

**DEVELOPMENT DATA**

**DEVELOPER:**  
 AMERICAN REALCORP  
 5601 TAYLOR RANCH DRIVE  
 ALBUQUERQUE, NM 87120  
 PHONE (505) 400-9500  
 ATTENTION: ERNIE COHEN

**UNITS PROVIDED:**  
 20 - UNIT A (ONE BEDROOM) 588 S.F.  
 12 - UNIT AH (ONE BEDROOM HANDICAPPED) 588 S.F.  
 240 - UNIT A1 (ONE BEDROOM) 739 S.F.  
 128 - UNIT B2 (TWO BEDROOM) 1080 S.F.  
 128 - UNIT E (THREE BEDROOM) 1372 S.F.  
 22 - UNIT L (STUDIO) 839 S.F.  
 548 - TOTAL UNITS

**SITE AREA:**  
 NET: 1,363,428 S.F. (31.3 ACRES)

**ZONING:**  
 SU-1 FOR I-P, C-2 AND R-2 USES

**DENSITY:**  
 ALLOWED: 30 DU/AC  
 PROVIDED: 17.5 DU/NET ACRE

**ADDRESS:**  
 EAGLE RANCH ROAD  
 ALBUQUERQUE, NEW MEXICO

**USE:**  
 MULTI-FAMILY RESIDENTIAL

**BUILDING HEIGHT:**  
 ONE STORY 15'-0"  
 TWO STORY 24'-0"  
 THREE STORY 37'-0"

**PARKING:**  
 REQUIRED:  
 292 ONE BATH X 1.5 438 SPACES  
 256 TWO BATH X 2.0 512 SPACES  
 TOTAL 950 SPACES  
 10% REDUCTION WITHIN 300 FEET OF REGULAR ALBUQUERQUE TRANSIT SYSTEM ROUTE 95 SPACES  
 TOTAL REQUIRED SPACES 855 SPACES  
 20 OF THE REQUIRED PARKING SPACES SHALL BE PHYSICALLY DISABLED PARKING SPACES  
 TOTAL PROVIDED:  
 908 SPACES  
 80 GARAGES  
 192 COVERED  
 606 UNCOVERED  
 5 HANDICAP COVERED  
 25 HANDICAP UNCOVERED

**BICYCLE PARKING:**  
 REQUIRED: 274 SPACES  
 PROVIDED: 274 SPACES  
 70 SPACES PROVIDED WITH BICYCLE RACKS  
 204 SPACES PROVIDED IN STORAGE ROOMS.

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**GENERAL NOTES:**

- ALL SIDEWALKS ON SITE ARE 4' WIDE UNLESS NOTED OTHERWISE.
- LIGHT FIXTURES SHALL BE FULLY SHIELDED HORIZONTAL LAMPS SO THAT NO FUGITIVE LIGHT MAY ESCAPE BEYOND THE PROPERTY LINE. ALL LIGHT FIXTURES SHALL BE FULL CUT-OFF TO PREVENT FUGITIVE LIGHT. LIGHT SOURCE SHALL BE VISIBLE FROM THE SITE.

**ASPEN RANCH**  
 APARTMENTS  
 ALBUQUERQUE, NEW MEXICO  
 CWR RESIDENTIAL LTD. CO.

**PRELIMINARY**  
 NOT FOR CONSTRUCTION

**WHITNEYBELL ARCHITECTS INC**  
 1102 East Missouri Avenue  
 Phoenix, Arizona 85014-2784  
 (602)265-1891

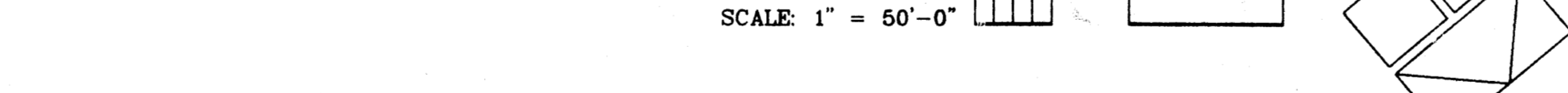
PROJECT # 1000771

*30 ft. In Balls Court  
 PRELIMINARY PLAN  
 1/11/01*

**BUILDING AREAS**

BUILDING TYPE	BLDG FOOTPRINT	1ST FLOOR S.F.	2ND FLOOR S.F.	3RD FLOOR S.F.	TOTAL S.F.
BUILDING TYPE 1	52'-0" X 109'-8"	4,288 S.F.	4,288 S.F.	N/A	8,576 S.F.
BUILDING TYPE 2	64'-8" X 127'-8"	5,656 S.F.	5,656 S.F.	5,656 S.F.	16,968 S.F.
BUILDING TYPE 3	21'-4" X 78'-4"	1,671 S.F.	1,671 S.F.	N/A	3,342 S.F.
BUILDING TYPE 4	70'-8" X 171'-4"	8,840 S.F.	8,840 S.F.	N/A	17,680 S.F.
RECREATION BUILDING					3,139 S.F.
LAUNDRY/STORAGE					1,077 S.F.

**SITE PLAN**



**BUILDING MIX**

BUILDING	A	A1	B2	E	L	PER BLDG	NO. OF BLDG'S	TOTAL UNITS
TYPE 1	16					16	2	32
TYPE 2	24					24	10	240
TYPE 3			2			2	10	20
TYPE 4		8	8			16	16	256
<b>SUB TOTAL:</b>							38	548

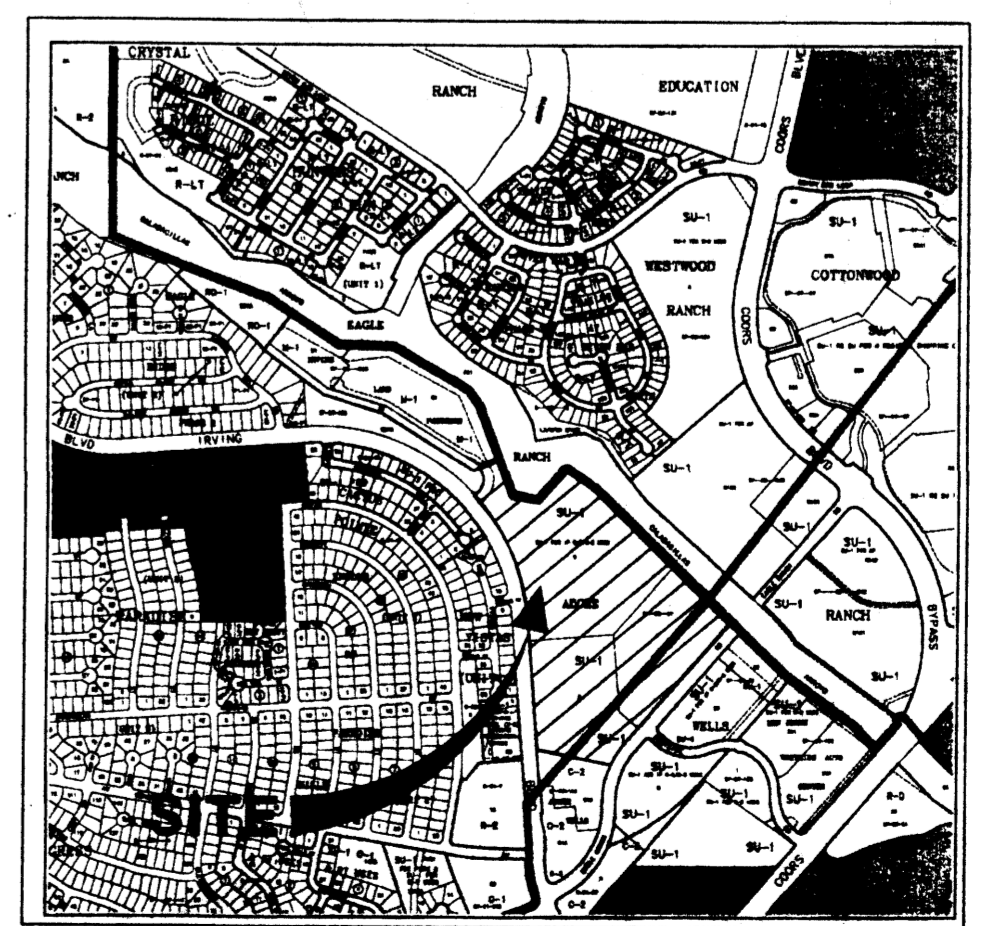
**SITE DEVELOPMENT PLAN SIGNATURE BLOCK**

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON OCTOBER 19, 2000, AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE HAVE BEEN COMPLIED WITH.

CITY PLANNER \_\_\_\_\_ DATE \_\_\_\_\_ CITY ENGINEER, ENGINEERING DIVISION/AMAFCA \_\_\_\_\_ DATE \_\_\_\_\_  
 TRAFFIC ENGINEER, TRANSPORTATION DIVISION \_\_\_\_\_ DATE \_\_\_\_\_ NEW MEXICO UTILITIES \_\_\_\_\_ DATE \_\_\_\_\_  
 PARKS AND RECREATION DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_ SOLID WASTE DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_  
 PUBLIC WORKS, WATER UTILITIES DIVISION \_\_\_\_\_ DATE \_\_\_\_\_

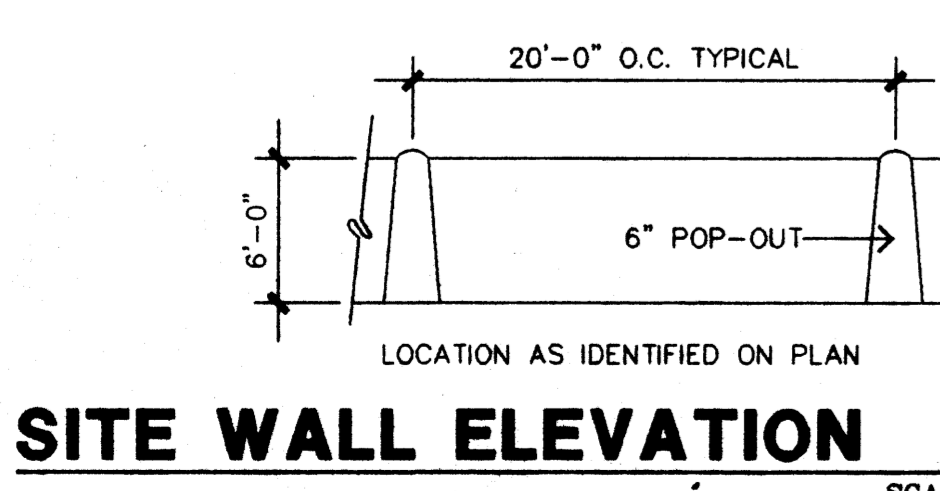
**SITE LEGENDS**

- PROPOSED FIRE HYDRANT
- PARKING CANOPIES - SEE 72/12.5
- PROPERTY LINE
- NO. OF PARKING SPACES
- NO. OF COVERED PARKING SPACES
- HANDICAPPED UNIT OR PARKING SPACE
- 6" POST LIGHT
- BUILDING MTD. LIGHT 14" A.F.F.
- INDICATES BUILDING NO. LOCATION
- BICYCLE RACKS



**VICINITY MAP**

NORTH  
 SCALE: 1" = 750'



**SITE WALL ELEVATION**

SCALE: 1/8" = 1'-0"

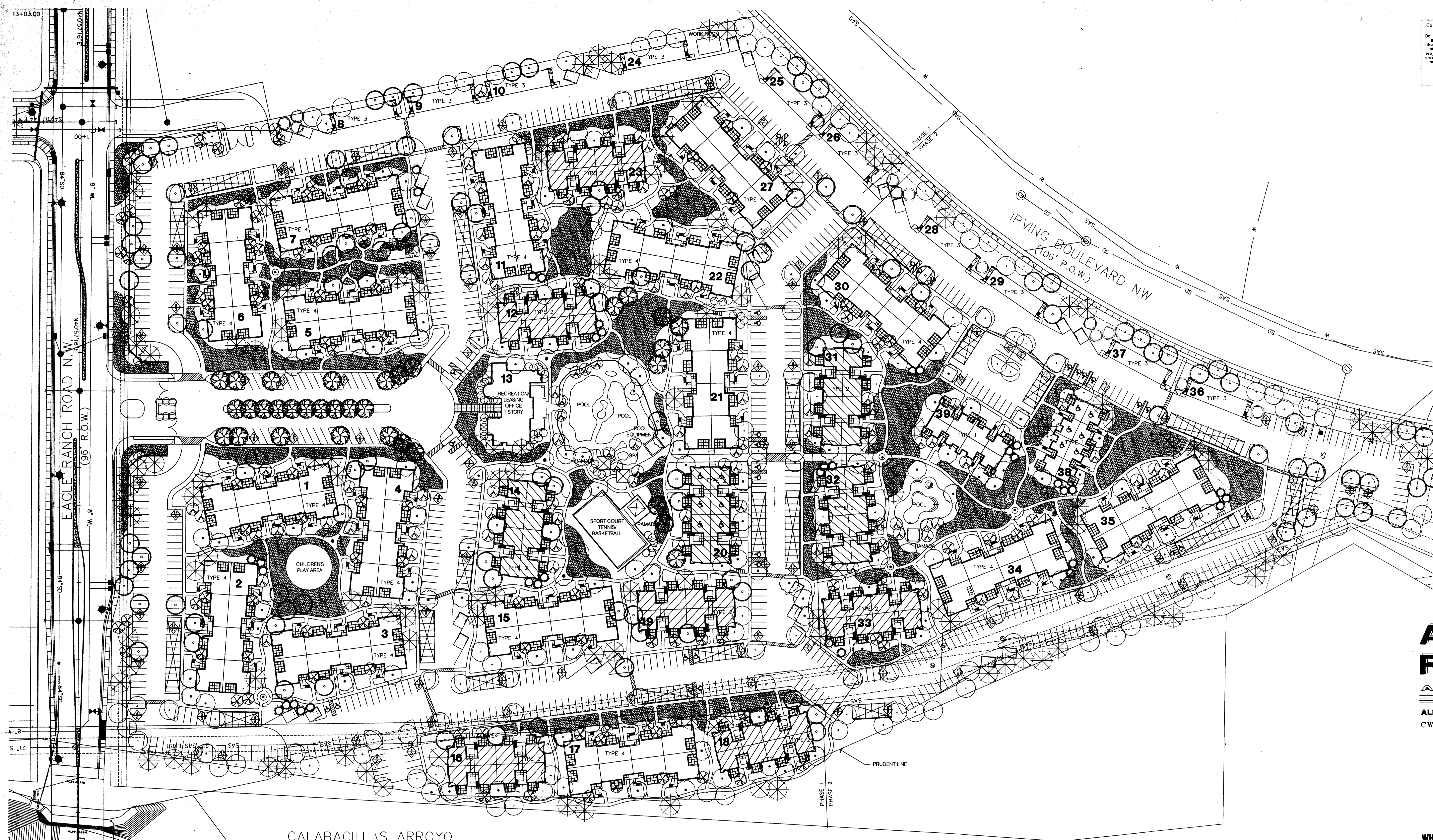
**CONSENSUS PLANNING, INC.**  
 Planning / Landscape Architecture  
 924 Park Avenue SW  
 Albuquerque, NM 87102  
 (505) 764-9801 Fax 842-5495  
 e-mail: cp@consensusplanning.com

**ARCHITECTURE AND PLANNING**  
 1  
 MM54  
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 JANUARY 9, 2001  
**SITE PLAN**



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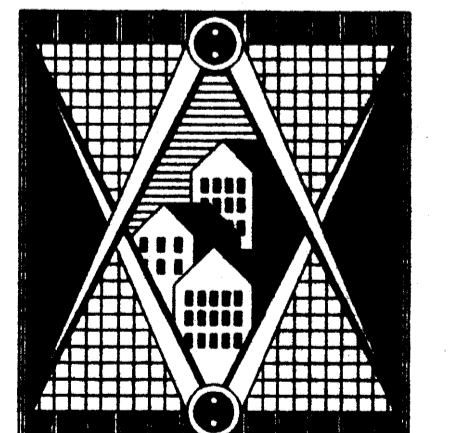
# ASPEN RANCH

APARTMENTS

ALBUQUERQUE, NEW MEXICO

CWR RESIDENTIAL LTD. CO.

**WHITNEYBELL ARCHITECTS INC**  
 1102 East Missouri Avenue  
 Phoenix, Arizona 85014-2784  
 (602)265-1891

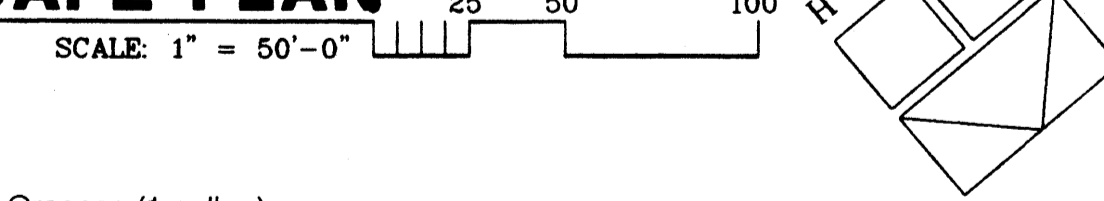


ARCHITECTURE AND PLANNING

**2**  
MM54

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## CONCEPTUAL LANDSCAPE PLAN



### GENERAL

The design and provision of landscape features within Aspen Ranch Apartments will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and the Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

### TREE REQUIREMENTS

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Eagle Ranch Road	Irving Boulevard
Required 28	Required 35
Provided 28	Provided 37

Trees required for multi-family residential per the City of Albuquerque Zoning Code are as follows:

Required	224
1 tree per ground floor unit	112
1 tree per each 2 second floor units	336
Provided	504

### PLANT PALETTE

- Evergreen Trees (6' Min. Height)  
Austrian Pine, Pinon Pine, Leylandi Cypress, Upright Juniper
- Deciduous Trees (2" Caliper Min.)  
Cottonwood, Modesto Ash, Skyline Honeylocust, Chinese Pistache
- Accent Trees (1 1/2" Caliper Min.)  
Aspen, Bradford Pear, Flowering Locust, Chitalpa, Desert Willow, New Mexico Olive, Chaste Tree
- Groundcovers and Shrubs (1 & 5 Gallon)  
(Not shown due to scale of drawing)  
Juniper Species, Potentilla, Chamisa, Artemesia Species, Red Yucca, Apache Plume, Barberry, Cotoneaster Species, Cherry Sage, Russian Sage, Three-leaf Sumac, Blue Mist, Yucca Species, Virginia Creeper, Rosemary, Santolina, Coyotebush, Dalea Species, Photinia, India Hawthorn, Nandina, Rose of Sharon, Mugho Pine

- Ornamental Grasses (1 gallon)  
(Not shown due to scale of drawing)  
Maiden Grass, Muhly Grass, Fountain Grass, Threadgrass
- Turf Grass (Sod)  
Kentucky Bluegrass

- Mulches  
Santa Fe Brown Crusher Fines, 3/4" Santa Fe Brown Rock Mulch, 2" - 4" Santa Ana Tan Rock Mulch, Moss Rock Boulders (3' dia.)

**IRRIGATION SYSTEM**  
 Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system will be utilized to irrigate turf, and tree, shrub, and groundcover planting areas.

**MAINTENANCE RESPONSIBILITY**  
 Maintenance of the landscaping and irrigation system, including that within the adjacent public right-of-way, shall be the responsibility of the owner.

### UTILITY NOTES

The use of trees in utility easements shall meet a minimum clearance of 3' from underground utility lines. Plant species known to have invasive root systems have generally been avoided in utility easements.

### ZONING CODE LANDSCAPE REQUIREMENTS

Total Site Area	1,363,428 SF
Building Footprint/Service Areas	225,892 SF
Public R.O.W. Landscape	17,025 SF

Total Area	1,120,511 SF
Required Percentage	X.15

Landscape Area Required	168,076 SF
Landscape Area Provided	756,210 SF

High water use turf allowed (20%)	151,242 SF
High water use turf provided	112,799 SF

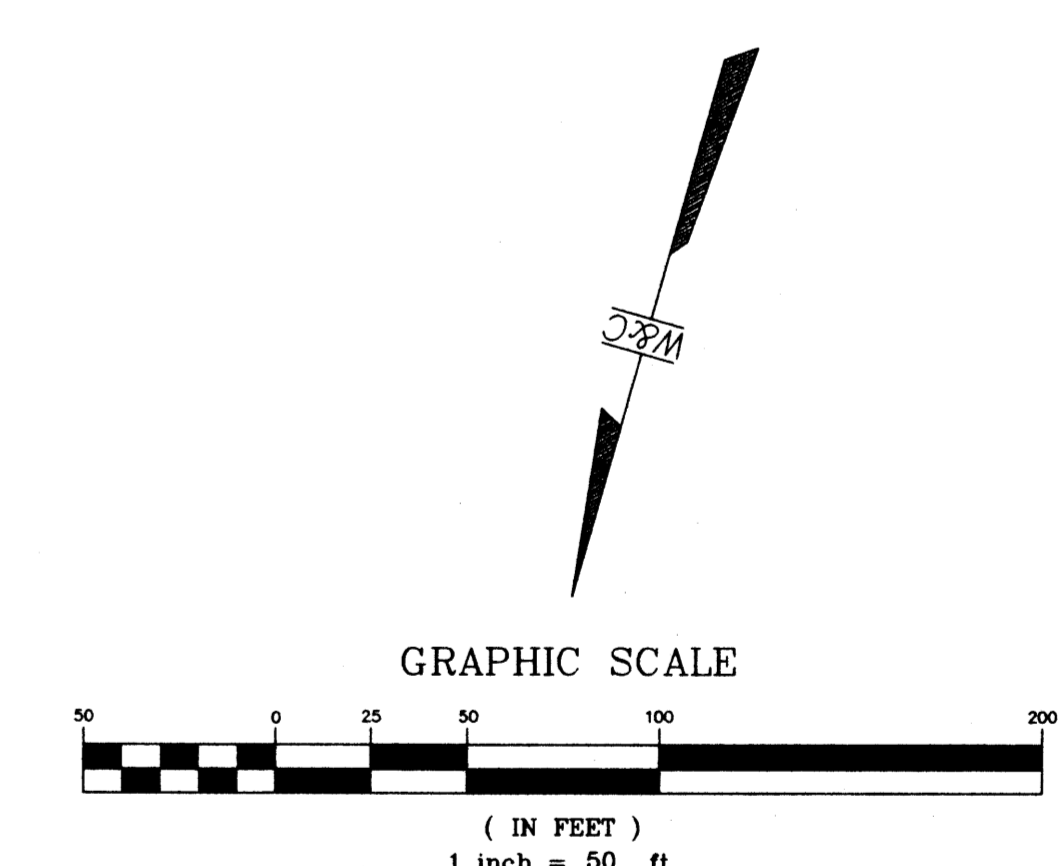
**CONSENSUS PLANNING, INC.**  
 Planning / Landscape Architecture  
 924 Park Avenue SW  
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**CONCEPTUAL LANDSCAPE PLAN**



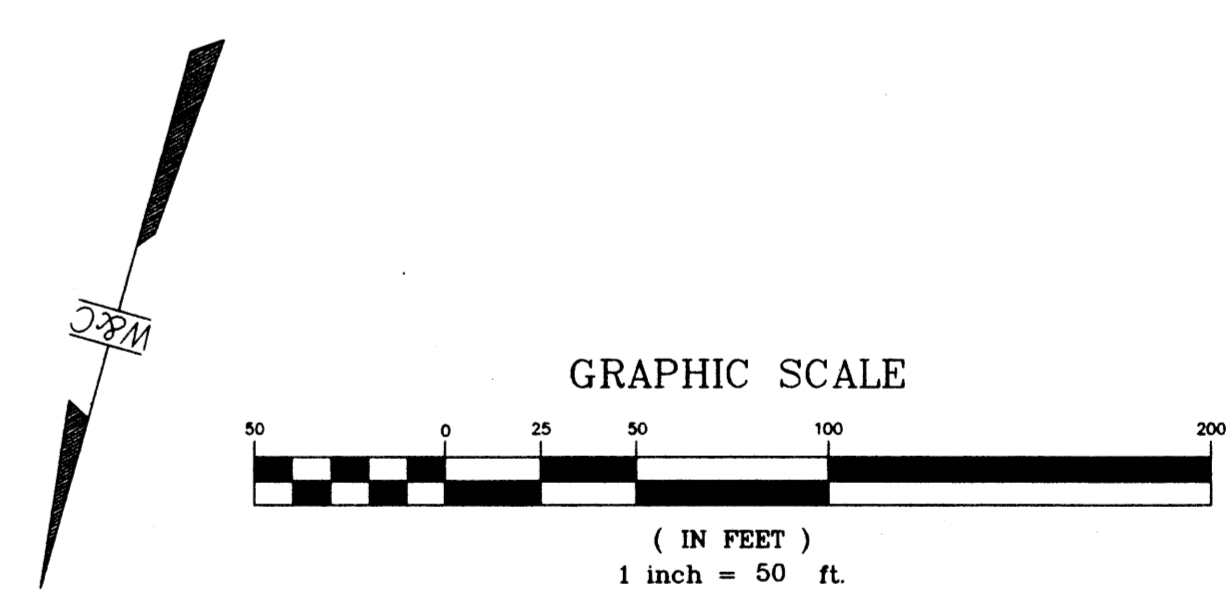


- REFUSE STORAGE (TYP.)
- PROPOSED STAR CASE (TYP.)
- PROPOSED RETAINING WALL
- PROPOSED LANDSCAPE REFER TO LANDSCAPE SHEETS
- PROPOSED RETAINING WALL
- MECHANICAL ROOM
- PROPOSED CANOPY STRUCTURE (TYP.)
- 10'-0" CHAIN LINK FENCE
- PROPOSED RETAINING WALL (TYP.)
- 4" WHITE TRAFFIC PAINT (TYP.)
- EXISTING POWER POLE TO BE RELOCATED BY OTHERS
- WHEEL CHAIR ACCESS RAMP PER STD DWG 24-1 (TYP.)



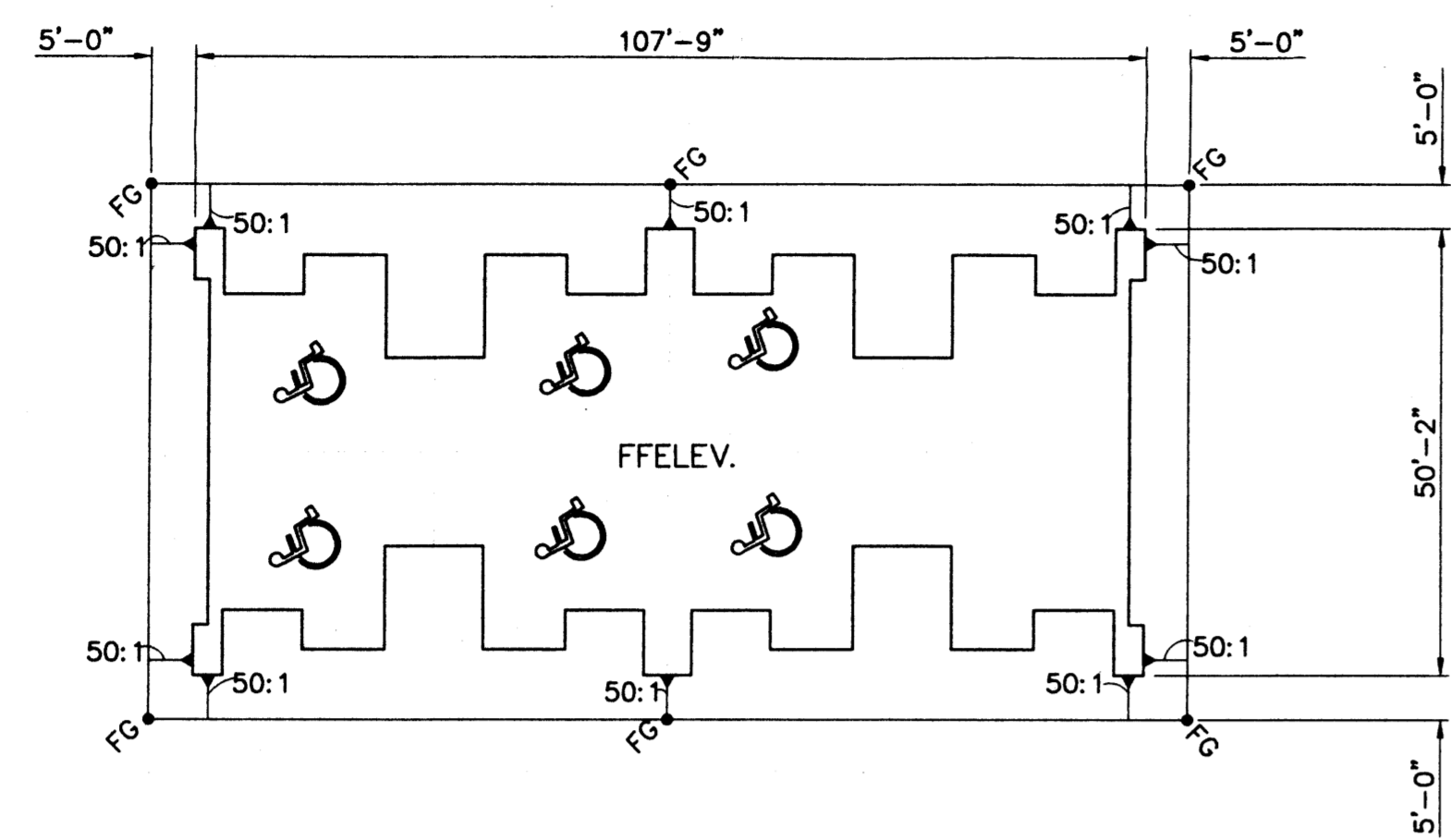
<b>WILSON &amp; COMPANY</b> 4900 LANG AVENUE N.E. ALBUQUERQUE, NEW MEXICO 87109 (505) 348-4000			DATE JAN. 2001
			FILE NO. XO-218-024
		DESIGN MJL	DRAWN WLW
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP <b>ASPEN RANCH APARTMENTS</b> <b>SITE PLAN/TRAFFIC CIRCULATION LAYOUT</b>			
Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr. Ms./Day/Yr.
City Project No.	Zone Map No. C-13	Sheet 1 of 19 C-1	



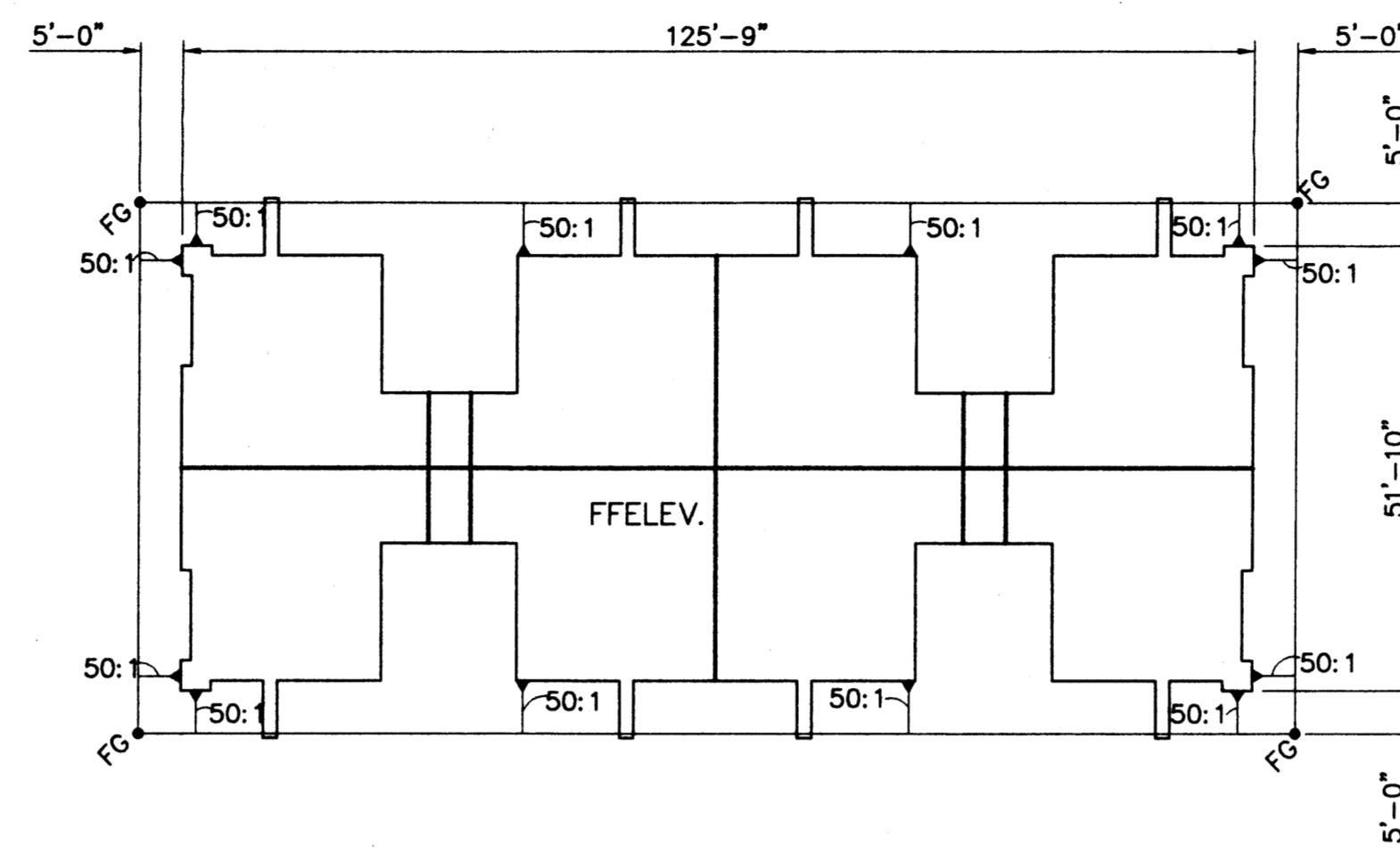


<b>WILSON &amp; COMPANY</b> 4900 LANG AVENUE N.E. ALBUQUERQUE, NEW MEXICO 87109 (505) 348-4000			DATE JAN. 2001
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<b>ASPEN RANCH APARTMENTS          SITE PLAN/TRAFFIC CIRCULATION LAYOUT</b>			
Design Review Committee	City Engineer Approval	Last Design Update Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No. C-13	Sheet	2 of 19 C-2

