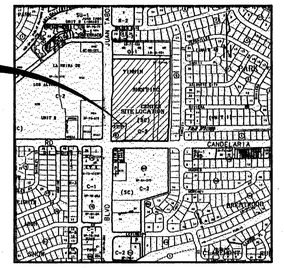
LOWE'S

CONSTRUCTION PLANS
FOR
EAST ALBUQUERQUE SITE
DRB SUBMITTAL

INDEX

DESCRIPTION	SHEET NO.
COVER SHEET	1
SITE PLAN	2
SITE PLAN DETAILS	3
EXISTING CONDITION SITE PLAN	4
GRADING AND DRAINAGE PLAN	5
GRADING AND DRAINAGE PLAN DETAILS	6
MISCELLANEOUS DETAILS	7
SITE UTILITIES PLAN	8
LIGHTING PLAN	9
LANDSCAPING PLAN	10
EXTERIOR ELEVATIONS	11



LOCATION MAP
ZONE ATLAS MAP NO. G-22

EPC APP NO 00128-00000-01195
[redacted] NO 1000769
DRB APP NO 00450-00000-001734

APPROVAL SIGNATURES

TRAFFIC ENGINEER	DATE 2-22-01
CITY ENGINEER	DATE 8/3/01
PUBLIC WORKS UTILITY DIVISION	DATE 2/14/01
~~DESIGN AND DEVELOPMENT DEPARTMENT, CIP~~ Parks + Recreation	DATE 2/14/01
CITY PLANNER (PLANNING DIVISION)	DATE 8/24/01 2-22-01
REFUSE DIVISION	DATE 12-14-00
FIRE MARSHALL	DATE 12-14-00

DRAWN MDG	WILSON & COMPANY 2600 THE AMERICAN ROAD SE, SUITE 100 RIO RANCHO, NEW MEXICO 87124 (505) 898-8021	DATE DECEMBER 2000
DESIGN BMS		FILE NO. X0218001
CHECKED BY LBS		SHEET NO. 1 of 1

REVISIONS
◇ PRE-BID SET ISSUE DATE
△ POST BID SET ISSUE DATE

DATE	DESCRIPTION
X/XX/XX	XXXXX

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P. O. Box 1111 N. Wilkesboro, N. C. 28656

COVER SHEET
LOWE'S
JUAN TABO AND CANDELARIA
ALBUQUERQUE, NEW MEXICO

DRAWN BY MDG | CHECKED LBS | PERMIT SET ISSUE DATE | CONTRACT SET ISSUE DATE

SHEET 1 OF 11

1000769

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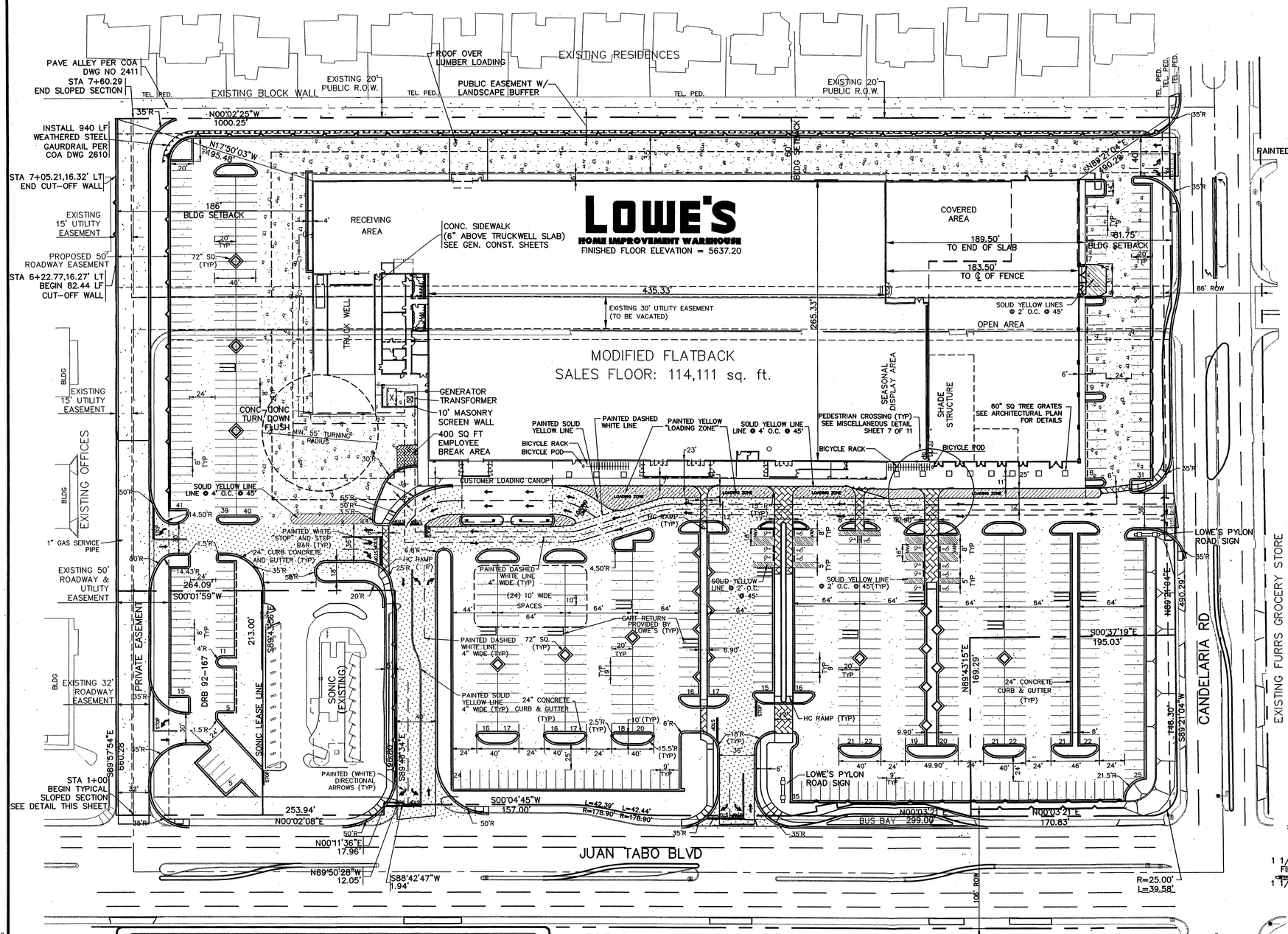
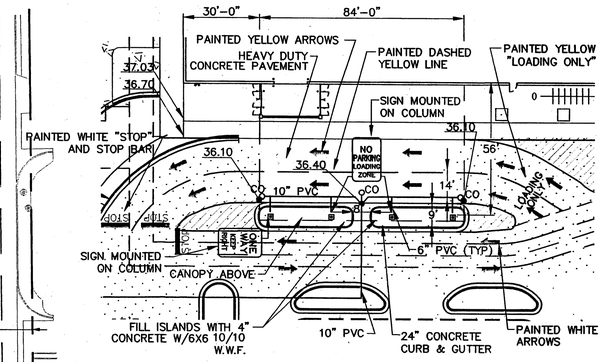
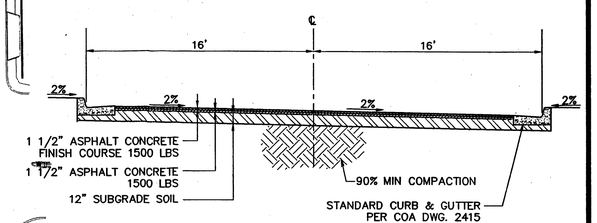




ENLARGED CUSTOMER LOADING CANOPY

SITE NOTES

1) ASPHALT PARKING LOT TO BE STRIPED WITH 4" WIDE PAINTED WHITE LINES AS INDICATED. CONCRETE PAVED AREAS TO BE PAINTED YELLOW. YELLOW. PAINT SHALL BE SHERWIN WILLIAMS "PROMAR TRAFFIC MARKING".
2) CONTRACTOR SHALL COORDINATE AND COMPLY WITH ALL UTILITY COMPANIES INVOLVED IN PROJECT AND PAY ALL REQUIRED FEES AND COSTS.
3) ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
4) ALL CONCRETE SIDEWALKS AND APRONS SHALL RECEIVE CONSTRUCTION RECEIVE CONSTRUCTION JOINTS AT 25'-0" O.C. UNLESS OTHERWISE NOTED.
5) FOR SITE UTILITIES, SEE SITE UTILITIES PLAN.
6) 60" SQ. TREE GRATES SHALL BE EAST JORDAN IRON WORKS, INC. MODEL NO. 8675 OR ENGINEER APPROVED EQUAL.



TYPICAL SLOPED SECTION

SCALE 1"=5'

GRAPHIC SCALE

50 0 25 50 100 200

(IN FEET)
1 inch = 50 ft.

SITE DATA

ZONING	C-2
Acreage:	
Total	15.16
Developed	15.16
Main Building:	
Sales Floor	114,111 SF.
Office Area	4,237 SF.
Receiving/Overstock	9,560 SF.
Seasonal Display Area	6,200 SF.
Main Building Total	134,108 SF.
Garden Center:	
Shade Structures	5,544 SF.
Covered Area	11,354 SF.
Open Area	25,400 SF.
Garden Center Total	42,199 SF.

Lowe's Parking Requirements:

Parking Required:	
Standard	733
Handicapped	16
Total Parking Required (Ratio = 5.0 (spaces/1000 sf))	749
Parking Provided:	
Standard	631
Handicapped	14
Total Parking Provided (Ratio = 5.0 (spaces/1000 sf))	645
Bicycle Parking Required: (1 per 20 parking spaces)	38
Bicycle Parking Provided	34

LEGEND

EXISTING SHOPPING CENTER

- LOWE'S LEASE LINE
- EASEMENT LINE
- CURB AND GUTTER
- PROPOSED RETAINING WALL
- PROPOSED TEXTURED COLORED CONCRETE PAVEMENT
- PROPOSED STANDARD DUTY ASPHALT PAVEMENT
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT
- PROPOSED HEAVY DUTY CONCRETE PAVEMENT

SOLID WASTE

FIRE MARSHALL

LEGAL DESCRIPTION

A CERTAIN PARCEL OF LAND SITUATE IN THE SOUTHEAST QUARTER (SW 1/4) OF SECTION 3, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AND COMPRISING ALL OF "R.P. TINNIN LAND" AS IS SHOWN ON THE "AMENDED AND CORRECTED PLAT OF THE REDIVISION OF TINNIN SHOPPING CENTER" AS FILED WITH THE BERNALILLO COUNTY CLERK ON JUNE 20, 1972 IN VOLUME B6 FOLIO 173.

BENCH MARK

THE STATION IS LOCATED 8.3 MILES NORTHEAST OF DOWNTOWN ALBUQUERQUE AT THE INTERSECTION OF JUAN TABO BLVD. N.E. & COMANCHE RD. N.E. TO REACH THE STATION FROM THE INTERCHANGE AT I-40 AND JUAN TABO BLVD., GO NORTH ON JUAN TABO 3.2 MILES TO THE STATION ON THE MALL. THE STATION MARK IS A STANDARD ACS BRASS TABLET STAMPED "ACS 2-G21-A 1978", DRILLED INTO THE TOP OF THE CONCRETE CURB. ELEVATION 5666.13

DRAWN MDG	WILSON & COMPANY 2600 THE AMERICAN ROAD SE, SUITE 100 RIO RANCHO, NEW MEXICO 87124 (505) 898-8021	DATE DECEMBER 2000	
DESIGN BMS		FILE NO. X0218001	
CHECKED BY LBS		SHEET NO. 1 of 2	

REVISIONS

◇ PRE-BID SET ISSUE DATE
△ POST BID SET ISSUE DATE

DATE	DESCRIPTION

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LOWE'S
P. O. Box 1111 N. Wilkesboro, N. C. 28656

