SIGN. "VAN" WHERE NOTED. SIGN TO BE NOTED PER 66-7-352.4C NMSA 1978. VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING.
- [14] PROPOSED 4'-8" WIDE x 8'-0" LONG MOTORCYCLE SPACES WITH SIGNAGE AT EACH SPACE.
- [15] EXISTING CITY CURB AND GUTTER.
- [16] COMPACT PARKING SPACES 9'-0"x15'-0" WITH PAINTED "COMPACT CAR" PAVEMENT DESIGNATION.
- [17] PROPOSED PAINTED DIRECTION ARROW ON PAVEMENT.
- [18] PROPOSED ELECTRICAL TRANSFORMER LOCATION.
- [19] PROPOSED CONCRETE RETAINING WALL. REFER TO GRADING AND DRAINAGE.
- [20] PROPOSED CONCRETE STAIR WITH STEEL PIPE HANDRAILS (PAINTED) TO PARKING GARAGE LEVEL.
- [21] PROPOSED RAMP DOWN INTO PARKING GARAGE BELOW BUILDING.
- [22] LINE OF PROPOSED RIGHT OF WAY.
- [23] PROPOSED PATIO (258 SF.).
- [24] TIE NEW DRIVEWAY CURB INTO EXISTING CURB AND GUTTER SYSTEM. REFER TO GRADING AND DRAINAGE PLAN.
- [25] PROPOSED CONCRETE VENT OPENING FROM UNDERGROUND PARKING TO GRADE ABOVE.
- [26] PROPOSED UNDERGROUND PARKING GATE.
- [27] PROPOSED SLUMP PUMP PIT WITH GRATE COVER. REFER TO GRADING AND DRAINAGE.
- [28] PROPOSED DRAIN INLET. REFER TO GRADING AND DRAINAGE.
- [29] PROPOSED STORMWATER DETENTION POND. REFER TO GRADING AND DRAINAGE.
- [30] EXISTING ASPHALT DRIVE TO REMAIN.
- [31] PROPOSED CONCRETE ISLAND.
- [32] EXISTING REFUSE ENCLOSURE TO REMAIN.
- [33] PROPOSED CONCRETE SIDEWALK FLUSH WITH ASPHALT.
- [34] PROPOSED 5'-0" TALL PATIO WALL.
- [35] PROPOSED 75 SF MONUMENT SIGN.
- [36] EXISTING PAINTED PARKING STRIPING.
- [37] EXISTING CONCRETE RETAINING WALL TO REMAIN.
- [38] EXISTING TRANSFORMER TO REMAIN.
- [39] EXISTING CONCRETE CURB TO REMAIN.
- [40] EXISTING DRAINAGE OPENING IN CONCRETE CURB.
- [41] EXISTING SIDEWALK CULVERT WITH METAL GRATE.
- [42] PROPOSED CITY CURB AND GUTTER. SEE CIVIL.
- [43] PROPOSED CITY STANDARD CONCRETE SIDEWALK. SEE CIVIL.
- [44] PROPOSED SIDEWALK CONNECTION TO RIGHT OF WAY.
- [45] PROPOSED CITY 10'-0" WIDE ASPHALT TRAIL.
- [46] PROPOSED CONCRETE SPILLWAY WITH SIDEWALK CULVERTS. SEE CIVIL.
- [47] CLEAR SIGHT TRIANGLE: LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- [48] PROPOSED CITY STANDARD HANDICAP RAMP.

**SITE DEVELOPMENT DATA:**

**LEGAL DESCRIPTION:**  
LOT 10-A-1 FOUNTAIN HILL PLAZA DEVELOPMENT  
CITY OF ALBUQUERQUE,  
BERNALILLO COUNTY, NEW MEXICO

**LAND AREA:**  
1.08 ACRES (46,174 SQ. FT.)

**CURRENT ZONING:**  
SU-1 FOR PDA TO INCLUDE C-3 USES  
(PERMISSIVE AND CONDITIONAL)

**ZONE ATLAS PAGE:**  
C-12-2

**BUILDING AREAS: (GROSS BUILDING AREAS)**

2-STORY DENTAL OFFICE:	10,585 GSF.
7,590 GSF.-1ST FLOOR	
2,995 GSF.-2ND FLOOR	
UNDERGROUND PARKING	7,547 GSF.
<b>TOTAL GROSS BUILDING AREA</b>	<b>18,132 SF.</b>