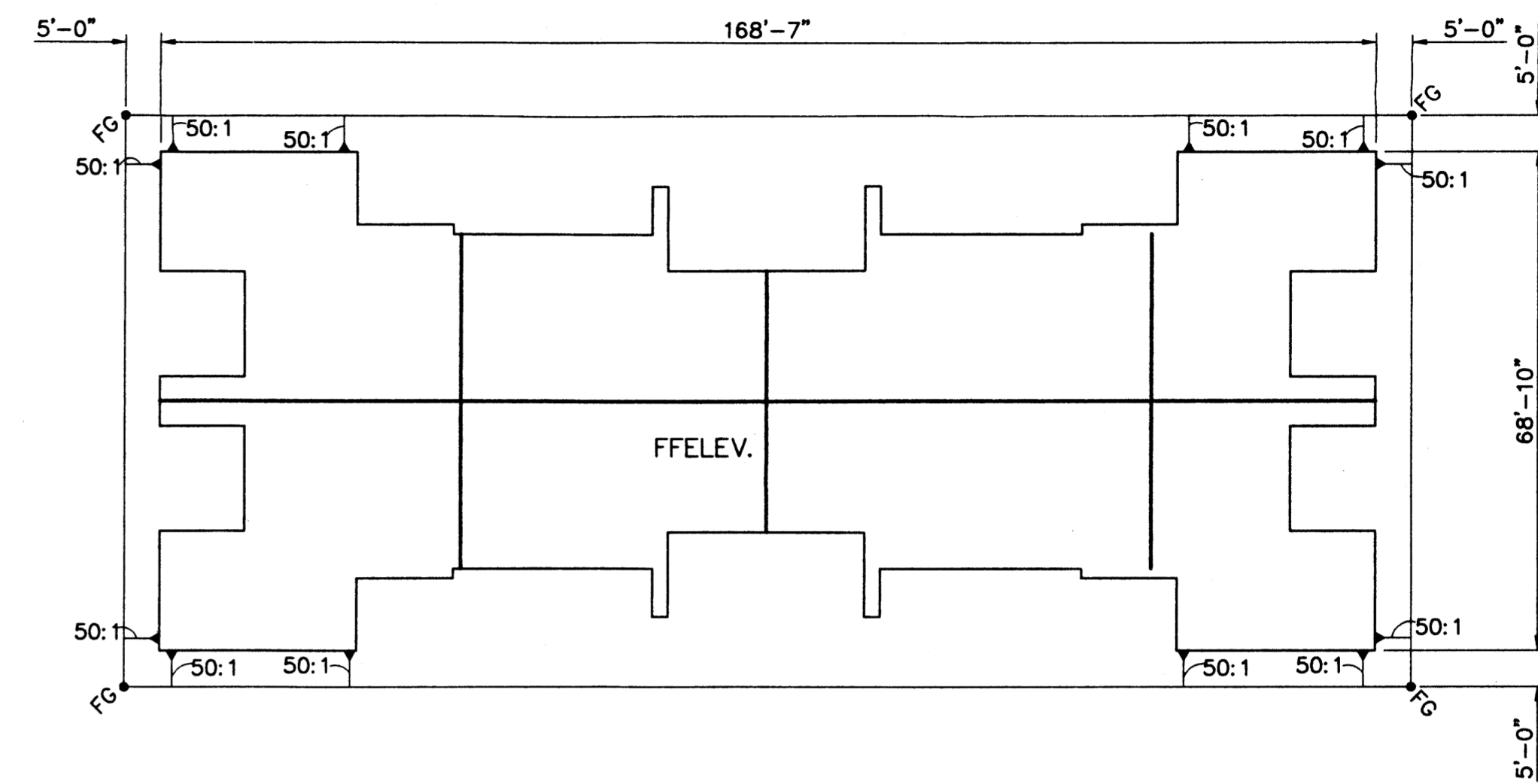




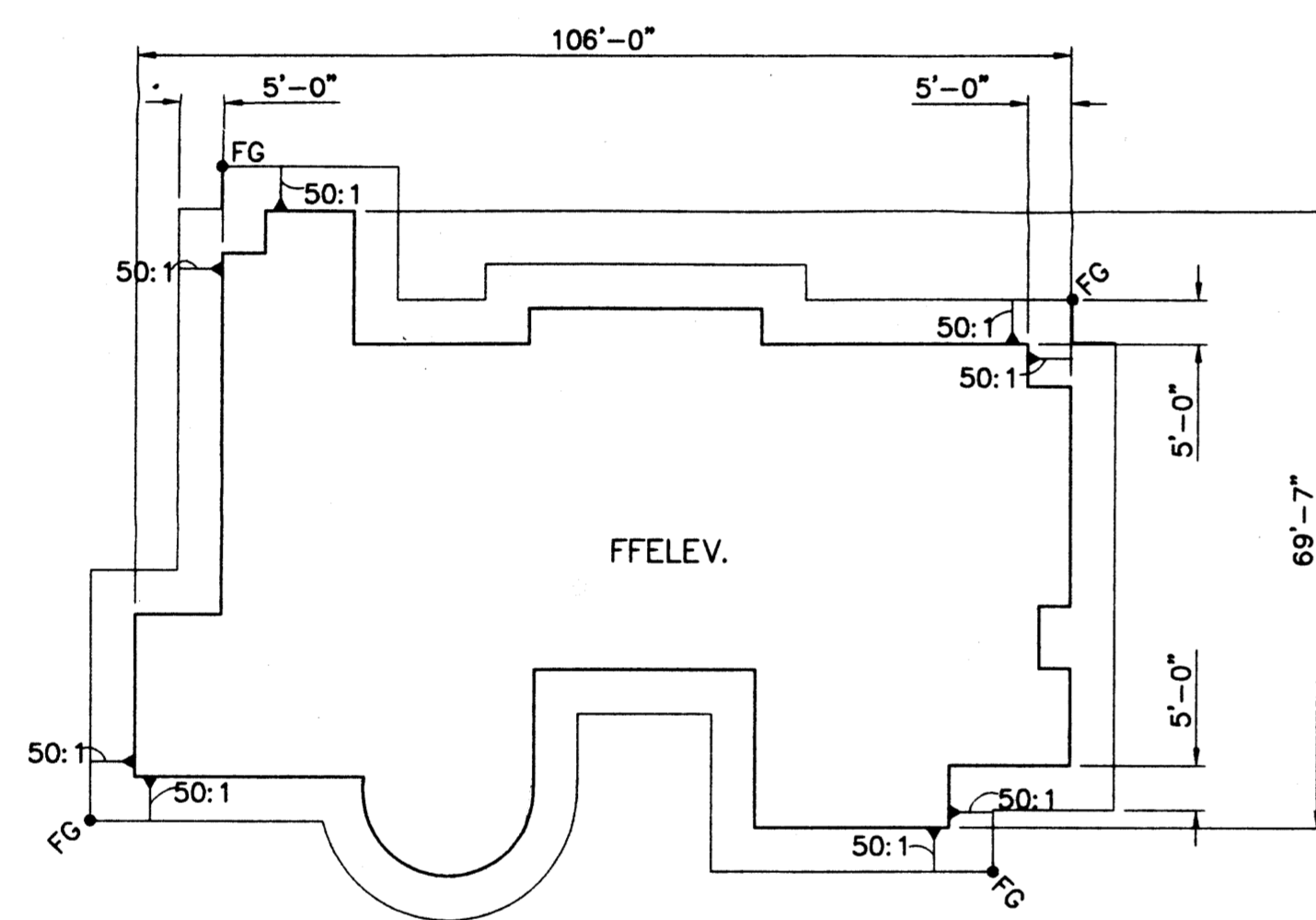
**TYPE "1" BUILDING**  
SCALE: 1" = 20'



**TYPE "2" BUILDING**  
SCALE: 1" = 20'



**TYPE "4" BUILDING**  
SCALE: 1" = 20'



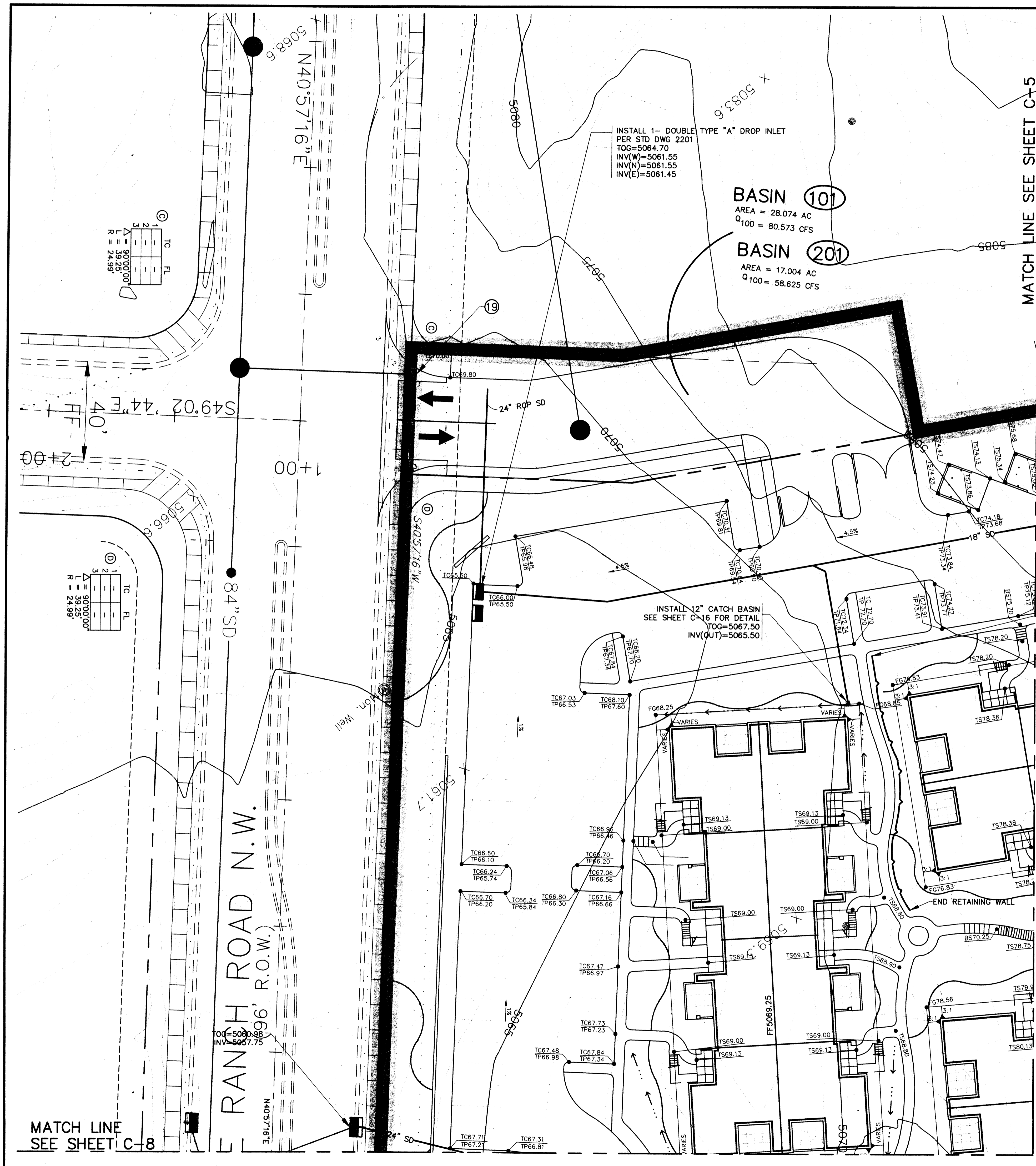
**CLUBHOUSE**  
SCALE: 1" = 20'

**BUILDING GRADING ENVELOPE**

1. A FIVE FOOT OFFSET ENVELOPE, MEASURED FROM EXTERIOR WALL SHALL BE GRADED TO SLOPE AWAY FROM BUILDING AT 2% (50:1) MINIMUM OR AS SHOWN ON GRADING & DRAINAGE PLAN. WHERE GRADING PLAN SHOWS LESS THAN 2% (50:1) GRADE, CONTRACTOR SHALL ADHERE TO SAID MINIMUM.

<b>WILSON &amp; COMPANY</b> 4900 LANG AVENUE N.E. ALBUQUERQUE, NEW MEXICO 87109 (505) 348-4000		DATE JAN. 2001
		FILE NO. X0-218-024
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP		DESIGN M.J.
<b>ASPEN RANCH APARTMENTS</b> <b>GRADING &amp; DRAINAGE DETAILS SHEET</b>		DRAWN J.L.B.
Design Review Committee	City Engineer Approval	Last Design Update
		Mo./Day/Yr. Mo./Day/Yr.
City Project No.	Zone Map No. C-13	Sheet 3 of 19 C-3





**DRAINAGE REPORT**

**Site Location:** Annexing lands west of Coors Road NW between the south boundary of the town of Alameda Grant and the Calabacillas Arroyo.

**Methodology:** Section 22.2 Part A of the City of Albuquerque DPM was employed in the analysis for peak rate of discharge and volumetric runoff. The 100-year frequency, 6-hour event design storm was applied. The site is located in Zone 1.

**Existing Conditions:** The total area of the property is 28.07 acres and is designated as Basin 101. The terrain is uncompacted rolling hillside, sandy soil with native vegetation. The site slopes west to east with varying slopes ranging from 3% to 25% grades. Flows are conveyed via a tributary arroyo and discharges onto the Calabacillas arroyo near the southwest corner of the Eagle Ranch Road Bridge. Table 1 provides a breakdown of existing land treatments, volumetric runoff, and peak discharge.

**Table 1: Existing Conditions**

Basin	Area (ac)	Treatment				V <sub>100</sub> (ac-ft)	Q <sub>100</sub> (cfs)
		%A	%B	%C	%D		
101	28.074	0	0	100.0	0	2.316	80.573

**Proposed Conditions:** The site will be developed into an apartment complex. Wilson & Company recently prepared a Drainage Report for Special Assessment District 226 (SAD 226), which was approved by City of Albuquerque in March 2000. Wilson & Company designed and managed the construction of an 84" storm drain line located on Eagle Ranch Road. The storm drain was designed to accommodate approximately 61 cfs from the proposed site. However, the analysis assumes a commercial site with 90% impervious land type.

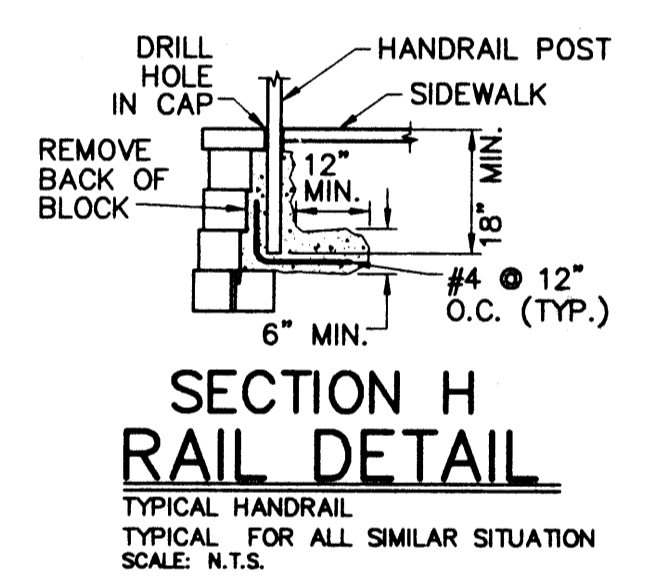
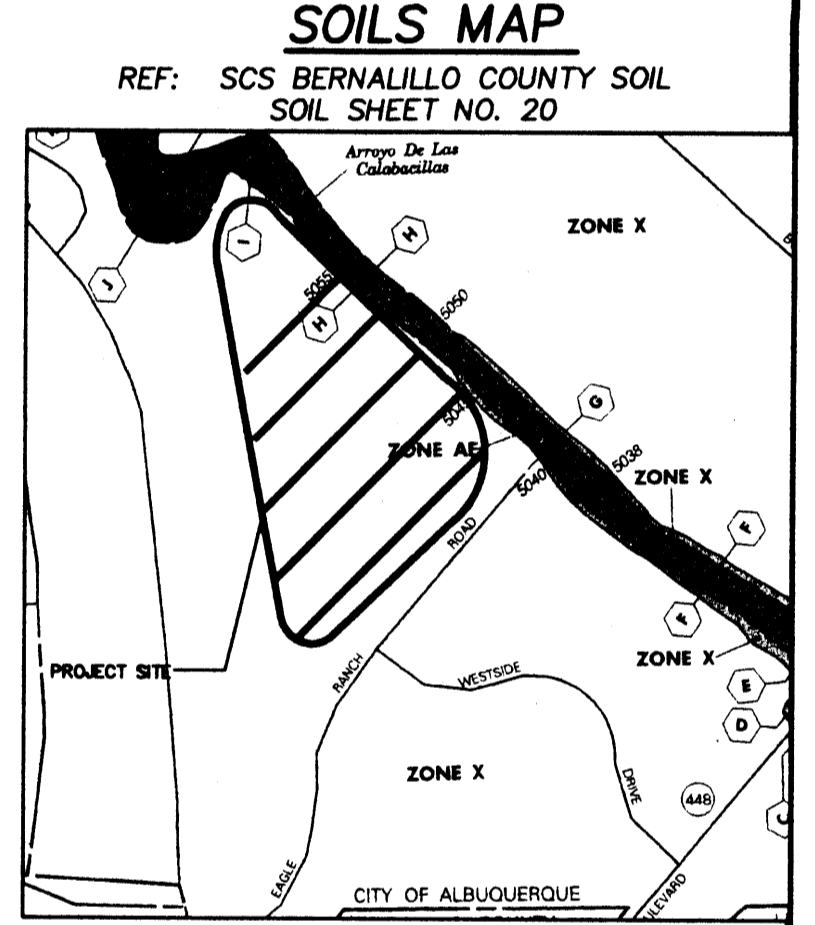
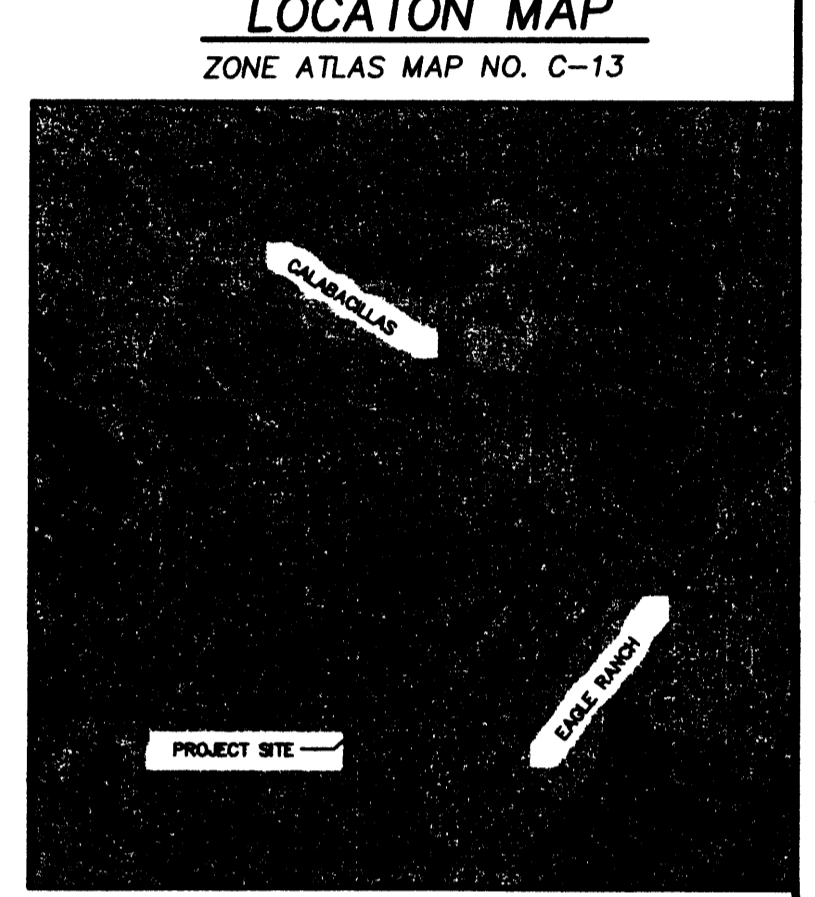
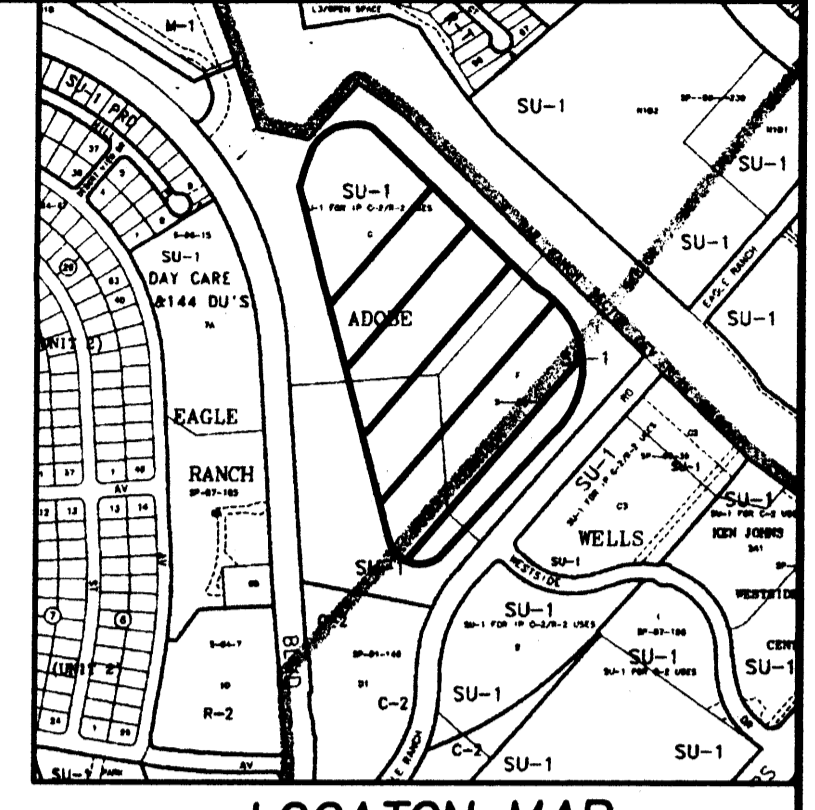
The proposed apartment complex will feature approximately 282,858 FT<sup>2</sup> of apartment and facility floor, 352,585 FT<sup>2</sup> of asphalt paving, and the remaining area for landscaping and bare grading. Proposed total development of the site will comprise of approximately 54% impervious land type, thus a decrease of 36% from the original SAD 226 Drainage Report. The site is divided into two sub-basins; basin 201 and 202.

Basin 201 comprises the western half of the site. Runoff is collected by proposed catch basins, routed via underground storm drain, and discharged onto the Calabacillas Arroyo on the north. Basin 202 occupies the area to the east. Runoff sheet flows to two locations; northeast corner and southeast corner of the site. Flows are captured by catch basins and routed to an existing 84" storm drain along Eagle Ranch Road.

**Table 2: Proposed Conditions**

Basin	Area (ac)	Treatment				V <sub>100</sub> (ac-ft)	Q <sub>100</sub> (cfs)
		%A	%B	%C	%D		
201	17.004	0	24.0	24.0	52.0	2.016	58.625
202	11.070	0	24.0	24.0	52.0	1.312	38.166

**Conclusions:** Existing site conditions yield a peak volumetric runoff of 2.316 acre-ft, which is discharged onto Calabacillas Arroyo. Proposed improvements will increase total volumetric runoff to 3.328 acre-ft. However, collection and discharge points will change. The western half of the site will be collected by catch basins and discharged onto the Calabacillas Arroyo via a proposed storm drainpipe near the north end of the site. The eastern half of the site will be collected by catch basins and routed to an 84" storm drain with adequate capacity to accommodate proposed site runoff. Proposed improvements will improve drainage conditions and thereby have no significant impact on right-of-way.



- LEGEND**
- 5070 EXISTING MINOR CONTOUR
  - EXISTING MAJOR CONTOUR
  - 30" SD PROPOSED STORM DRAIN
  - PROPOSED MANHOLE
  - PROPOSED HIGH POINT ELEVATION
  - EXISTING SPOT ELEVATION
  - PROPOSED SPOT ELEVATION
  - BASIN (101) EXISTING BASIN DESIGNATION
  - BASIN (201) PROPOSED BASIN DESIGNATION
  - PROPOSED BASIN BOUNDARY
  - EXISTING BASIN BOUNDARY
  - PROPOSED FLOW ARROW
  - FF5095 FINISHED FLOOR ELEVATION
  - PROPOSED RETAINING WALL
  - PROPOSED INLET
  - EXISTING STORM DRAIN INLET
  - EXISTING EASEMENT
  - EXISTING ROW
  - EXISTING PRUDENT LINE
  - UNDER GROUND TELEPHONE LINE
  - EXISTING WATERLINE
  - OVERHEAD POWER LINE
  - EXISTING SANITARY SEWER LINE
  - EXISTING POWER POLE
  - EXISTING STORM DRAIN MANHOLE
  - EXISTING SANITARY SEWER MANHOLE

**LEGAL DESCRIPTION**

A PORTION OF TRACT E AND ALL OF TRACTS F AND G SITUATED IN THE TOWN OF ALAMEDA GRANT WITHIN PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, NEW MEXICO; MORE SPECIFICALLY SHOWN AND DESIGNATED ON THE PLAT ENTITLED "SUBDIVISION PLAT MAP FOR ADOBE WELLS SUBDIVISION", FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON OCTOBER 30, 1987, IN VOLUME C35, FOLIO 7.

**GRAPHIC SCALE**

(IN FEET)  
1 inch = 20 ft.

**WILSON & COMPANY**  
4900 LANG AVENUE N.E.  
ALBUQUERQUE, NEW MEXICO 87109  
(505) 348-4000

DATE: JAN. 2001  
FILE NO.: XO-218-024  
DESIGN: M.J.I.  
DRAWN: J.L.B.

CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING GROUP

**ASPEN RANCH APARTMENTS  
GRADING & DRAINAGE PLAN**

Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.

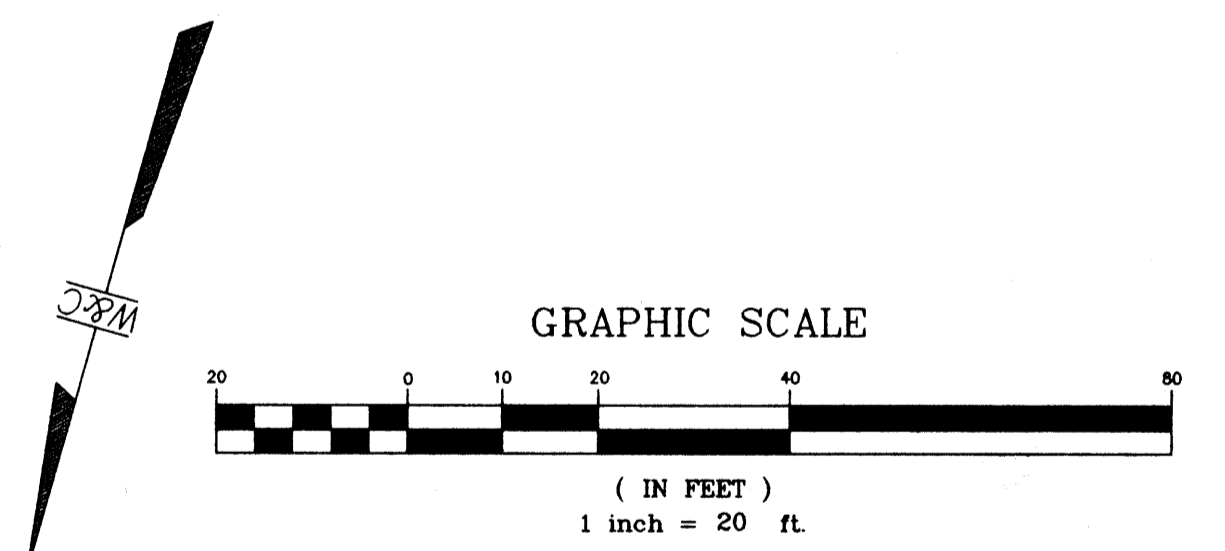
City Project No. \_\_\_\_\_ Zone Map No. C-13 Sheet 4 of 19 C-4





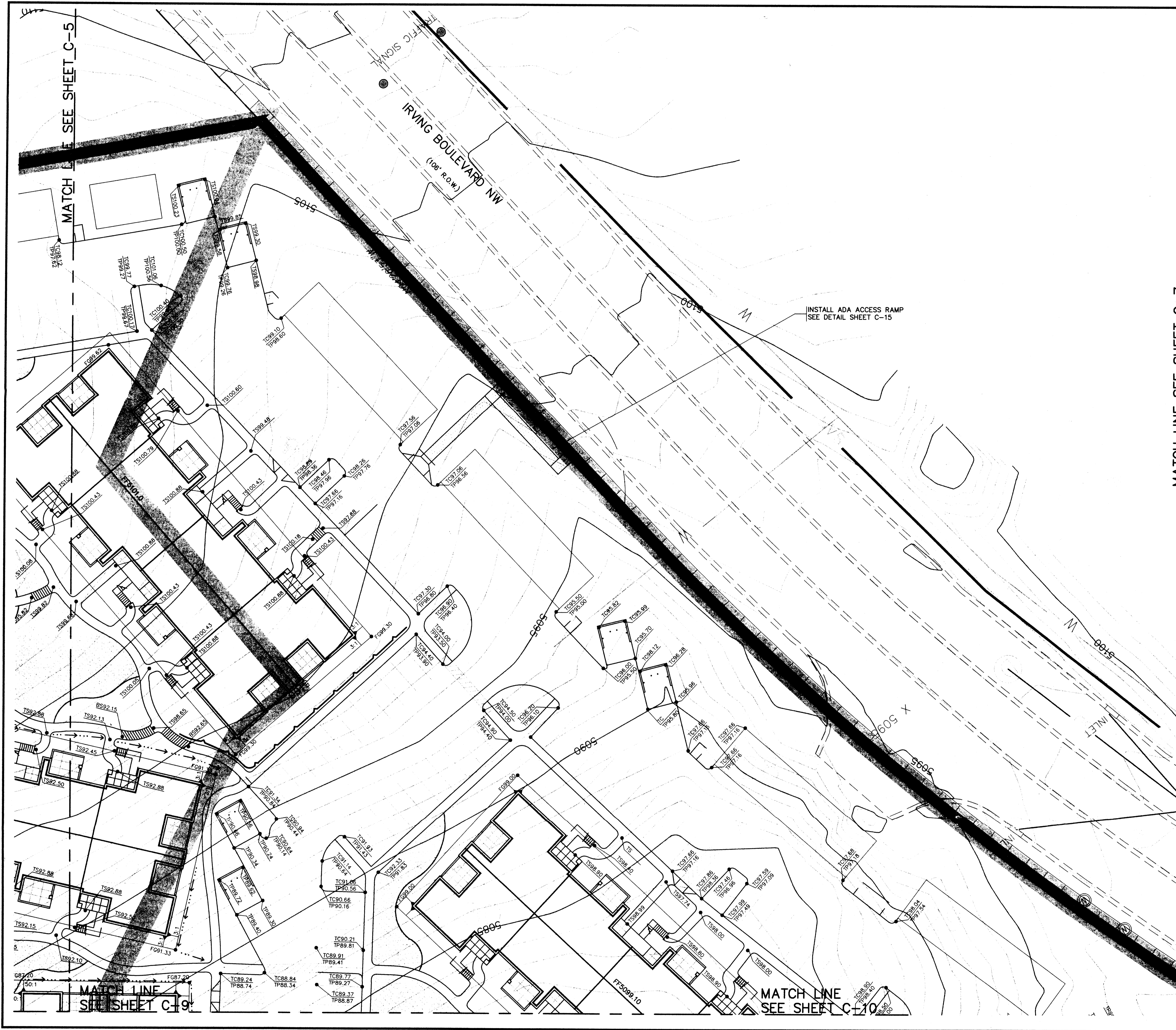
**LEGEND**

- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- PROPOSED STORM DRAIN
- PROPOSED MANHOLE
- PROPOSED HIGH POINT ELEVATION
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- EXISTING BASIN DESIGNATION
- PROPOSED BASIN DESIGNATION
- PROPOSED BASIN BOUNDARY
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- UNDER GROUND TELEPHONE LINE
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- EXISTING POWER POLE
- EXISTING STORM DRAIN MANHOLE
- EXISTING SANITARY SEWER MANHOLE



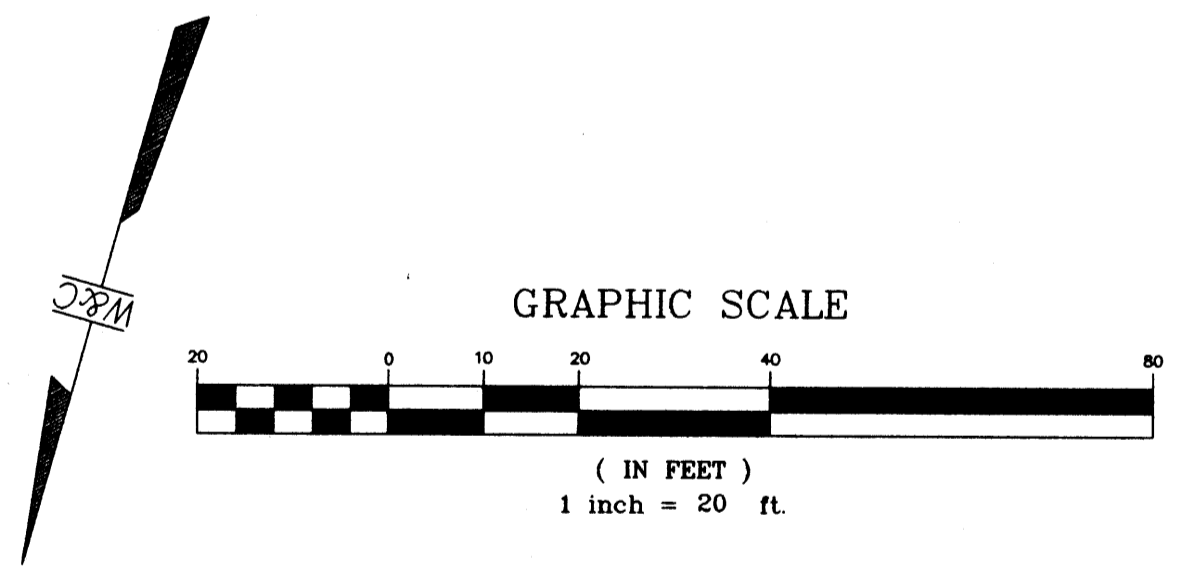
<p><b>WILSON &amp; COMPANY</b>          4900 LANG AVENUE N.E.          ALBUQUERQUE, NEW MEXICO          87109          (505) 348-4000</p>		DATE JAN. 2001										
	FILE NO. XO-218-045	DESIGN DRAWN M.J. J.L.B.										
<p>CITY OF ALBUQUERQUE          PUBLIC WORKS DEPARTMENT          ENGINEERING GROUP</p> <p><b>ASPEN RANCH APARTMENTS          GRADING &amp; DRAINAGE PLAN</b></p>												
Design Review Committee	City Engineer Approval	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Mo./Day/Yr.</th> <th>Mo./Day/Yr.</th> </tr> </thead> <tbody> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </tbody> </table>	Mo./Day/Yr.	Mo./Day/Yr.								
Mo./Day/Yr.	Mo./Day/Yr.											
City Project No.	Zone Map No. C-13	Sheet 5 of 19 C-5										





**LEGEND**

- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- PROPOSED STORM DRAIN
- PROPOSED MANHOLE
- PROPOSED HIGH POINT ELEVATION
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- EXISTING BASIN DESIGNATION
- PROPOSED BASIN DESIGNATION
- PROPOSED BASIN BOUNDARY
- EXISTING BASIN BOUNDARY
- PROPOSED FLOW ARROW
- FINISHED FLOOR ELEVATION
- PROPOSED RETAINING WALL
- PROPOSED INLET
- EXISTING STORM DRAIN INLET
- EXISTING EASEMENT
- EXISTING ROW
- EXISTING PRUDENT LINE
- UNDER GROUND TELEPHONE LINE
- EXISTING WATERLINE
- OVERHEAD POWER LINE
- EXISTING SANITARY SEWER LINE
- EXISTING POWER POLE
- EXISTING STORM DRAIN MANHOLE
- EXISTING SANITARY SEWER MANHOLE

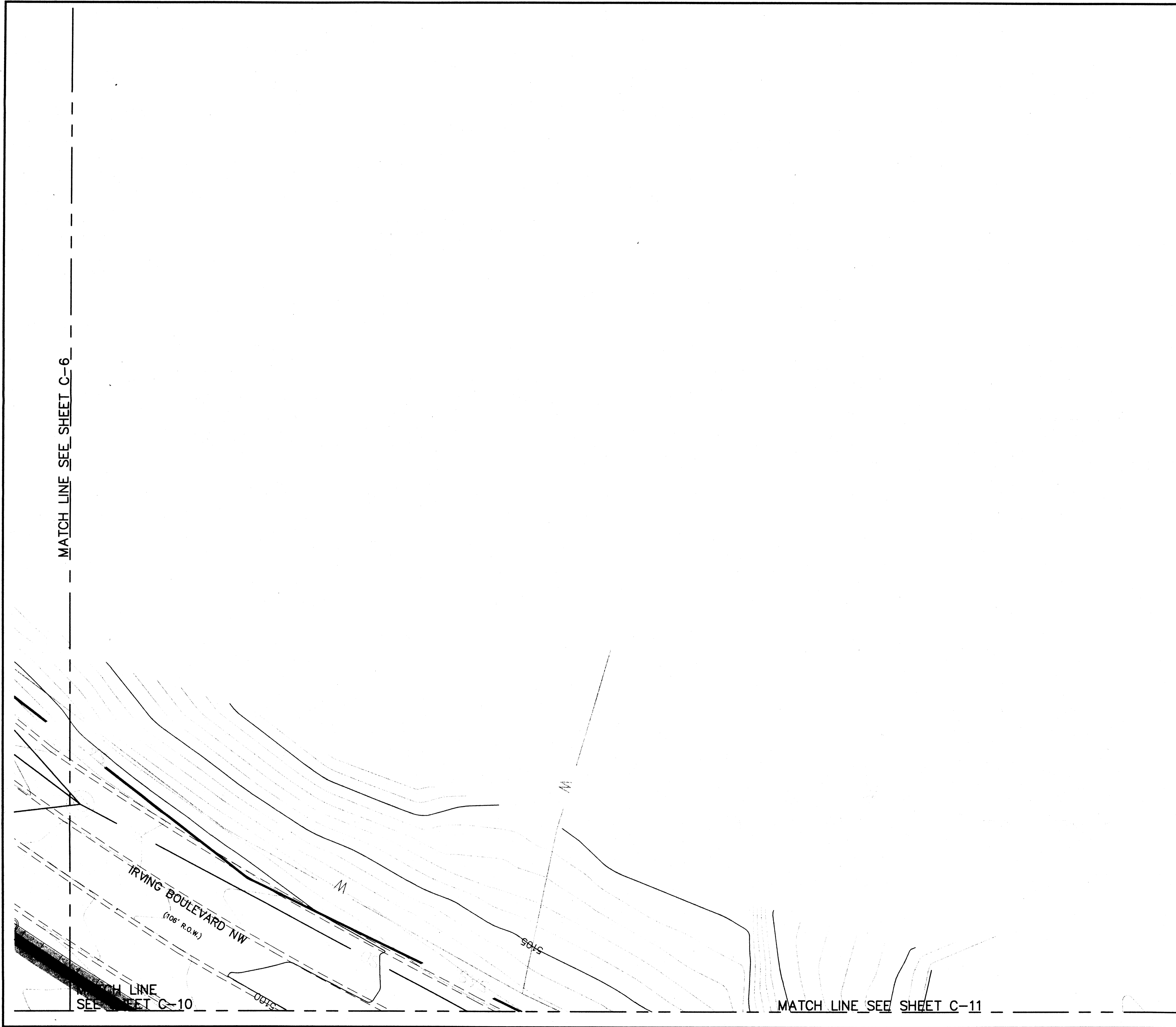


MATCH LINE SEE SHEET C-7

MATCH LINE SEE SHEET C-5

<p><b>WILSON &amp; COMPANY</b> 4900 LANG AVENUE N.E. ALBUQUERQUE, NEW MEXICO 87109 (505) 348-4000</p>				DATE JAN. 2001
		FILE NO. X0-218-045	DESIGN MJI	DRAWN JLB
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP				
<b>ASPEN RANCH APARTMENTS GRADING &amp; DRAINAGE PLAN</b>				
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.	
		Lost Design Update		
City Project No.	Zone Map No. C-13	Sheet 6 of 19 C-6		