SITE PLAN
LOWE'S
JUAN TABO AND CANDELARIA
ALBUQUERQUE, NEW MEXICO

DRAWN BY MDG | CHECKED LBS | PERMIT SET ISSUE DATE | CONTRACT SET ISSUE DATE

SHEET 2 OF 11

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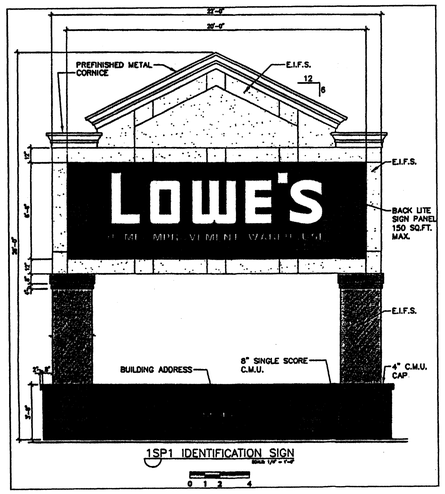
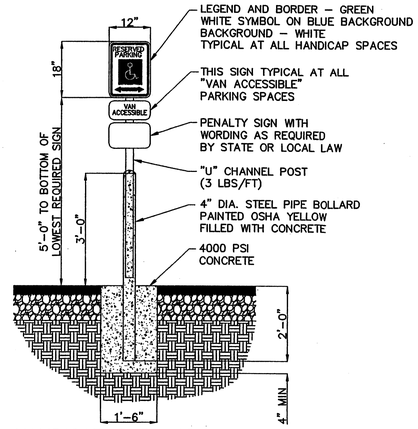
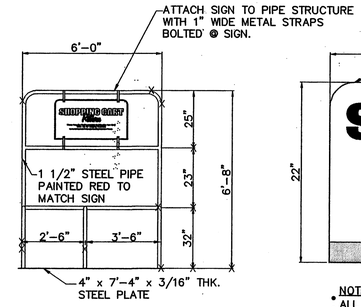


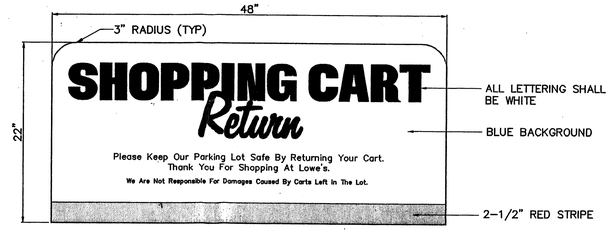
1SP1 IDENTIFICATION SIGN



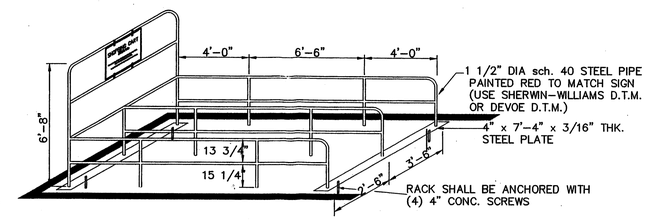
HANDICAP PARKING SIGN

ONE AT EACH HANDICAP SPACE.
WHERE HANDICAP SPACES FACE EACH OTHER WITHOUT WALKWAY, THERE SHALL BE ONE POST WITH SIGNS MOUNTED BOTH SIDES

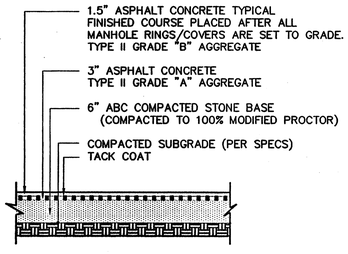




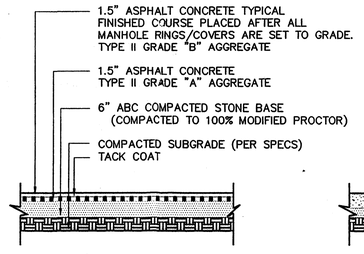
NOTES:
- ALL LETTERING SHALL BE WHITE.
- THE WORDS "SHOPPING CART" IS FOLIO EXTRA BOLD. "RETURN" IS FREEHAND 575 OR FREECON, BODY COPY IS HELVETICA BOLD.
- THE LETER "R" IN THE WORD "RETURN" HAS A BLUE OUTLINE TO SEPARATE IT FROM THE "I" IN THE WORD "SHOPPING".
- BACK GROUND COLOR IS PMS 280 BLUE.
- STRIPE ACROSS THE BOTTOM IS PMS 200 RED. SIGN TO BE ALUMINUM.



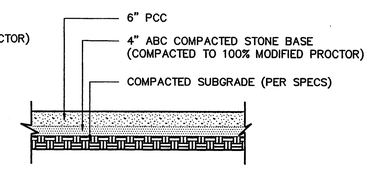
2 STALL CART RETURN RACK DETAIL



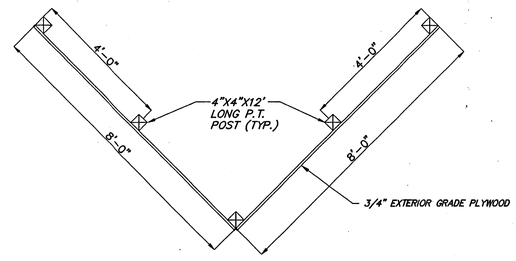
HEAVY DUTY ASPHALT PAVING



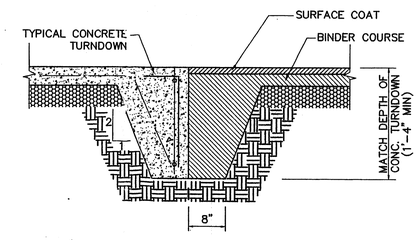
STANDARD ASPHALT PAVING



HEAVY DUTY CONCRETE PAVING

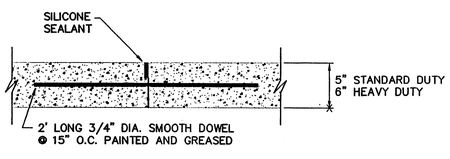


PLAN

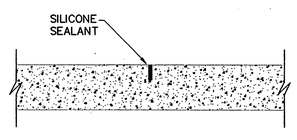


NOTE: ASPHALT TURNDOWN TO OCCUR ANYWHERE ASPHALT MEETS SLAB.

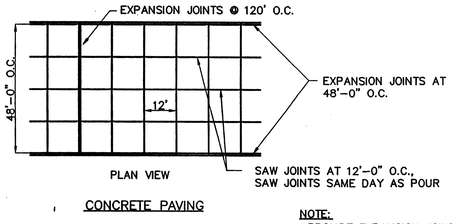
ASPHALT TURNDOWN



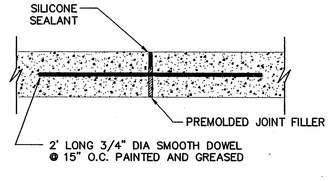
CONSTRUCTION JOINT



SAW JOINT



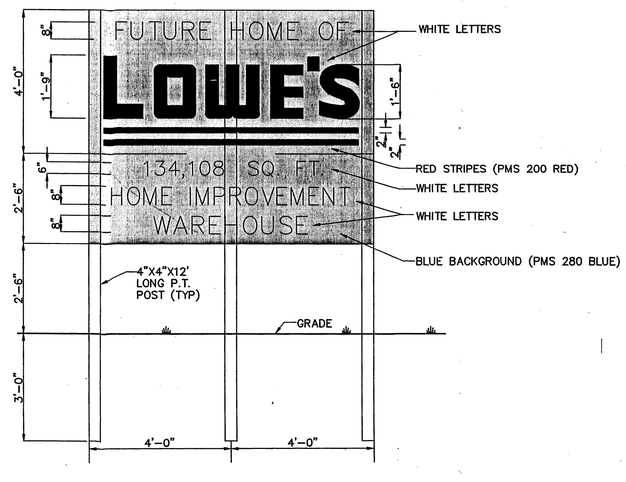
CONCRETE PAVING



EXPANSION JOINT

NOTE:
PROVIDE EXPANSION JOINT WHERE CONC. PAVEMENT AND CURB AND GUTTER MEET OR CONSTRUCT MONOLITHIC CURB AND GUTTER WITH CONCRETE PAVEMENT.

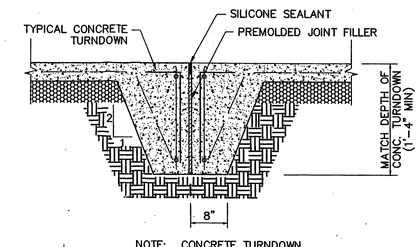
CONCRETE PAVING JOINT DETAILS



ELEVATION

NOTE:
CONTRACTOR TO FURNISH AND INSTALL SIGN WHEN GRADING COMMENCES. SEE EROSION CONTROL PLAN FOR LOCATION.

FUTURE HOME SIGN



NOTE: CONCRETE TURNDOWN TO OCCUR ANYWHERE CONCRETE MEETS SLAB.

CONCRETE TURNDOWN

REVISIONS
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DATE		DESCRIPTION

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P. O. Box 1111 N. Wilkesboro, N. C. 28656

SITE PLAN DETAILS
LOWE'S
JUAN TABO AND CANDELARIA
ALBUQUERQUE, NEW MEXICO

DRAWN	DESIGN	CHECKED BY
MDG	BMS	LBS

WILSON & COMPANY
2600 THE AMERICAN ROAD SE, SUITE 100
RIO RANCHO, NEW MEXICO 87124
(505) 898-8021

DATE: DECEMBER 2000
FILE NO.: X0218001
SHEET NO.: 2 of 2

DRAWN BY MDG | CHECKED LBS | PERMIT SET ISSUE DATE | CONTRACT SET ISSUE DATE

SHEET 3 OF 11

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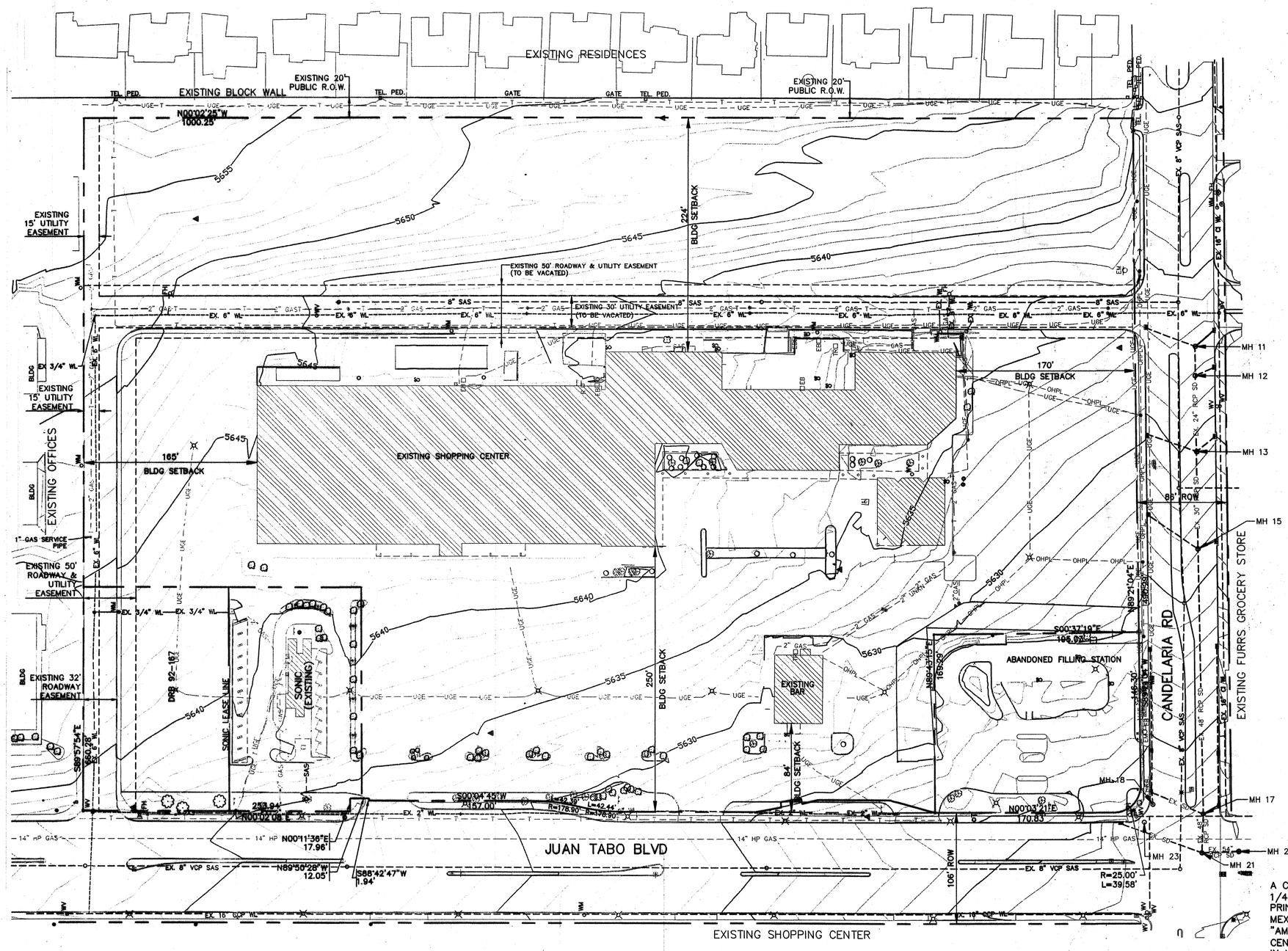