**SITE LIGHTING NOTES:**

- [A] THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.
- [B] THE MAXIMUM HEIGHT OF A LIGHT POLE MEASURED FROM THE FINISH GRADE TO THE TOP OF THE POLE SHALL BE 20'-0" MAXIMUM.
- [C] LIGHTING TO BE PROVIDED ON COMMERCIAL BUILDING FACADES SHALL BE MOUNTED AT 12 FEET MAXIMUM.
- [D] SITE LIGHTING SHALL BE FULLY SHIELDED, AND HIGH-PRESSURE SODIUM LIGHTING AND UN-SHIELDED UPLIGHTING SHALL BE PROHIBITED AT 12 FEET MAXIMUM.

**PARKING CALCULATIONS: (NET LEASABLE AREAS)**

**PROPOSED 2-STORY DENTAL CLINIC:**

7,590 NSF.-1ST FLOOR/200 =	37 SPACES
2,995 NSF.-2ND FLOOR/300 =	9 SPACES
<b>TOTAL REQUIRED SPACES</b>	<b>46 SPACES</b>

**TRANSIT REDUCTIONS:**

46 SPACES REQ'D x 10% REDUCTION =  
(PROXIMITY TO BUS ROUTE 94)  
46 x 10% = 4.6 TOTAL SPACES REQUIRED

**TOTAL PARKING SPACES REQUIRED = 41 SPACES**

**TOTAL PARKING SPACES PROVIDED = 68 SPACES**

53 REGULAR SPACES  
9 COMPACT SPACES  
4 HANDICAP PARKING SPACES

**COMPACT PARKING CALCULATION:**

46 REQ'D SPACES x 33% = 15 SPACES ALLOWED  
TOTAL COMPACT SPACES = 9 SPACES PROVIDED

**DISABLED PARKING REQUIREMENTS:**

TOTAL DISABLED SPACES REQUIRED = 4 SPACES  
TOTAL DISABLED SPACES PROVIDED = 4 SPACES

**MOTORCYCLE REQUIREMENTS:**

TOTAL MOTORCYCLE SPACES REQUIRED = 2 SPACE  
TOTAL MOTORCYCLE SPACES PROVIDED = 2 SPACE

**COMMERCIAL BICYCLE REQUIREMENTS:**

1 BICYCLE SPACE FOR EACH 20 PARKING SPACES =  
46 PARKING SPACES/20 = 3 TOTAL SPACE REQUIRED

**TOTAL BICYCLE SPACES REQUIRED = 3 SPACES**  
**TOTAL BICYCLE SPACES PROVIDED = 3 SPACES**

**PROJECT NUMBER: 1003445 APPLICATION NUMBER: 05EPC-00022**

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED: AUGUST 18, 2005 AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

**IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES ( ) NO** IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

**DRG SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

<i>Roguy Mullen</i>	06/21/17
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	Date
<i>Mike Cad</i>	09-07-17
UTILITIES DEVELOPMENT	Date
<i>S. Anderson</i>	06/11/17
PARKS AND RECREATION DEPARTMENT	Date
<i>James D. Hughes</i>	9-8-2017
CITY ENGINEER	Date
	9-8-17
	Date
*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	Date
SOLID WASTE MANAGEMENT APPROVAL IS ATTACHED AS SEPARATE SHEET	Date
SOLID WASTE MANAGEMENT	9-8-17
Date	Date
DRG CHAIRPERSON, PLANNING DEPARTMENT	Date

revision  
by  
date  
rev

**Mullen Heller Architecture P.C.**  
1718 Central Avenue SW  
Suite D  
Albuquerque 87104  
505 268 4144 [p]  
505 268 4244 [f]