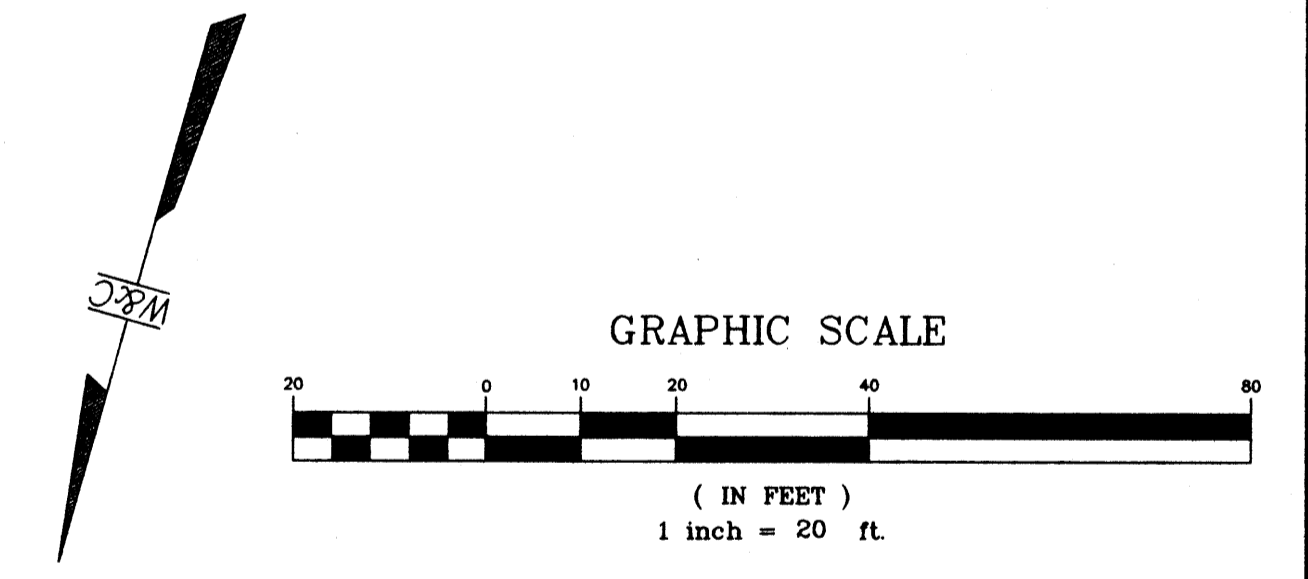
MATCH LINE SEE SHEET C-6

MATCH LINE SEE SHEET C-10

MATCH LINE SEE SHEET C-11

**LEGEND**

- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- PROPOSED STORM DRAIN
- PROPOSED MANHOLE
- PROPOSED HIGH POINT ELEVATION
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- EXISTING BASIN DESIGNATION
- PROPOSED BASIN DESIGNATION
- PROPOSED BASIN BOUNDARY
- EXISTING BASIN BOUNDARY
- PROPOSED FLOW ARROW
- FINISHED FLOOR ELEVATION
- PROPOSED RETAINING WALL
- PROPOSED INLET
- EXISTING STORM DRAIN INLET
- EXISTING EASEMENT
- EXISTING ROW
- EXISTING PRUDENT LINE
- UNDER GROUND TELEPHONE LINE
- EXISTING WATERLINE
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- EXISTING SANITARY SEWER LINE
- EXISTING POWER POLE
- EXISTING STORM DRAIN MANHOLE
- EXISTING SANITARY SEWER MANHOLE



<b>WILSON &amp; COMPANY</b> 4900 LANG AVENUE N.E. ALBUQUERQUE, NEW MEXICO 87109 (505) 348-4000			DATE JAN. 2001
			FILE NO. X0-218-045
DESIGN MJJ	DRAWN JLB	CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP	
<b>ASPEN RANCH APARTMENTS          GRADING &amp; DRAINAGE PLAN</b>			
Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	of 19
	C-13	C-7	C-7

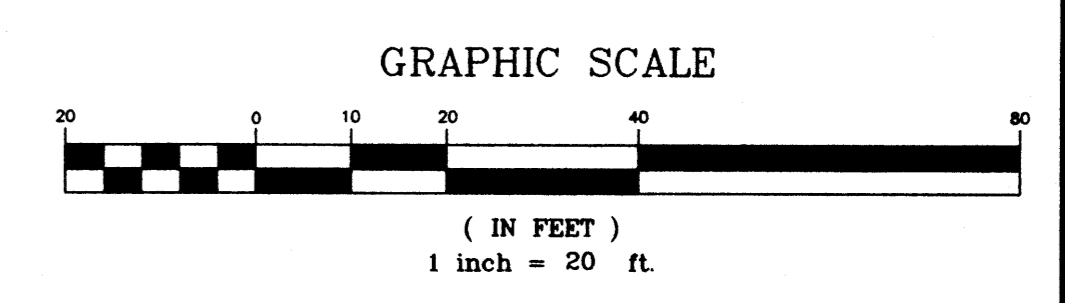




INSTALL 12" CATCH BASIN  
SEE DETAIL SHEET C-6 FOR DETAIL  
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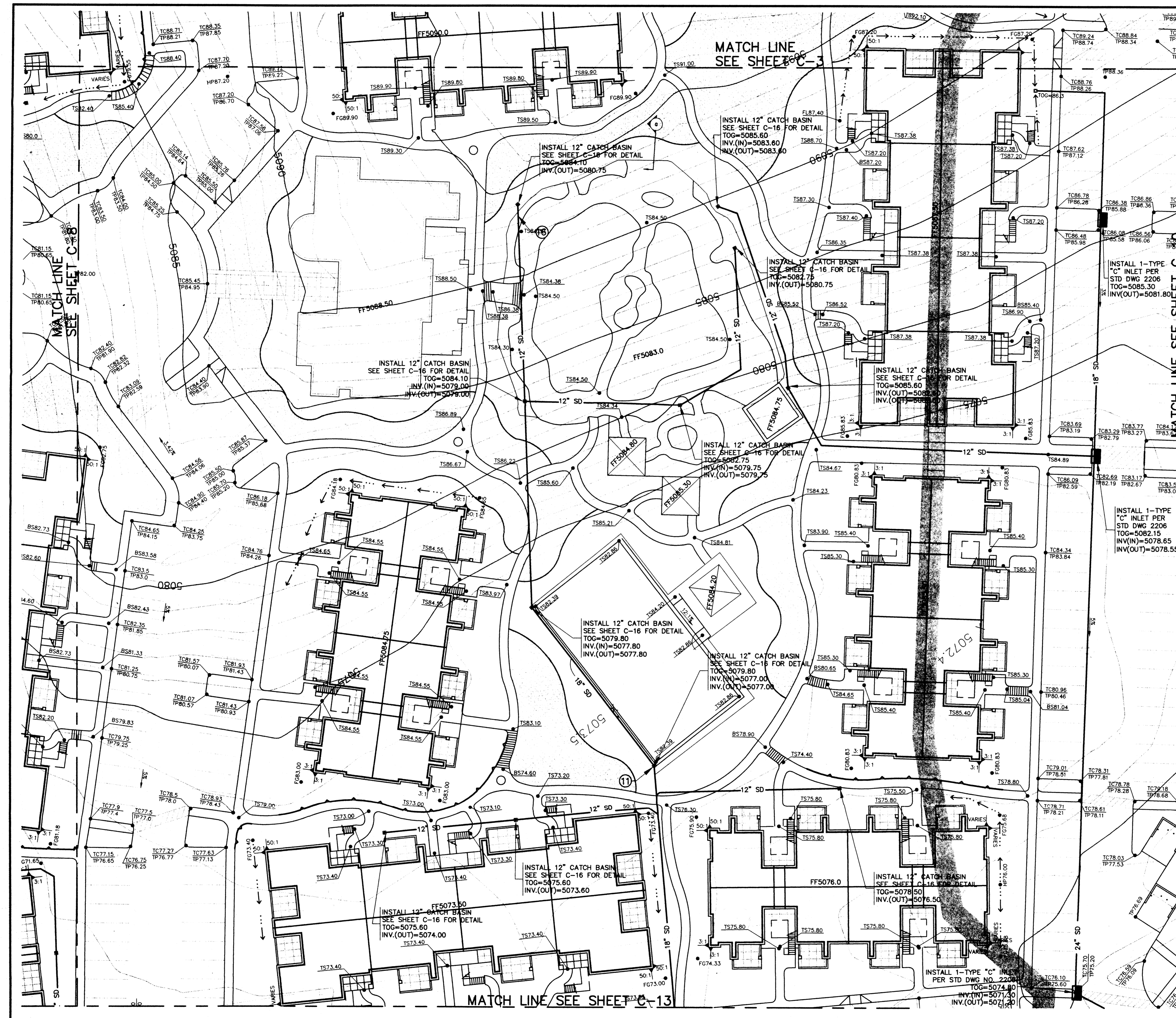
**LEGEND**

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- EXISTING MAJOR CONTOUR
- PROPOSED STORM DRAIN
- PROPOSED MANHOLE
- PROPOSED HIGH POINT ELEVATION
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- EXISTING BASIN DESIGNATION
- PROPOSED BASIN DESIGNATION
- PROPOSED BASIN BOUNDARY
- EXISTING BASIN BOUNDARY
- PROPOSED FLOW ARROW
- FINISHED FLOOR ELEVATION
- PROPOSED RETAINING WALL
- PROPOSED INLET
- EXISTING STORM DRAIN INLET
- EXISTING EASEMENT
- EXISTING ROW
- EXISTING PRUDENT LINE
- UNDER GROUND TELEPHONE LINE
- EXISTING WATERLINE
- OVERHEAD POWER LINE
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- EXISTING POWER POLE
- EXISTING STORM DRAIN MANHOLE
- EXISTING SANITARY SEWER MANHOLE

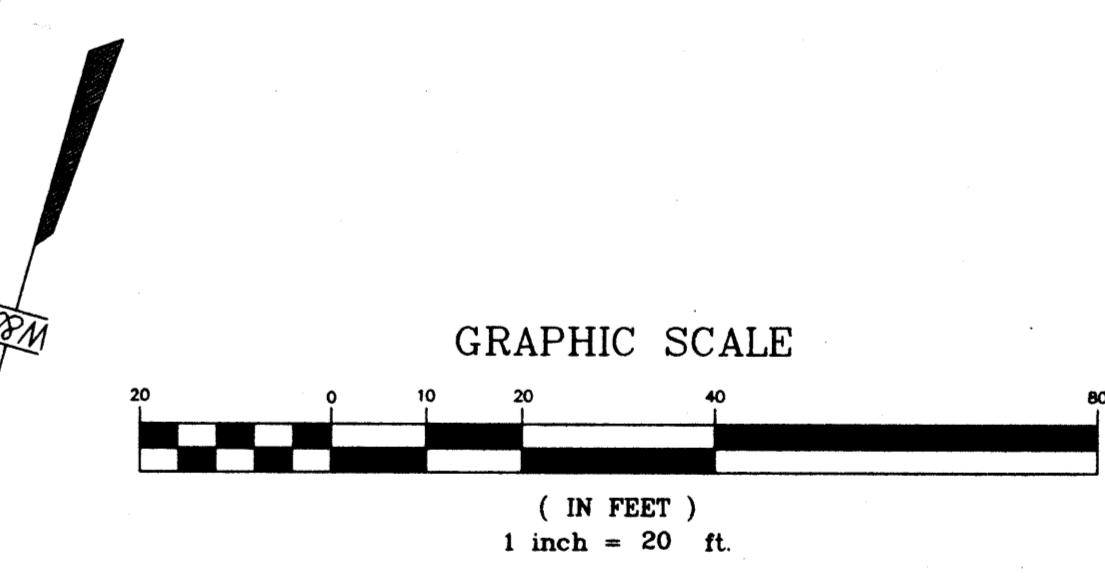


<p><b>WILSON &amp; COMPANY</b> 4900 LANG AVENUE N.E. ALBUQUERQUE, NEW MEXICO 87109 (505) 348-4000</p>				DATE JAN. 2001
		FILE NO. XO-218-045		DESIGN DRAWN M.J. J.L.B.
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP				
<b>ASPEN RANCH APARTMENTS GRADING &amp; DRAINAGE PLAN</b>				
Design Review Committee	City Engineer Approval	Least Design Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	8 of 19	
	C-13	C-8	C-8	



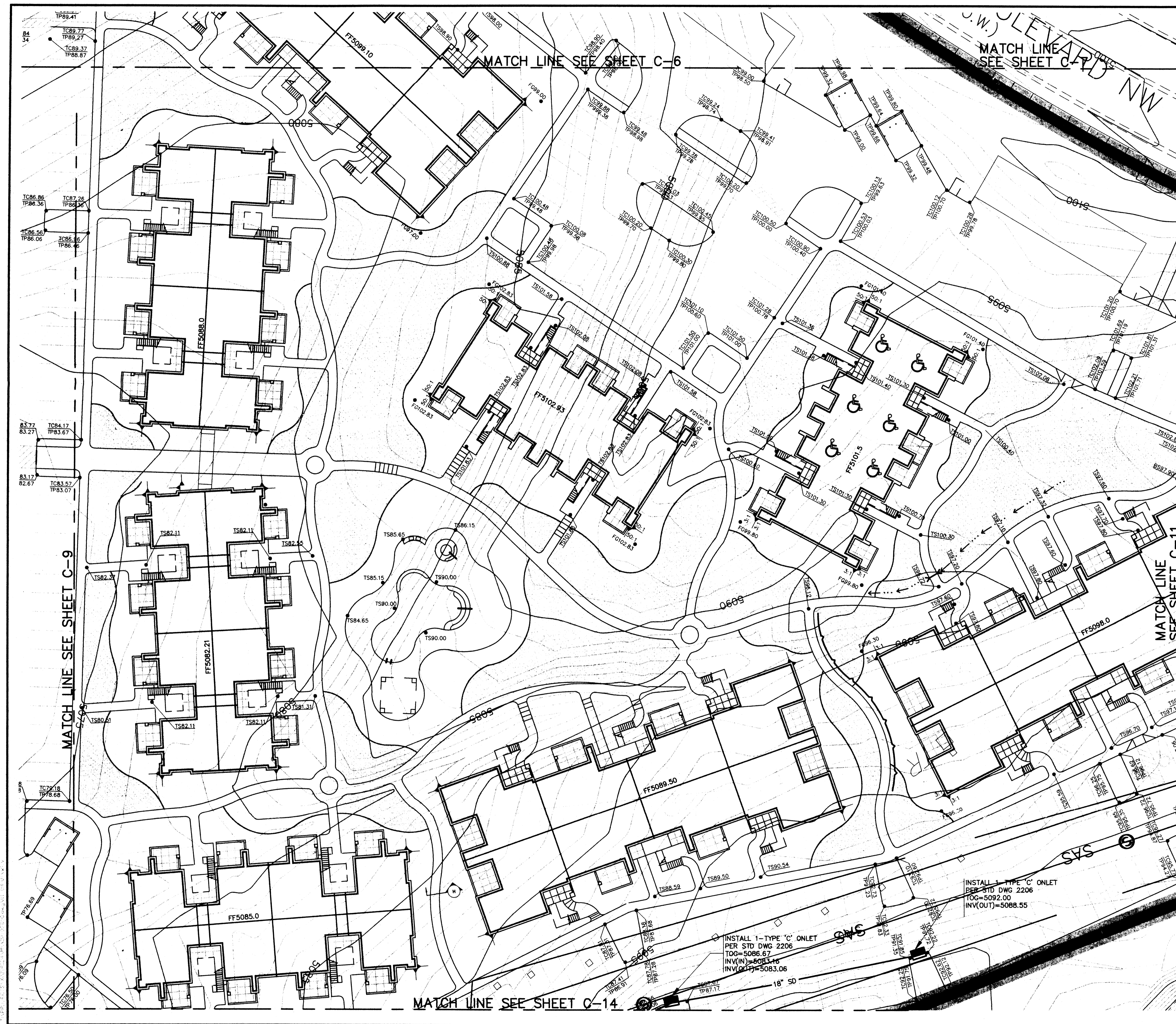


- LEGEND**
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  - EXISTING MAJOR CONTOUR
  - PROPOSED STORM DRAIN
  - PROPOSED MANHOLE
  - PROPOSED HIGH POINT ELEVATION
  - EXISTING SPOT ELEVATION
  - PROPOSED SPOT ELEVATION
  - EXISTING BASIN DESIGNATION
  - PROPOSED BASIN DESIGNATION
  - PROPOSED BASIN BOUNDARY
  - EXISTING BASIN BOUNDARY
  - PROPOSED FLOW ARROW
  - FINISHED FLOOR ELEVATION
  - PROPOSED RETAINING WALL
  - PROPOSED INLET
  - EXISTING STORM DRAIN INLET
  - EXISTING EASEMENT
  - EXISTING ROW
  - EXISTING PRUDENT LINE
  - UNDER GROUND TELEPHONE LINE
  - EXISTING WATERLINE
  - OVERHEAD POWER LINE
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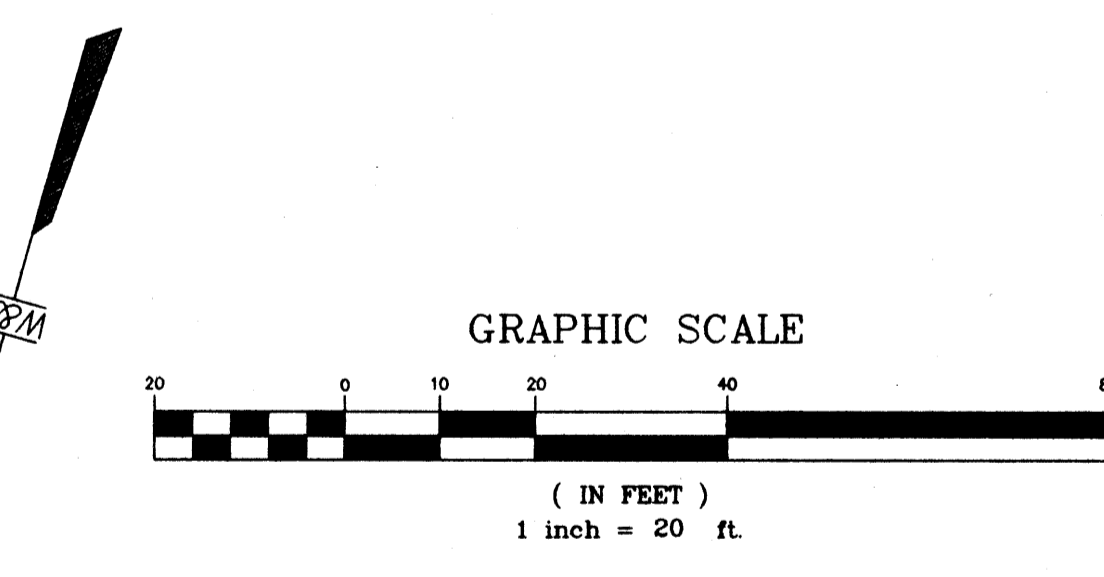


<p><b>WILSON &amp; COMPANY</b> 4900 LANG AVENUE N.E. ALBUQUERQUE, NEW MEXICO 87109 (505) 348-4000</p>				DATE JAN. 2001
		<p>CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP</p>		FILE NO. X0-218-045
<p><b>ASPEN RANCH APARTMENTS GRADING &amp; DRAINAGE PLAN</b></p>				DESIGN M.J.
Design Review Committee		City Engineer Approval		Mo./Day/Yr.
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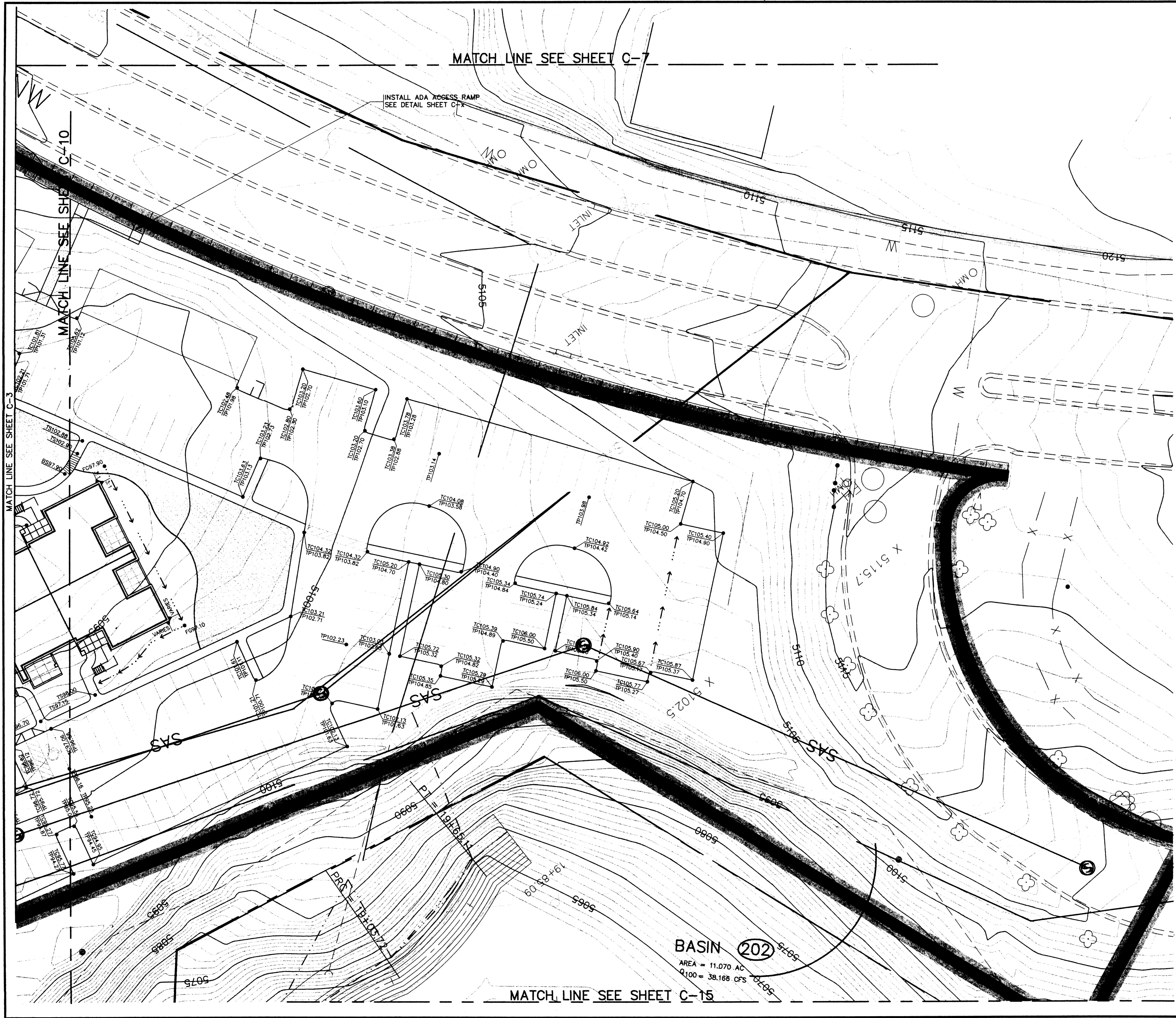


- LEGEND**
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  - EXISTING MAJOR CONTOUR
  - PROPOSED STORM DRAIN
  - PROPOSED MANHOLE
  - PROPOSED HIGH POINT ELEVATION
  - EXISTING SPOT ELEVATION
  - PROPOSED SPOT ELEVATION
  - EXISTING BASIN DESIGNATION
  - PROPOSED BASIN DESIGNATION
  - PROPOSED BASIN BOUNDARY
  - EXISTING BASIN BOUNDARY
  - PROPOSED FLOW ARROW
  - FINISHED FLOOR ELEVATION
  - PROPOSED RETAINING WALL
  - PROPOSED INLET
  - EXISTING STORM DRAIN INLET
  - EXISTING EASEMENT
  - EXISTING ROW
  - EXISTING PRUDENT LINE
  - UNDER GROUND TELEPHONE LINE
  - EXISTING WATERLINE
  - OVERHEAD POWER LINE
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  - EXISTING POWER POLE
  - EXISTING STORM DRAIN MANHOLE
  - EXISTING SANITARY SEWER MANHOLE

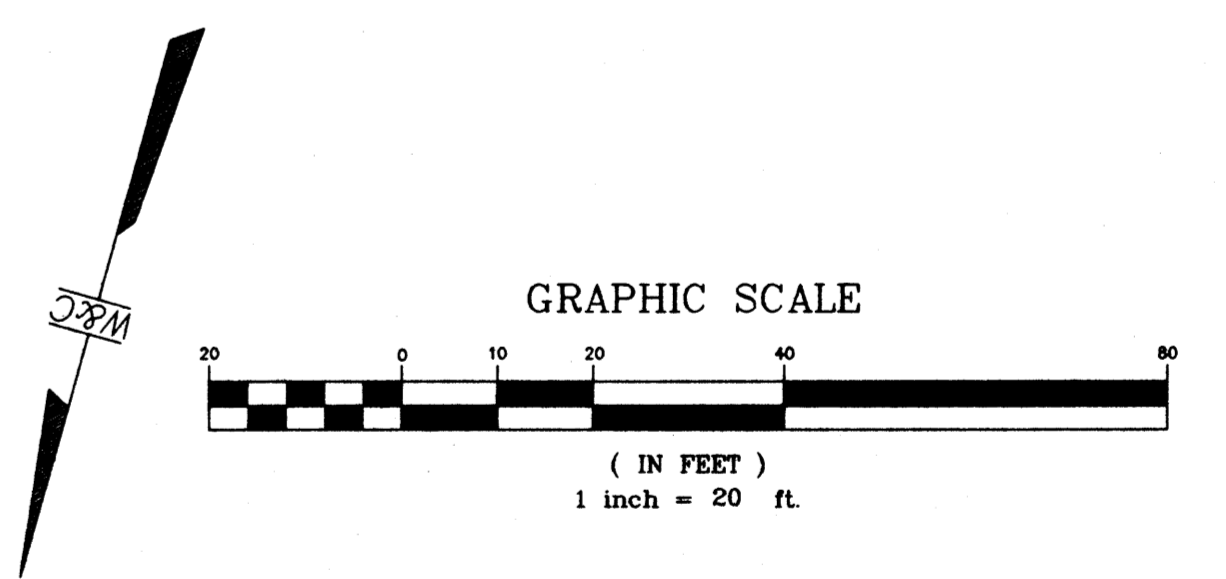


<b>WILSON &amp; COMPANY</b> 4900 LANG AVENUE N.E. ALBUQUERQUE, NEW MEXICO 87109 (505) 348-4000	 [10-01]	DATE JAN. 2001
		FILE NO. X0-218-045
	DESIGN MJI	DRAWN JLB
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP <b>ASPEN RANCH APARTMENTS          GRADING &amp; DRAINAGE PLAN</b>		
Design Review Committee	City Engineer Approval	Mo./Day/Yr.
City Project No.	Zone Map No. C-13	Sheet 10 of 19 C-10



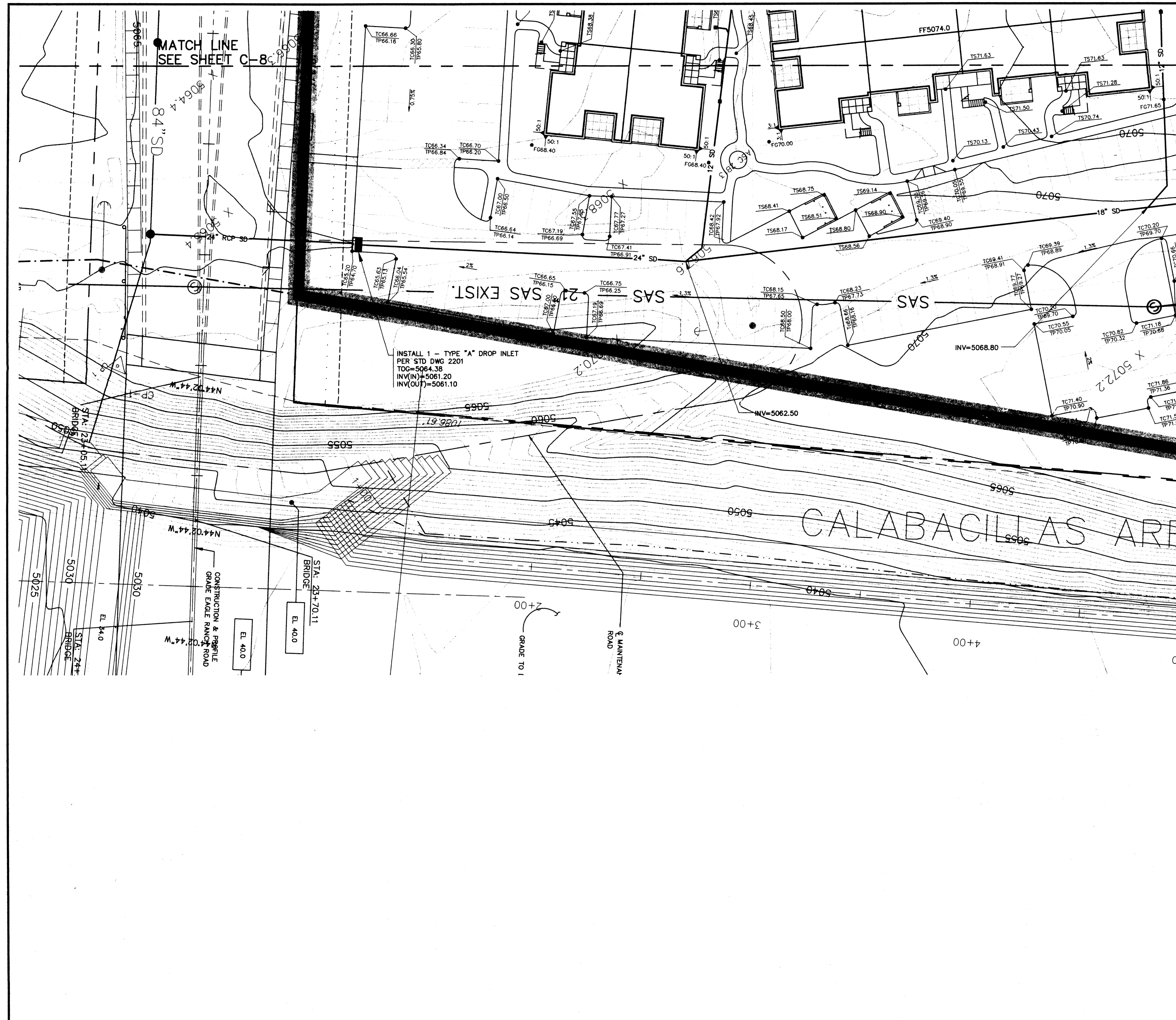


- LEGEND**
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  - EXISTING MAJOR CONTOUR
  - PROPOSED STORM DRAIN
  - PROPOSED MANHOLE
  - PROPOSED HIGH POINT ELEVATION
  - EXISTING SPOT ELEVATION
  - PROPOSED SPOT ELEVATION
  - EXISTING BASIN DESIGNATION
  - PROPOSED BASIN DESIGNATION
  - PROPOSED BASIN BOUNDARY
  - EXISTING BASIN BOUNDARY
  - PROPOSED FLOW ARROW
  - FINISHED FLOOR ELEVATION
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  - PROPOSED INLET
  - EXISTING STORM DRAIN INLET
  - EXISTING EASEMENT
  - EXISTING ROW
  - EXISTING PRUDENT LINE
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  - OVERHEAD POWER LINE
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  - EXISTING POWER POLE
  - EXISTING STORM DRAIN MANHOLE
  - EXISTING SANITARY SEWER MANHOLE

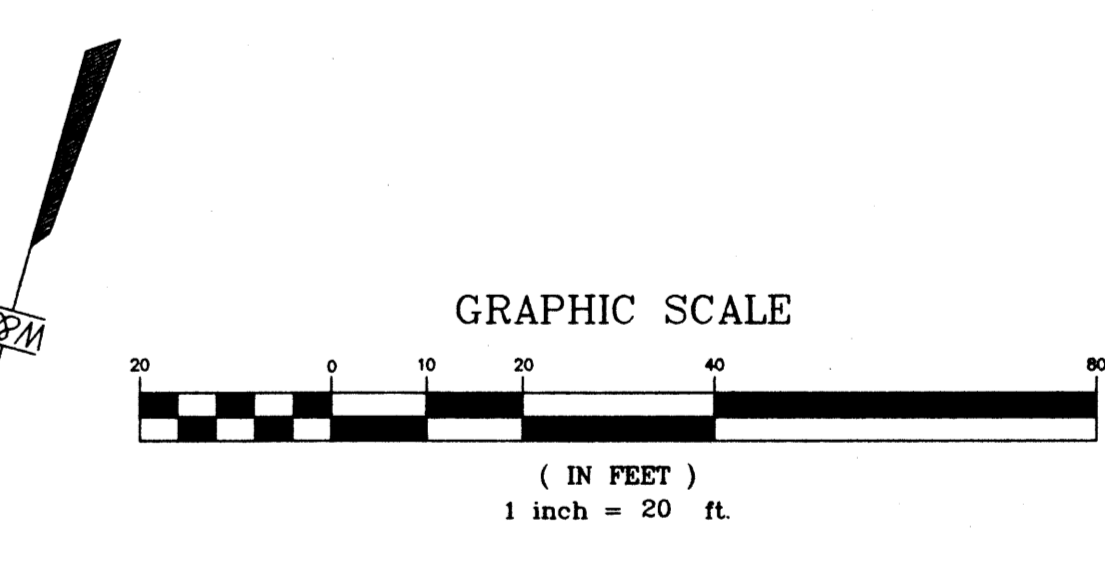


<b>WILSON &amp; COMPANY</b> 4900 LANG AVENUE N.E. ALBUQUERQUE, NEW MEXICO 87109 (505) 348-4000		DATE JAN. 2001
		FILE NO. X0-218-045
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP		DESIGN DRAWN M.J. J.L.B.
<b>ASPEN RANCH APARTMENTS          GRADING &amp; DRAINAGE PLAN</b>		
Design Review Committee	City Engineer Approval	Last Design Update
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- LEGEND**
- EXISTING MINOR CONTOUR
  - EXISTING MAJOR CONTOUR
  - PROPOSED STORM DRAIN
  - PROPOSED MANHOLE
  - PROPOSED HIGH POINT ELEVATION
  - EXISTING SPOT ELEVATION
  - PROPOSED SPOT ELEVATION
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  - PROPOSED BASIN DESIGNATION
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  - EXISTING BASIN BOUNDARY
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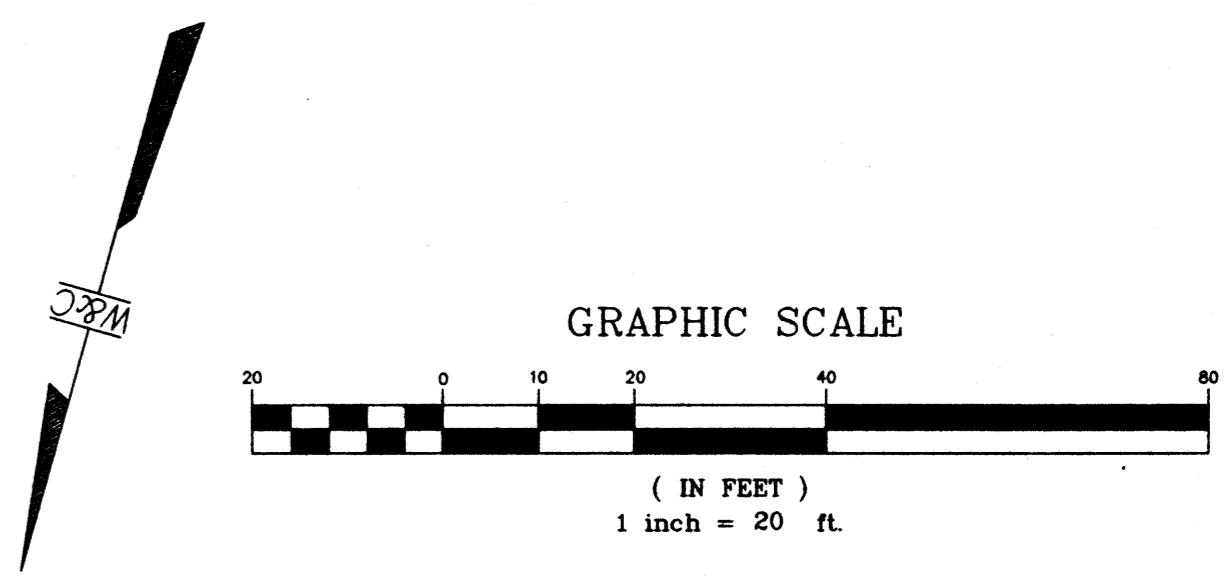
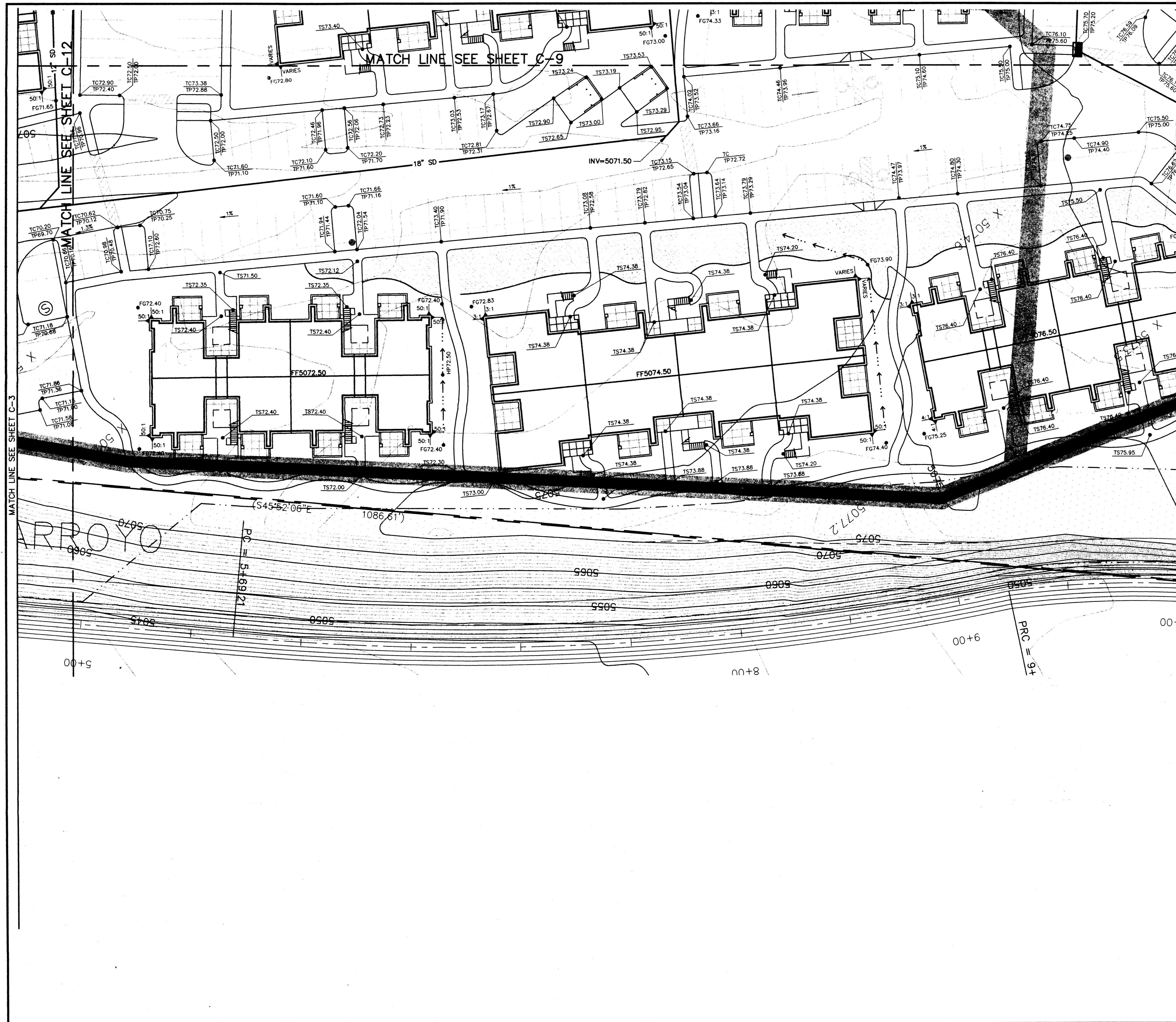
MATCH LINE SEE SHEET C-13