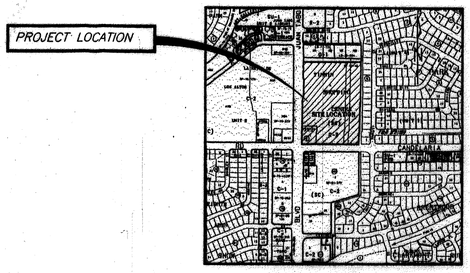

LOCATION MAP

ZONE ATLAS MAP NO. G-22

MH-11 STORM
N RIM ELEV = 5632.97'
NE INV ELEV = 5627.38' (18")
SE INV ELEV = 5628.15' (18")
W INV ELEV = 5626.78' (24")

MH-12 STORM
N RIM ELEV = 5632.05'
E INV ELEV = 5625.80' (24")
SE INV ELEV = 5627.74' (18")
W INV ELEV = 5625.76' (24")

MH-13 STORM
N RIM ELEV = 5629.56'
NE INV ELEV = 5623.34' (18")
E INV ELEV = 5623.15' (24")
SE INV ELEV = 5624.91' (18")
W INV ELEV = 5622.83' (30")

MH-15 STORM
N RIM ELEV = 5626.20'
NE INV ELEV = 5620.58' (18")
E INV ELEV = 5619.70' (30")
S INV ELEV = 5621.29' (18")
W INV ELEV = 5619.16' (30")

MH-17 STORM
N RIM ELEV = 5617.82'
E INV ELEV = 5610.06' (48")
SW INV ELEV = 5613.80' (18")
W INV ELEV = 5609.98' (48")
W TOP OF PIPE ELEV = 5614.43'

MH-18 STORM
N RIM ELEV = 5618.32'
NE INV ELEV = 5613.65' (18")
S INV ELEV = 5613.47' (18")
NW INV ELEV = 5614.83' (18")

MH-20 STORM
N RIM ELEV = 5617.24'
N INV ELEV = 5608.58' (4')
S INV ELEV = 5607.68'
SW INV ELEV = 5611.64' (18")
W INV ELEV = 5611.08' (18")

MH-21 STORM
N RIM ELEV = 5617.45'
E INV ELEV = 5609.41' (4')
S INV ELEV = 5608.65' (4')

MH-23 STORM
N RIM ELEV = 5618.01'
NE INV ELEV = 5615.03' (18")
NW INV ELEV = 5615.10' (18")

GRAPHIC SCALE

50 0 25 50 100 200

(IN FEET)
1 inch = 50 ft.

LEGAL DESCRIPTION

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BENCH MARK

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TO REACH THE STATION FROM THE INTERCHANGE AT I-40 AND JUAN TABO BLVD., GO NORTH ON JUAN TABO 3.2 MILES TO THE STATION ON THE MALL. THE STATION MARK IS A STANDARD ACS BRASS TABLET STAMPED "ACS 2-G21-A 1978", DRILLED INTO THE TOP OF THE CONCRETE CURB. ELEVATION 5666.13

LEGEND

EX. 12" SAS	SANITARY SEWER		MANHOLE
EX. SD	STORM DRAIN		TELE. MANHOLE
EX. 16" WL	WATER LINE		CLEANOUT
GAS	GAS LINE		WATER VALVE
UGE	UNDERGROUND ELECTRIC LINE		WATER METER
T	TELEPHONE LINE LINE		JUNIPER BUSH
OHPL	OVERHEAD POWER		BUSH
FH	FIRE HYDRANT		ELM TREE, LESS THAN 6" DIAM.
	GREASE TRAP		DECIDUOUS TREE, LESS THAN 6" DIAM.
			OAK TREE, 10-15" DIAM.

DRAWN MDG	WILSON & COMPANY	DATE DECEMBER 2000	
DESIGN BMS	2600 THE AMERICAN ROAD SE, SUITE 100 RIO RANCHO, NEW MEXICO 87124 (505) 898-8021	FILE NO. X0218001	
CHECKED BY LBS		SHEET NO. 1 of 1	

REVISIONS

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P. O. Box 1111 N. Wilkesboro, N. C. 28656

EXISTING CONDITIONS SITE PLAN

LOWE'S
JUAN TABO AND CANDELARIA
ALBUQUERQUE, NEW MEXICO

DRAWN BY	CHECKED	PERMIT SET ISSUE DATE	CONTRACT SET ISSUE DATE
MDG	LBS		

SHEET 4 OF 11

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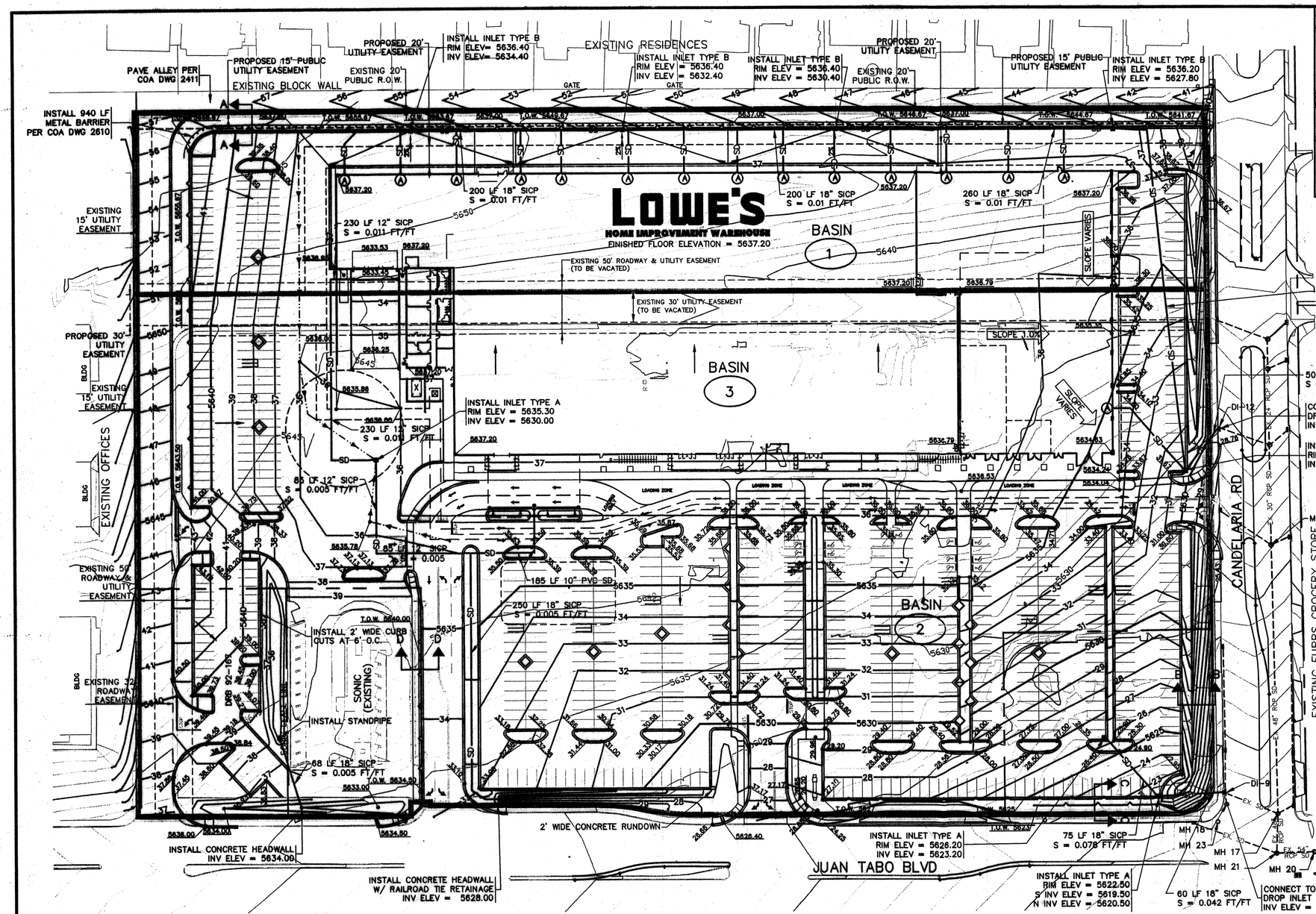
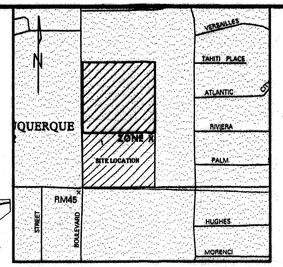
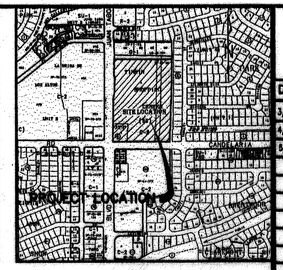




FLOOD INSURANCE MAP
FLOOD INSURANCE STUDY PANEL 357



LOCATION MAP
ZONE ATLAS MAP NO. G-22

SOILS MAP
SCS BERNALILLO COUNTY SOIL SURVEY
SHEET NO. 22

BENCH MARK

THE STATION IS LOCATED 8.3 MILES NORTHEAST OF DOWNTOWN ALBUQUERQUE AT THE INTERSECTION OF JUAN TABO BLVD. N.E. & COMANCHE RD. N.E. TO REACH THE STATION FROM THE INTERCHANGE AT I-40 AND JUAN TABO BLVD., GO NORTH ON JUAN TABO 3.2 MILES TO THE STATION ON THE MALL. THE STATION MARK IS A STANDARD ACS BRASS TABLET STAMPED "ACS 2-G21-A 1978", DRILLED INTO THE TOP OF THE CONCRETE CURB. ELEVATION 5666.13

LEGAL DESCRIPTION

A CERTAIN PARCEL OF LAND SITUATE IN THE SOUTHEAST QUARTER (SW 1/4) OF SECTION 3, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW-MEXICO, AND COMPRISING ALL OF "R.P. TINNIN LAND" AS IS SHOWN ON THE "AMENDED AND CORRECTED PLAT OF THE REDIVISION OF TINNIN SHOPPING CENTER" AS FILED WITH THE BERNALILLO COUNTY CLERK ON JUNE 20, 1972 IN VOLUME B6 FOLIO 173.

LEGEND

- LOWE'S LEASE LINE
- EXISTING INTERMEDIATE CONTOUR
- 5650 EXISTING INDEX CONTOUR
- 5173 PROPOSED INTERMEDIATE CONTOUR
- 5175 PROPOSED INDEX CONTOUR
- 5639.00 PROPOSED SPOT ELEVATION
- PROPOSED RETAINING WALL
- CLEAN OUT
- DIRECTION OF RUNOFF
- PROPOSED FLOWLINE
- EXISTING BASIN BOUNDARY
- PROPOSED BASIN BOUNDARY
- BASIN 1 BASIN DESIGNATION

GRAPHIC SCALE
50 0 25 50 100 200
(IN FEET)
1 inch = 50 ft.

NOTES:

1. CONSTRUCTION NOTES AND DETAILS ARE SHOWN ON SHEETS 2 OF 3 AND 3 OF 3.
2. Ⓐ 10" SICP PIPE, CONNECT TO DOWNSPOUTS

MH-15 STORM
RIM ELEV = 5626.20'
NE INV ELEV = 5620.58' (18")
E INV ELEV = 5619.70' (30")
S INV ELEV = 5621.29' (18")
W INV ELEV = 5619.16' (30")

MH-17 STORM
N RIM ELEV = 5617.82'
E INV ELEV = 5610.06' (48")
SW INV ELEV = 5613.80' (18")
W INV ELEV = 5609.96' (48")
W TOP OF PIPE ELEV = 5614.43'

MH-18 STORM
RIM ELEV = 5618.32'
NE INV ELEV = 5613.65' (18")
S INV ELEV = 5613.47' (18")
NW INV ELEV = 5614.83' (18")

MH-20 STORM
RIM ELEV = 5617.24'
N INV ELEV = 5608.58' (4')
S INV ELEV = 5607.68'
SW INV ELEV = 5611.64' (18")
W INV ELEV= 5611.08' (18")

MH-21 STORM
RIM ELEV = 5617.45'
E INV ELEV = 5609.41' (4')
S INV ELEV = 5608.65' (4')

MH-23 STORM
RIM ELEV = 5618.01'
NE INV ELEV = 5615.03' (18")
NW INV ELEV = 5615.10' (18")

DI-9
RIM ELEV = 5619.39'
INV ELEV = 5614.73'

DI-12
RIM ELEV = 5629.20'
INV ELEV = 5624.51'

EXISTING CONDITIONS

THE PROJECT SITE COVERS APPROXIMATELY 15.2 ACRES, SEVENTY PERCENT OF WHICH IS CURRENTLY DEVELOPED. THE SITE IS BOUNDED BY COMMERCIAL DEVELOPMENT TO THE NORTH, RESIDENTIAL TO THE EAST, JUAN TABO BLVD. TO THE WEST AND CANDELARIA RD. TO THE SOUTH. CURRENTLY THE SITE DRAINS SOUTHWESTERLY AS SURFACE FLOW AND ENTERS THE EXISTING STORM DRAINAGE SYSTEM AT THE INTERSECTION OF JUAN TABO AND CANDELARIA. NO OFF-SITE FLOWS CONTRIBUTE TO THE SITE. THE TABLE ALBUQUERQUE DPM SECTION 22.2 METHODOLOGY.