17-04  
AV  
Douglas Heller, AIA  
06-08-2017

job number  
drawn by  
project manager  
date

project title  
**Smiles for Kids Dental Office PHASE 2**  
9211 Eagle Ranch Road, NW,  
Albuquerque, New Mexico 87114

sheet title  
**Site Development Plan for Building Permit**

sheet  
**A001**





1 Overall Site Plan  
NORTH

**PROJECT DESCRIPTION**

THIS PROPOSED INDEPENDENT ACCESSORY STRUCTURE IS BETWEEN TWO EXISTING BUILDINGS, WHICH HAVE THE SAME OWNER. IT IS TO CREATE A PEDESTRIAN ACCESS OVER AN EXISTING VEHICULAR DRIVE THAT LEADS TO UNDERGROUND PARKING THAT SEPARATES THE TWO DENTAL CLINICS/OFFICES. EACH BUILDING HAS ITS OWN ACCESSIBLE PARKING, THUS THE WALKWAY IS NOT A REQUIRED ACCESSIBLE ROUTE PER 1104.1.

**LEGAL DESCRIPTION:**

THE PROPOSED STRUCTURE IS ON TWO LOTS THAT HAVE THE SAME OWNER

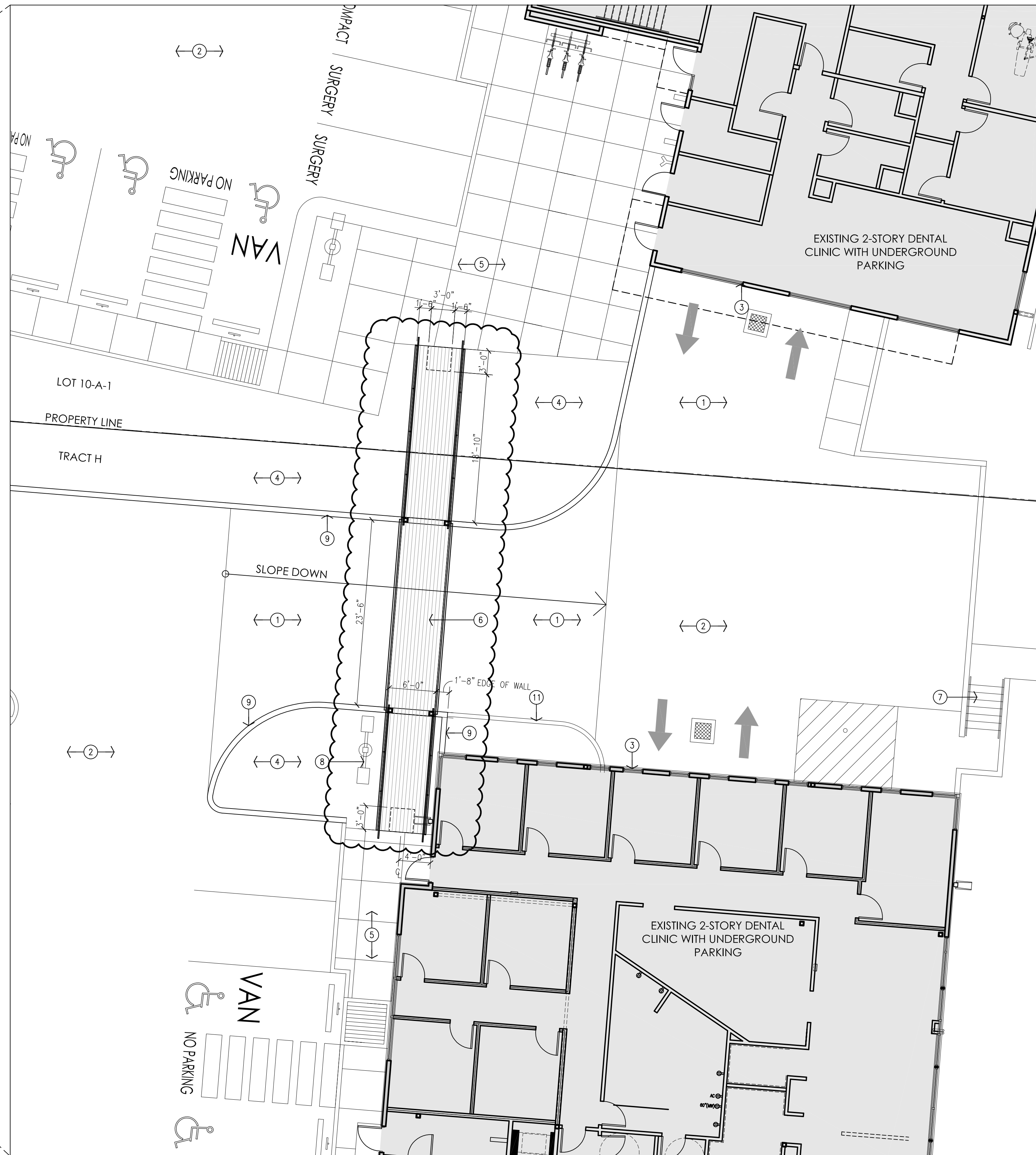
LOT 10-A-1 FOUNTAIN HILLS PLAZA DEVELOPMENT CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