MATCH LINE SEE SHEET C-8

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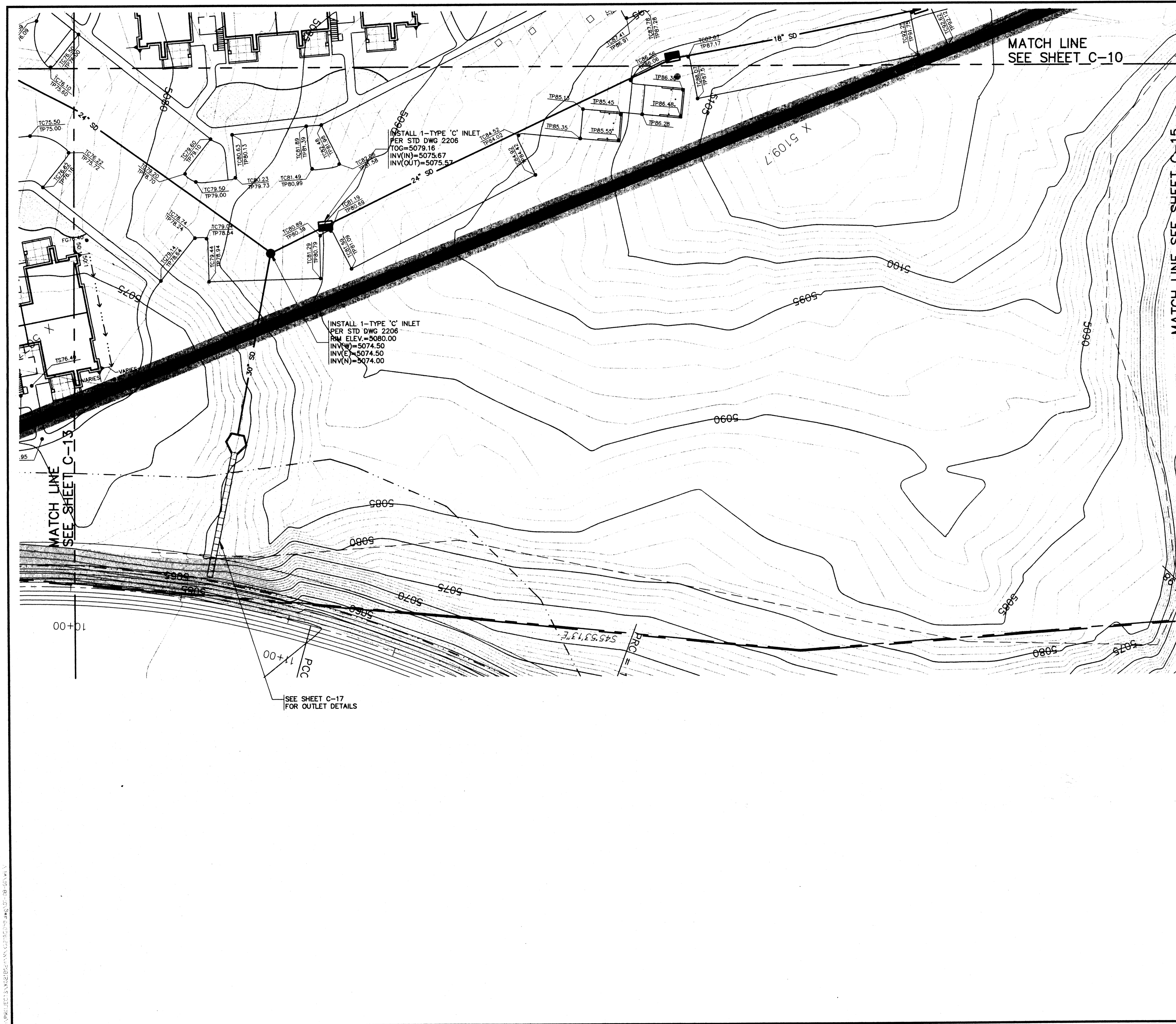
<b>WILSON &amp; COMPANY</b> 4900 LANG AVENUE N.E. ALBUQUERQUE, NEW MEXICO 87109 (505) 348-4000		DATE JAN. 2001
		FILE NO. X0-218-045
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP		DESIGN MJA
<b>ASPEN RANCH APARTMENTS          GRADING &amp; DRAINAGE PLAN</b>		DRAWN JLB
Design Review Committee	City Engineer Approval	Mo./Day/Yr.
		Mo./Day/Yr.
City Project No.	Zone Map No. C-13	Sheet 12 of 19 C-12



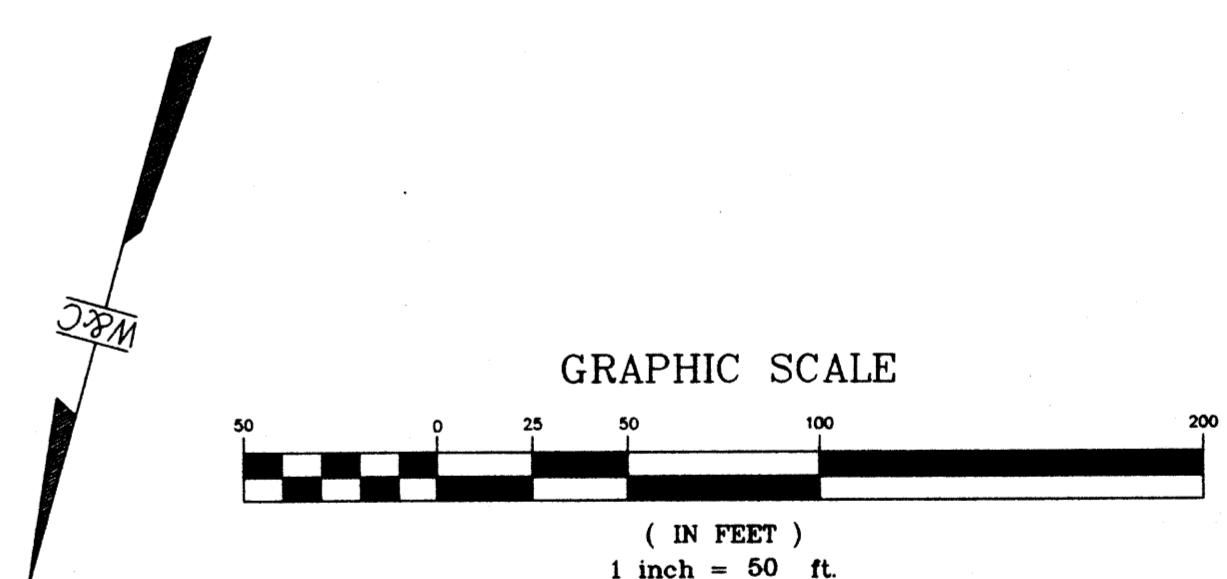


<b>WILSON &amp; COMPANY</b> 4900 LANG AVENUE N.E. ALBUQUERQUE, NEW MEXICO 87109 (505) 348-4000		DATE	JAN. 2001
		FILE NO.	XO-218-045
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP		DESIGN	M.J.
<b>ASPEN RANCH APARTMENTS          GRADING &amp; DRAINAGE PLAN</b>		DRAWN	J.L.B.
Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	13 of 19
	C-13		C-13



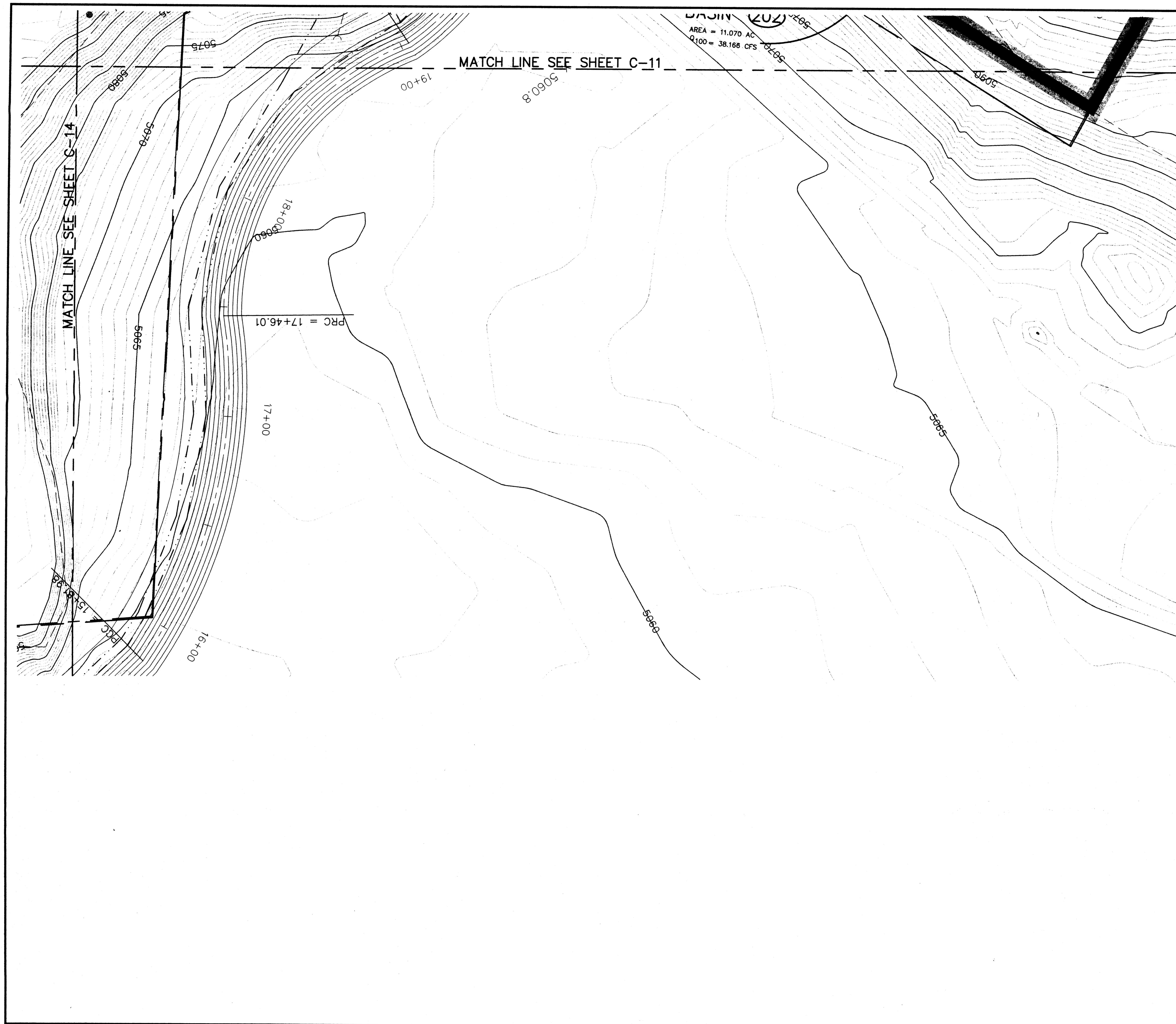


- LEGEND**
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  - EXISTING MAJOR CONTOUR
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  - PROPOSED MANHOLE
  - PROPOSED HIGH POINT ELEVATION
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  - PROPOSED BASIN DESIGNATION
  - PROPOSED BASIN BOUNDARY
  - EXISTING BASIN BOUNDARY
  - PROPOSED FLOW ARROW
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  - PROPOSED INLET
  - EXISTING STORM DRAIN INLET
  - EXISTING EASEMENT
  - EXISTING ROW
  - EXISTING PRUDENT LINE
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  - EXISTING POWER POLE
  - EXISTING STORM DRAIN MANHOLE
  - EXISTING SANITARY SEWER MANHOLE



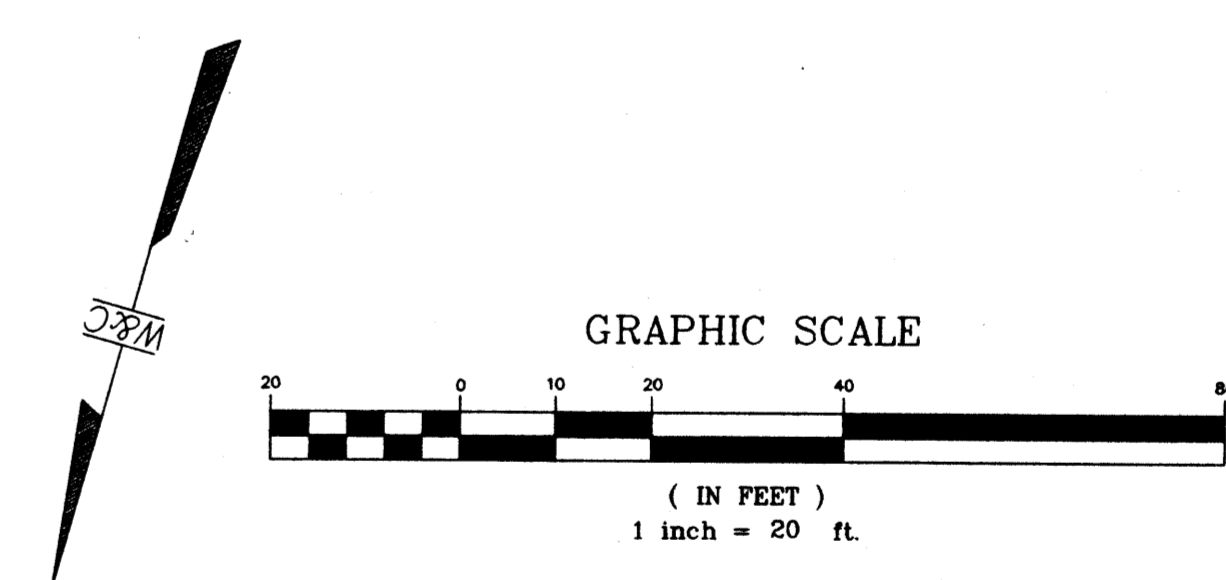
<b>WILSON &amp; COMPANY</b> 4900 LANG AVENUE N.E. ALBUQUERQUE, NEW MEXICO 87109 (505) 348-4000		DATE JAN. 2001
		FILE NO. XO-218-045
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP		DESIGN M.J.
ASPEN RANCH APARTMENTS GRADING & DRAINAGE PLAN		DRAWN J.L.B.
Design Review Committee	City Engineer Approval	Ms./Dsw/tr.
		Ms./Dsw/tr.
City Project No.	Zone Map No.	Sheet
	C-13	14 of 19 C-14





**LEGEND**

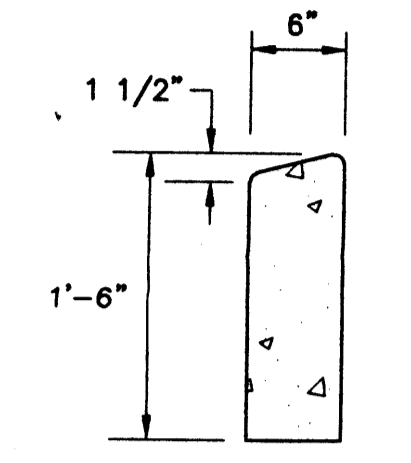
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- EXISTING MAJOR CONTOUR
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- PROPOSED MANHOLE
- PROPOSED HIGH POINT ELEVATION
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- BASIN 101 EXISTING BASIN DESIGNATION
- BASIN 201 PROPOSED BASIN DESIGNATION
- PROPOSED BASIN BOUNDARY
- EXISTING BASIN BOUNDARY
- PROPOSED FLOW ARROW
- FINISHED FLOOR ELEVATION
- PROPOSED RETAINING WALL
- PROPOSED INLET
- EXISTING STORM DRAIN INLET
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- EXISTING POWER POLE
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- EXISTING SANITARY SEWER MANHOLE



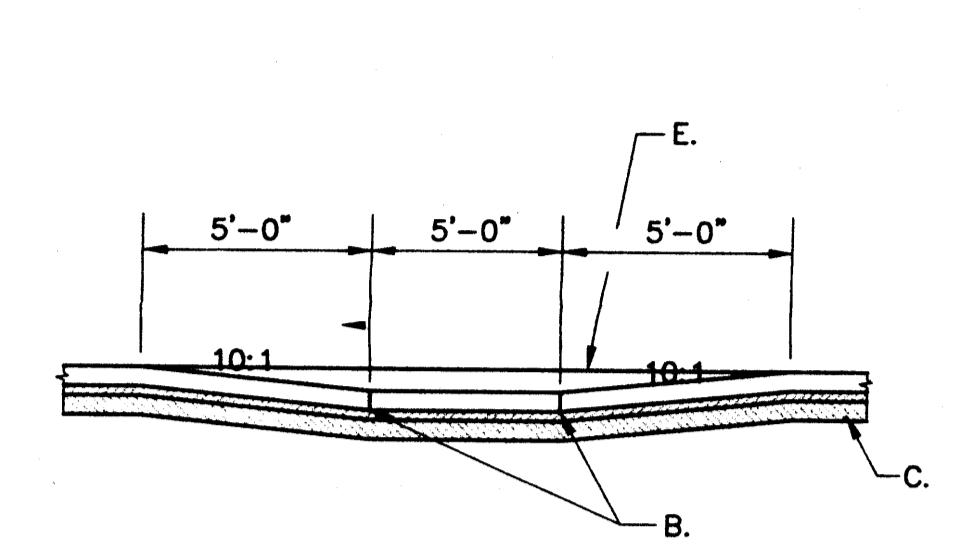
<b>WILSON &amp; COMPANY</b> 4900 LANG AVENUE N.E. ALBUQUERQUE, NEW MEXICO 87109 (505) 348-4000				DATE JAN. 2001
				FILE NO. XO-218-045
				DESIGN MJJ
				DRAWN JLB
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP				
<b>ASPEN RANCH APARTMENTS          GRADING &amp; DRAINAGE PLAN</b>				
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.	
City Project No.	Zone Map No.	Sheet 15 of 19		
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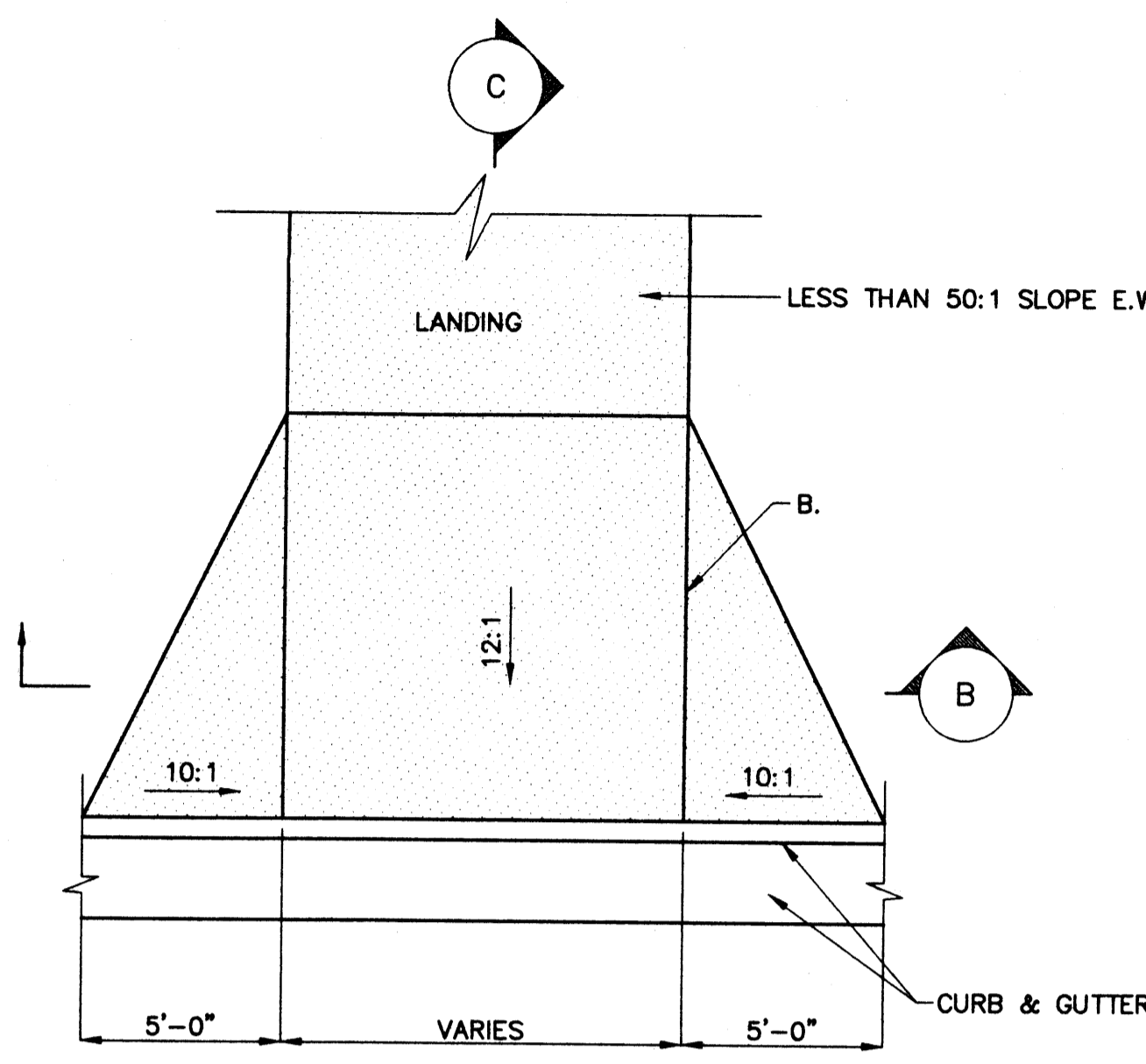
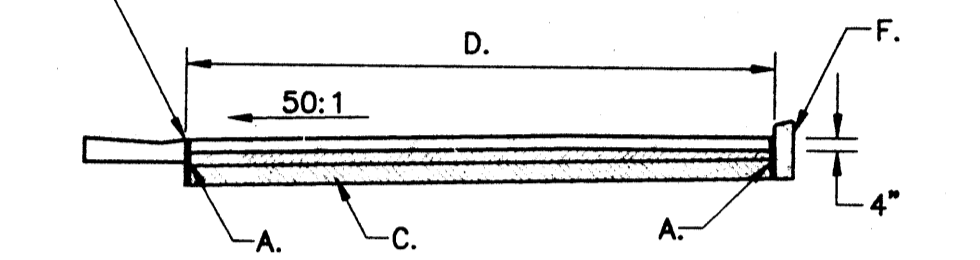
**HEADER CURB DETAIL**  
SCALE: 1" = 1'



**SECTION B**  
SCALE: 1" = 5'

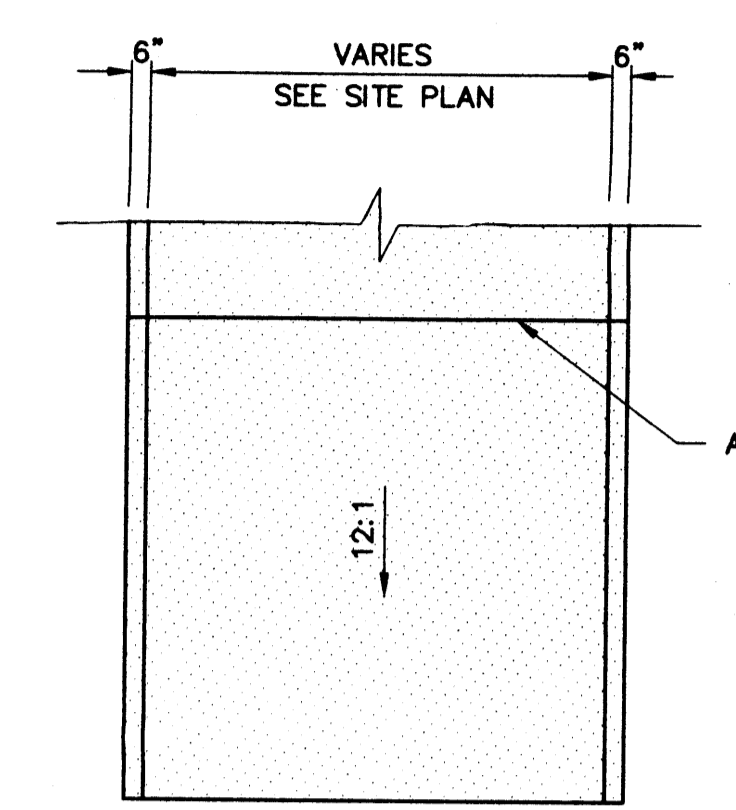


**SECTION C**  
SCALE: 1" = 5'

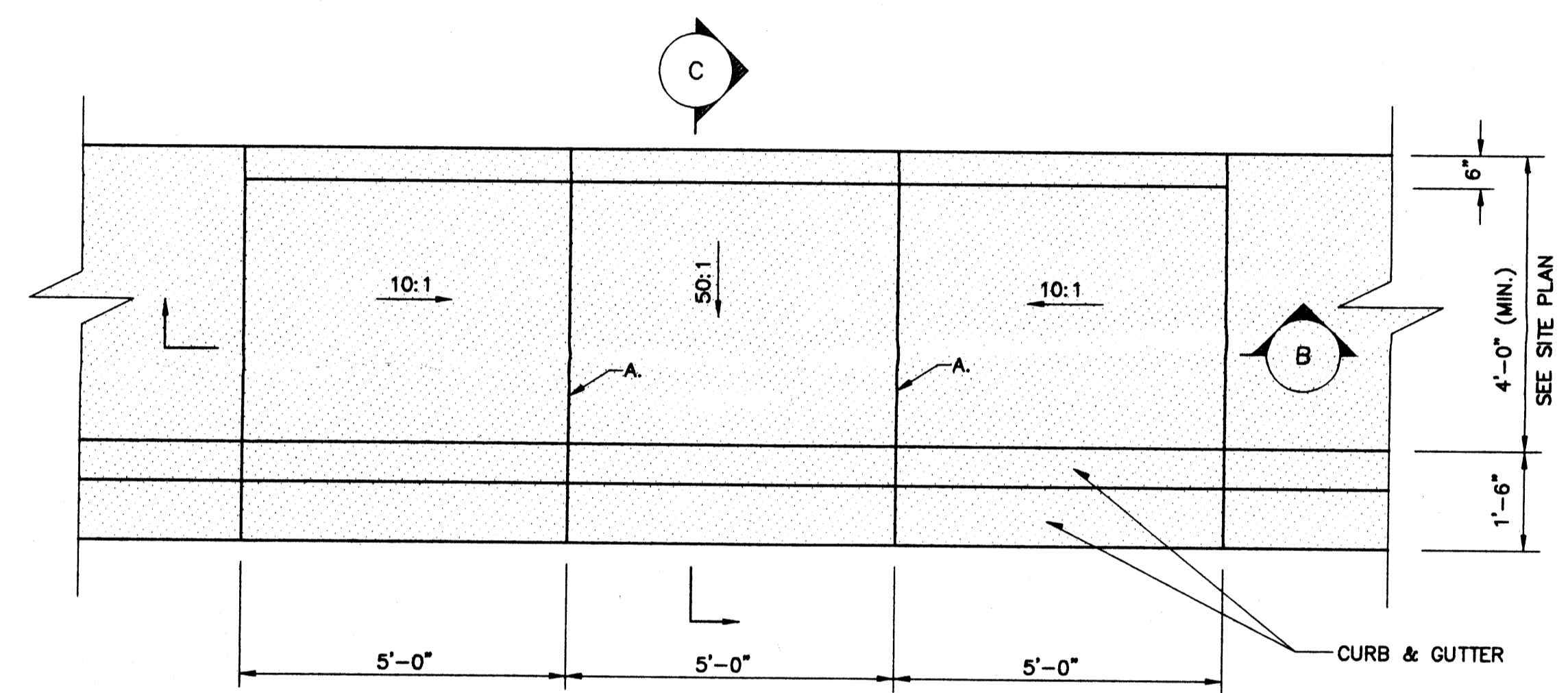


**WHEEL CHAIR RAMP TYPE I**  
SCALE: 1" = 5'

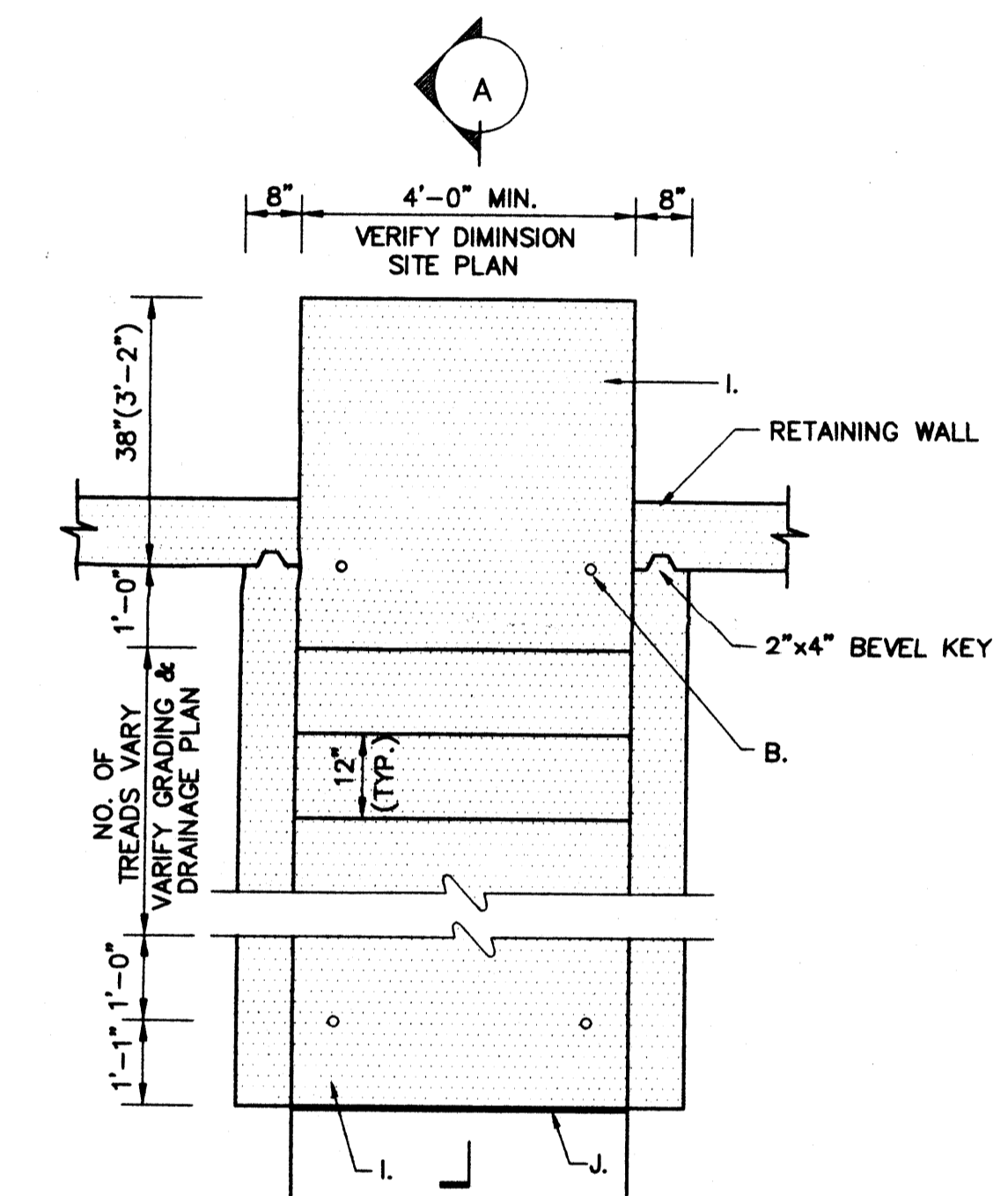
- GENERAL NOTES**
- SIDEWALK MUST BE 4" THICK CLASS "A" 3000 PSI CONCRETE
  - 6" SUBGRADE UNDER SIDEWALK SHALL BE COMPACTED TO 95% OF MAX DRY DENSITY AS PER AASHTO T180
- CONSTRUCTION NOTES**
- 1/2" BITUMINOUS EXPANSION JOINT
  - TOOLED JOINT (TYP.)
  - 6" SUBGRADE
  - VARIES WITH AVAILABLE R.O.W. AND SLOPE REQUIREMENTS.
  - LANDING/SIDEWALK
  - HEADER CURB SEE DETAIL THIS SHEET.