DEVELOPED CONDITIONS

ALL EXISTING STRUCTURES, EXCEPT SONIC, WILL BE DEMOLISHED AND REPLACED WITH AN APPROXIMATELY 124,000 SQUARE FOOT COMMERCIAL BUILDING WITH ASSOCIATED PARKING LOT AND LANDSCAPED AREAS. ALL RUNOFF FROM THE SITE WILL CONTINUE TO DISCHARGE TO THE INTERSECTION OF JUAN TABO AND CANDELARIA. TOTAL PEAK DISCHARGE INCREASES ONLY SLIGHTLY (3.63 CFS FOR 100 YEAR STORM) AS DOES TOTAL DISCHARGE VOLUME (0.34 AC-FT). SITE PEAK DISCHARGE IS EXPECTED TO ENTER THE STORM DRAINAGE SYSTEM WELL AHEAD OF THE PEAK EXPECTED FOR THE ENTIRE BASIN AND NOT ADVERSELY AFFECT CAPACITY WITHIN THE SYSTEM.

INPUT DATA

PRECIP. ZONE	RAINFALL DEPTHS (INCHES) AT 100-YRAR STORM				
	1 HOUR	6 HOUR	24 HOUR	4 DAY	10 DAY
4	2.23	2.90	3.65	4.70	5.95

HYDROLOGY SUMMARY

PROJECT NAME: LOWE'S EAST ALBUQUERQUE
JOB NUMBER X0218001

BASIN	COND.	DESCRIPTION	AREA (acres)	LAND TREATMENTS A	B	C	D	2 YEAR Q (cfs)	VOLUME (ac.ft.) 6 HR	24 HR	10 YEAR Q (cfs)	VOLUME (ac.ft.) 6 HR	24 HR	100 YEAR Q (cfs)	VOLUME (ac.ft.) 6HR	24 HR
1	EXISTING	LOWE'S E ABQ SITE	4.3500	0.0%	70.0%	30.0%	0.0%	2.46	0.0573	0.0573	7.36	0.1961	0.1961	13.76	0.4328	0.4328
2	EXISTING	LOWE'S E ABQ SITE	11.0000	0.0%	0.0%	3.0%	97.0%	23.48	0.9055	1.1949	38.84	1.5228	1.9678	57.25	2.3878	3.0544
3	PROPOSED	LOWE'S E ABQ SITE	15.3500	0.0%	15.0%	2.5%	82.5%	28.74	1.0956	1.4391	49.42	1.8951	2.4230	74.64	3.0399	3.8314

S019

NOTICE TO CONTRACTOR

1. AN EXCAVATION/ CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

WILSON & COMPANY	APPROVALS	NAME	DATE	LOWE'S EAST ALBUQUERQUE
	HYDROLOGY			MAP NO. G-22
	INSPECTOR			
WCEA # X0218001	A.C.E./FIELD			

DRAWN MDG
DESIGN BMS
CHECKED BY LBS

WILSON & COMPANY
2600 THE AMERICAN ROAD SE, SUITE 100
RIO RANCHO, NEW MEXICO 87124
(505) 898-8021

DATE DECEMBER 2000
FILE NO. X0218001
SHEET NO. 1 of 3

REVISIONS
◇ PRE-BID SET ISSUE DATE
△ POST BID SET ISSUE DATE

DATE	DESCRIPTION
3/30/00	Revised Downspouts
4/20/00	D-spouts, Tel, Irrigation
5/26/00	Hvy Duty Conc Pvmt, Bldg Limits, Gen'l Revisions

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GRADING AND DRAINAGE PLAN
LOWE'S
JUAN TABO AND CANDELARIA
ALBUQUERQUE, NEW MEXICO

DRAWN BY MDG
CHECKED LBS
PERMIT SET ISSUE DATE
CONTRACT SET ISSUE DATE

SHEET 5 OF 11

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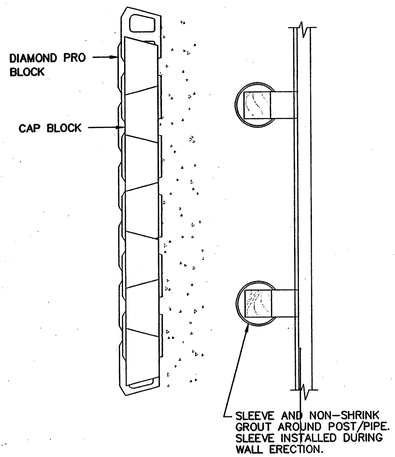
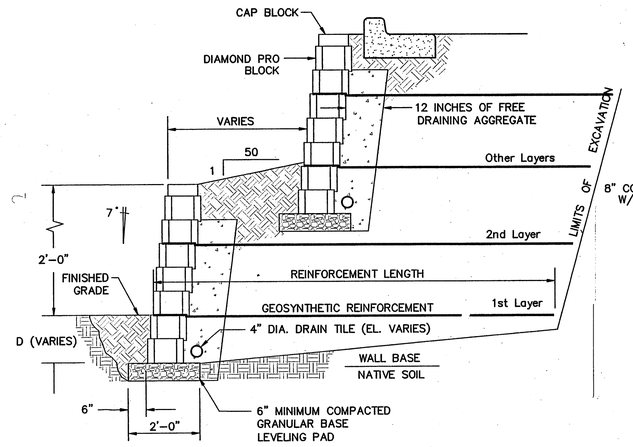
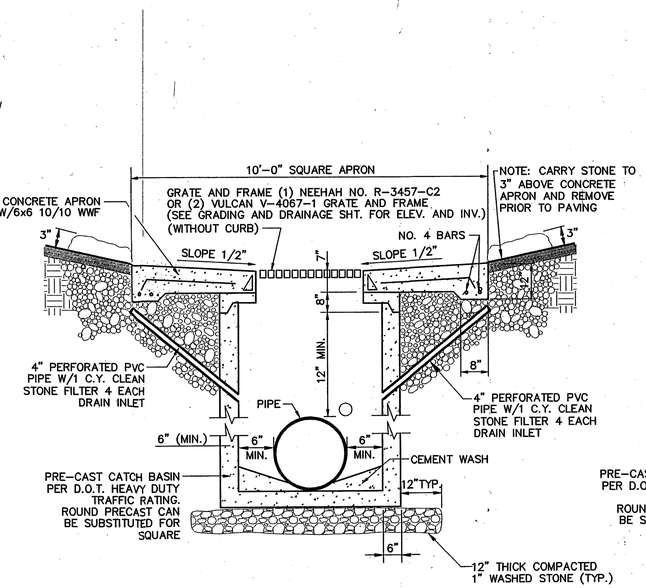
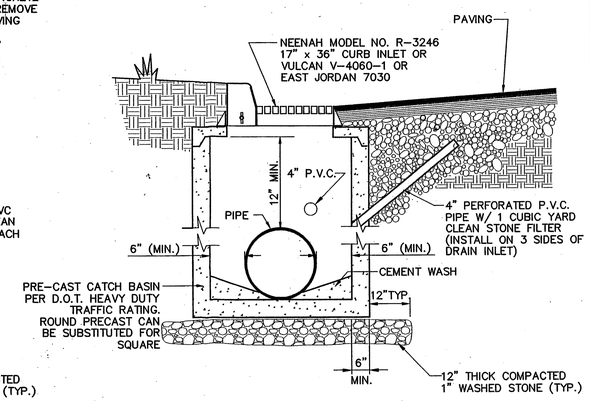




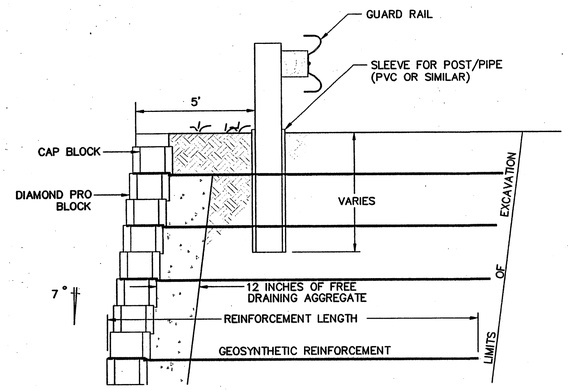
SECTION C–C
ANCHOR DIAMOND PRO TYPICAL DETAIL–TERRACED WALL
SCALE: 1"=2'



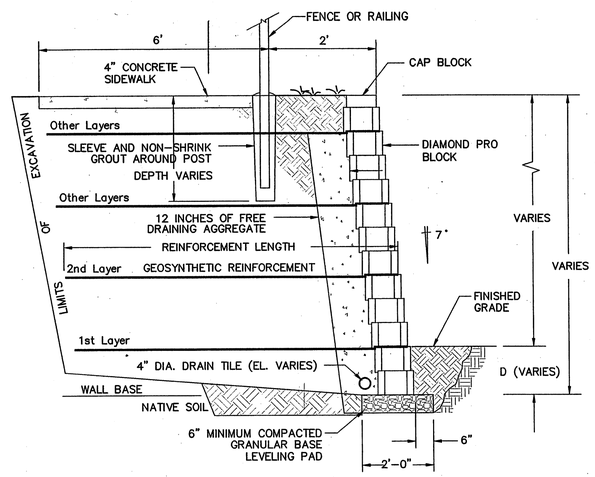
DRAIN INLET TYPE A DETAIL
SCALE: 1"=2'



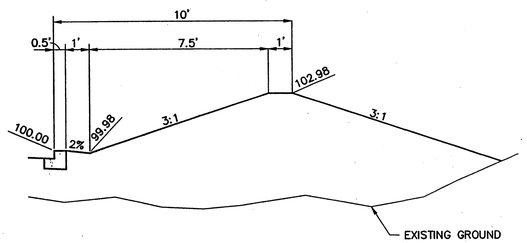
DRAIN INLET TYPE B DETAIL
SCALE: 1"=2'



SECTION A–A
ANCHOR DIAMOND PRO GUARD RAIL DETAIL
SCALE: 1"=3'



ANCHOR DIAMOND PRO GEOSYNTHETIC REINFORCED WALL SECTION D–D
SCALE: 1"=2'



SECTION B–B
TYPICAL EARTH BERM ALONG CANDELARIA
SCALE: 1"=3'

GRADING AND DRAINAGE CONSTRUCTION NOTES:

1) ALL CORRUGATED METAL PIPES SHALL BE FULLY ASPHALT COATED OR ALUMINIZED STEEL TYPE–2. ALL 18" & SMALLER TO BE 16 GAUGE; PIPES 24"–30" TO BE 14 GAUGE.

2) ALL DRAINAGE STRUCTURES SHALL BE PRE–CAST.

3) ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC (H20) LOADING LOADING AND BE INSTALLED ACCORDINGLY.

4) CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE OR IN RIGHT–OF–WAY PRIOR TO EXCAVATION. CONTRACTOR SHALL CONTACT UTILITY LOCATING COMPANY AND LOCATE ALL UTILITIES PRIOR TO GRADING START.

5) SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.

6) SICP – SMOOTH INTERIOR CORRUGATED PLASTIC PIPES & FITTINGS MAY BE UTILIZED FOR PIPE SIZES 24" OR SMALLER, FROM ADS– N/2 OR ENGINEER APPROVED EQUAL.

   SICP SHALL BE INSTALLED PER MANUFACTURER'S GUIDELINES FOR HEAVY DUTY DRAINAGE APPLICATIONS.

7) CONTRACTOR SHALL PROVIDE 2' x 2' x 8" THICK CONCRETE APRON AT ALL CLEANOUTS OUTSIDE OF BUILDING.