TRACT H FOUNTAIN HILLS PLAZA DEVELOPMENT CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

**EASEMENT INFORMATION:**

AS PART OF THE DEVELOPMENT ON THE ADJACENT PROPERTY, TRACT H, A BLANKET PERPETUAL EASEMENT FOR DRAINAGE, PARKING, CONSTRUCTION ACCESS, INGRESS AND EGRESS ACROSS THIS PROPERTY, LOT 10-A-1, WAS RECORDED ON 3/31/15.

ADDITIONALLY, THE PROPERTIES ADJACENT TO BOTH LOT 10-A-1 AND TRACT H ARE SUBJECT TO A 25' WIDE FLOATING ACCESS, WATER AND SANITARY SEWER FOR THE BENEFIT OF TRACT H AS PART OF THE ORIGINAL EPC APPROVAL IN 2005.



2 Enlarged Site Plan  
NORTH  
Scale: 1/8"=1'-0"

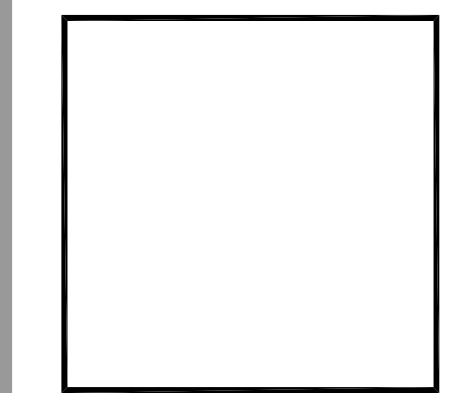
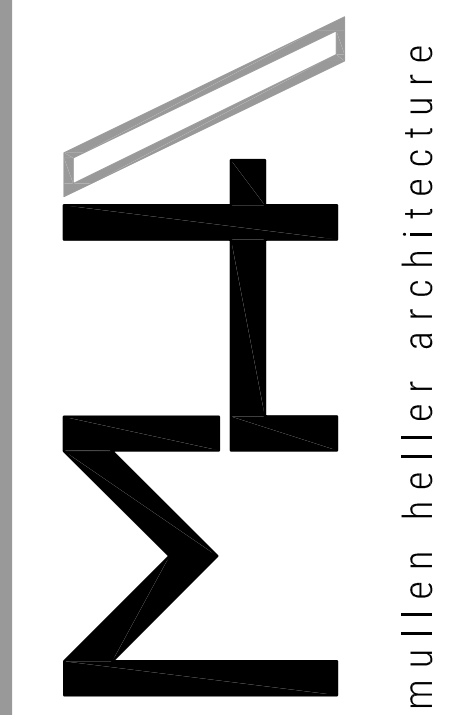
**GENERAL NOTES:**

- [A] ALL DIMENSIONS ARE FROM FACE OF STEEL TO FACE OF STEEL, UNLESS OTHERWISE NOTED. REFER ANY QUESTIONS TO THE ARCHITECT - DO NOT SCALE DRAWINGS
- [B] THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. IF DIMENSIONAL ERROR, VARIANCES, AND/OR CONFLICTS EXIST, AS DESCRIBED WITHIN THE CONSTRUCTION DOCUMENTS, OR CONDITIONS ARE ENCOUNTERED THAT ARE NOT COVERED IN THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE COMMENCING THAT PORTION OF THE WORK.
- [C] CONTRACTOR TO VERIFY SIZES OF ALL OWNER PROVIDED EQUIPMENT PRIOR TO INSTALLATION.
- [D] ALL CONSTRUCTION SHALL BE IN COMPLIANCE WITH ALL APPLICABLE BUILDING CODES, LAWS AND ORDINANCES.
- [E] ALL WORK SHOWN IS EXISTING UNLESS NOTED OTHERWISE.