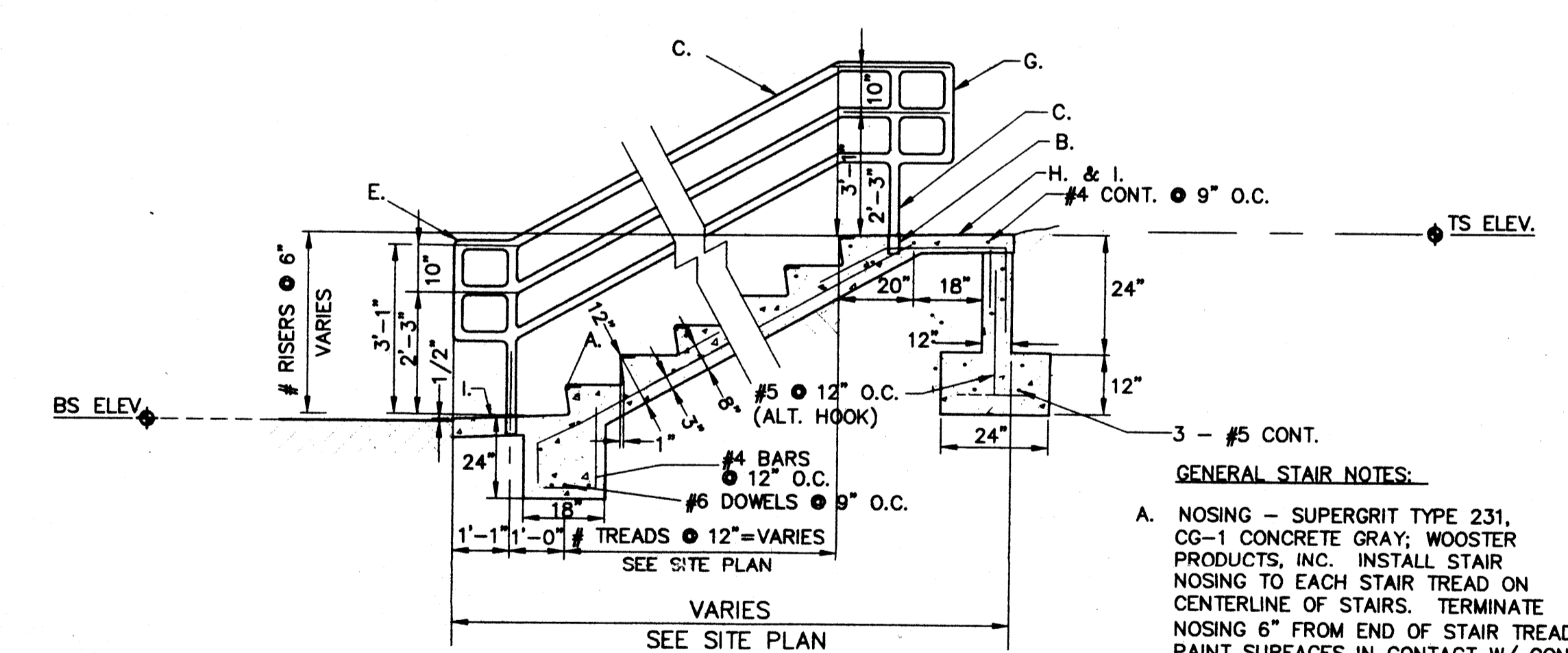
**WHEEL CHAIR RAMP TYPE II**  
SCALE: 1" = 5'



**WHEEL CHAIR RAMP TYPE III**  
SCALE: 1" = 2'

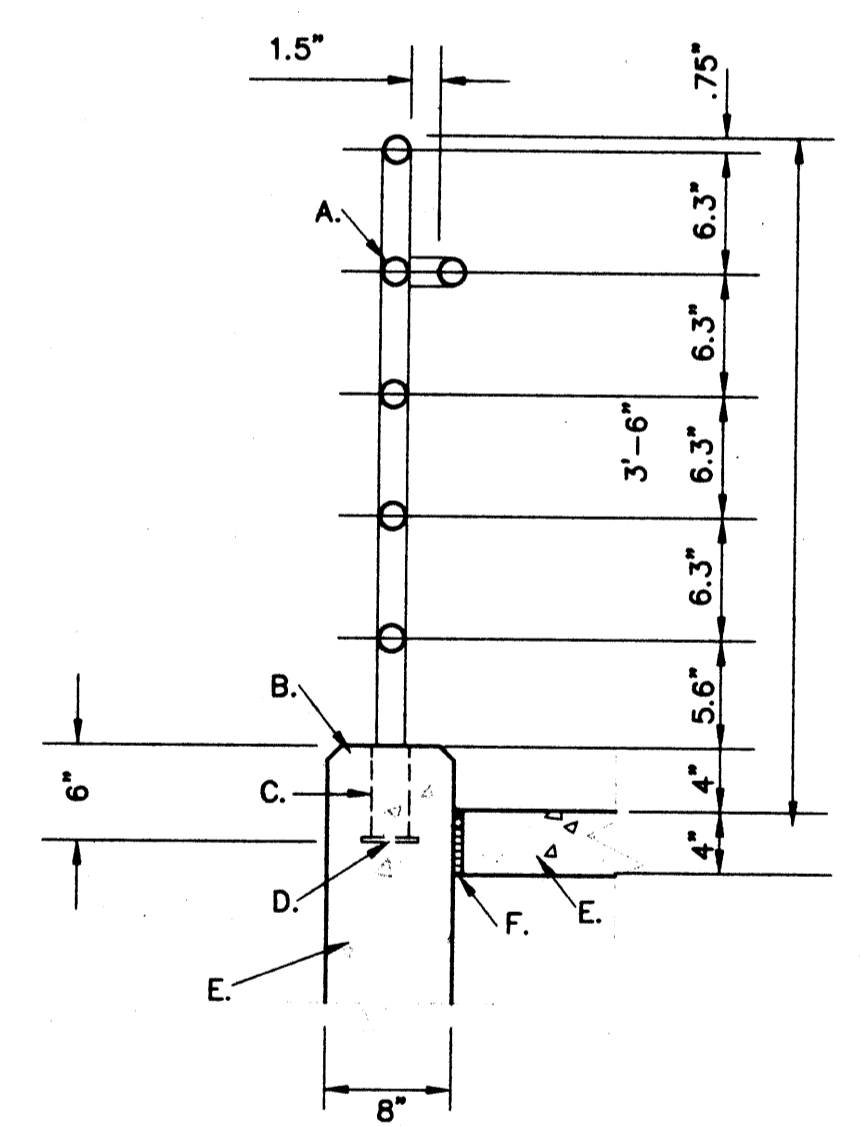


**PLAN VIEW**  
SCALE: 1" = 2'



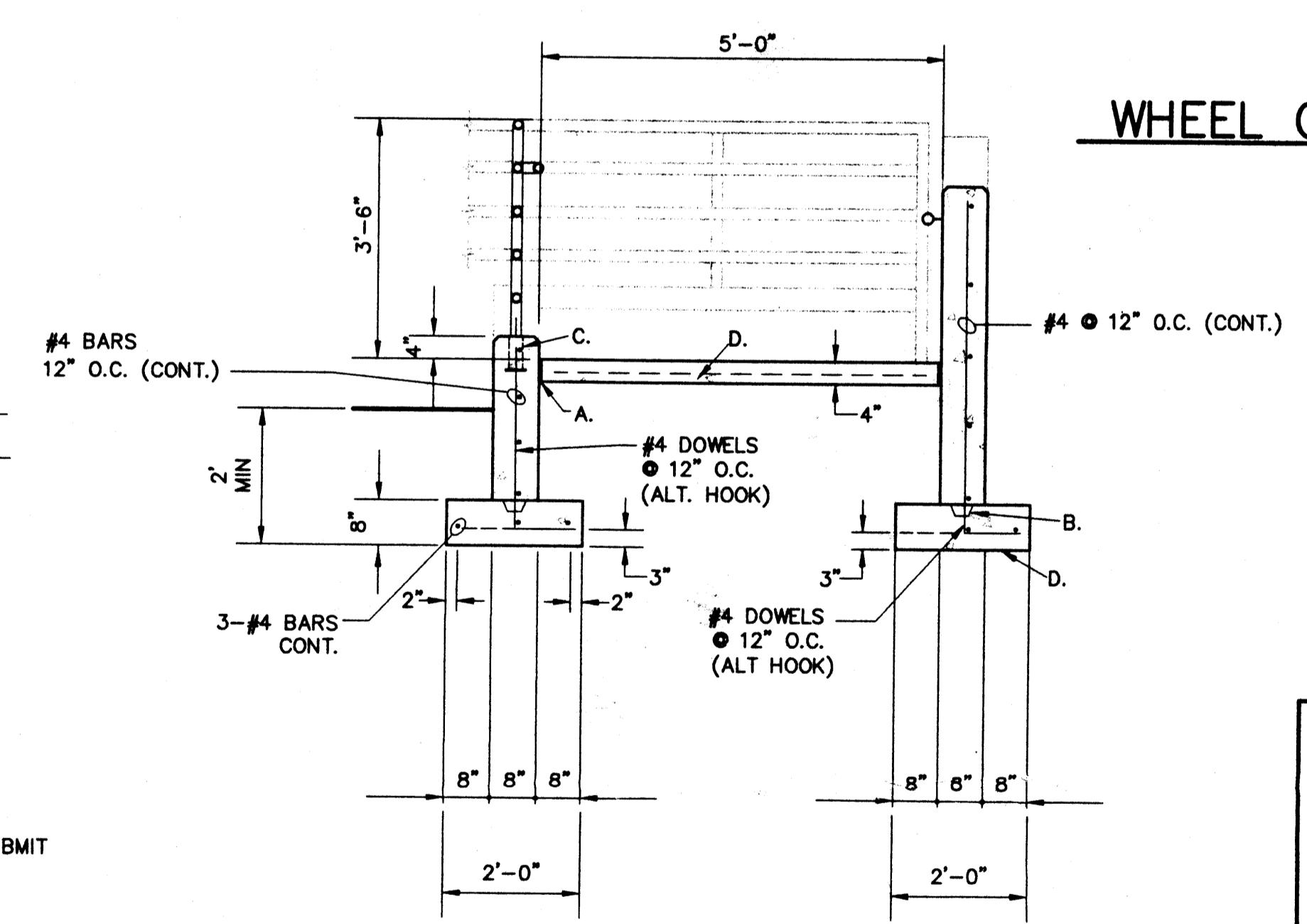
**STAIR DETAIL**  
SCALE: 1" = 2'

- GENERAL STAIR NOTES:**
- NOSING - SUPERGRIT TYPE 231, CG-1 CONCRETE GRAY; WOOSTER PRODUCTS, INC. INSTALL STAIR NOSING TO EACH STAIR TREAD ON CENTERLINE OF STAIRS. TERMINATE NOSING 6" FROM END OF STAIR TREADS. PAINT SURFACES IN CONTACT W/ CONCRETE.
  - CORE DRILL FOR RAIL POST (TYP.) EPOXY GROUT IN PLACE
  - 1" INSIDE DIAMETER STANDARD STEEL DIAMETER PIPE RAIL
  - WELD JOINTS ALL AROUND
  - MITER CUT CORNERS (TYP.) WELD ALL AROUND
  - SADDLE CUT ALL CONNECTIONS (TYP.)
  - 2 COAT GREY PRIMER 1 COAT PAINT. SUBMIT COLOR CHART FOR COLOR SELECTION & APPROVAL TO PROJECT MANAGER.
  - STAIR CONCRETE SHALL BE BROOM FINISHED W/ COLOR. SUBMIT COLOR CHART FOR COLOR SELECTION & APPROVAL TO PROJECT MANAGER.
  - LANDING
- CONSTRUCTION NOTES**
- REVIEW GRADING & DRAINAGE PLAN FOR STAIR ELEVATIONS



**RAILING DETAIL**  
SCALE: 1" = 1'

- GENERAL NOTES**
- 2 COAT GREY PRIMER 1 COAT PAINT. SUBMIT COLOR CHART FOR COLOR SELECTION & APPROVAL TO PROJECT MANAGER.
- CONSTRUCTION NOTES**
- STEEL RAILING SYSTEM 1 1/2" OD: MAX
  - 3/4" CHAMFER
  - STEEL PIPE SLEEVE: 1 1/2" ID ±
  - STEEL PLATE
  - CIP CONCRETE: 28 DAY STRENGTH  $f_c=3000$  psi
  - 1/2" BITUMINOUS EXPANSION JOINT

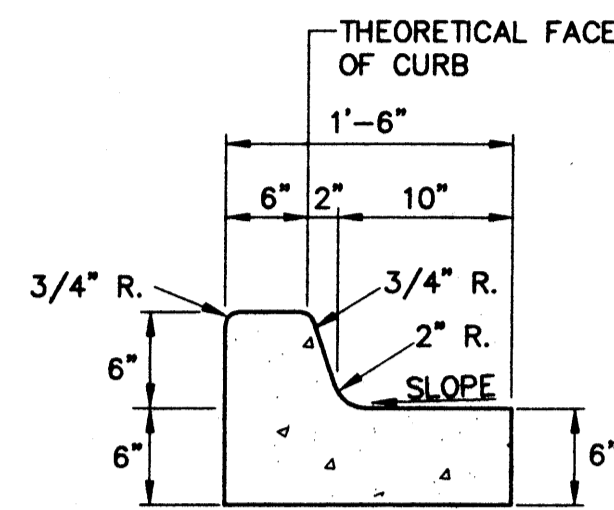


**ADA RAMP DETAIL**  
SCALE: 1" = 2'

- CONSTRUCTION NOTES**
- 1/2" BITUMINOUS EXPANSION JOINT
  - 2"x4" BEVELED KEY
  - 3/4" CHAMFER
  - CIP CONCRETE: 28 DAY STRENGTH  $f_c=3000$  psi

<p><b>WILSON &amp; COMPANY</b> 4900 LANG AVENUE N.E. ALBUQUERQUE, NEW MEXICO 87109 (505) 348-4000</p>		<p>DATE JAN. 2000</p> <p>FILE NO. XO-218-024</p> <p>DESIGN DRAWN M.JI WLV</p>
<p>CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP</p>		
<p>ASPEN RANCH APARTMENTS GRADING &amp; DRAINAGE DETAILS SHEET</p>		
Design Review Committee	City Engineer Approval	Last Design Update
		Mo./Day/Yr.
City Project No.	Zone Map No. C-13	Sheet 16 of 19 C-16A



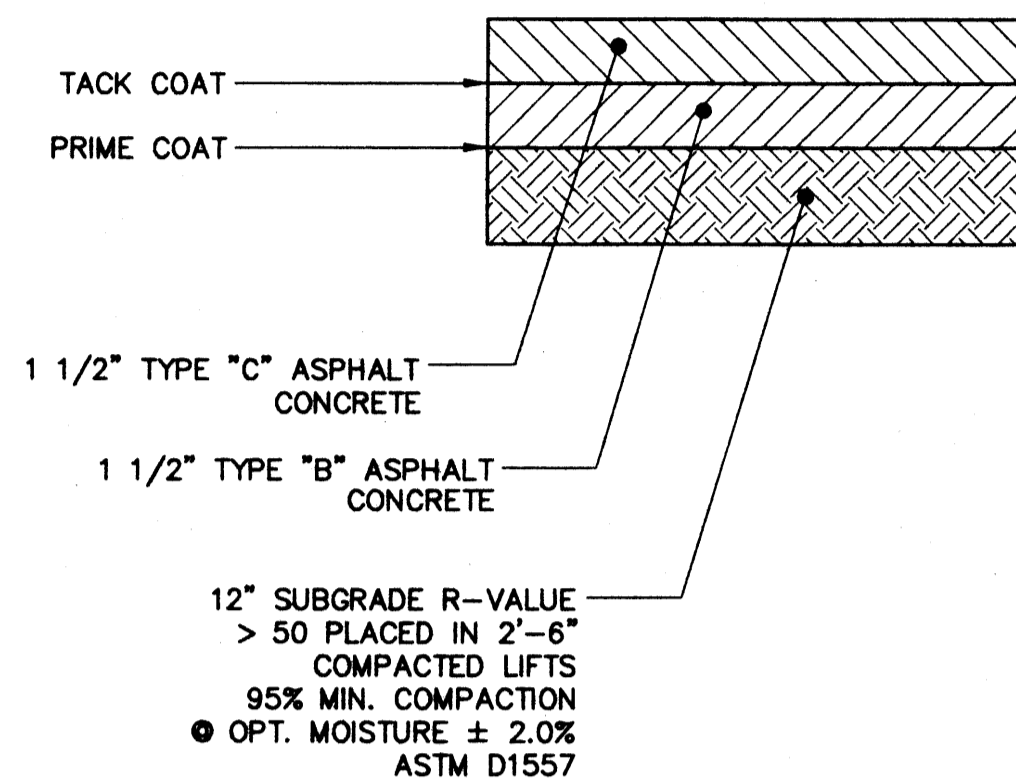


**SECTION F**

**MEDIAN CURB & GUTTER DETAIL**

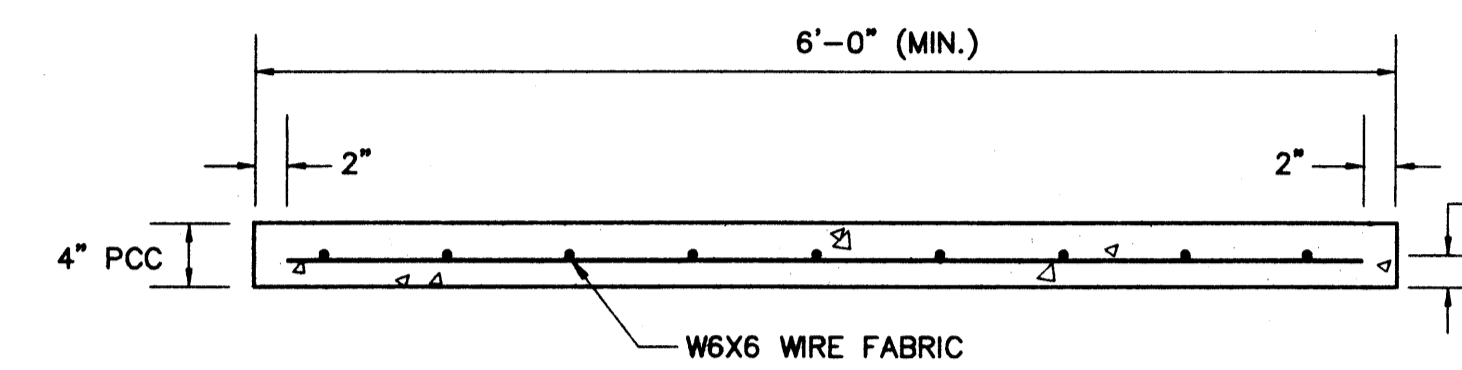
SCALE: 1" = 1'

- NOTE: 1. DIMENSION AT ROUNDED CORNERS MEASURED TO INTERSECTION OF STRAIGHT LINES.  
 2. MEDIAN CURB PAN TO SLOPE TOWARDS OUTSIDE LANES MATCH ROADWAY TYPICAL SLOPE.  
 3. EXPANSION JOINT SPACING SHALL NOT EXCEED 40' CONSTRUCTION JOINTS SHALL BE AT 4'-0" SPACING.



**PAVEMENT SECTION**

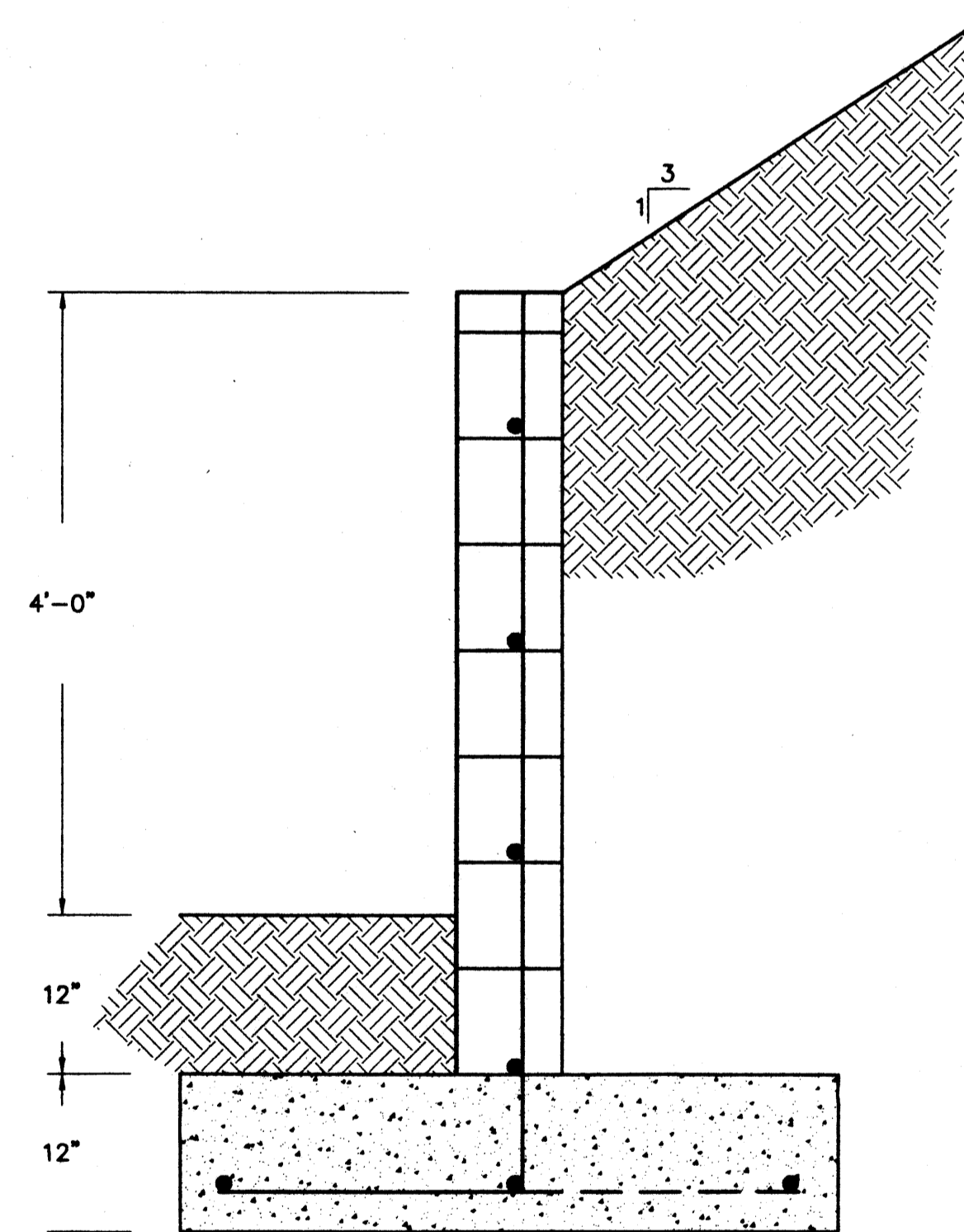
SCALE: 1" = 1'



**SECTION E**

**SIDEWALK DETAIL**

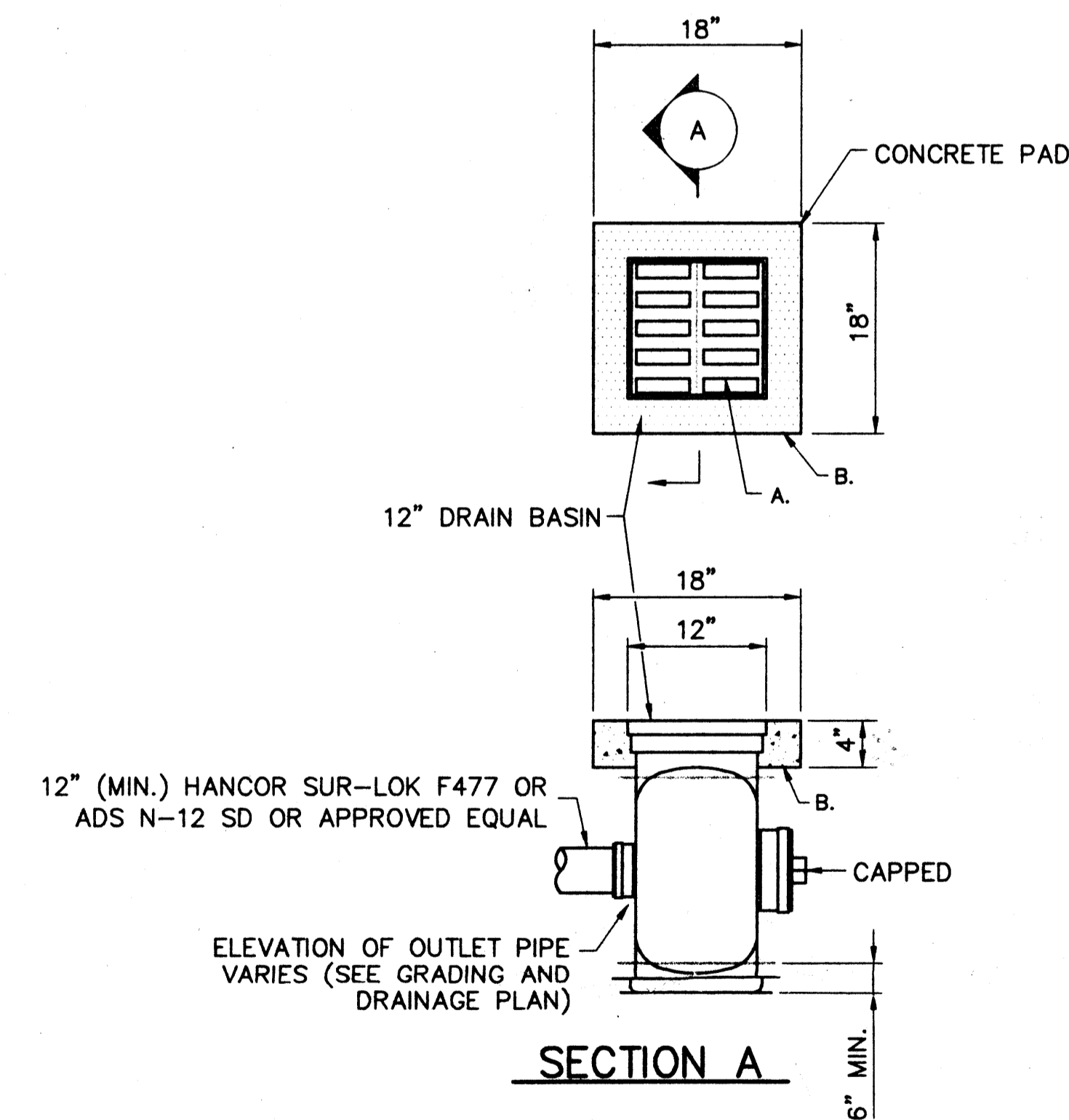
SCALE: 1" = 1'



**5' OR SMALLER RETAINING WALL DETAIL**

SCALE: 1" = 1'

CONSTRUCTION NOTES



**SECTION A**

**CATCH BASIN DETAIL**

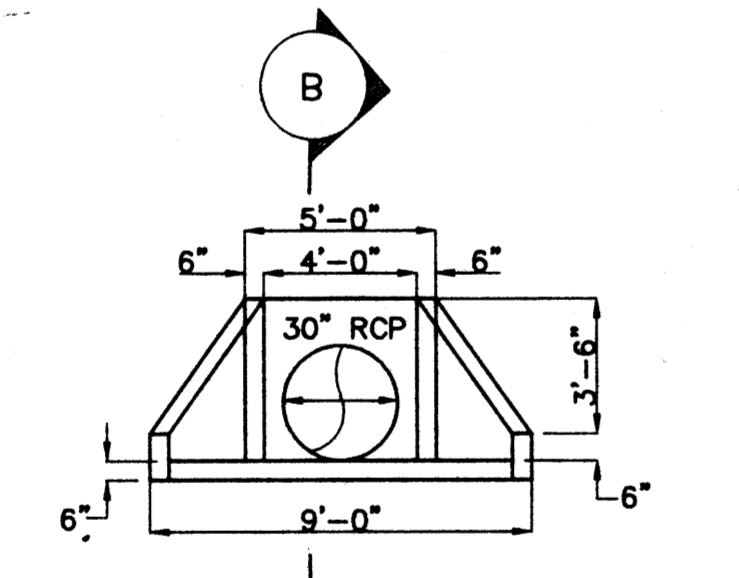
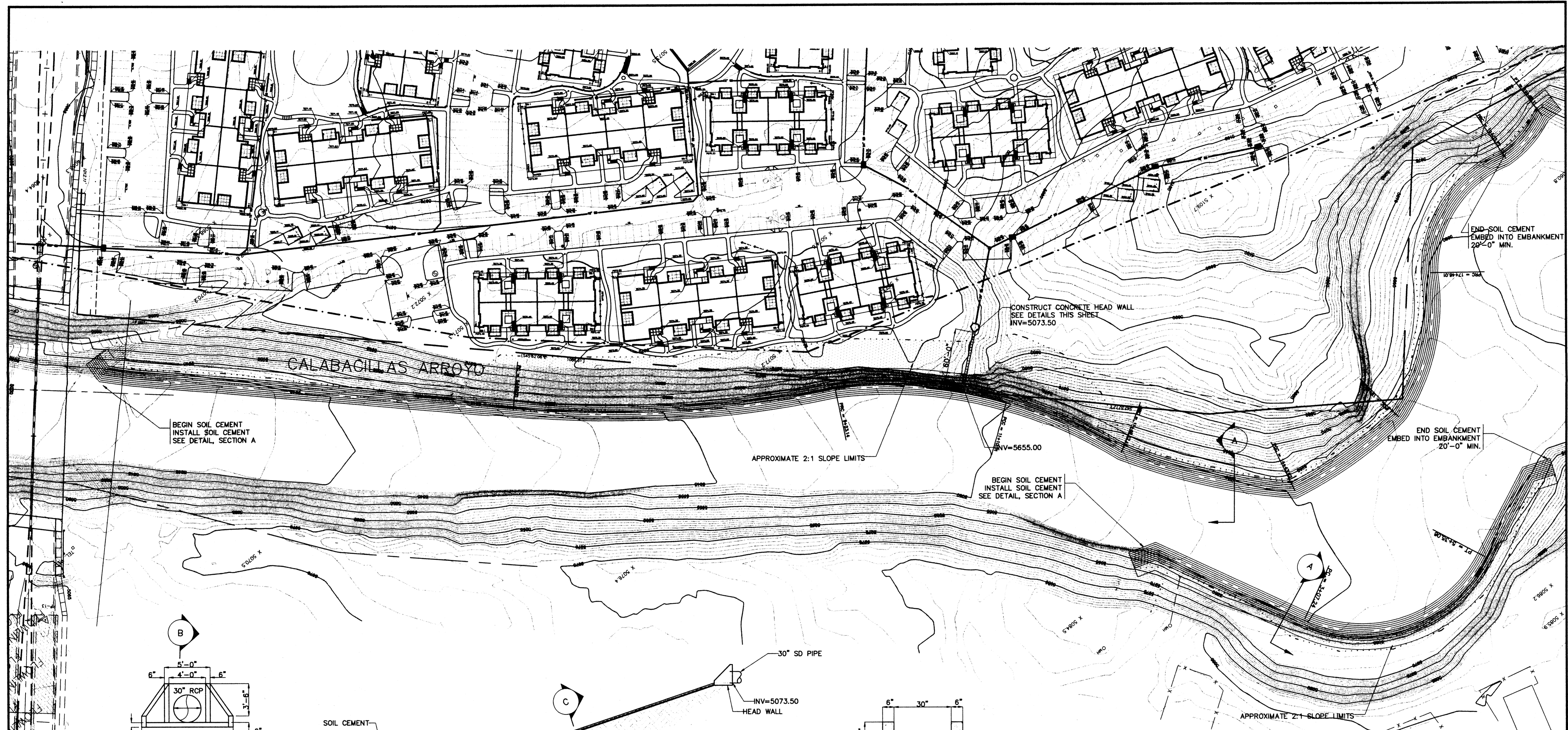
SCALE: 1" = 1'

CONSTRUCTION NOTES

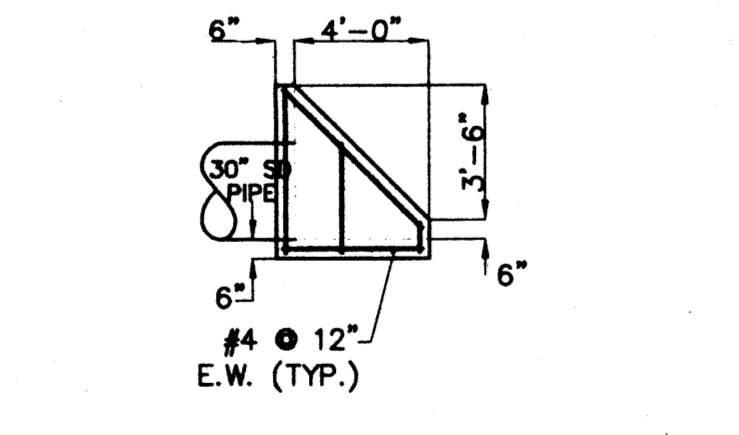
- A. PERFORATED CAST IRON GRATE WITH HINGED BASE  
 B. CIP CONCRETE: 28 DAY STRENGTH  $f_c=3000$  psi

<b>WILSON &amp; COMPANY</b> 4900 LANG AVENUE N.E. ALBUQUERQUE, NEW MEXICO 87109 (505) 348-4000			DATE JAN. 2001
			FILE NO. X0-218-024
DESIGN MJJ	DRAWN WLW		
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP			
<b>ASPEN RANCH APARTMENTS          GRADING &amp; DRAINAGE DETAILS SHEET</b>			
Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.
City Project No.	Zone Map No. C-13	Sheet	16 of 19 C-16B

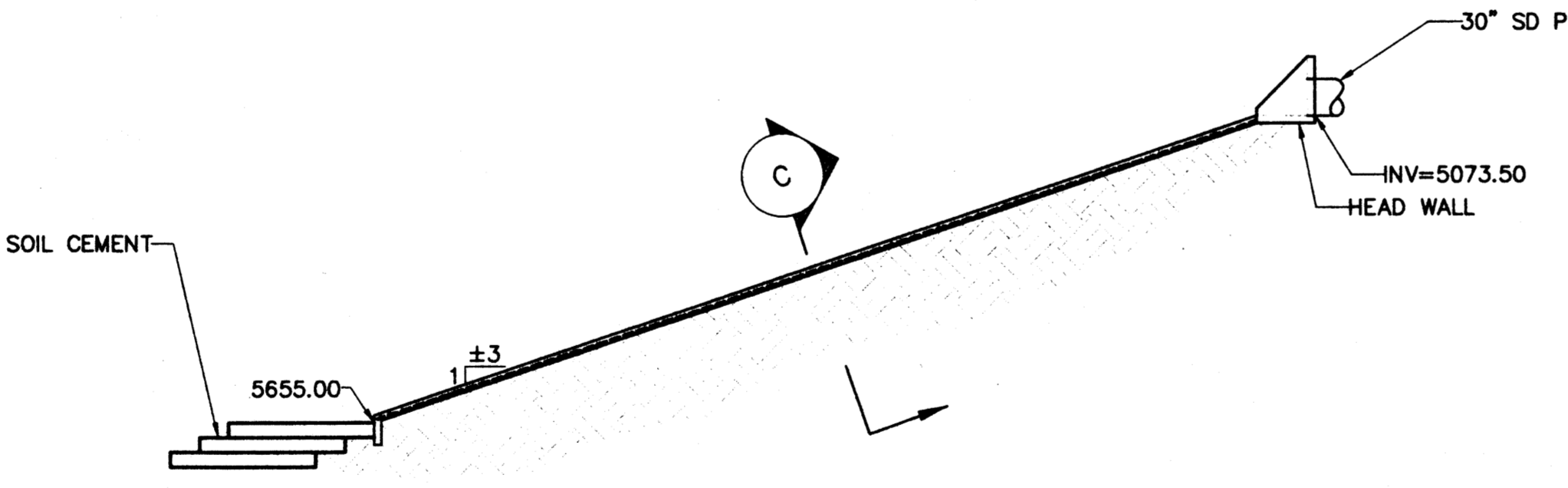




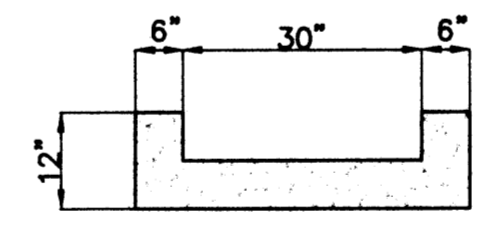
**HEAD WALL DETAIL**  
SCALE: 1" = 5'



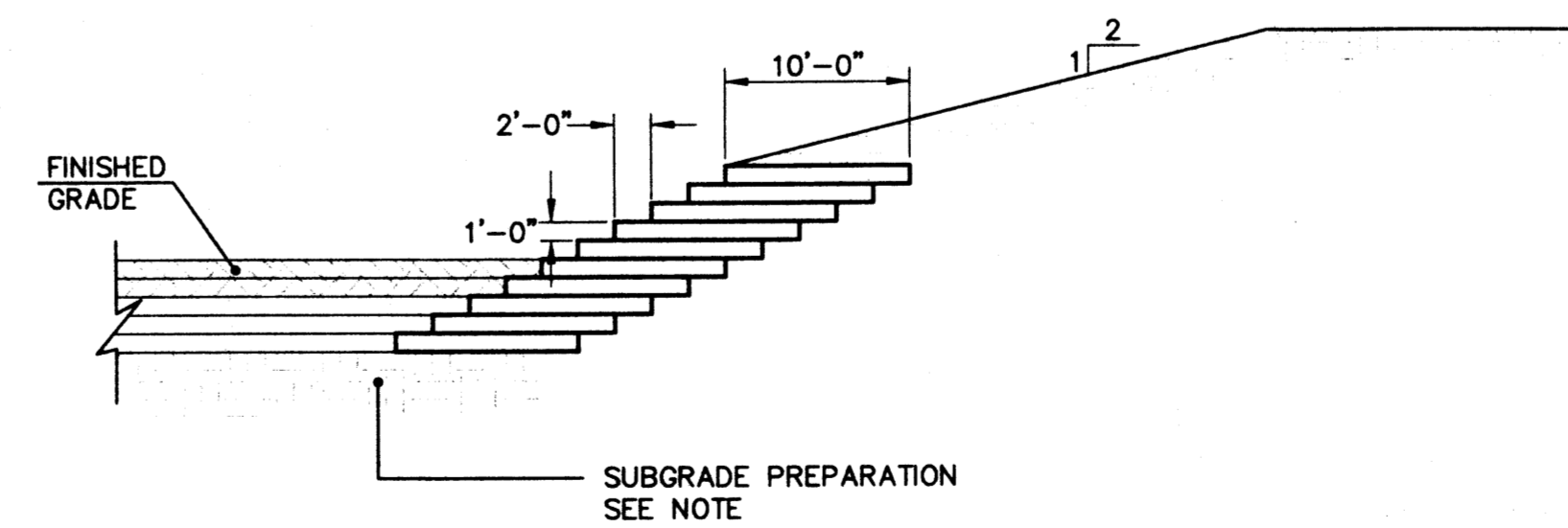
**SECTION B**  
SCALE: 1" = 5'



**CONCRETE RUNDOWN DETAIL**  
SCALE: 1" = 10'

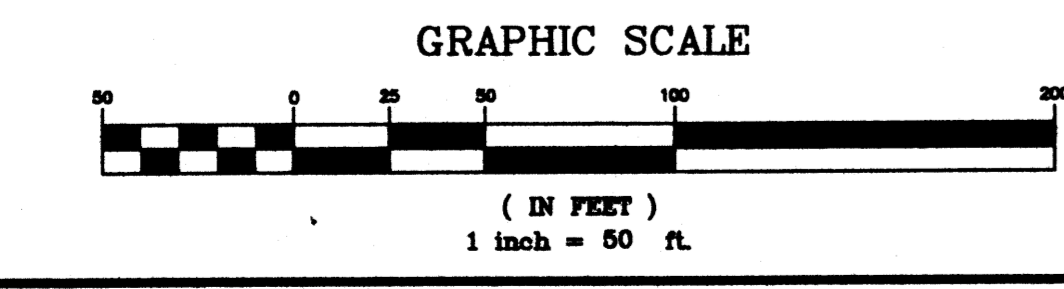
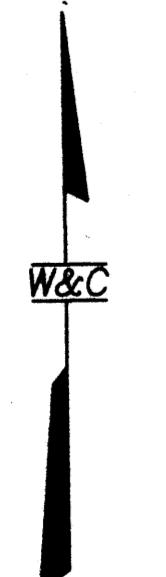


**SECTION C**  
SCALE: 1" = 2'



**SECTION A SOIL CEMENT DETAIL**  
SCALE: 1" = 10'

- NOTE:**
1. SUBGRADE PREPARATION UNDER THE FIRST LIFT OF SOIL CEMENT SHALL CONSIST OF PRE-SOAKING AND COMPACTION WITH 20 PASSES OF A VIBRATING ROLLER. (INCIDENTAL TO CONSTRUCTION)
  2. SOIL CEMENT STEPS SHALL BE WELL COMPACTED, UNIFORM AND CONSOLIDATED TRAVERSIBLE STEPS.
  3. ALL EXPOSED SOIL CEMENT SHALL BE COATED WITH "PERMEON". PAYMENT FOR PERMEON SHALL BE BY THE SQUARE FOOT.
  4. COMPACTED SOIL CEMENT LAYERS MAY VARY IN DEPTH FROM 8" TO 14". FINAL GRADES MUST MEET 0.05 FEET OF GRADES SPECIFIED.
  5. ALL EXCESS EXCAVATED MATERIAL SHALL BE PLACED IN THE ARROYO. PAYMENT WILL BE INCIDENTAL TO "EXCAVATION FOR SOIL CEMENT".