GRADING AND DRAINAGE NOTES:

1. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY COSTS INCURRED FOR REPAIRS SHALL BE THE COST OF THE CONTRACTOR.
2. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED TO THE ELEVATIONS, AND IN ACCORDANCE WITH THE TYPICAL SECTIONS SHOWN ON THIS PLAN.
3. THIS PLAN IS FOR THE EXCAVATION, PLACEMENT AND COMPACTION OF NATURAL EARTH MATERIALS AND THE CONSTRUCTION OF REQUIRED RETAINING WALLS ONLY.
4. PAVING AND ROADWAY GRADES SHALL BE+.05 FOOT FROM SHOWN PLAN ELEVATIONS.
5. PADS SHALL NOT VARY FROM A TRUE HORIZONTAL PLANE BY MORE THAN +0.1 FOOT AT ANY POINT. THIS TRUE PLANE SHALL NOT VARY FROM THE SHOWN PAD ELEVATION BY +0.2 FOOT, UNLESS PERMITTED BY OWNER.
6. CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL REGULATION WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS AND GRADING OPERATIONS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL CONSTRUCTION PERMITS AND INSPECTION APPROVALS NECESSARY FOR THE CONSTRUCTION OF THESE FACILITIES AND ALL GRADING OPERATIONS.
8. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
9. ALL RIM ELEVATIONS FOR SANITARY SEWER AND STORM DRAIN MANHOLES ARE APPROXIMATE ONLY. RIMS SHALL BE ADJUSTED FLUSH TO GRADE AT FINAL PAVING.
10. BOULDERS, GREATER THAN 3' IN DIAMETER, EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
11. UNLESS OTHERWISE SHOWN, DRAINAGE SWALES SHALL HAVE A MINIMUM 1% SLOPE IN THE DIRECTION OF FLOW.
12. ALL SCARIFYING, EXCAVATION, COMPACTION, AND REPLATTED SOILS WORK SHALL BE DONE UNDER SUPERVISION OF THE SOILS ENGINEER AND IN ACCORDANCE WITH THE SITE SOILS REPORT AS PROVIDED BY THE OWNER.

DRAWN LSS	WILSON & COMPANY 2600 THE AMERICAN ROAD SE, SUITE 100 RIO RANCHO, NEW MEXICO 87124 (505) 898-8021	DATE DECEMBER 2000
DESIGN BMS		FILE NO. X0218001
CHECKED BY LBS		SHEET NO. 2 of 3

REVISIONS

◇ PRE–BID SET ISSUE DATE

△ POST BID SET ISSUE DATE

DATE		DESCRIPTION

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GRADING AND DRAINAGE DETAILS

LOWE'S
JUAN TABO AND CANDELARIA
ALBUQUERQUE, NEW MEXICO

DRAWN BY	CHECKED	PERMIT SET ISSUE DATE	CONTRACT SET ISSUE DATE
MDG	LBS		

SHEET 6 OF 11

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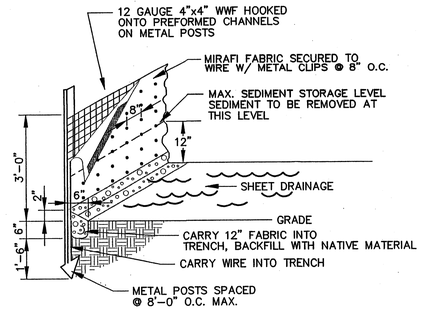
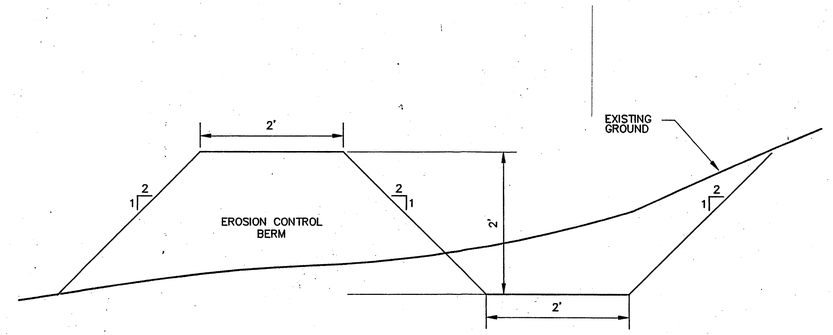


SILT FENCE DETAIL

SCALE: 1"=2'

EROSION CONTROL NOTES

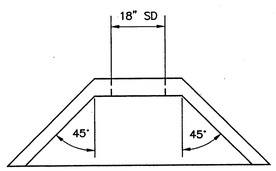
1. NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
2. MAINTAIN EROSION CONTROL MEASURES AFTER EACH RAIN AND AT LEAST ONCE A WEEK.
3. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON SITE INSPECTION.
4. LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY GOVERNING AUTHORITIES
5. IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
6. THE CONTRACTORS SHALL INSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC ROW OR ONTO PRIVATE PROPERTY.
7. THE CONTRACTOR MUST OBTAIN A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING EARTHWORK.
8. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC ROW SO THAT THE MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
9. THE CONTRACTOR SHALL ENSURE THAT THE EROSION CONTROL MEASURES OUTLINED ON THIS SHEET ARE ADHERED TO DURING AND AFTER EARTHWORK.



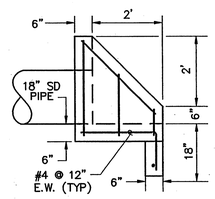
NOTE: A BERM WITH THE DIMENSIONS SHOWN ABOVE SHALL BE BUILT ALONG THE SOUTH AND WEST BOUNDARIES AND SHALL BE MAINTAINED UNTIL THE DRAINAGE SYSTEM PRESENTED HEREON IS FUNCTIONAL.

EROSION CONTROL BERM

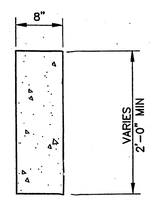
SCALE 1"=1'



PLAN VIEW

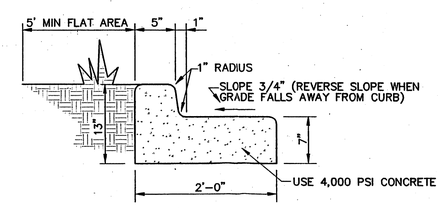


SECTION E-E



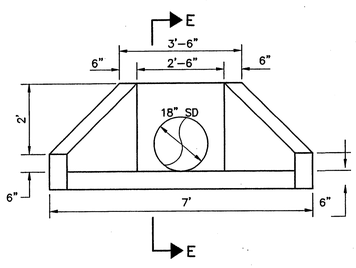
CUT-OFF WALL DETAIL

SCALE: 1"=1'



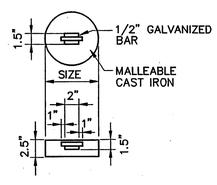
24" CONCRETE CURB & GUTTER DETAIL

SCALE: 1"=1'



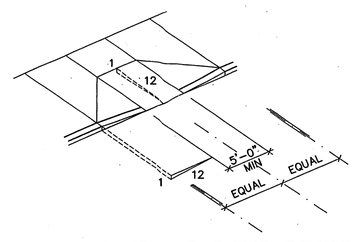
HEADWALL DETAIL

SCALE: 1"=2'



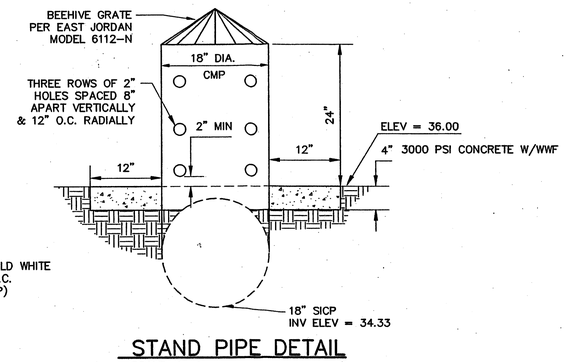
CLEANOUT PLUG DETAIL

SCALE: 1"=1'



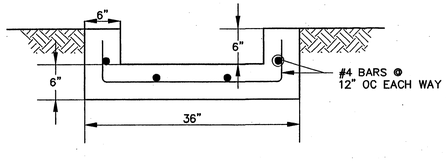
HANDICAP RAMP DETAIL

SCALE: 1"=5'



STAND PIPE DETAIL

SCALE: 1"=1'



CONCRETE RUN DOWN DETAIL

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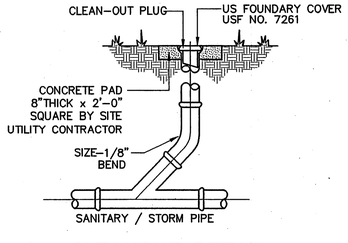
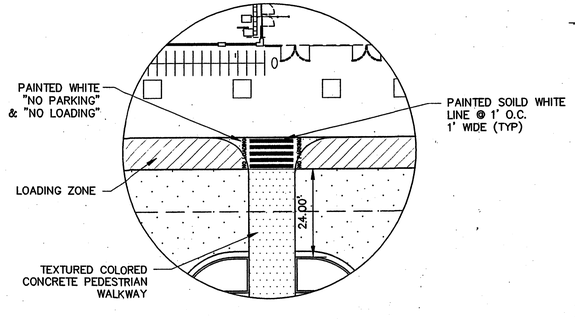


CLEANOUT DETAIL

SCALE: 1"=1'



PEDESTRIAN CROSSING (TYP)

SCALE: 1"=20'

REVISIONS

◇ PRE-BID SET ISSUE DATE

△ POST BID SET ISSUE DATE

DATE		DESCRIPTION

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MISCELLANEOUS DETAILS

LOWE'S
JUAN TABO AND CANDELARIA
ALBUQUERQUE, NEW MEXICO

DRAWN LSS	WILSON & COMPANY	DATE DECEMBER 2000	DRAWN BY MDG
DESIGN BMS	2600 THE AMERICAN ROAD SE, SUITE 100 RIO RANCHO, NEW MEXICO 87124 (505) 898-8021	FILE NO. X0218001	CHECKED LBS
CHECKED BY LBS		SHEET NO. 3 of 3	PERMIT SET ISSUE DATE / CONTRACT SET ISSUE DATE

SHEET 7 OF 11

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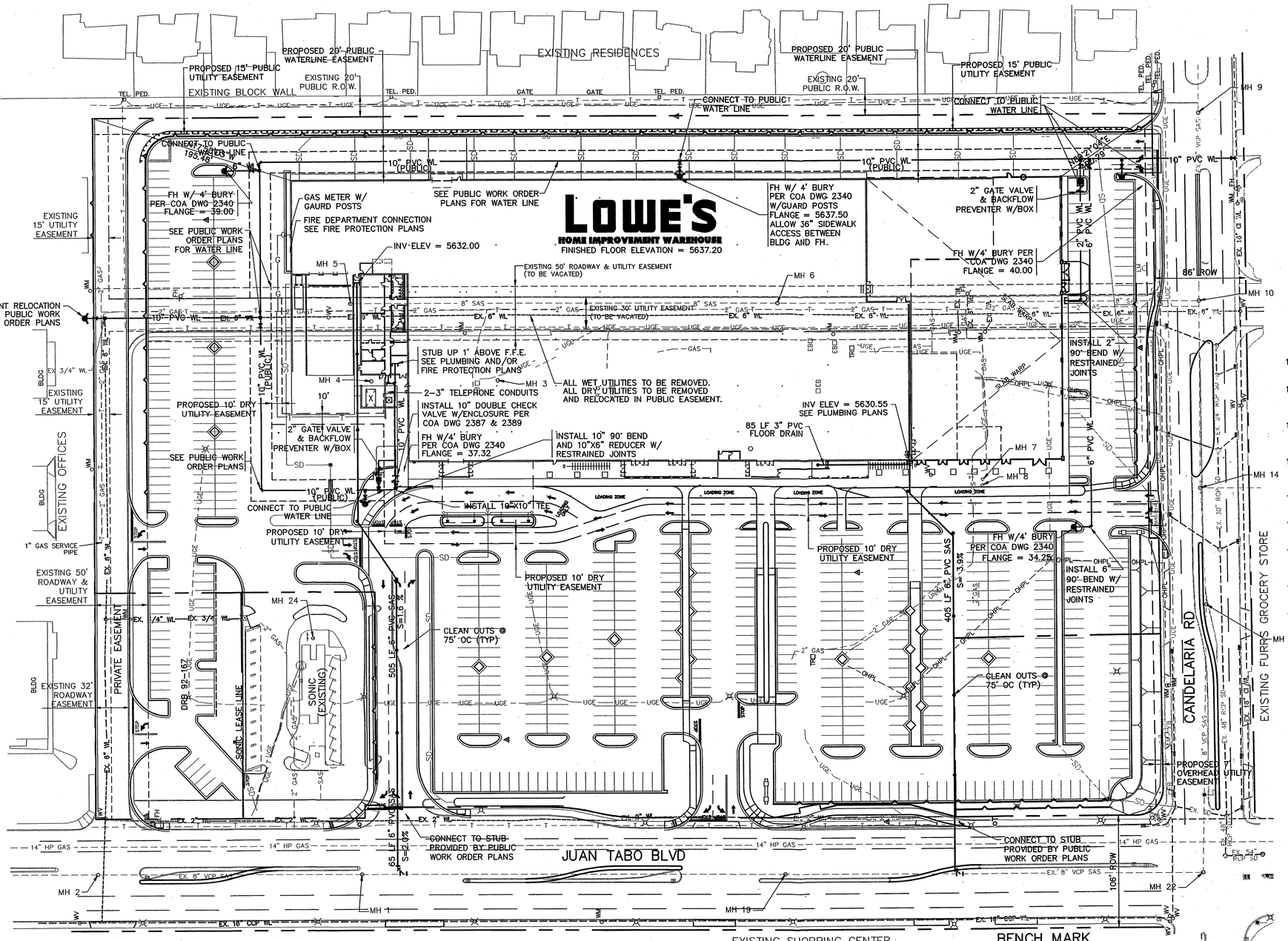