**KEYED NOTES:**

- [1] EXISTING ASPHALT RAMP.
- [2] EXISTING ASPHALT DRIVE.
- [3] EXISTING PARKING GARAGE ENTRY.
- [4] EXISTING LANDSCAPING.
- [5] EXISTING CONCRETE SIDEWALK.
- [6] NEW STEEL FRAMED PEDESTRIAN BRIDGE. SEE A101.
- [7] EXISTING CONCRETE STAIRS.
- [8] EXISTING LIGHT POLE.
- [9] EXISTING 8" WIDE CONCRETE RETAINING WALL WITH GUARDRAIL.
- [10] LINE OF EXISTING CONCRETE SIDEWALK.
- [11] EXISTING CONCRETE CURB BELOW.

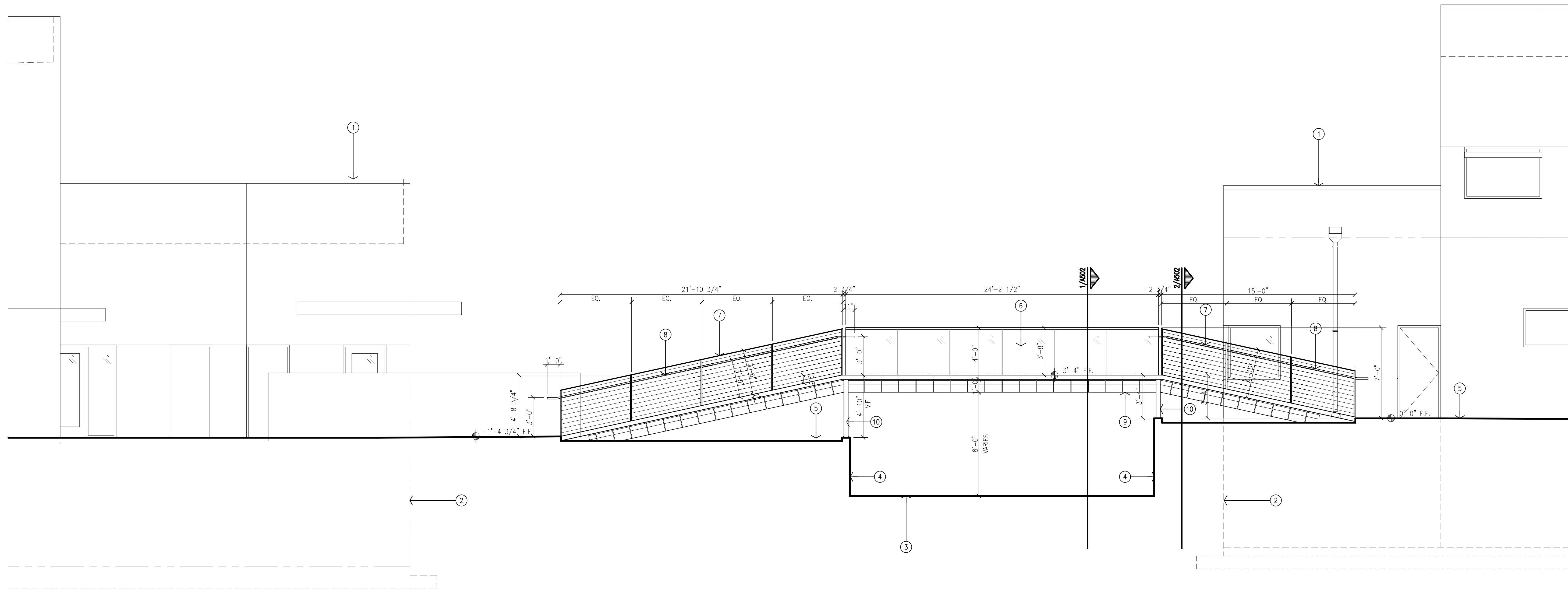
REV	DATE	BY	DESCRIPTION
1			
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**MULLEN HELLER ARCHITECTURE**  
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ALBUQUERQUE, NM | 87109  
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F | 505.268.4244  
www.mullenheller.com