APPROVED FOR CONSTRUCTION

JOHN KELLEY, P.E., AMAFCA CHIEF ENGINEER

NOTE: CONTRACTOR MAY NOT WORK IN THE CALABACILLAS ARROYO FROM JUNE 1, TO OCTOBER 1 OF ANY YEAR.

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DATE: JAN. 2001  
FILE NO.: XO-218-024  
DESIGN: MJI  
DRAWN: WLW

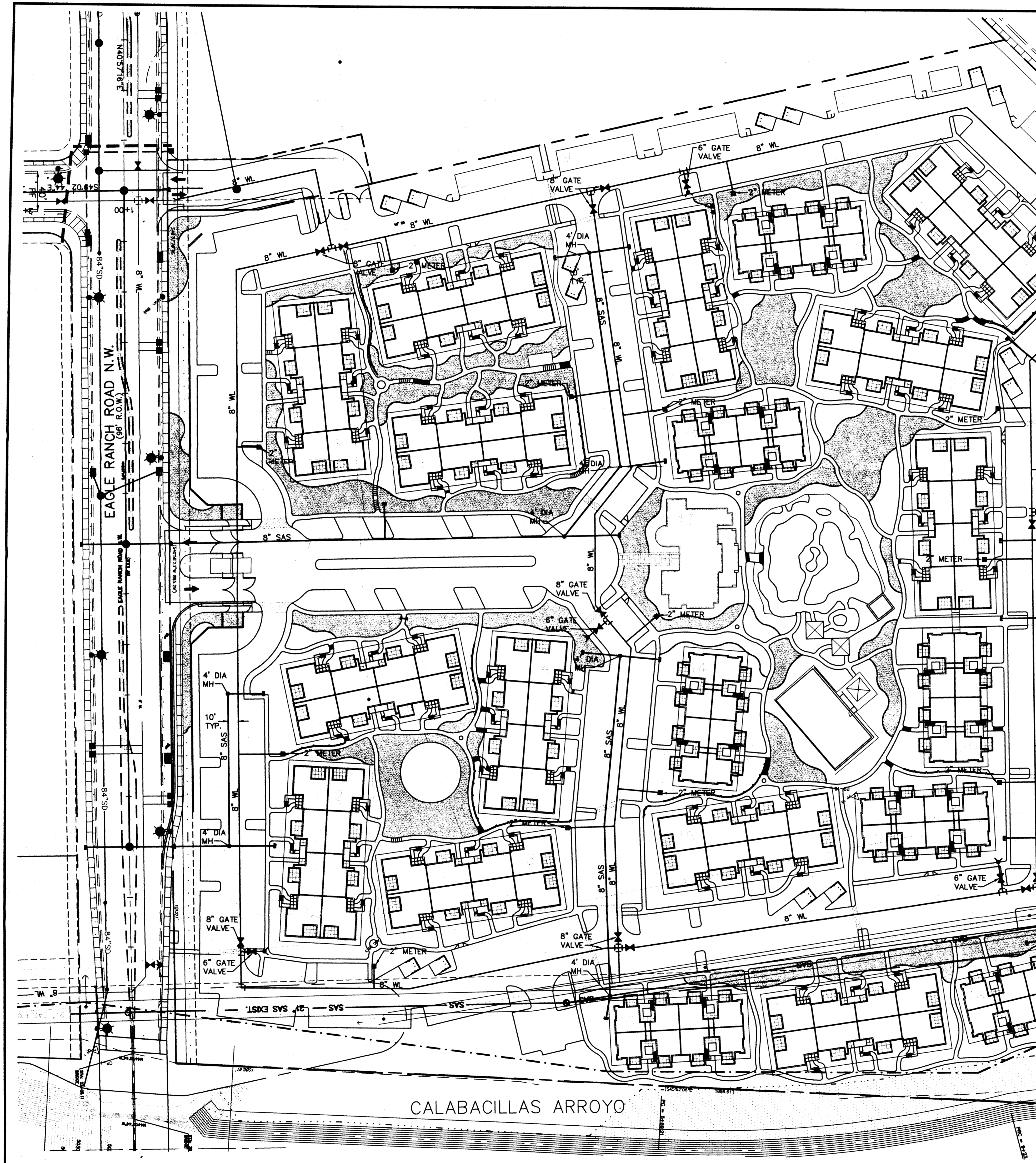
CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING GROUP

**ASPEN RANCH APARTMENTS  
CALABACILLAS DRAINAGE OUTLET PLAN**

Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. \_\_\_\_\_ Zone Map No. C-13 Sheet 17 of 19 C-17

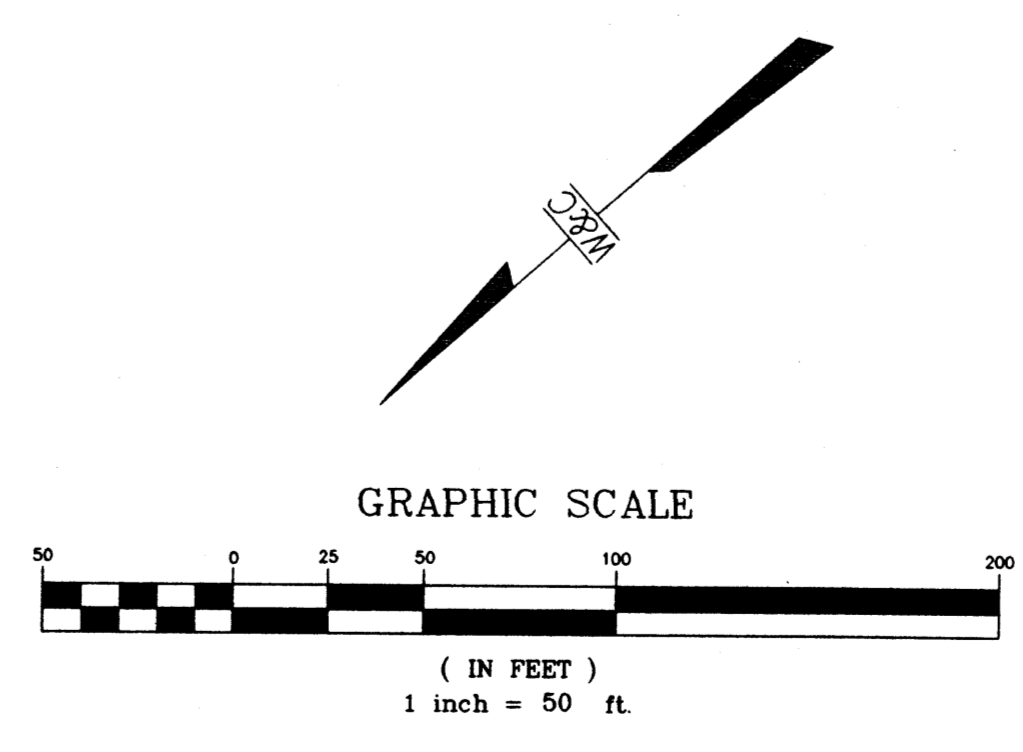




MATCHLINE SEE SHEET C-19

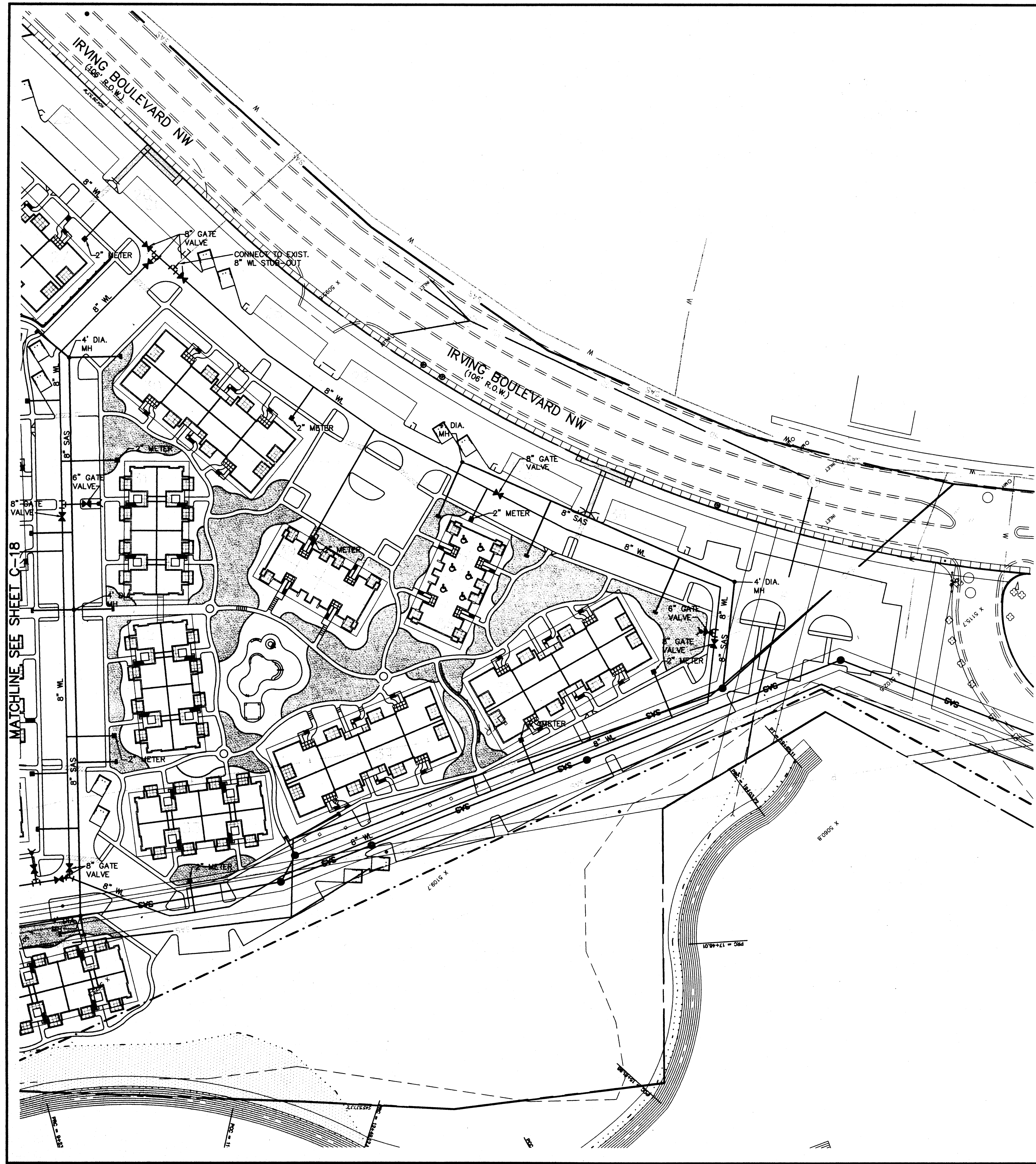
**LEGEND**

- EXISTING EASEMENT
- - - EXISTING ROW
- . - . EXISTING PURDENT LINE
- UNDER GROUND TELEPHONE LINE
- EXISTING WATERLINE
- OVERHEAD POWER LINE
- EXISTING SANITARY SEWER LINE
- EXISTING POWER POLE
- EXISTING STORM DRAIN MANHOLE
- EXISTING SANITARY SEWER MANHOLE
- PROPOSED 2" WATER METER
- PROPOSED 4" DIAMETER MANHOLE
- ▲ PROPOSED FIRE HYDRANT W/6" GATE VALVE
- PROPOSED SAS STUB-OUT
- ▲ PROPOSED 8" GATE VALVE
- 8" SAS PROPOSED 8" SAS
- 8" WL PROPOSED 8" WATERLINE



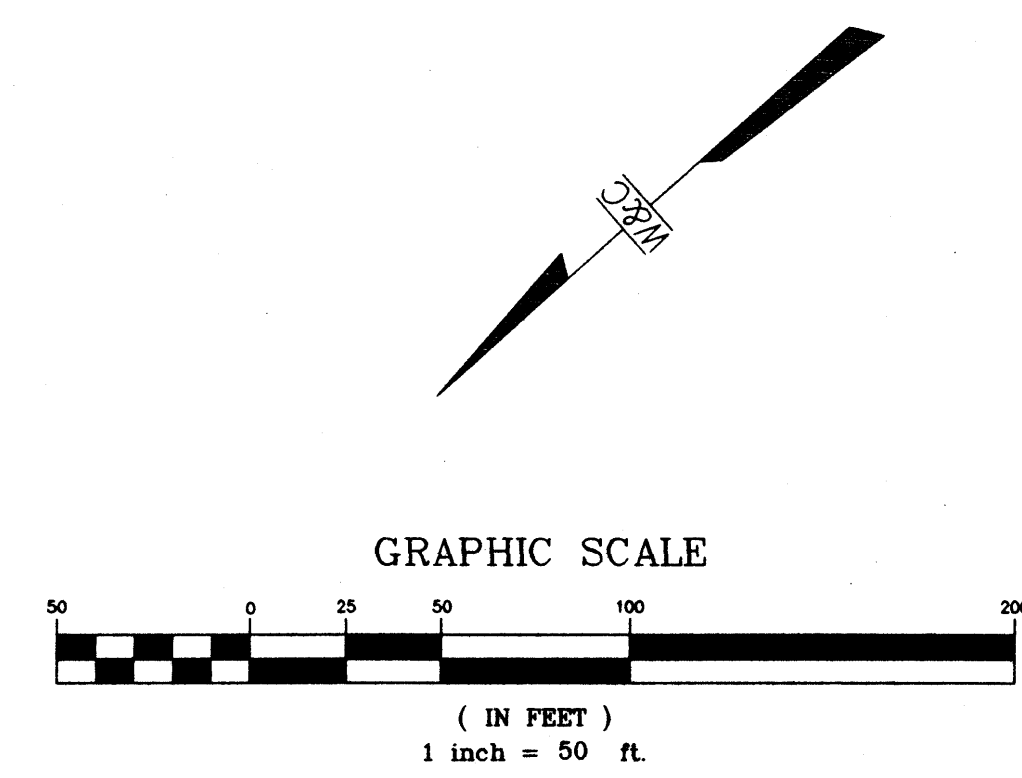
<b>WILSON &amp; COMPANY</b> 4900 LANG AVENUE N.E. ALBUQUERQUE, NEW MEXICO 87109 (505) 348-4000				DATE JAN. 2001
		FILE NO. XD-218-024		DESIGN M.J.
		DRAWN W.L.V.		
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP				
<b>ASPEN RANCH APARTMENTS          UTILITY SITE PLAN</b>				
Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No. C-13	Sheet 18 of 19 C-18		





**LEGEND**

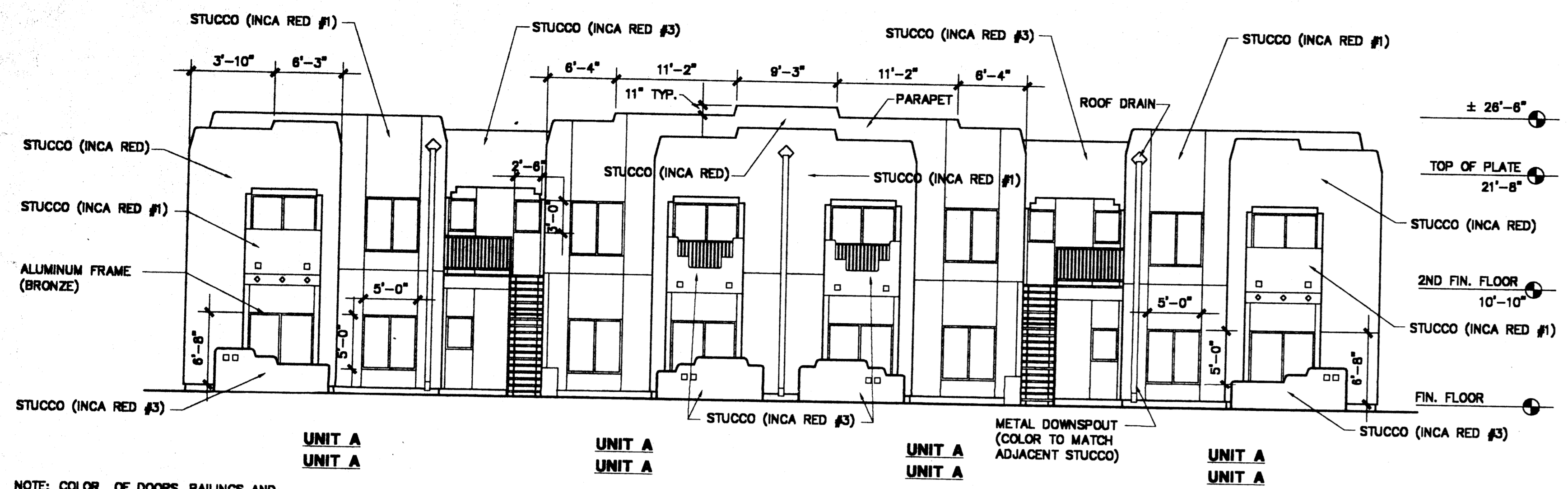
- EXISTING EASEMENT
- EXISTING ROW
- EXISTING PURDENT LINE
- UNDER GROUND TELEPHONE LINE
- EXISTING WATERLINE
- OVERHEAD POWER LINE
- EXISTING SANITARY SEWER LINE
- EXISTING POWER POLE
- EXISTING STORM DRAIN MANHOLE
- EXISTING SANITARY SEWER MANHOLE
- PROPOSED 2" WATER METER
- PROPOSED 4' DIAMETER MANHOLE
- ▲ PROPOSED FIRE HYDRANT W/6" GATE VALVE
- PROPOSED SAS STUB-OUT
- ▲ PROPOSED 8" GATE VALVE
- 8" SAS
- 8" WL



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			FILE NO. XO-218-024
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP		<b>ASPEN RANCH APARTMENTS          UTILITY SITE PLAN</b>	
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet 19 of 19	
	C-13	C-19	

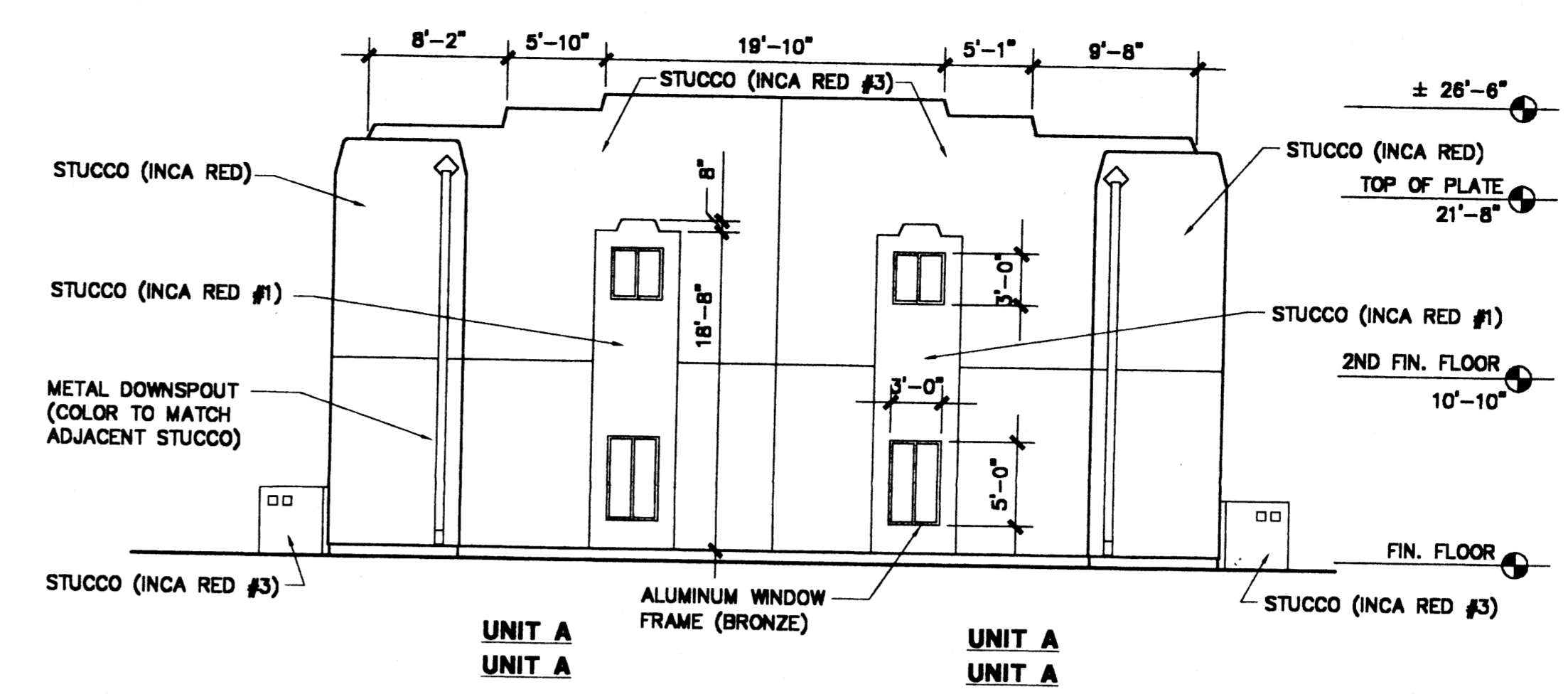


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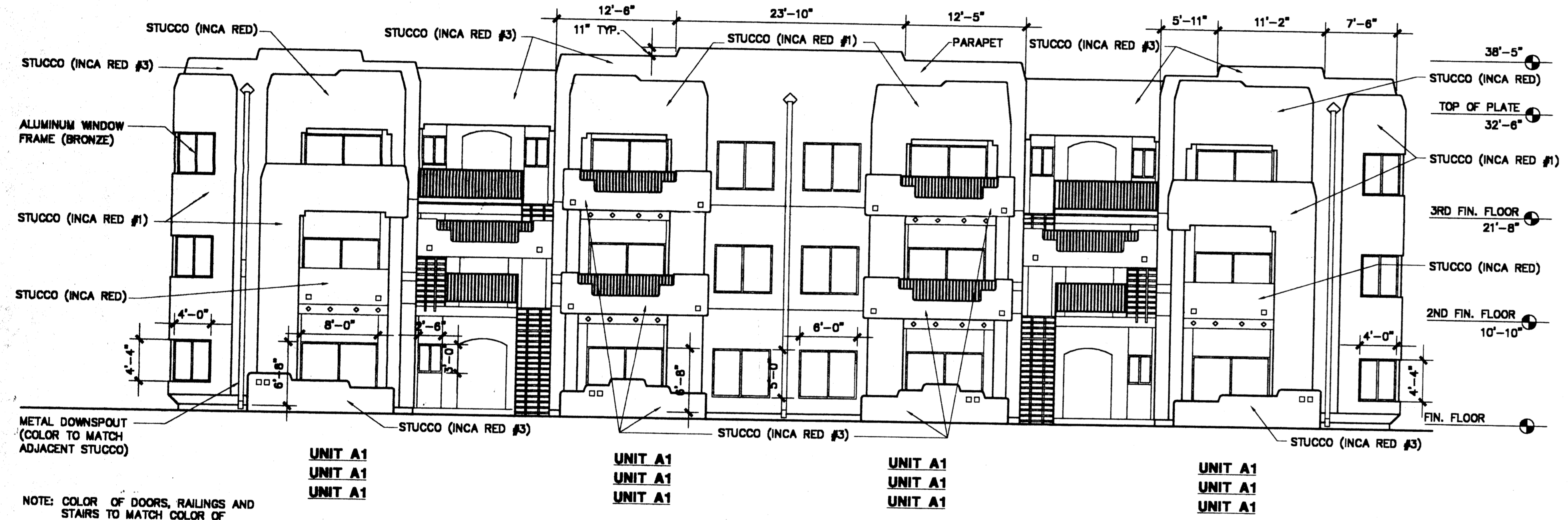
**FRONT/REAR ELEVATION**  
 BUILDING TYPE 1

SCALE: 1/8" = 1'-0"



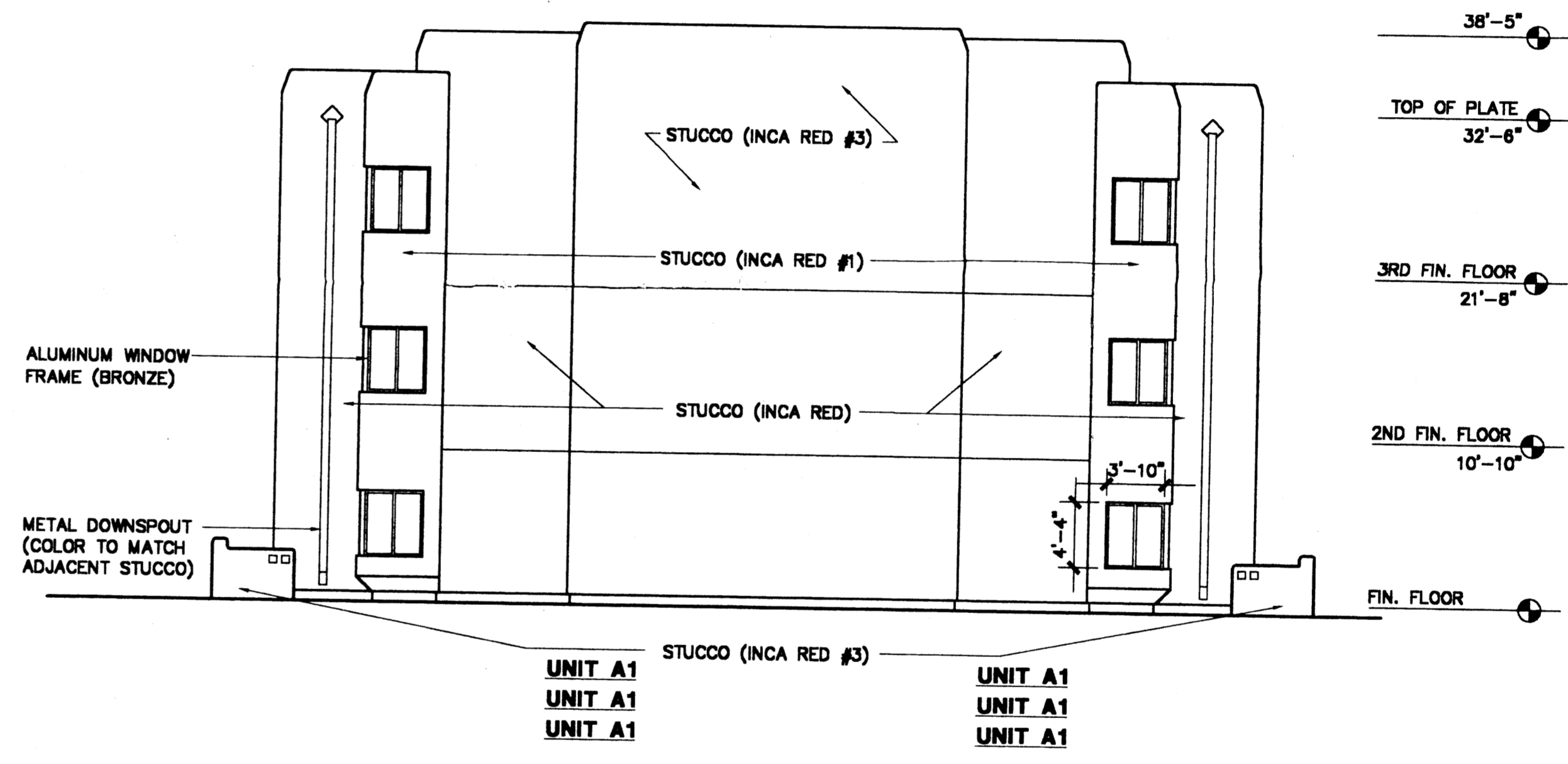
**SIDE ELEVATION**  
 BUILDING TYPE 1

SCALE: 1/8" = 1'-0"



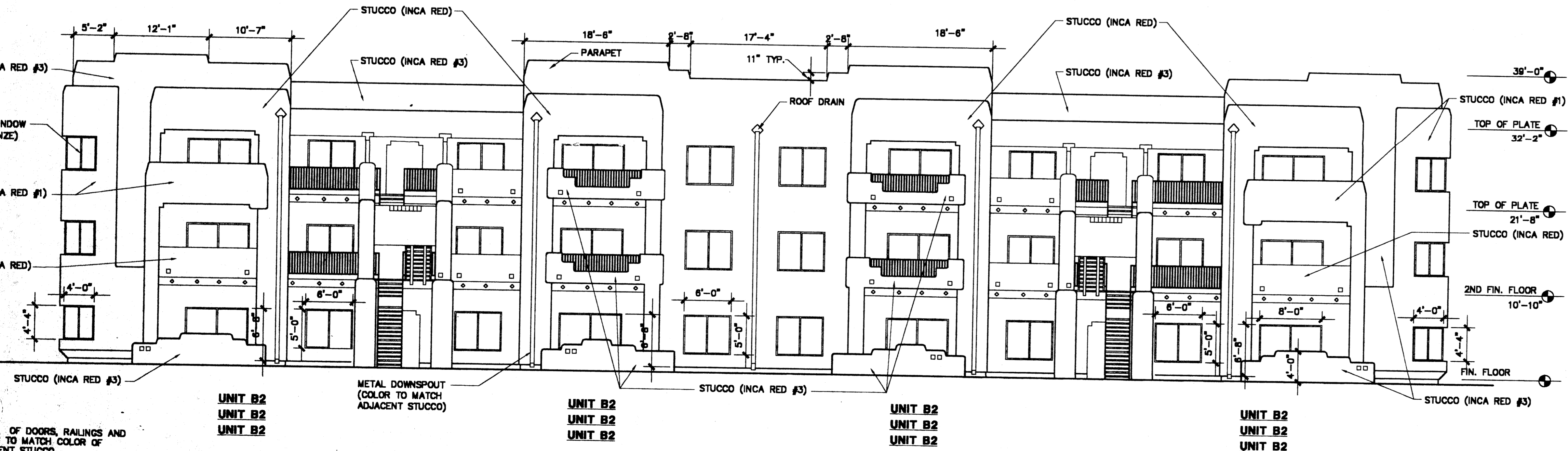
**FRONT/REAR ELEVATION**  
 BUILDING TYPE 2

SCALE: 1/8" = 1'-0"



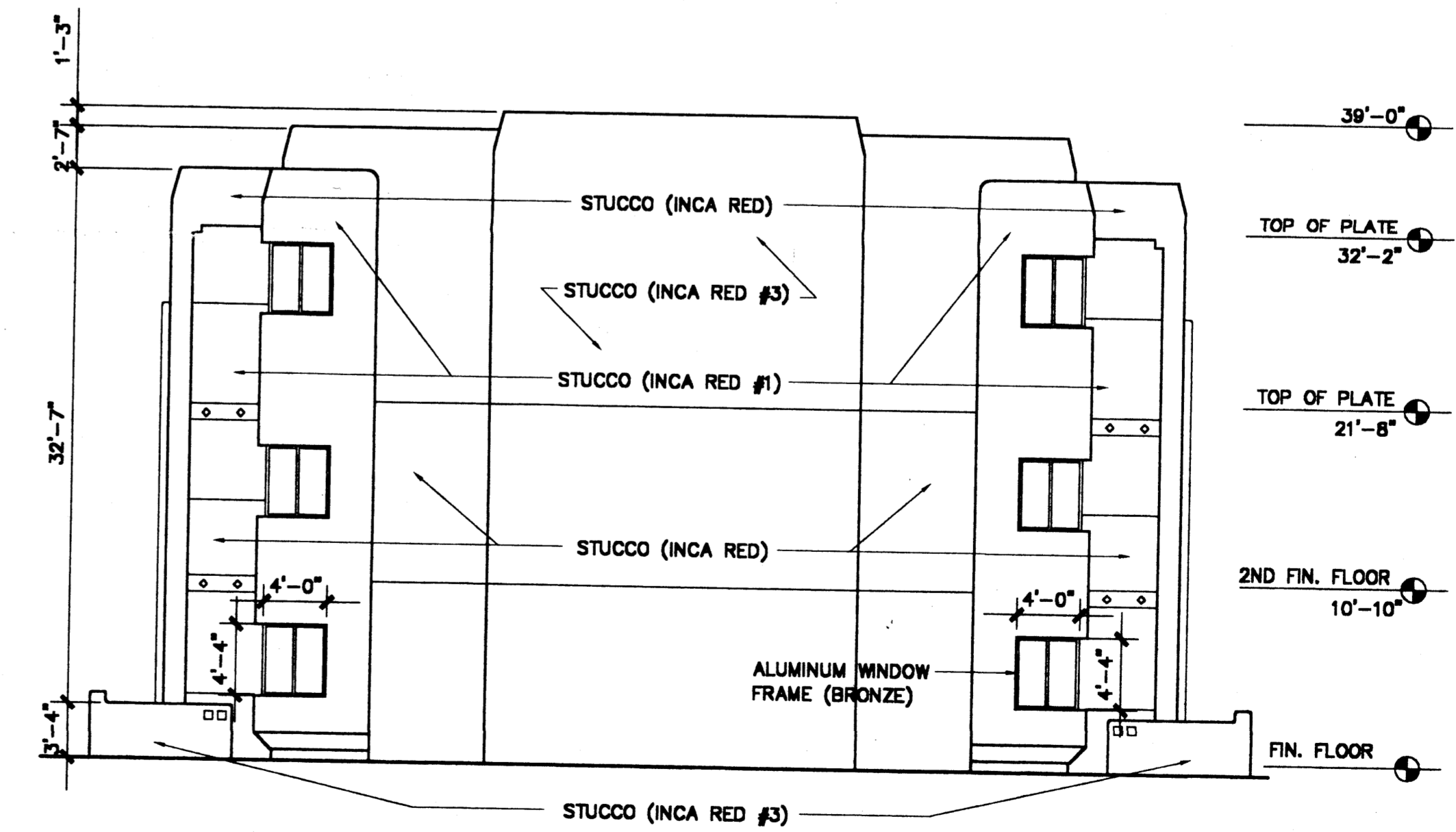
**SIDE ELEVATION**  
 BUILDING TYPE 2

SCALE: 1/8" = 1'-0"



**FRONT/REAR ELEVATION**  
 BUILDING TYPE 3

SCALE: 1/8" = 1'-0"

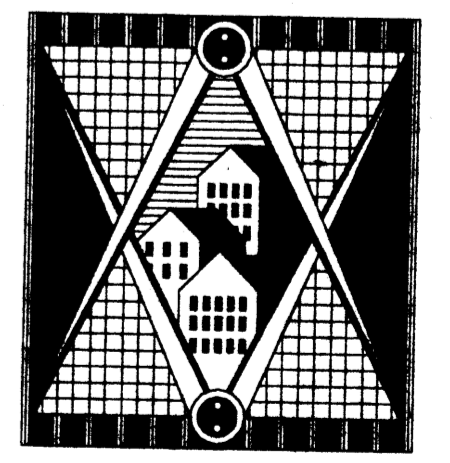


**SIDE ELEVATION**  
 BUILDING TYPE 3

SCALE: 1/8" = 1'-0"