ONSITE WATERLINE NOTES

1) FOR GENERAL SITE WORK NOTES, SEE DRAWING
2) ALL PIPE 4" AND LARGER SHALL BE C900, CLASS 200, P.V.C. WATER PIPE WITH 200 P.S.I. PRESSURE RATING CONFORMING TO ANSI, AWWA, AND UNI-BELL PLASTIC PIPE STANDARD SPECIFICATIONS.
3) FITTINGS 4" AND LARGER SHALL BE CAST IRON (PUSH-ON TYPE TYPE OR MECHANICAL JOINT) CONFORMING TO ANSI AND AWWA STANDARD SPECIFICATIONS.
4) PIPE AND FITTINGS 3" AND SMALLER TO BE EITHER P.V.C. SCHE. 40 W/ SOLVENT WELD JOINTS OR SOFT K-COPPER.
5) ALL WATER MAINS SHALL HAVE A MINIMUM COVER OF 36" ABOVE TOP OF PIPE.
6) THE MINIMUM HORTIZONTAL SEPARATION BETWEEN THE CLOSEST TWO POINTS OF THE WATER AND SEWER LINE IS TEN FEET (10'). THE MINIMUM VERTICAL SEPARATION BETWEEN THE CLOSEST TWO POINTS OF THE WATER AND SEWER LINE IS EIGHTEEN INCHES (18").
7) THRUST BLOCKS SHALL BE PROVIDED AT ALL BENDS, TEES, AND FIRE HYDRANTS..
8) DIMENSIONS SHOWN ARE TO CENTERLINE OF PIPE OR FITTING.
9) ALL SPRINKLER, DOMESTIC AND SANITARY LEADS TO BUILDING SHALL END 5' FROM FACE OF BUILDING OR AS SHOWN ON PLAN AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT END (FOR OTHERS TO REMOVE AND EXTEND AS NECESSARY).
10) ALL WATER MAINS SHALL BE HYDROSTATICALLY TESTED AND DISINFECTED BEFORE ACCEPTANCE. SEE SITE WORK SPECIFICATIONS.
11) ALL GATE VALVES SHALL BE PROVIDED WITH A ROADWAY SCREW TYPE CAST IRON VALVE BOX. BOXES FOR VALVES 3" AND SMALLER SHALL HAVE ARCH BASE.
12) VALVES 3/4" THROUGH 3" SHALL BE BRONZE WEDGE TYPE GATE VALVE. VALVES SHALL HAVE NON-RISING STEM WITH SOLID TEE HEAD OPERATING NUT.
13) VALVES 4" AND LARGER SHALL BE CAST IRON WITH PARALLEL DOUBLE DISC GATE VALVE. VALVES SHALL HAVE MECHANICAL JOINT ENDS AND NON-RISING STEM WITH SQUARE OPERATING NUT.
14) ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
15) SEE SITE SPECIFICATIONS "SITE UTILITIES" FOR BACKFILLING AND COMPACTION REQUIREMENTS.
16) UTILITY CONTRACTOR SHALL HAVE APPROVAL OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER THIS SYSTEM PRIOR TO INSTALLATION.
17) ALL WORK OF THIS PLAN SHALL BE DONE IN STRICT ACCORDANCE WITH SITE WORK SPECIFICATIONS.
18) REFER TO SHEETS FP-1 & FP-2 FOR LOCATION AND DETAIL OF FIRE LINE LEAD IN..

SITE UTILITY NOTES

1) LOCATION OF SITE UTILITIES SHALL BE VERIFIED WITH PROPER UTILITY COMPANY PROVIDING SERVICE.
2) UTILITY CONTRACTOR SHALL PROVIDE 2' x 2' x 8" THICK CONCRETE APRON AT ALL CLEANOUTS OUTSIDE OF BUILDING.
3) UTILITY CONTRACTOR WILL BE RESPONSIBLE FOR ALL TAP AND TIE ON FEES REQUIRED, AS WELL AS COST OF UNDERGROUND SERVICE CONNECTIONS TO THE BUILDING.
4) ELECTRICAL SERVICE TO PAD MOUNTED TRANSFORMER SHALL BE RUN UNDERGROUND, FROM ROAD RIGHT-OF-WAY TO TRANSFORMER LOCATION. ASSOCIATED COST BY UTILITY CONTRACTOR.
5) UTILITY CONTRACTOR SHALL FURNISH (2) – 3" TELEPHONE CONDUIT(S) AS SHOWN ON PLAN, VERIFY LOCATION OF TIE IN AT TELEPHONE COMPANIES SERVICE LINE. PROVIDE NYLON PULL CORD INSIDE CONDUIT.
6) ALL WATER AND SEWER LINES WITHIN A PUBLIC EASEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH APPROVED CITY OF ALBUQUERQUE PLAN SET. CONSTRUCTION OF PUBLIC WATER AND SEWER LINES SHALL NOT BEGIN UNTIL A PUBLIC WORK ORDER IS RELEASED BY THE CITY.

GRAPHIC SCALE

50 0 25 50 100 200

(IN FEET)
1 inch = 50 ft.

MH-1 SAS
N RIM ELEV= 5633.77'
N INV ELEV = 5623.02' (8")
S INV ELEV = 5622.92' (8")

MH-2 SAS
N RIM ELEV = 5637.35'
N INV ELEV = 5627.19' (8")
S. INV. ELEV.=5627.05' (8")

MH-3 SAS (SUMP PUMP)
N.RIM ELEV = 5642.08'
SE TOP 3" PIPE ELEV = 5640.81'

MH-4 SAS (SUMP PUMP)
N RIM ELEV = 5641.93'
W INV ELEV = 5639.06' (4")

MH-5 SAS (FUTURE USE)
N RIM ELEV = 5644.12'
S INV ELEV = 5636.18' (8")

MH-6 SAS
N RIM ELEV = 5638.27'
N INV ELEV = 5631.87' (8")
S INV ELEV = 5631.47' (8")

MH-7 GREASE TRAP
N RIM ELEV = 5633.19'
W INV ELEV = 5631.33' (4")

MH-8 GREASE TRAP
N RIM ELEV = 5632.94'
E TOP OF CLEANOUT ELEV = 5631.86'
E BOTTOM OF PIPE ELEV = 5630.89'

MH-9 SAS
N RIM ELEV = 5640.09'
W INV ELEV = 5632.19' (8")
E INV ELEV = 5632.26' (8")

MH-10 SAS
N RIM ELEV = 5634.42'
N INV ELEV = 5626.62' (8")
W INV ELEV = 5626.57' (8")
E INV ELEV = 5626.63' (8")

MH-14 SAS
N RIM ELEV = 5629.26'

E INV ELEV = 5620.82' (12")
S INV ELEV = 5620.97' (8")
W INV ELEV = 5620.67' (12")

MH-16 FILLED WITH DIRT

MH-19 SAS
N RIM ELEV = 5624.86'
N INV ELEV = 5616.77' (8")
S INV ELEV = 5616.76' (8")

MH-22 SAS
N RIM ELEV = 5617.38'
N INV ELEV = 5613.58' (8")
E INV ELEV = 5613.28' (8")

MH-24 GREASE TRAP
N RIM ELEV = 5639.49'
S TOP OF PIPE ELEV = 5636.99'

LEGEND

EXISTING		PROPOSED	
	LOWE'S LEASE LINE	8" SAS	SANITARY SEWER LINE
EX. 12" SAS	SANITARY SEWER	6" WL	WATER LINE
EX. SD	STORM DRAIN	GAS	GAS LINE
EX. 16" WL	WATER LINE	UGE	UNDERGROUND ELECTRIC LINE
GAS	GAS LINE	T	TELEPHONE LINE
UGE	UNDERGROUND ELECTRIC LINE		FIRE HYDRANT W/ VALVE
T	TELEPHONE LINE		CLEAN OUT
OHPL	OVERHEAD POWER LINE		WATER METER
FH	FIRE HYDRANT		
TR	TRANSFORMER		
EB	ELECTRIC BOX		
MH	MANHOLE		
	CLEAN OUT		
WV	WATER VALVE		
WM	WATER METER		

BENCH MARK

THE STATION IS LOCATED 8.3 MILES NORTHEAST OF DOWNTOWN ALBUQUERQUE AT THE INTERSECTION OF JUAN TABO BLVD. N.E. & COMANCHE RD. N.E. TO REACH THE STATION FROM THE INTERCHANGE AT I-40 AND JUAN TABO BLVD., GO NORTH ON JUAN TABO 3.2 MILES TO THE STATION ON THE MALL. THE STATION MARK IS A STANDARD ACS BRASS TABLET STAMPED "ACS 2-G21-A 1978", DRILLED INTO THE TOP OF THE CONCRETE CURB. ELEVATION 5666.13

LEGAL DESCRIPTION

A CERTAIN PARCEL OF LAND SITUATE IN THE SOUTHEAST QUARTER (SW 1/4) OF SECTION 3, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW-MEXICO, AND COMPRISING ALL OF "R.P. TINNIN LAND" AS IS SHOWN ON THE "AMENDED AND CORRECTED PLAT OF THE REDIVISION OF TINNIN SHOPPING CENTER" AS FILED WITH THE BERNALILLO COUNTY CLERK ON JUNE 20, 1972 IN VOLUME B6 FOLIO 173.

DRAWN MDG	WILSON & COMPANY	DATE DECEMBER 2000	
DESIGN BMS	2600 THE AMERICAN ROAD SE, SUITE 100 RIO RANCHO, NEW MEXICO 87124 (505) 898-8021	FILE NO. X0218001	
CHECKED BY LBS		SHEET NO. 1 of 1	

REVISIONS

◇ PRE-BID SET ISSUE DATE
△ POST BID SET ISSUE DATE

DATE	DESCRIPTION

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LOWE'S
P. O. Box 1111 N. Wilkesboro, N. C. 28656