JOB NUMBER 17-45  
DRAWN BY AV  
PROJECT MGR JDH  
DATE 2-21-2018  
PHASE CD

PROJECT  
**Pedestrian Walkway Structure**  
9211 Eagle Ranch Road NW  
Albuquerque, NM 87114  
TITLE  
**Architectural Site Plan**



**1 West Elevation**  
Scale: 1/4"=1'-0"

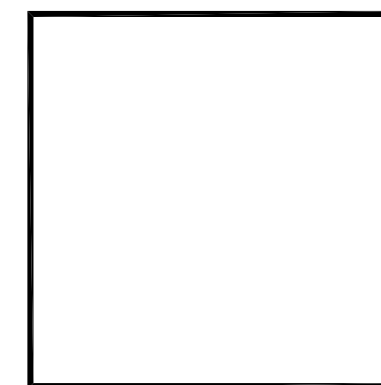
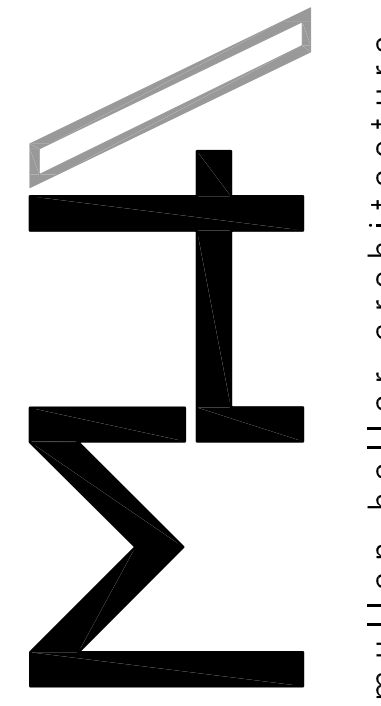
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- [B] THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. IF DIMENSIONAL ERROR, VARIANCES, AND/OR CONFLICTS EXIST, AS DESCRIBED WITHIN THE CONSTRUCTION DOCUMENTS, OR CONDITIONS ARE ENCOUNTERED THAT ARE NOT COVERED IN THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE COMMENCING THAT PORTION OF THE WORK.
- [C] CONTRACTOR TO VERIFY SIZES OF ALL OWNER PROVIDED EQUIPMENT PRIOR TO INSTALLATION.
- [D] ALL CONSTRUCTION SHALL BE IN COMPLIANCE WITH ALL APPLICABLE BUILDING CODES, LAWS AND ORDINANCES.

**KEYED NOTES:**

- [1] EXISTING BUILDING BEYOND.
- [2] EXISTING UNDERGROUND PARKING BEYOND.
- [3] EXISTING DRIVE TO UNDERGROUND PARKING. HEIGHT VARIES.
- [4] EXISTING CONCRETE RETAINING WALL.
- [5] LINE OF EXISTING FINISH GRADE.
- [6] GLASS GUARDRAIL SYSTEM.
- [7] STEEL GUARDRAIL WITH CABLE RAILING.
- [8] STEEL HANDRAIL.
- [9] STEEL BEAM.
- [10] STEEL COLUMN.

REV	DATE	BY	DESCRIPTION
1			
2			
3			
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5			



**MULLEN HELLER ARCHITECTURE**  
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F | 505.268.4244  
www.mullenheller.com

JOB NUMBER	17-45
DRAWN BY	AV
PROJECT MGR	JDH
DATE	2-21-2018
PHASE	CD

PROJECT  
**Pedestrian Walkway Structure**  
9211 Eagle Ranch Road NW  
Albuquerque, NM 87114

TITLE  
**Exterior Elevation**

SHEET  
**A401**