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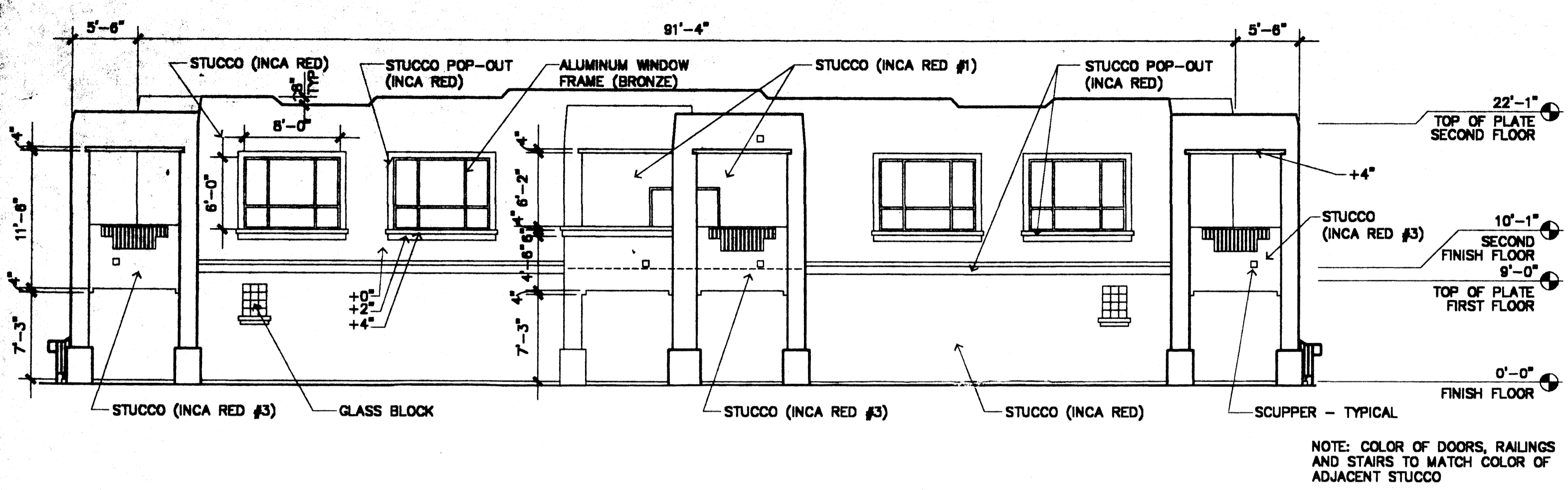
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BUILDING ELEVATIONS - 1

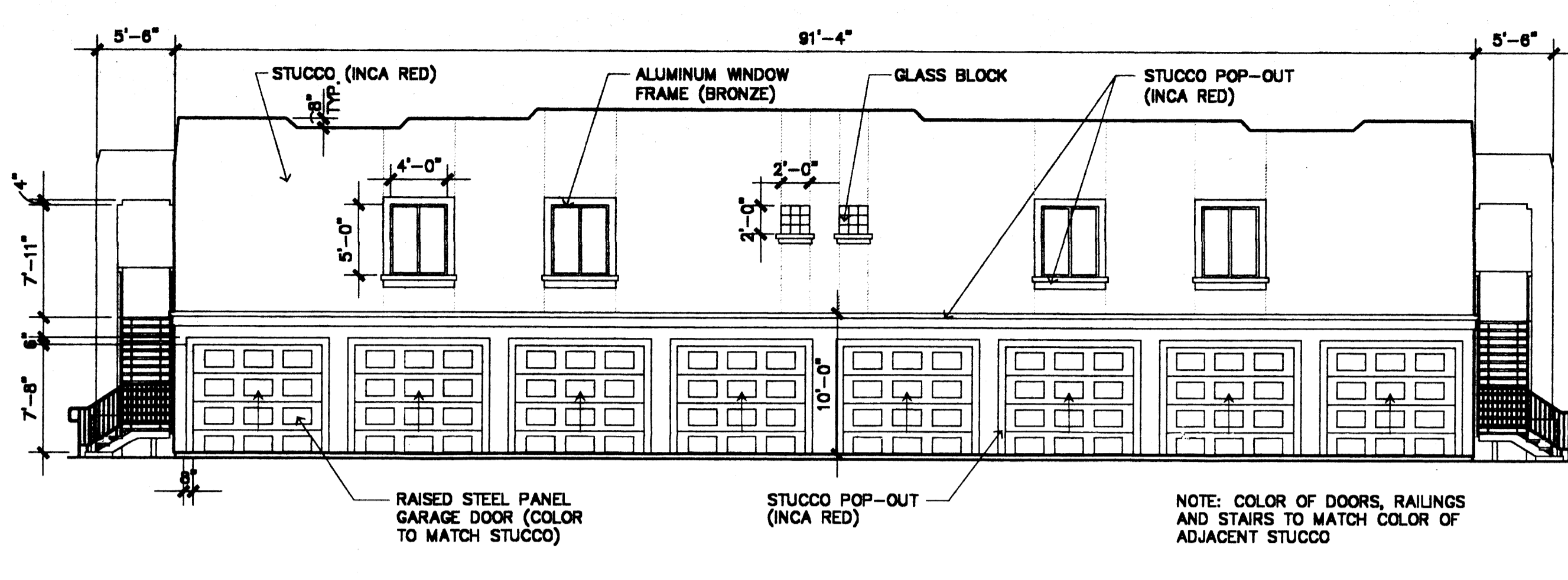


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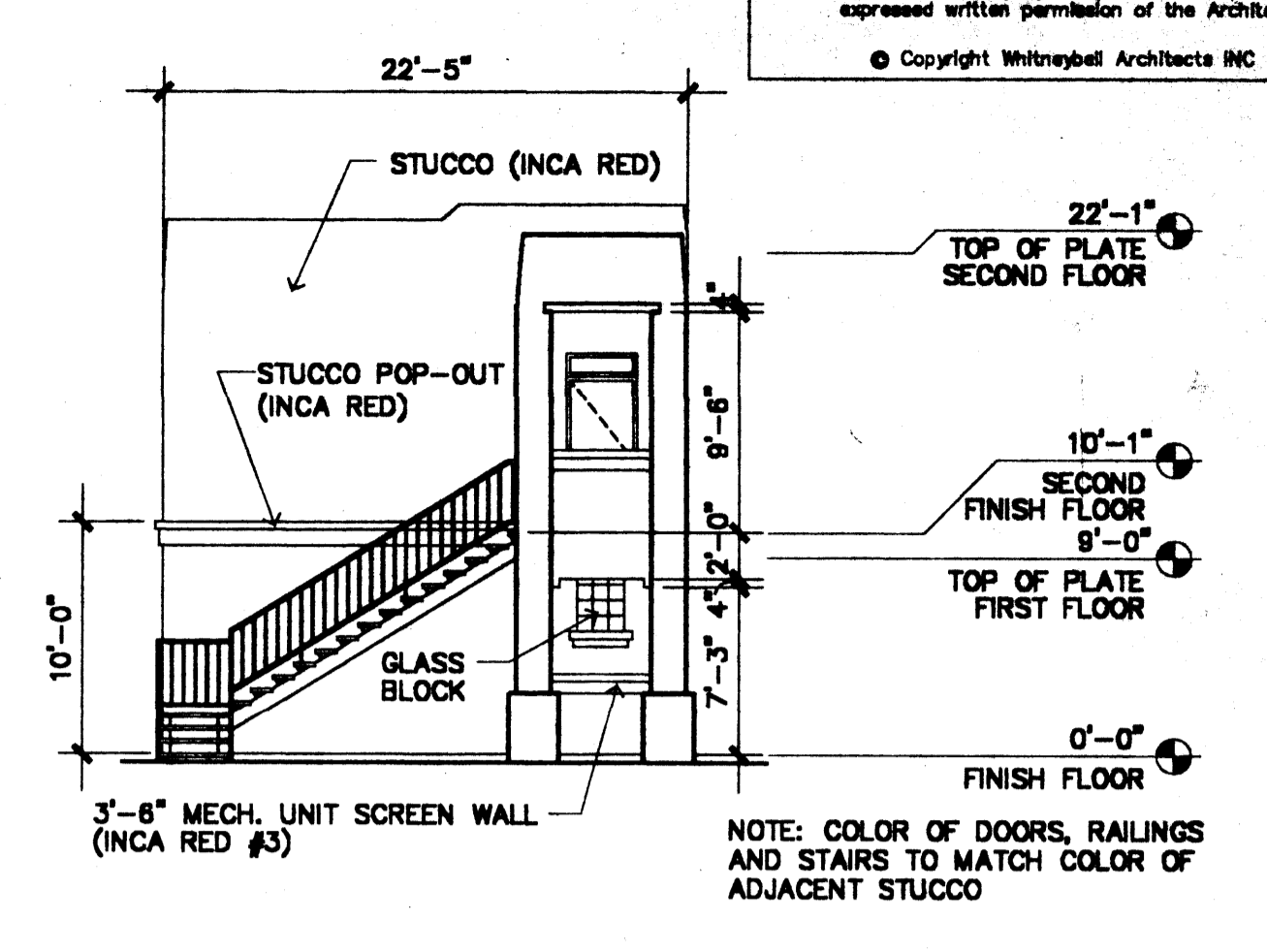
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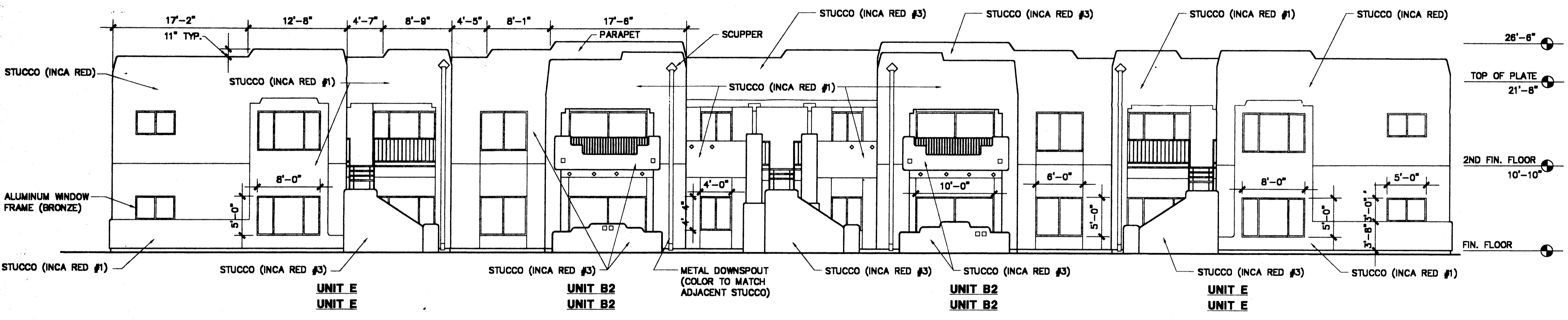
**REAR ELEVATION**  
BUILDING TYPE 3  
SCALE: 1/8" = 1'-0"



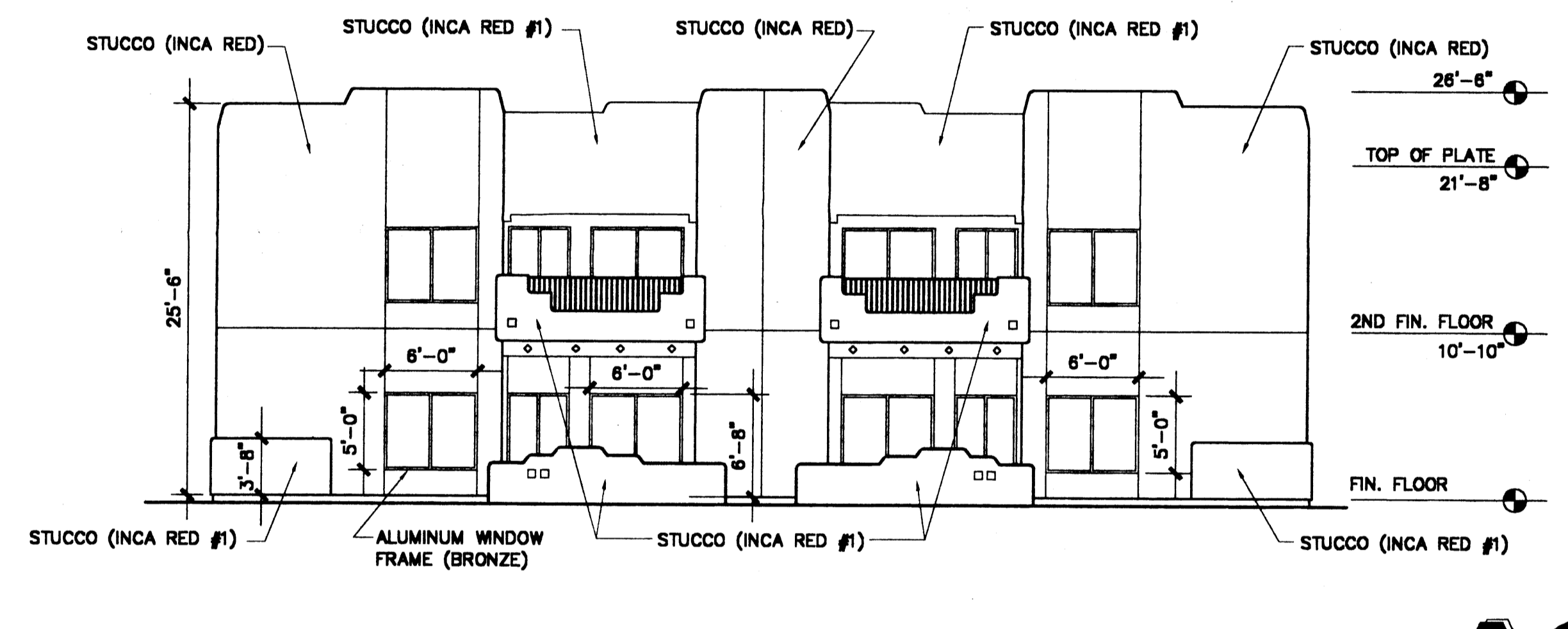
**FRONT ELEVATION**  
BUILDING TYPE 3  
SCALE: 1/8" = 1'-0"



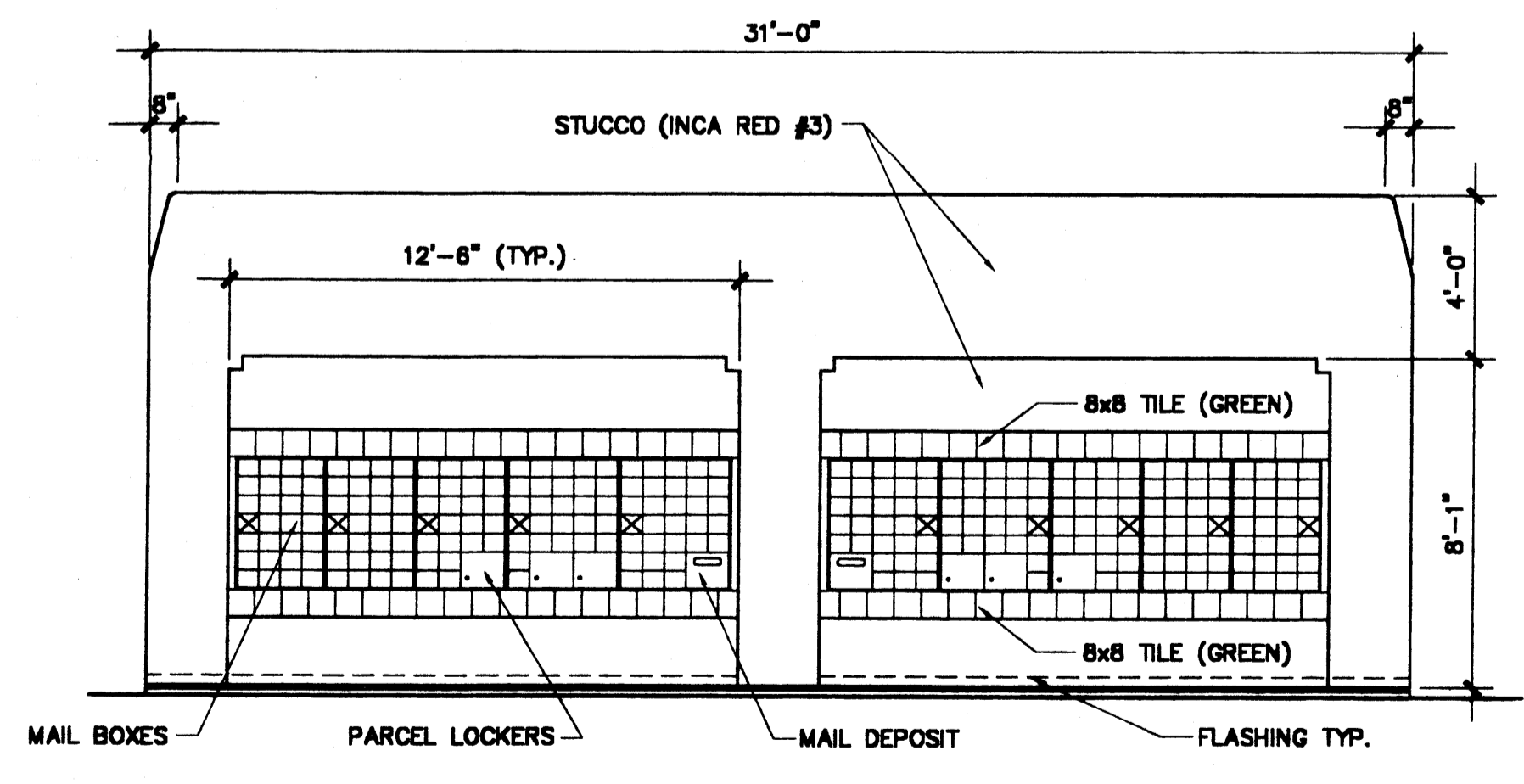
**SIDE ELEVATION**  
BUILDING TYPE 3  
SCALE: 1/8" = 1'-0"



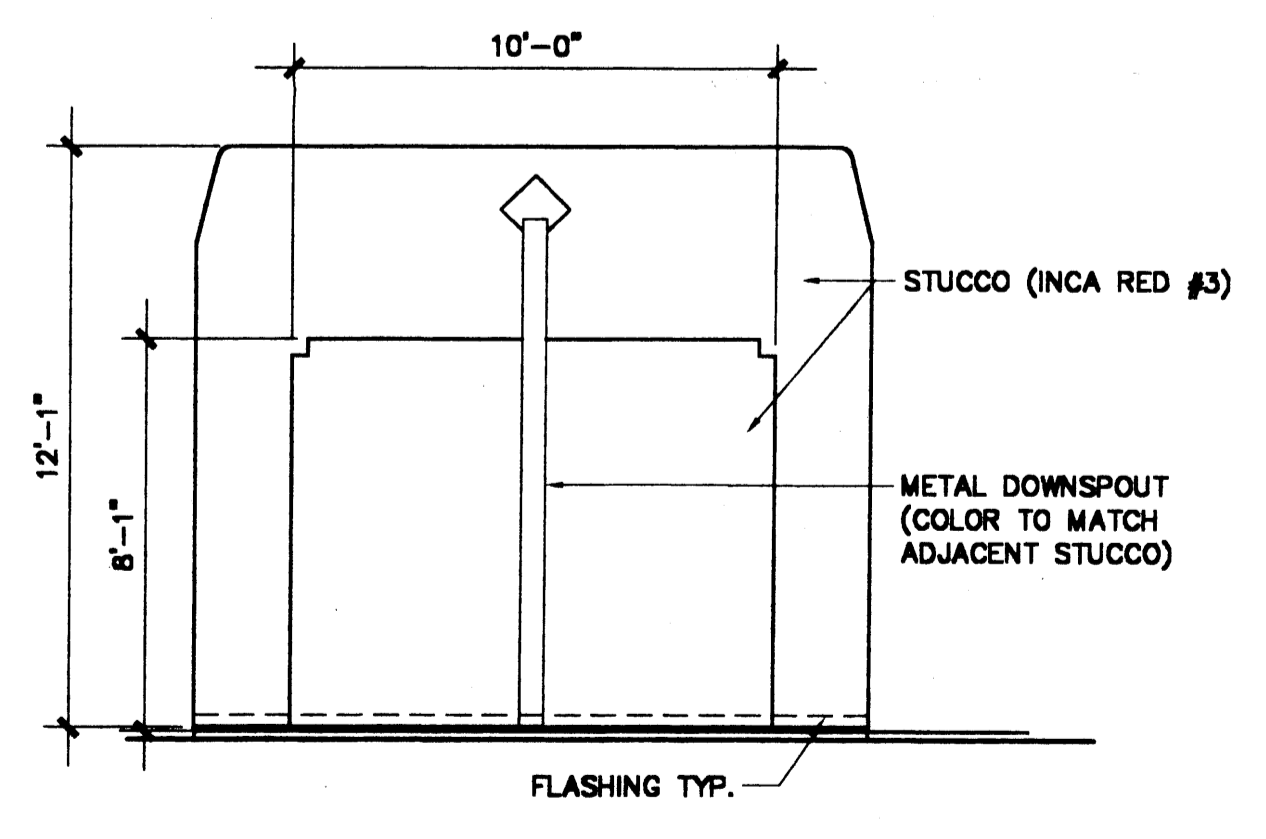
**FRONT/REAR ELEVATION**  
BUILDING TYPE 4  
SCALE: 1/8" = 1'-0"



**SIDE ELEVATION**  
BUILDING TYPE 4  
SCALE: 1/8" = 1'-0"



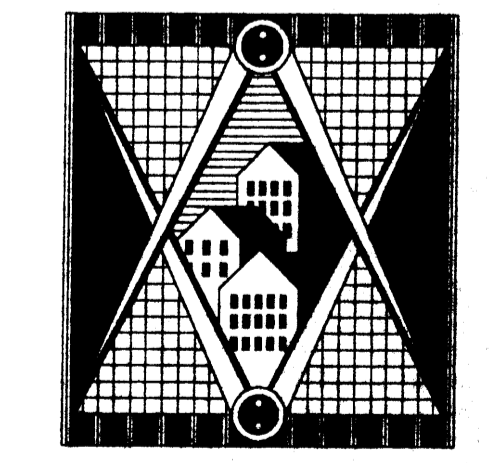
**FRONT ELEVATION**  
POSTAL SHELTER  
SCALE: 1/4" = 1'-0"



**SIDE ELEVATION**  
POSTAL SHELTER  
SCALE: 1/4" = 1'-0"

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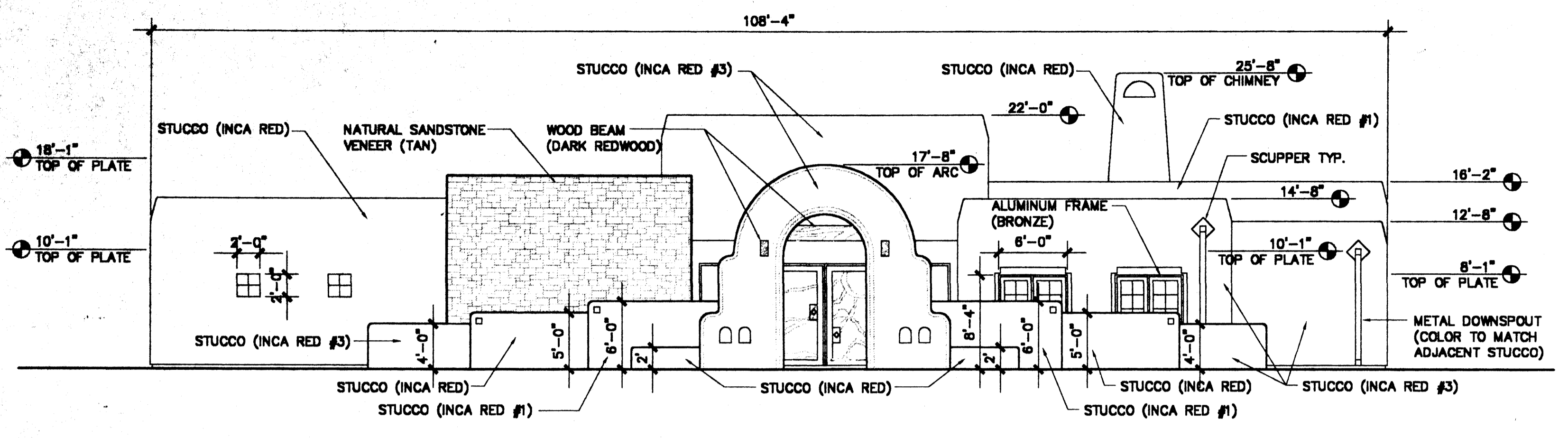
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BUILDING ELEVATIONS - 2

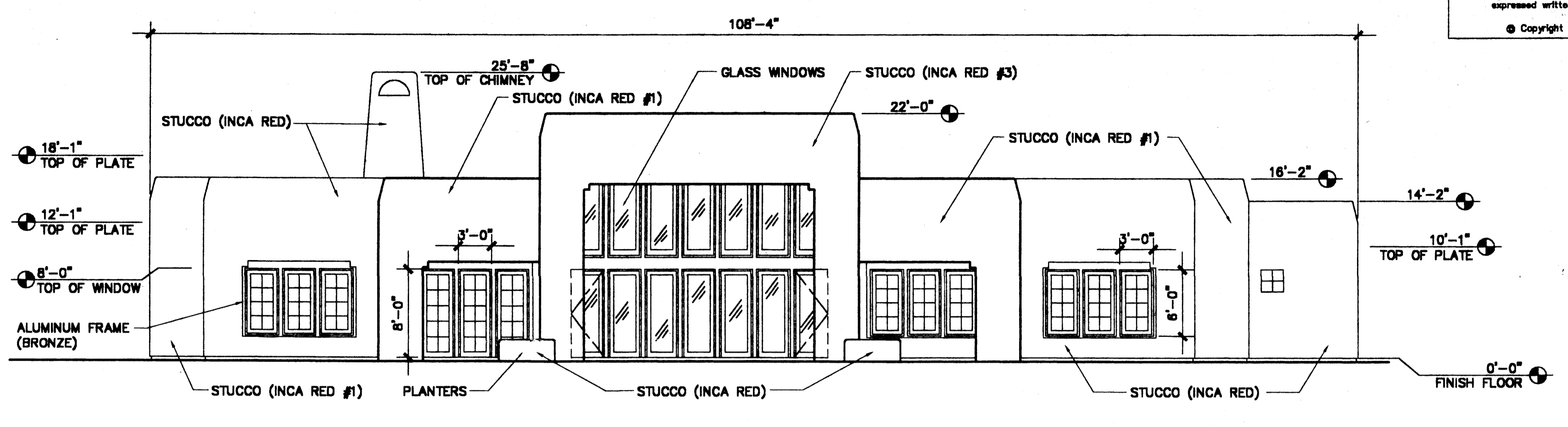


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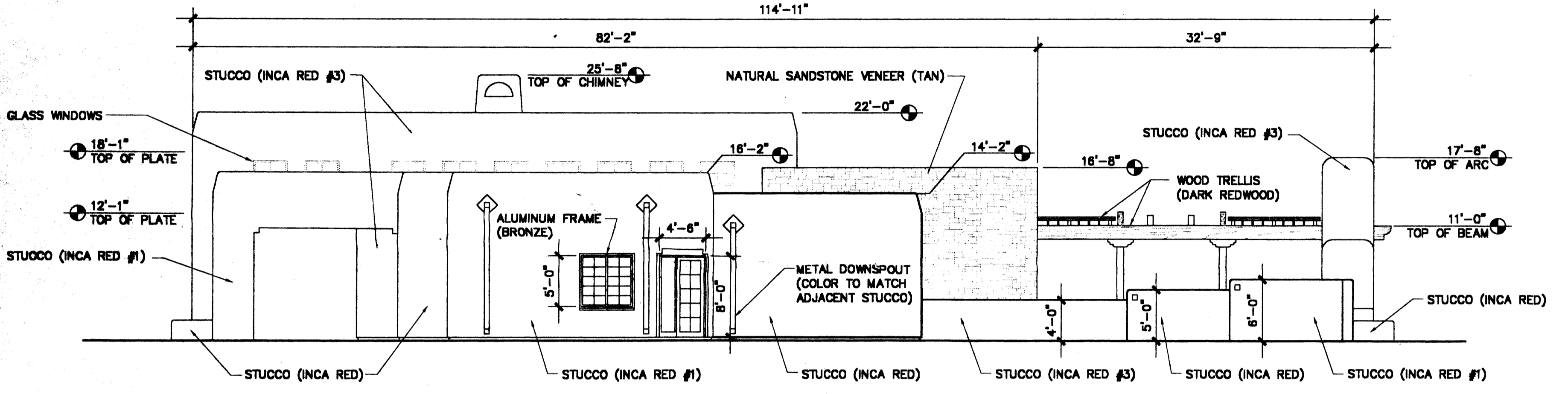
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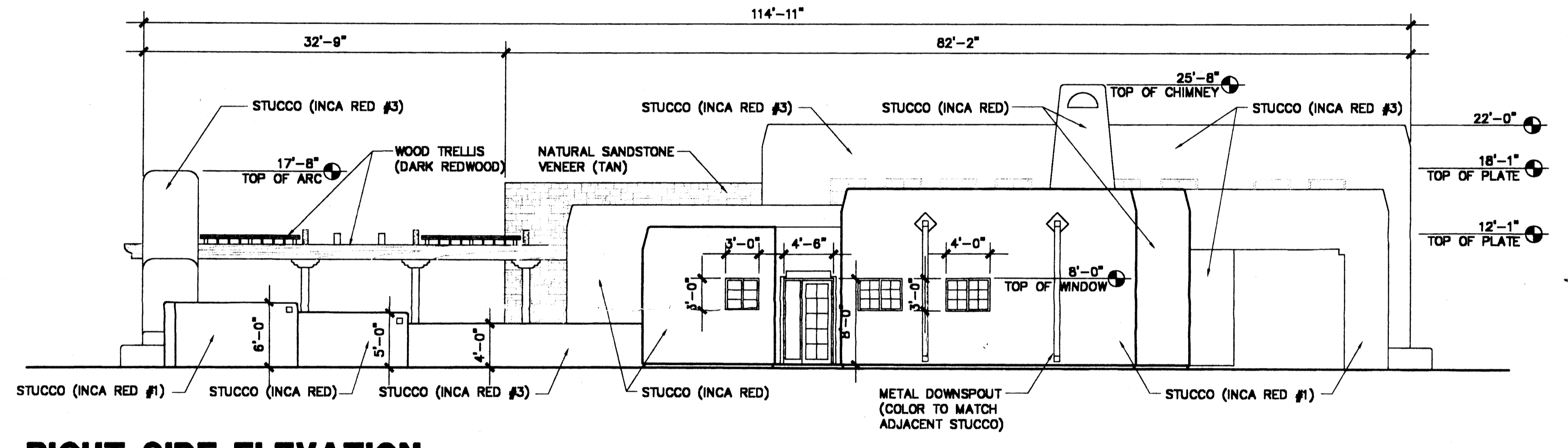
**FRONT ELEVATION**  
REC/OFFICE SCALE: 1/8" = 1'-0"



**REAR ELEVATION**  
REC/OFFICE SCALE: 1/8" = 1'-0"



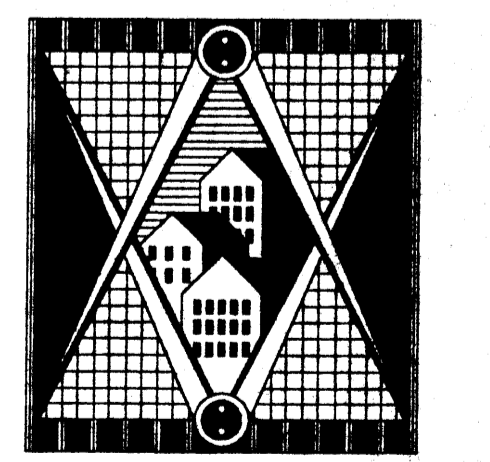
**LEFT SIDE ELEVATION**  
REC/OFFICE SCALE: 1/8" = 1'-0"



**RIGHT SIDE ELEVATION**  
REC/OFFICE SCALE: 1/8" = 1'-0"

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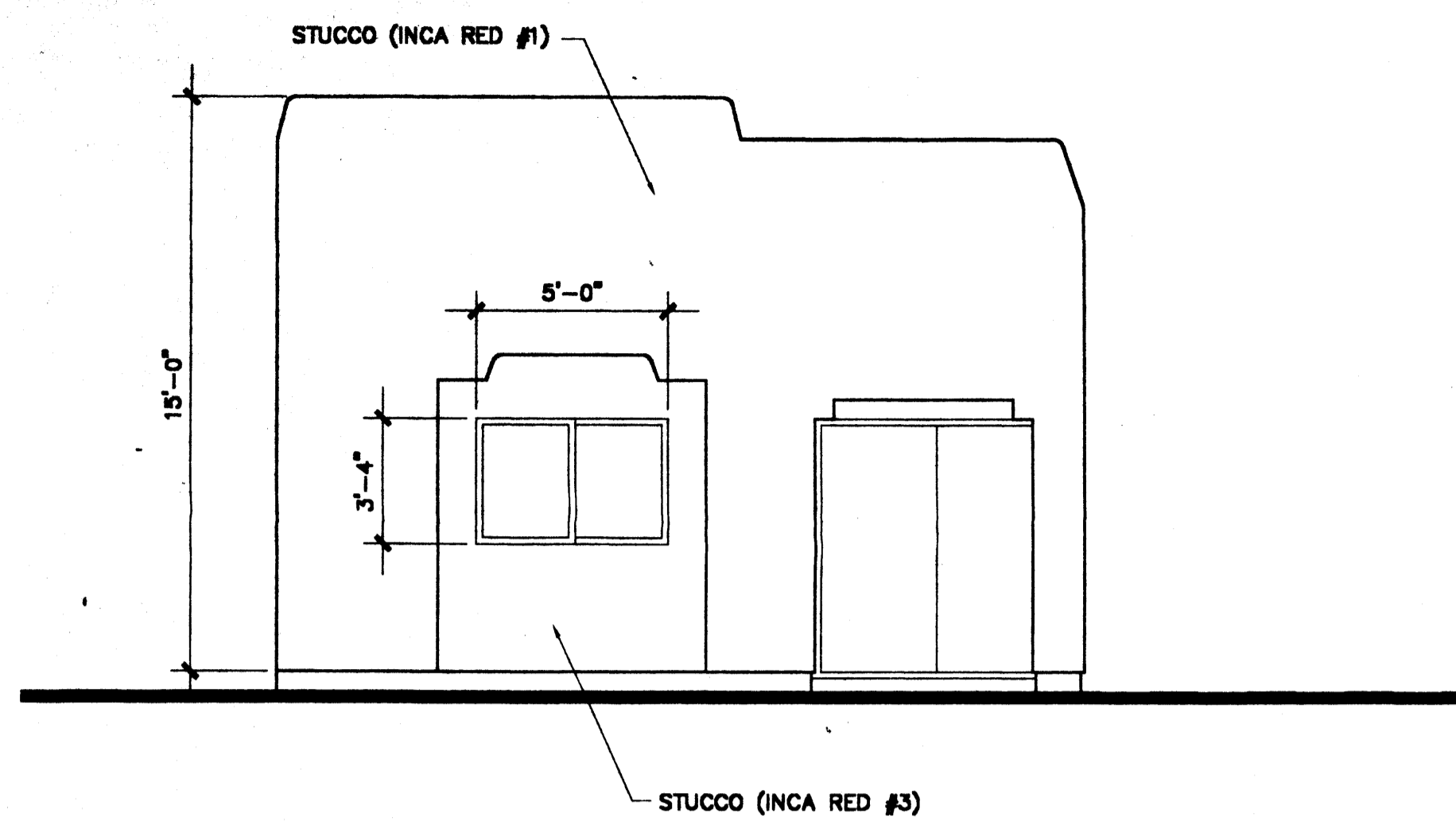
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BUILDING ELEVATIONS - 3