UTILITIES PLAN

LOWE'S
JUAN TABO AND CANDELARIA
ALBUQUERQUE, NEW MEXICO

DRAWN BY MDG | CHECKED LBS | PERMIT SET ISSUE DATE | CONTRACT SET ISSUE DATE

SHEET 8 OF 11

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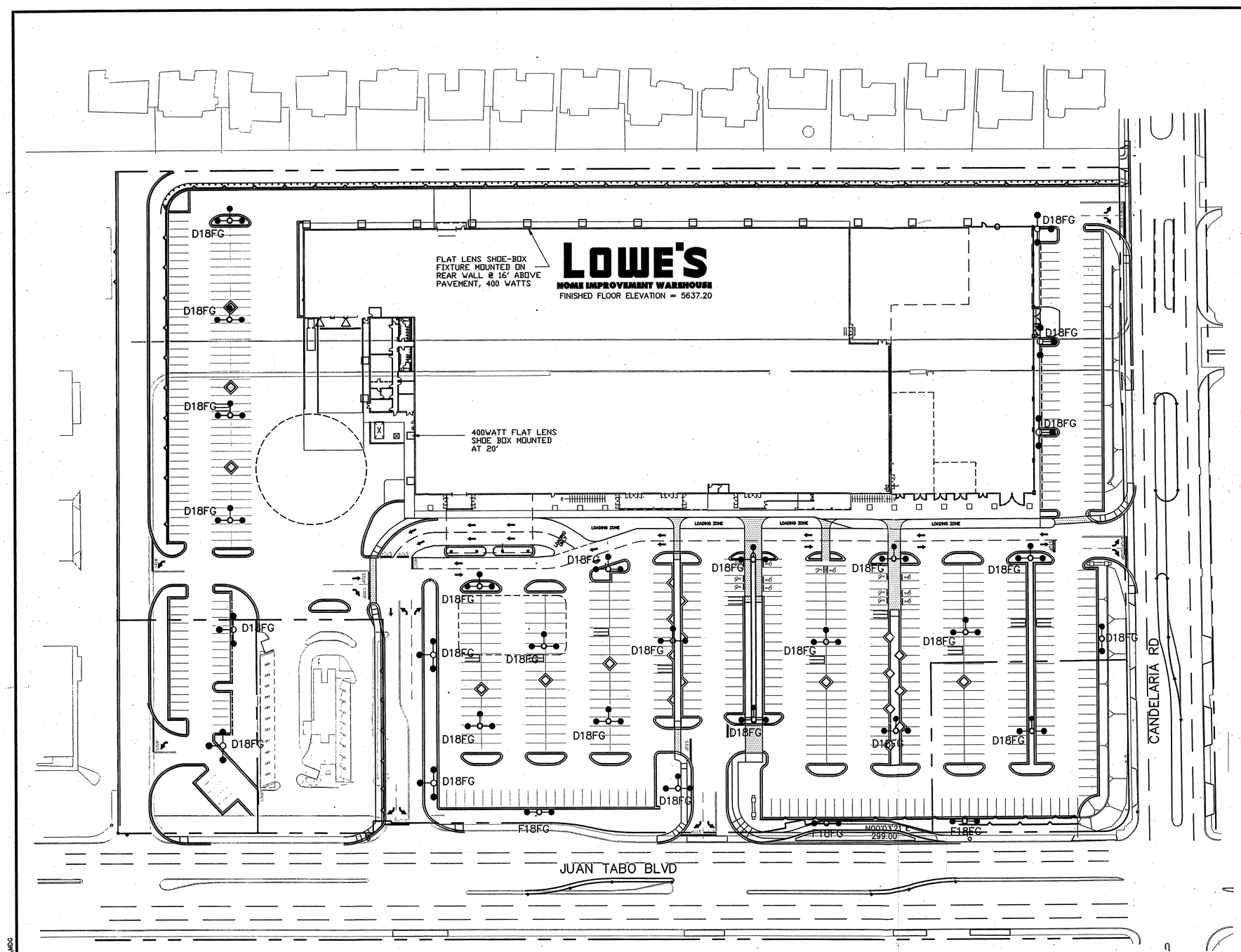

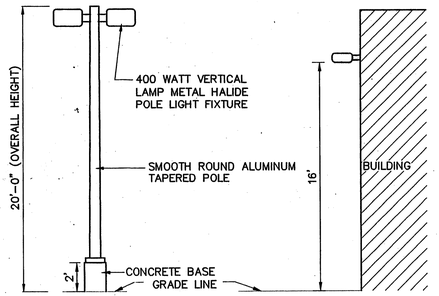

TYPICAL LIGHT POLE (1–3 LUMINARES)

SCALE: 1" = 5'

WALL MOUNTED LIGHT

SCALE: 1" = 5'

NOTE:

ALL LIGHT FIXTURES SHALL BE FULLY SHIELDED CUT-OFF HORIZONTAL LAMPS WITH LENSES NOT PROJECTING BELOW THE FIXTURE SURFACE.

ALL LIGHT POLES ARE 20' TOTAL HEIGHT WITH 400WATT FIXTURES FLAT LENS

GRAPHIC SCALE

50 0 25 50 100 200

(IN FEET)
1 inch = 50 ft.

REVISIONS	
◇ PRE-BID SET ISSUE DATE	
△ POST BID SET ISSUE DATE	
DATE	DESCRIPTION
3/30/00	Revised Downspouts
4/20/00	D-spouts, Tel, Irrigation
5/26/00	Hvy Duty Conc Pvmt, Bldg Limits, Gen'l Revisions

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SITE LIGHTING PLAN

LOWE'S
JUAN TABO AND CANDELARIA
ALBUQUERQUE, NEW MEXICO

DRAWN MDG	WILSON & COMPANY	DATE DECEMBER 2000	DRAWN BY MDG / CHECKED LBS / PERMIT SET ISSUE DATE / CONTRACT SET ISSUE DATE
DESIGN BMS	2600 THE AMERICAN ROAD SE, SUITE 100 RIO RANCHO, NEW MEXICO 87124 (505) 898-8021	FILE NO. X0218001	SHEET 9 OF 11
CHECKED BY LBS		SHEET NO. 1 of 1	

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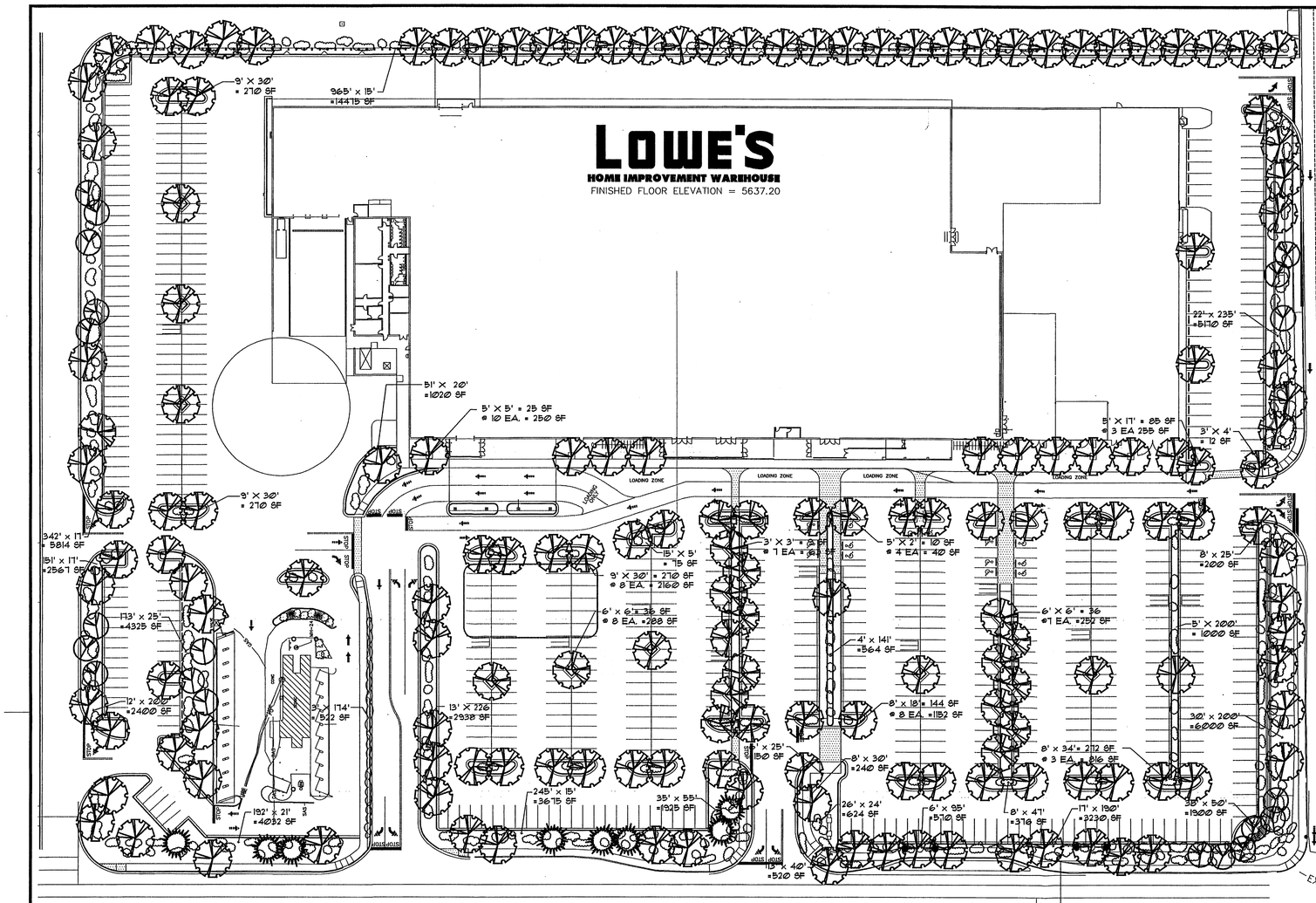
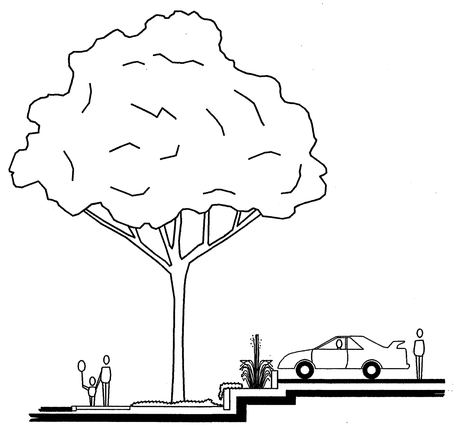


LANDSCAPING NOTES

1. THIS PLAN IS IN COMPLIANCE WITH THE CITY OF ALBUQUERQUE WATER AND CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE, ENACTMENT NO. 18-1995.
2. THIS PLAN IS IN COMPLIANCE WITH THE CITY OF ALBUQUERQUE STREET TREE ORDINANCE.
3. LANDSCAPE REQUIREMENT
   A. NET LOT AREA: 459,000 SF
   B. LANDSCAPE AREA REQUIRED: (15% OF NET): 68,850 SF
   C. LANDSCAPE AREA PROVIDED: 69,620 SF (15% OF NET)
4. AN AUTOMATIC DRIP OR BUBBLER IRRIGATION SYSTEM WILL BE PROVIDED.
5. THE OWNER WILL ASSUME RESPONSIBILITY FOR THE MAINTENANCE OF THE LANDSCAPE.
6. A 3" DEPTH OF 3/4" CRUSHED GRAVEL MULCH SHALL BE INSTALLED THROUGHOUT ALL PLANTING BEDS. COLOR SHALL BE MOUNTAIN ROSE.
7. AT MATURITY, PLANTS (SHRUBS AND GROUNDCOVERS) SHALL COVER A MINIMUM OF 15% OF THE PLANTING BEDS.

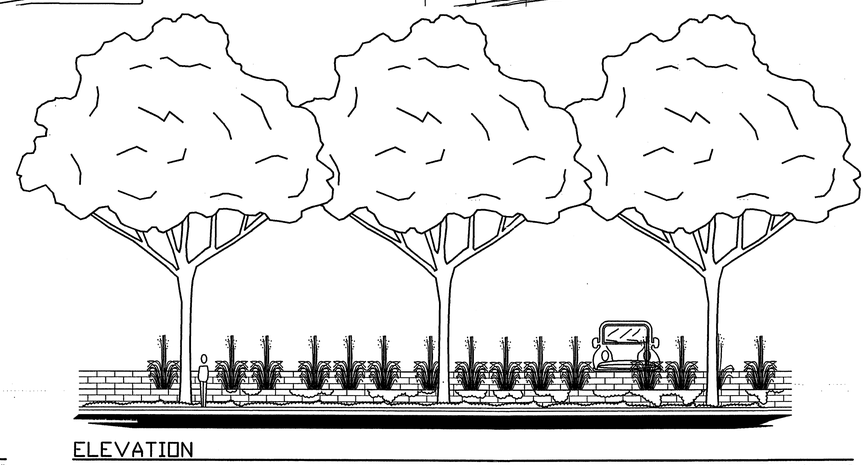
PLANT LIST

SYMBOL	COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE INSTALLED	SIZE MATURE
	SHADE TREES (2" CAL.)		154		
	Autumn Purple Ash	Fraxinus americana 'Autumn Purple'		12'-14' ht. 2" cal.	40' ht., 30' spd.
	Chinese Pistache	Pistacia chinensis		12'-14' ht. 2" cal.	40' ht., 30' spd.
	Honey Locust	Gleditsia triacanthos 'Imperial'		12'-14' ht. 2" cal.	40' ht., 30' spd.
	Littleleaf Linden	Tilia cordata		12'-14' ht. 2" cal.	40' ht., 25' spd.
	ACCENT TREES (2" CAL.)		23		
	Desert Willow	Chilopsis linearis		8'-10' ht.	25' ht., 20' spd.
	Goldenrain Tree	Koelreuteria paniculata		2" cal., 8'-10' ht.	25' ht., 20' spd.
	Washington Hawthorn	Crataegus phaenopyrum		8'-10' ht.	20' ht., 20' spd.
	EVERGREEN TREES (4'-6' ht.)		8		
	Afghan Pine	Pinus eldarica		4'-6' ht.	40' ht., 20' spd.
	Leyland False Cypress	Cupressocypris leylandii		4'-6' ht.	30' ht., 20' spd.
	ACCENT SHRUBS		12		
	New Mexico Olive	Forestiera neomexicana		4'-6' ht., 15 gal.	15' ht., 15' spd.
	SHRUBS/GOUNDCOVERS (1 gal.)		400		
	Apache Plume	Fallugia paradoxa		8"-12" ht. 1 gal.	5' ht. 4 spd.
	Bearberry Cotoneaster	Cotoneaster dammeri		12" min. spd. 1 gal.	24" ht., 6' spd.
	Bird of Paradise	Caesalpinia gilliesii		18" min. ht. 1 gal.	8' ht. 4 spd.
	Buffalo Juniper	Juniperus sabina 'Buffalo'		12" min. spd. 1 gal.	10" ht., 6' spd.
	Butterfly Bush	Buddleia davidii		18" min. ht. 1 gal.	6' ht., 5' spd.
	Maiden Grass	Miscanthus sinensis 'Gracillimus'		min. 12" ht. 1 gal.	6' ht., 4' spd.
	New Mexico Olive	Forestiera neomexicana		4'-6' ht. 1 gal.	13' ht., 10' spd.
	Regal Mist	Muhlenbergia 'Regal Mist'		min. 10" ht. 1 gal.	2' ht.4 spd.
	Rosemary	Rosmarinus officinalis		12" min. spd. 1 gal.	3' ht. 4 spd.
	Rubber Rabbitbrush	Potentilla fruticosa		12" min ht. 1 gal.	5' ht. 4 spd.
	Shrubby Cinquefoil	Chrysothamnus nauseosus		12" min. ht. 1 gal.	3' ht. 4 spd.
	Three Leaf Sumac	Rhus trilobata		18" min. ht. 1 gal.	5' ht. 4 spd.
	Yucca	Yucca glauca		min. 12" ht. 1 gal.	12" ht., 18" spd.
	Zebra Grass	Miscanthus sinensis 'Zebrinus'		min. 12" ht. 1 gal.	4' ht, 3' spd.