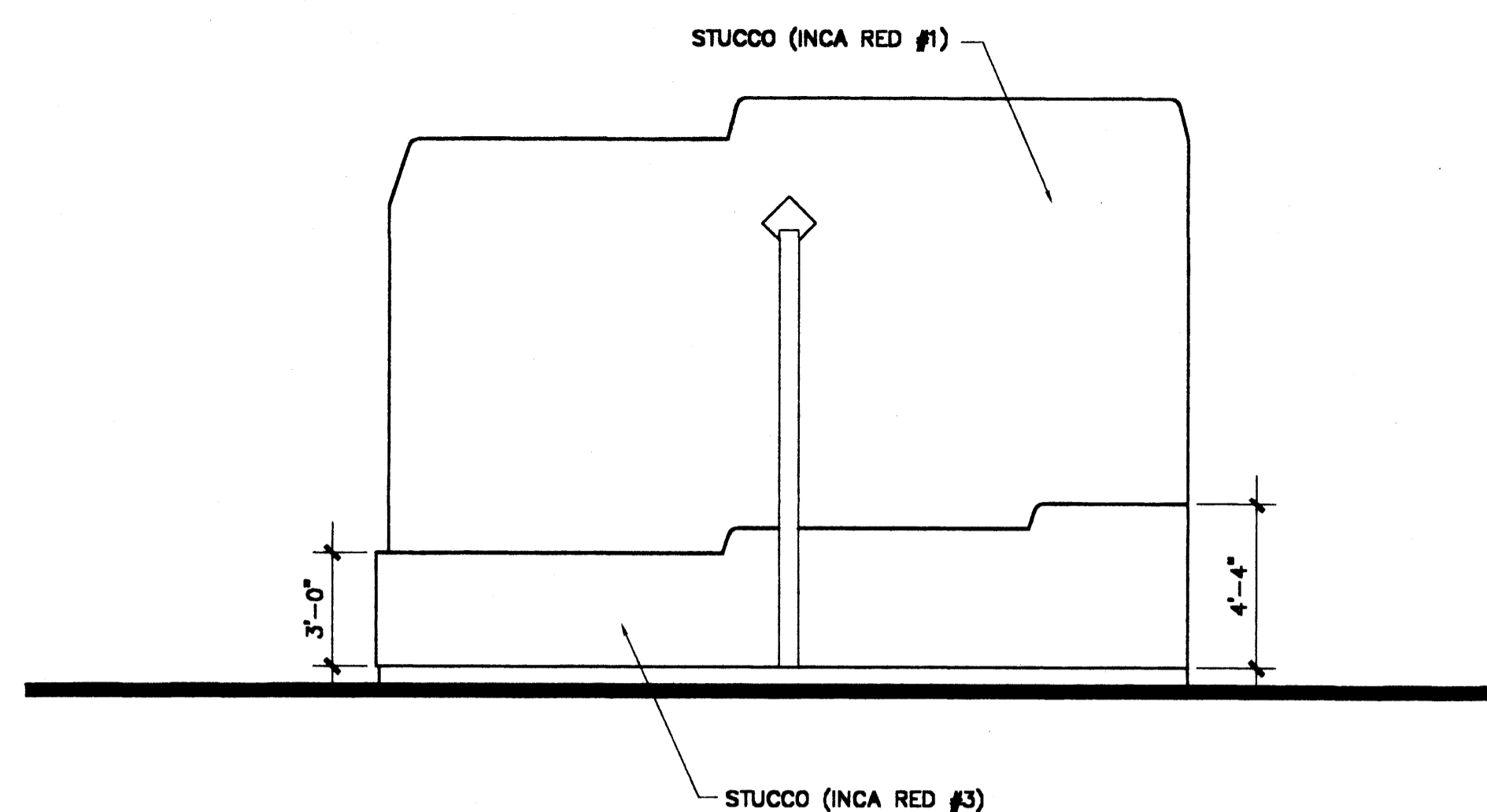


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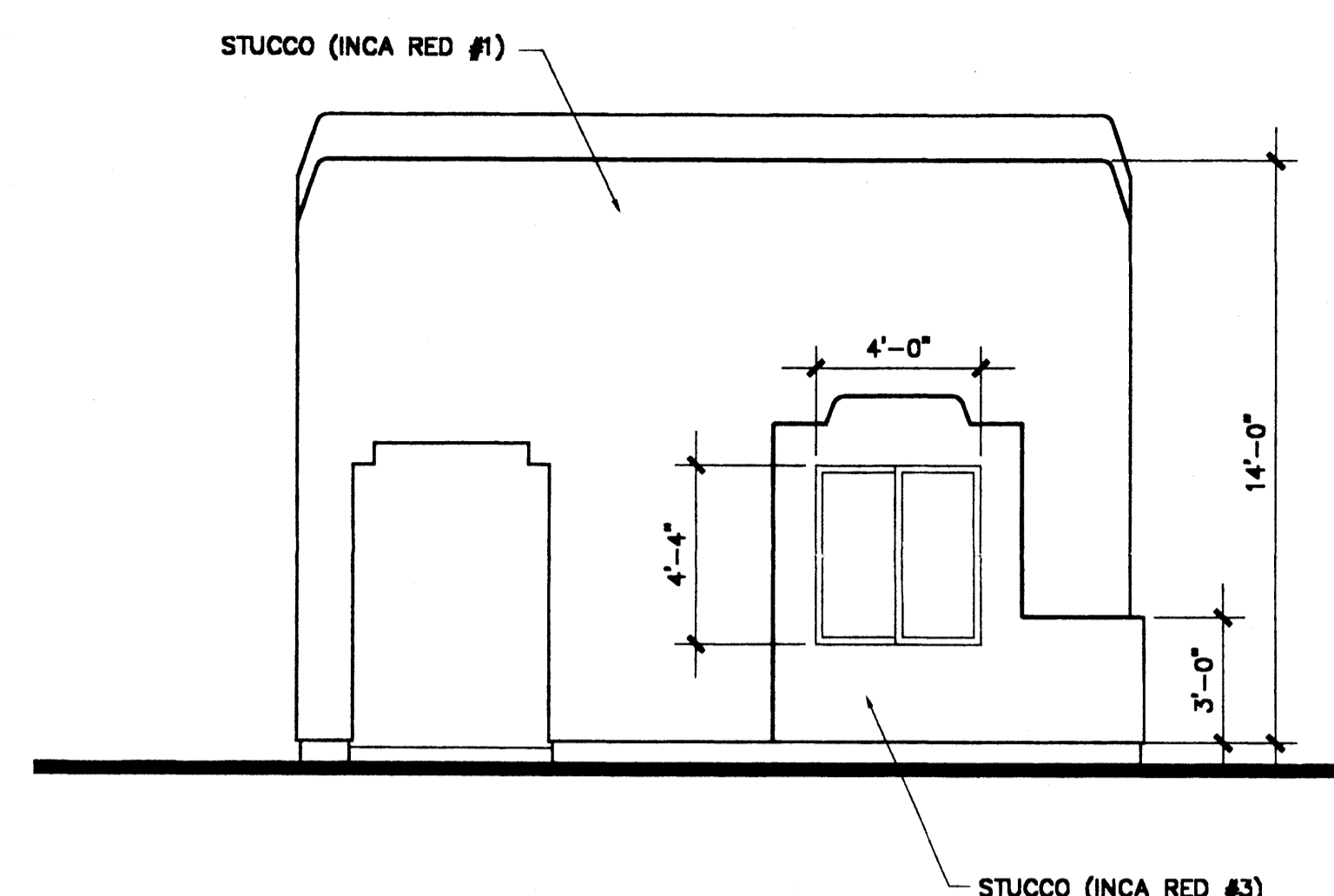
**LEFT SIDE ELEV.- WORK ROOM**

SCALE: 1/4" = 1'-0"



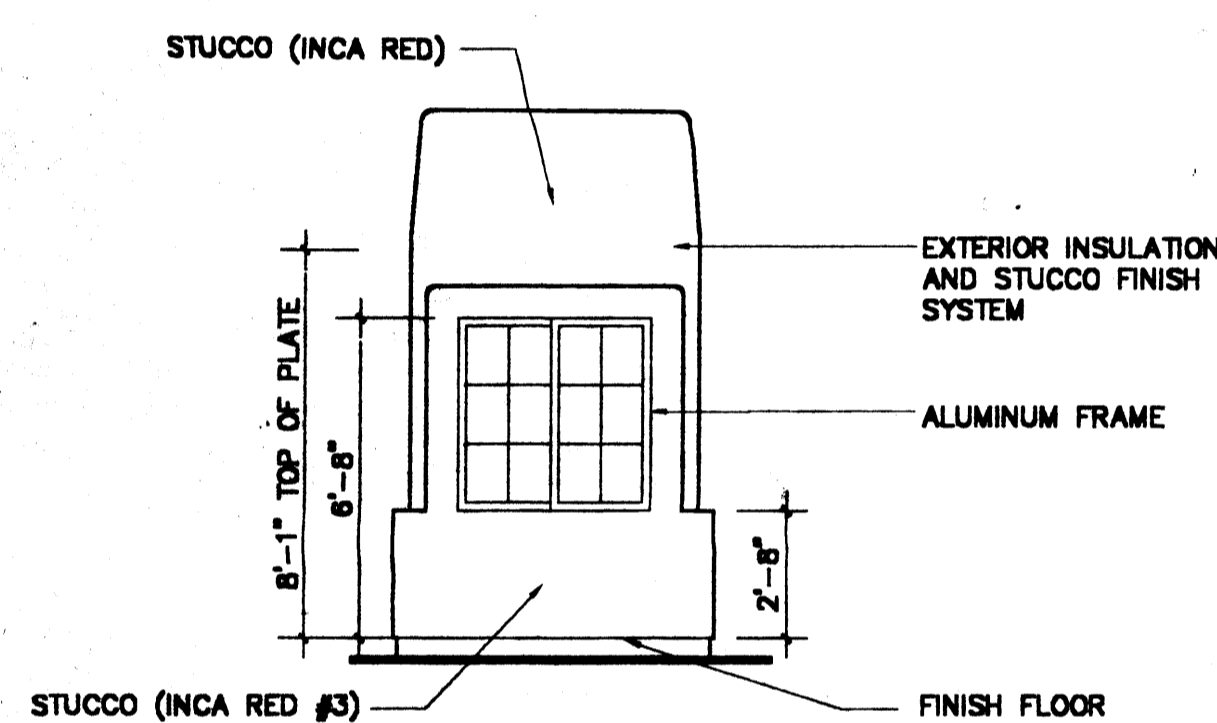
**RIGHT SIDE ELEV.- WORK ROOM**

SCALE: 1/4" = 1'-0"

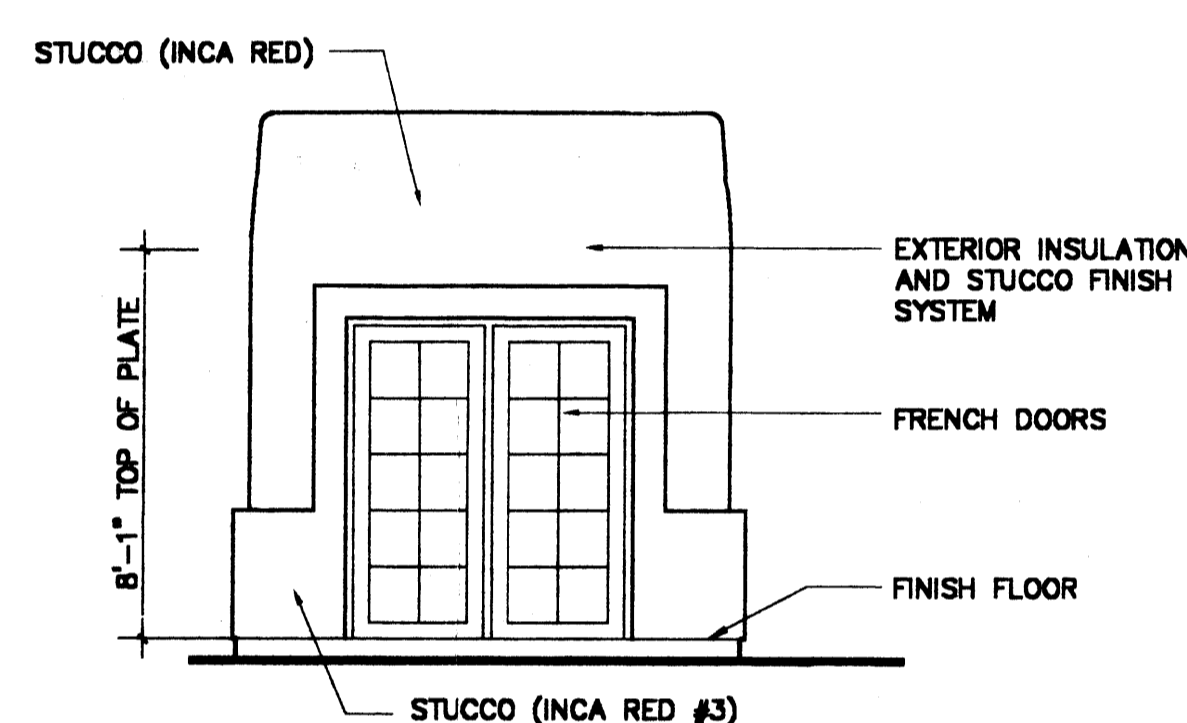


**FRONT ELEV.- WORK ROOM**

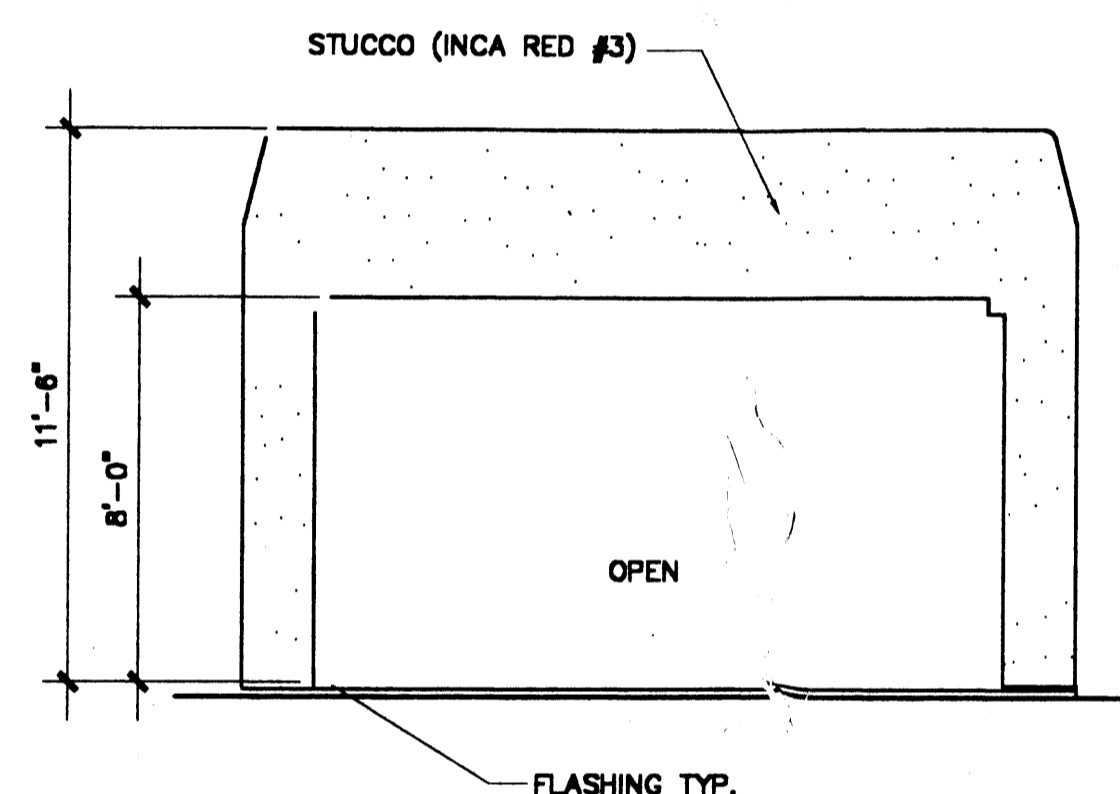
SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**

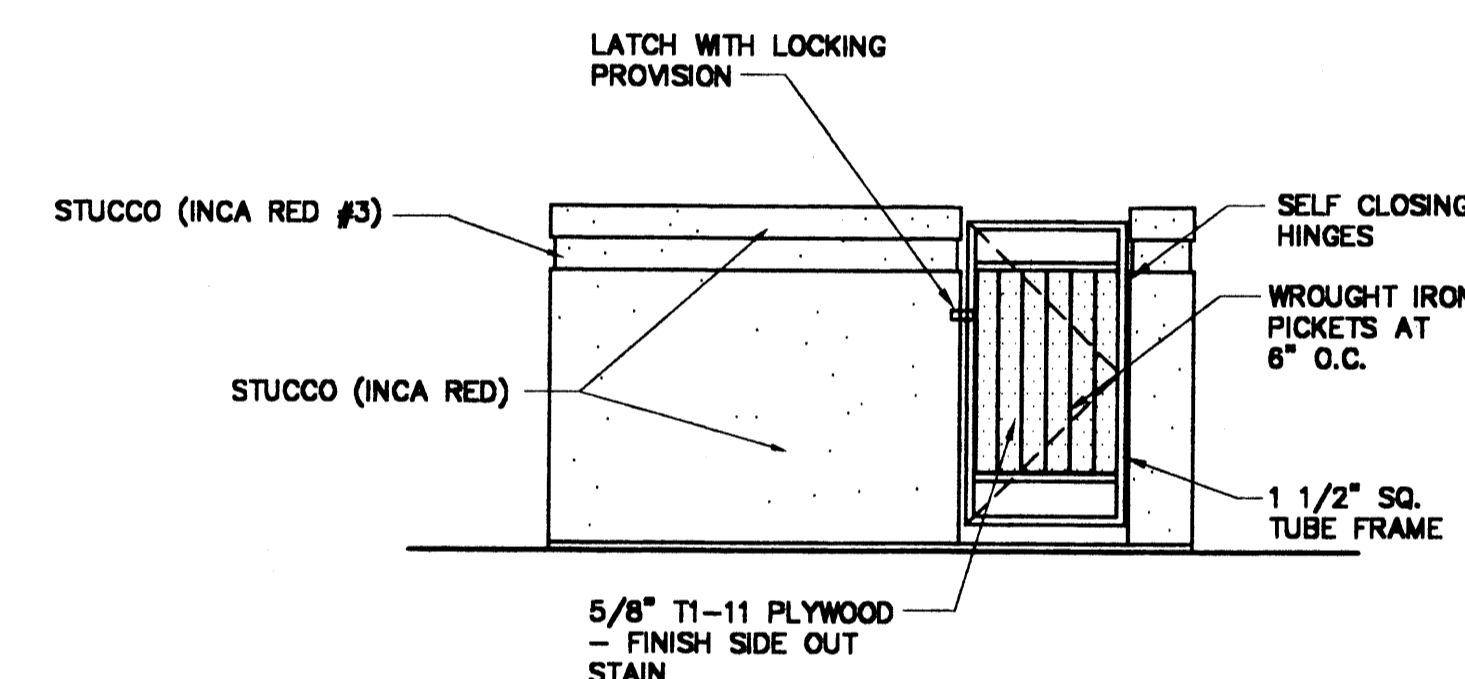


**REAR ELEVATION**



**TYPICAL RAMADA ELEVATION**

SCALE: 1/4" = 1'-0"

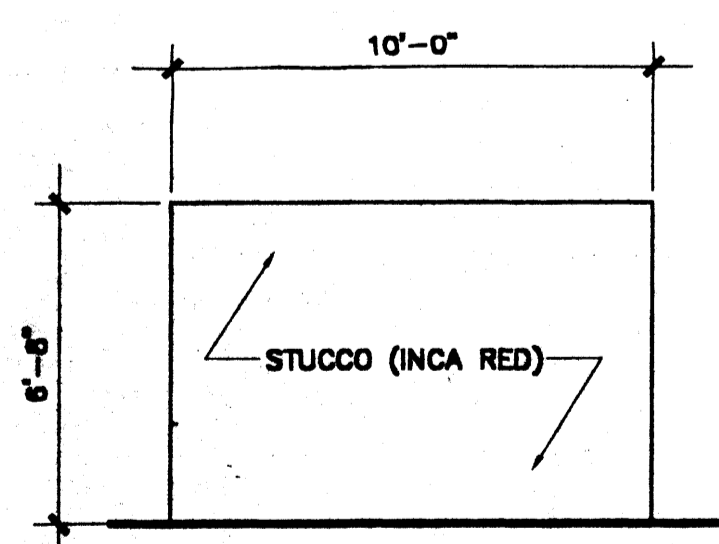


**FRONT ELEVATION POOL EQUIPMENT ENCLOSURE**

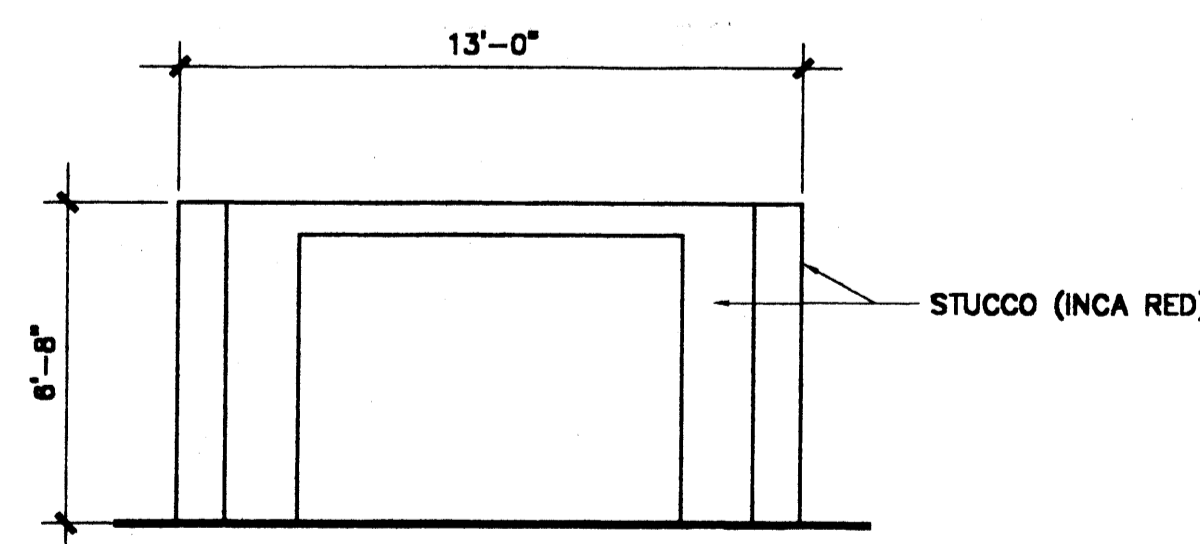
SCALE: 1/4" = 1'-0"

**GUARD HOUSE**

SCALE: 1/4" = 1'-0"



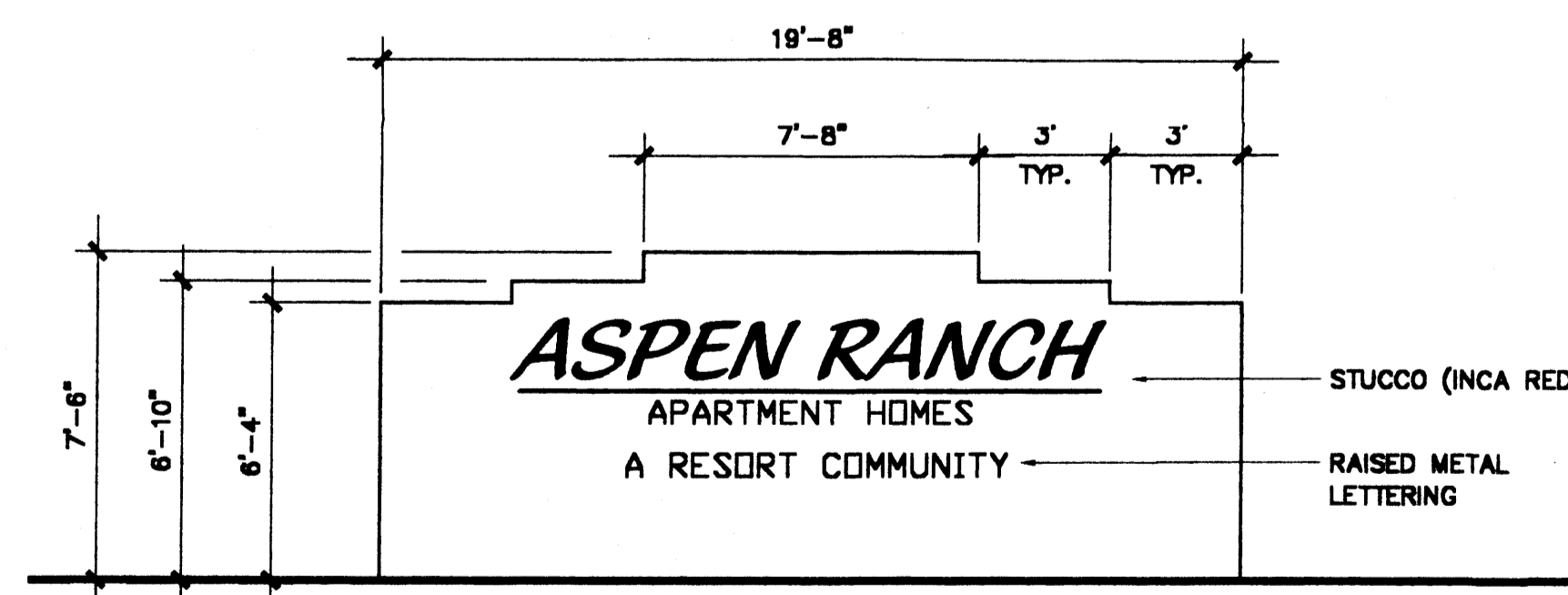
**REAR/SIDE ELEVATION**



**FRONT ELEVATION**

**TRASH ENCLOSURE**

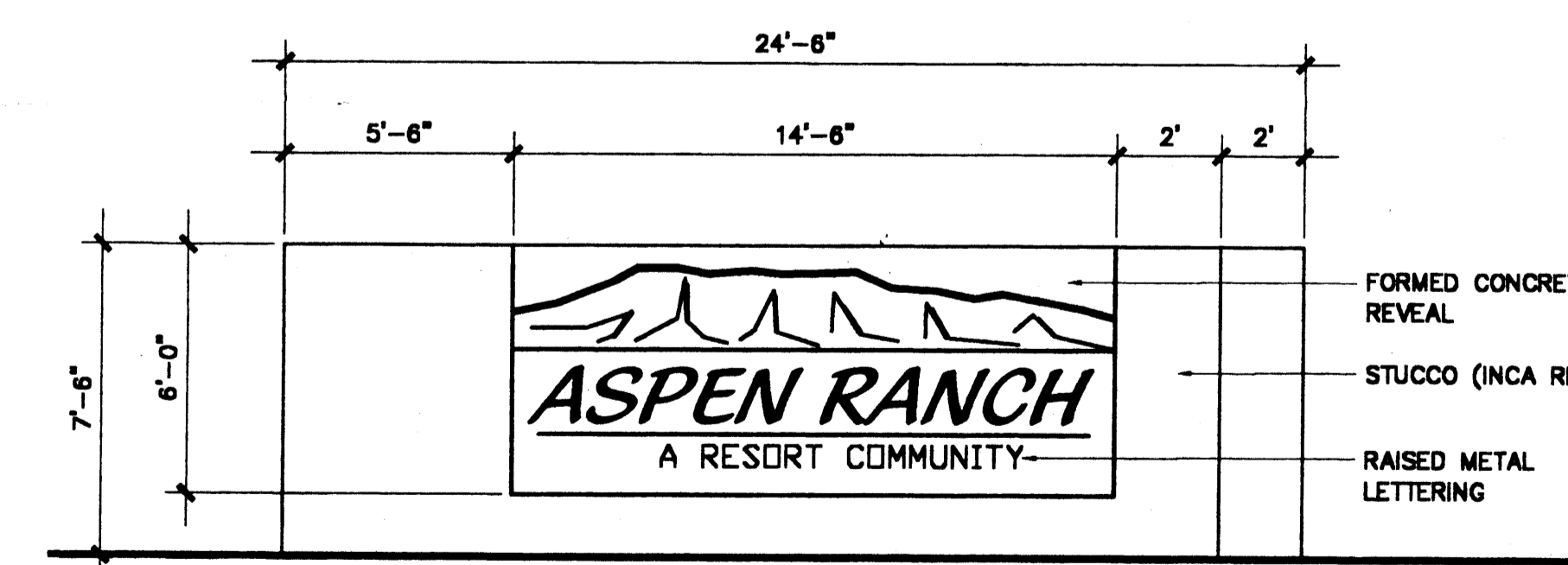
SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**

**ENTRY SIGN**

SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**

**ENTRY MONUMENT SIGN**

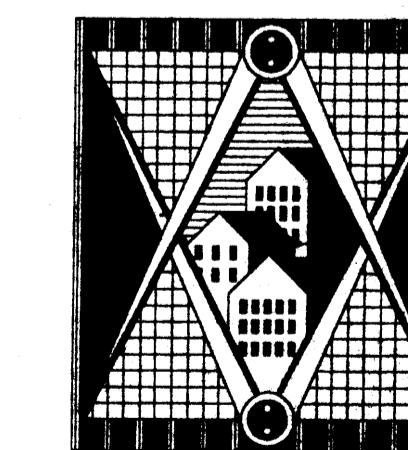
SCALE: 1/4" = 1'-0"

# ASPEN RANCH

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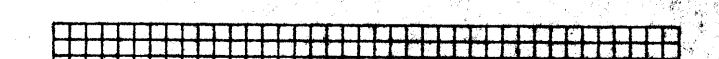


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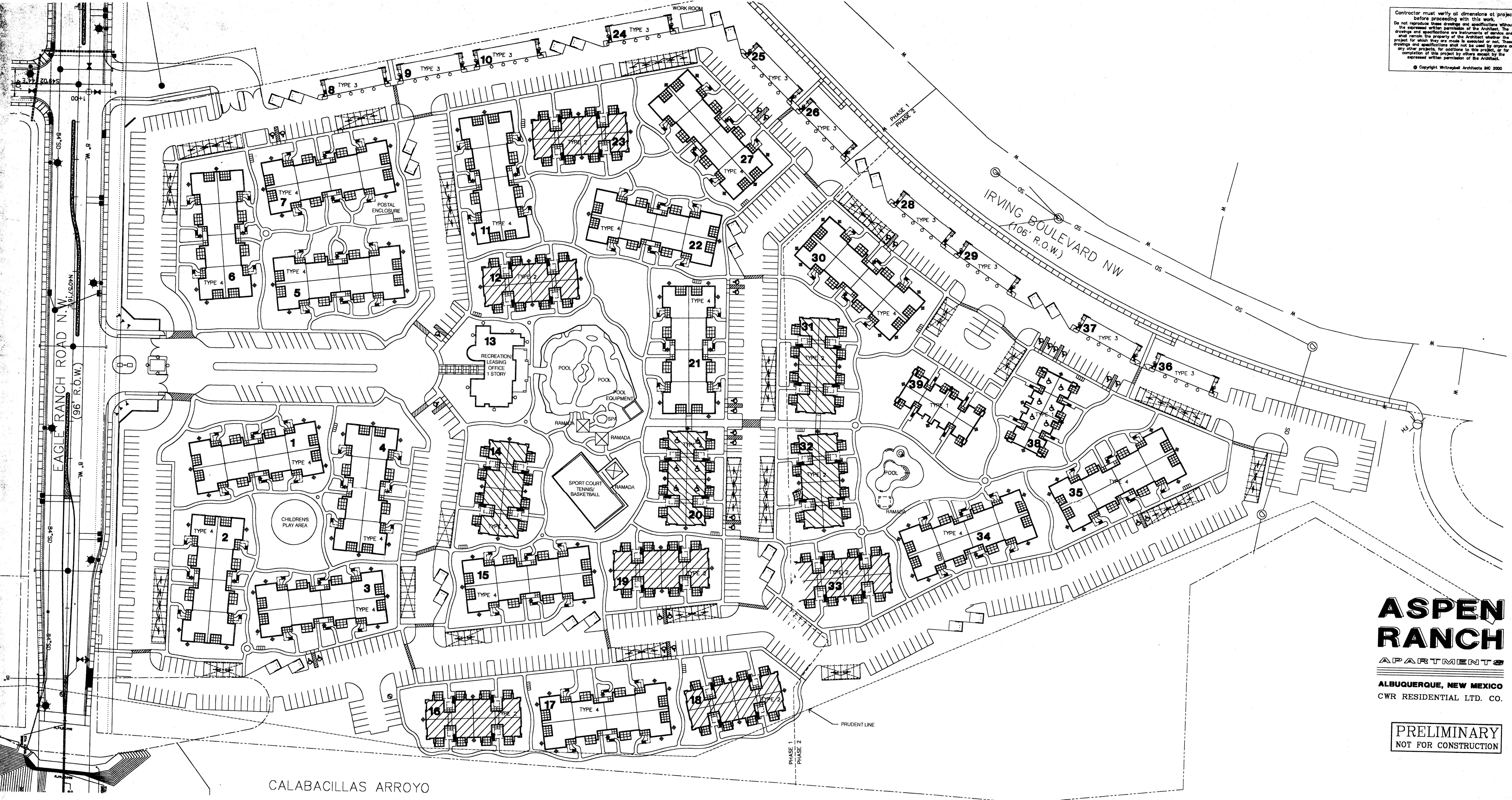


BUILDING ELEVATIONS - 4



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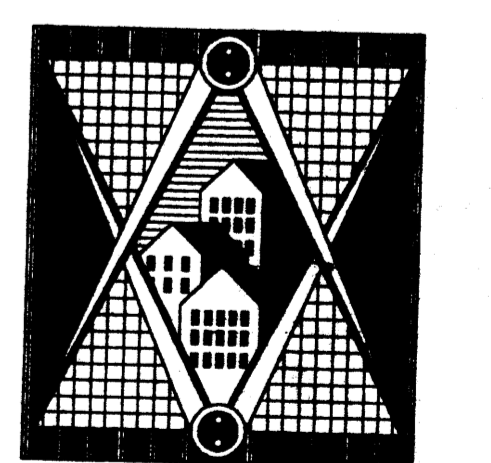
APARTMENTS

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PRELIMINARY  
NOT FOR CONSTRUCTION

WHITNEYBELL ARCHITECTS INC  
1102 East Missouri Avenue  
Phoenix, Arizona 85014-2784  
(602)265-1891



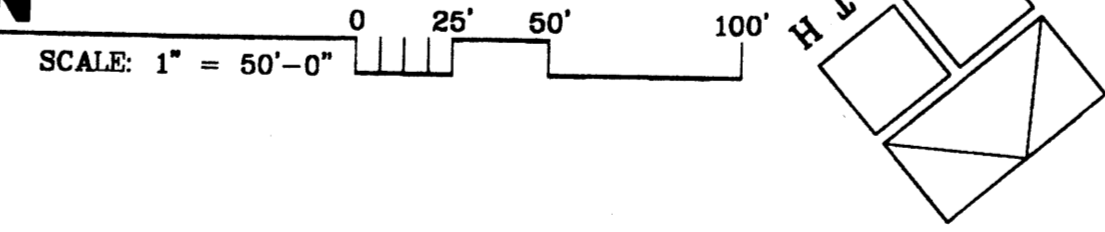
ARCHITECTURE AND PLANNING

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JANUARY 9, 2001

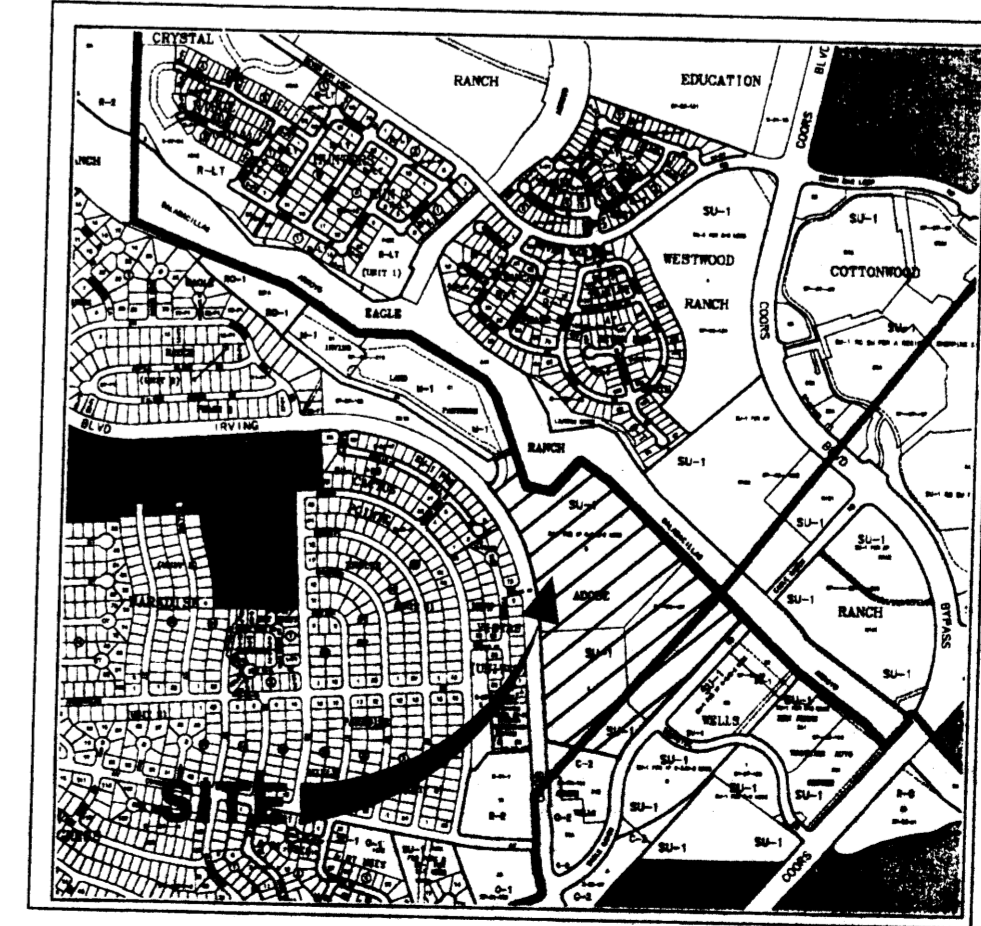
SITE PLAN

## ELECTRICAL SITE LIGHTING PLAN

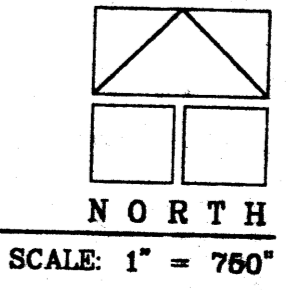


- | LEGEND |  |
|--------|--|
| ◆      | MALL MOUNTED CUT-OFF LIGHTING FIXTURE WITH (1) 50W HPS LAMP. U.L. LISTED FOR WET LOCATIONS.                |
| ○      | MALL MOUNTED CUT-OFF LIGHTING FIXTURE WITH (2) PL18 LAMPS. U.L. LISTED FOR WET LOCATIONS.                  |
| †      | GROUND MOUNTED INCANDESCENT FLUORESCENT FIXTURE WITH (1) T8W R80 LAMP. U.L. LISTED FOR WET LOCATIONS.      |
| —      | UNDER CARPORT LIGHTING 4' STRIP FLUORESCENT FIXTURE WITH (1) F40 T12 LAMP. U.L. LISTED FOR DAMP LOCATIONS. |

ENGINEERING INC.  
2115 N. 18TH AVE.  
PHOENIX, AZ 85015  
(602) 265-1556  
PROJECT NO. 21026



VICINITY MAP



SCALE: 1" = 750'