SECTION

SCALE: 1/8"=1'-0"



ELEVATION

SCALE: 1/8"=1'-0"

LANDSCAPE / RETAINING WALL @ SOUTHWEST CORNER

MORROW REARDON WILKINSON, LTD., LANDSCAPE ARCHITECTS
210 La Veta NE, Albuquerque, NM 87108
505.268.2266 FAX 505.265.9637
morrow.co@integrity.com

STATE OF NEW MEXICO
DENNIS C. WILKINSON
NO. 149
REGISTERED LANDSCAPE ARCHITECT

GRAPHIC SCALE

50 0 25 50 100 200

(IN FEET)
1 inch = 50 ft.

REVISIONS

◇ PRE-BID SET ISSUE DATE
△ POST BID SET ISSUE DATE

DATE	DESCRIPTION
3/30/00	Revised Downspouts
4/20/00	D-spouts, Tel, Irrigation
5/26/00	Hvy Duty Conc Pvmt, Bldg
	Limits, Gen'l Revisions

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LANDSCAPE PLAN

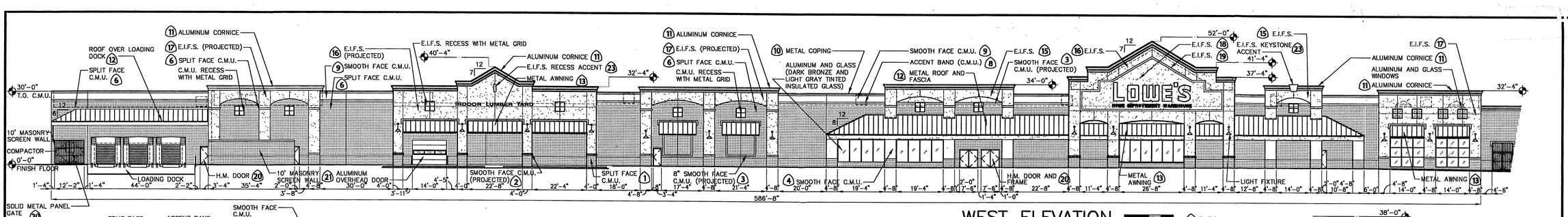
LOWE'S
JUAN TABO AND CANDELARIA
ALBUQUERQUE, NEW MEXICO

115K RIGHT-HAND FLATBACK 2000 W/129 GARDEN CENTER

DRAWN BY	CHECKED	PERMIT SET ISSUE DATE	CONTRACT SET ISSUE DATE
JSP	ERC	12/2000	

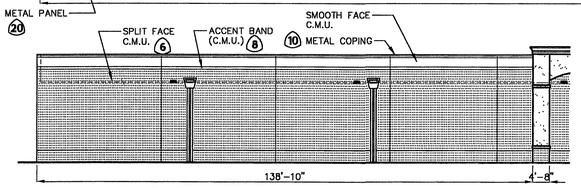
SHEET 10 OF 11

NAME: 6500PLANTING.dwg.DWG DATE: DECEMBER 13, 2000 TIME: 9:00 AM VIEW SHEET1A PLOT 1:1 BASE:12/13/00 RHT



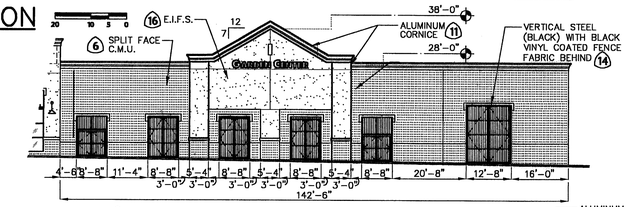
WEST ELEVATION

SCALE: 1" = 20'-0"



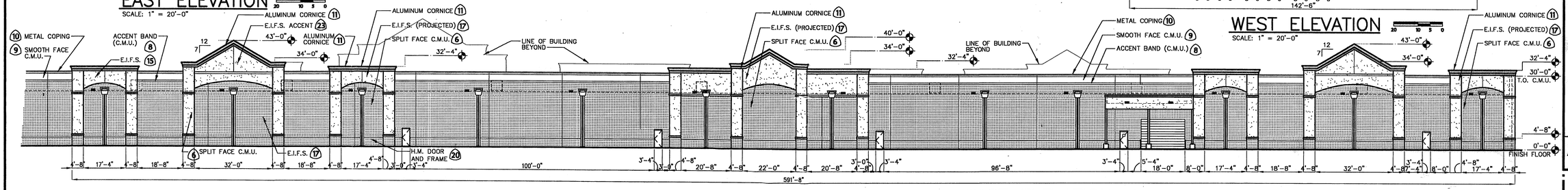
EAST ELEVATION

SCALE: 1" = 20'-0"



WEST ELEVATION

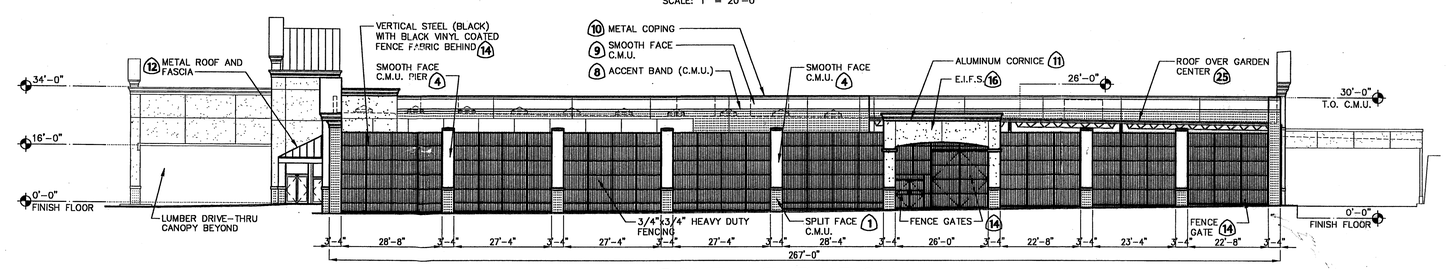
SCALE: 1" = 20'-0"



EAST ELEVATION

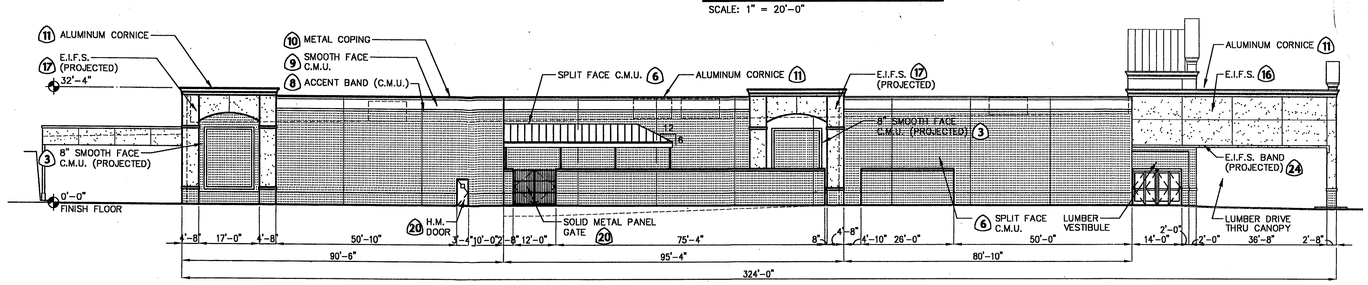
SCALE: 1" = 20'-0"

#	DESCRIPTION	LOCATION	COLOR SELECTION
1	Split face CMU at the base of the masonry columns.	Finish Floor to +4'-0" AFF	COFFEE HOUSE
2	Smooth face CMU projections (8" high) at CMU columns.	+4'-0" AFF	COFFEE HOUSE
3	Smooth face CMU projections (8" high) at CMU columns.	+20'-0" AFF	SOMBRERO
4	Smooth face CMU at CMU columns.	+4'-8" AFF to Canopy Fascia.	BEACH HOUSE
5	Split face CMU wainscot at the main building.	Finish Floor to +3'-4" AFF	COFFEE HOUSE
6	Split face CMU in the field above the wainscot and below the accent band.	+3'-4" AFF to +28'-0" AFF	TERRAIN TAN
7	Smooth face CMU in the field above the wainscot and below the accent band.	+3'-4" AFF to +28'-0" AFF	TERRAIN TAN
8	Accent band, 1 course of smooth face CMU	+28'-0" AFF to +26'-8" AFF	LOWE'S RED
9	Smooth face CMU in the field above the accent band and below the metal coping.	+28'-8" AFF to +30'-0" AFF	LOWE'S GRAY
10	Metal Coping.	Top of CMU parapet, +30'-0" AFF	LOWE'S BLUE
11	Aluminum Cornice	Top of E.I.F.S. parapets at various heights AFF	WHITE
12	Metal Roof and Fascia	As Shown	LOWE'S BLUE
13	Metal Awning	As Shown	LOWE'S BLUE
14	Vertical Steel Fencing at Garden Center and Staging Area.	As Shown	BLACK
15	E.I.F.S. in the field.	As Shown	BEACH HOUSE
16	E.I.F.S. in the field.	As Shown	VILLA WHITE
17	E.I.F.S. in the field.	As Shown	ATELIER TAN
18	E.I.F.S. background to the LOWE'S sign.	As Shown	LOWE'S BLUE
19	E.I.F.S. accent band around the LOWE'S sign background.	As Shown	LOWE'S RED
20	H.M. Doors and Frames	As Shown	TERRAIN TAN
21	Aluminum Overhead Doors	As Shown	TERRAIN TAN
22	Tile Accent	As Shown	
23	E.I.F.S. Accent.	As Shown	WHITE
24	E.I.F.S. Accent.	As Shown	SOMBRERO
25	Metal Roof	As Shown	SOMBRERO



SOUTH ELEVATION

SCALE: 1" = 20'-0"



NORTH ELEVATION

SCALE: 1" = 20'-0"

Front View

View from Back

View from North

View from South

SONIC ELEVATIONS

SCALE: NONE

LOSS PREVENTION CODE= 5

KURT D. REED ASSOCIATES, INC.
7400 EAST MCDONALD DRIVE - SUITE 101 - SCOTTSDALE, AZ. 85250
Phone:(480) 941-1440 Fax:(480) 948-1055 www.kdra.com

REVISIONS:

No:	DATE:
A	
B	
C	
D	
E	
F	
G	
H	

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LOWE'S OF EAST ALBUQUERQUE, NM

STATE OF NEW MEXICO
KURT DOUGLAS REED
NO. 2510
1-19-01
REGISTERED ARCHITECT

EXTERIOR ELEVATIONS

This drawing is an instrument of service and the property of K.D.R., and shall remain their property. The use of this drawing shall be restricted to the original site for which it was prepared, and publication thereof is expressly limited to such use.

Job No: 001472

Date: 18 JAN 01
Scale: SEE PLAN
Drawn: AEH
Checked: JS
Sheet No: A5

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