

ORIGINAL

EXHIBIT A (REVISED 5/10/99)
TO SUBDIVISION IMPROVEMENT AGREEMENT
DEVELOPMENT REVIEW BOARD
REQUIRED INFRASTRUCTURE LIST
(LEGAL DESCRIPTION OF SUBDIVISION)

 Paradise Skies Units 8 & 9
 (NAME and UNIT OF SUBDIVISION)

DRB Project No.: 1000788
 D.R.C. Project No.: _____
 Prelim. Plat Approved: 3/28/01
 Prelim. Plat Expires: 3/28/02
 Site Plan Approved: NA



Date Submitted: 2/19/01

① 5-16-01

② 9-11-01

③ 9-19-01

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of the project acceptance and close out by the City.

<u>SIZE</u>	<u>TYPE IMPROVEMENT</u>	<u>LOCATION</u>	<u>FROM</u>	<u>TO</u>
UNIT 8				
24' F-E	Art Paving 570 Depressed C & G (west side) 6' Sdwk (West side)	Milky Way Street	South Property line	McMahon Blvd.
25' F-F	Res Paving Mount C & G (both sides) *4' Sdwk (East side)	Neptune Street	Star Gazer Avenue	Terminus
40' 46' F-F	Res Paving Std C & G (both sides) *4' Sdwk (both sides) w/ 4' MEDIAN 	Canis Avenue	Neptune Street	Milky Way Street
28' F-F	Res Paving Std C & G (both sides) *4' Sdwk (both sides)	Neptune Street	Star Gazer Avenue	Black Hole Avenue  Celestial
25' F-F	Res Paving Mount C&G (both sides) *4' Sdwk (North side)	Black Hole Avenue CELESTIAL	Neptune Street	Terminus
28' F-F	Res Paving Mount C&G (both sides) *4' Sdwk (both sides)	Harvest Moon Street	Star Gazer Avenue	Black Hole Avenue CELESTIAL

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Paradise Skies Units 8 & 9
 (NAME and UNIT OF SUBDIVISION)

DRB Project No.: 1000788
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<u>SIZE</u>	<u>TYPE IMPROVEMENT</u>	<u>LOCATION</u>	<u>FROM</u>	<u>TO</u>
28' F-F	Res Paving Std C&G (both sides) *4' Sdwk (both sides)	Star Gazer Avenue	Harvest Moon Street	Neptune Street
^{28'} 32' F-F	Res Paving Mount C&G (both sides) *4' Sdwk (both sides)	Canis Avenue	Harvest Moon Street	Neptune Street
^{33'} 33' F-F	Art Paving Std C&G (south side) Med C&G (south side) 10' Bike/Ped. Path (south side)	McMahon Blvd.	Lot 15, Block R	
28' F-F	Res Paving Std C&G (both sides) *4' Sdwk (both sides)	CELESTIAL	HARVEST MOON	NEPTUNE
8"	PVC Water Line	Harvest Moon Street	Star Gazer	CELESTIAL Black Hole Avenue
8"	PVC Water Line	Star Gazer Avenue	Harvest Moon Street	Neptune Street
8"	PVC Water Line	Nepune Street	CELESTIAL Black Hole Avenue	Terminus
8"	PVC Water Line	Canis Avenue	Harvest Moon Street	Milky Way Street
8"	PVC Water Line	CELESTIAL Black Hole Avenue	Terminus	Harvest Moon Street
12"	PVC Water Line	McMahon Blvd.	Milky Way Street	Rockcliff Blvd.
8"	SAS Gravity Line	CELESTIAL Black Hole Avenue	Harvest Moon Street	Terminus
8"	SAS Gravity Line	Neptune Street	CELESTIAL Black Hole Avenue	Terminus
8"	SAS Gravity Line	Canis Avenue	Harvest Moon Street	Neptune Street
8"	SAS Gravity Line	Star Gazer Avenue	Harvest Moon Street	Neptune Street
36"	RCP Storm Drain	Milky Way Street	South Property line	Canis Avenue
24" & 36"	RCP Storm Drain	Canis Avenue	Neptune Street	Milky Way Street
18"	RCP Storm Drain	Canis Avenue	Lot 16, Block N	Neptune Street
18"	RCP Storm Drain	Neptune Street	Lot 2, Block T	Canis Avenue
18"	RCP Storm Drain	Neptune Street	Lot 2, Block S	Canis Avenue

① EAST PROPERTY
 Milky Way Street
 LINE OF UNIT 3

INCLUDES RETAINING WALL
 ADJACENT TO UNIT 3 ②

③
 ②

28' F-F

* 4' Sdwk Both Sides

~~CELESTIAL~~

MAY BE

Off-site mitigation costs at \$194.52/lot x 72 lots = \$14,005.44 (Modified Procedure 'C')

Construction completion deadline date is 2 years from Preliminary Plat approval. - 3-28-2003

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<u>SIZE</u>	<u>TYPE IMPROVEMENT</u>	<u>LOCATION</u>	<u>FROM</u>	<u>TO</u>
UNIT 9				
28' F-E	Res Paving Mount C & G (both sides) *4' Sdwk (both sides)	Black Hole Avenue <i>CELESTIAL</i>	Skywatcher Street	Harvest Moon Street
24' F-E	Perm Paving Std C & G (east side) 4' Sdwk (east side)	Rockcliff Blvd.	South Property line	McMahon Blvd.
28' F-F	Res Paving Mount C & G (both sides) *4' Sdwk (both sides)	Skywatcher Street	Star Gazer Avenue	Black Hole Avenue <i>CELESTIAL</i>
28' F-E	Res Paving Mount C & G (both sides) *4' Sdwk (both sides)	Canis Avenue	Skywatcher Street	Harvest Moon Street
28' F-F	Res Paving Mount C & G (both sides) *4' Sdwk (both sides)	Star Gazer Avenue	Harvest Moon Street	Skywatcher Street
** ② 33.5' F-F	Art Paving Std C&G (south side) Med C&G (south side) 10' Bike/Ped. Path (south side)	McMahon Blvd.	Rockcliff Blvd.	Lot 15, Block R
25' F-F	Res Paving Mount C&G (both sides) *4' Sdwk (south side)	Star Gazer Avenue <i>(Stub)</i>	Skywatcher Street	Terminus
25' F-F	Res Paving Mount C&G (both sides) *4' Sdwk (west side)	Skywatcher Street <i>(Stub)</i>	Black Hole Avenue <i>CELESTIAL</i>	Terminus

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<u>SIZE</u>	<u>TYPE IMPROVEMENT</u>	<u>LOCATION</u>	<u>FROM</u>	<u>TO</u>
6"	PVC Water Line	Harvest Moon Street	Star Gazer Avenue	Black Hole CELESTIAL Avenue
6"	PVC Water Line	Black Hole CELESTIAL Avenue	Skywatcher Street	Harvest Moon Street
6"	PVC Water Line	Canis Avenue	Skywatcher Street	Harvest Moon Street
6"	PVC Water Line	Star Gazer Avenue	Skywatcher Street	Harvest Moon Street
8"	PVC Water Line	Skywatcher Street	Star Gazer Avenue	McMahon Blvd.
8"	PVC Water Line	Star Gazer Avenue	Rockcliff Blvd.	Skywatcher Street
8"	PVC Water Line	Rockcliff Blvd.	McMahon Blvd.	South Property line
8"	PVC Water Line	McMahon Blvd.	Rockcliff Blvd.	Skywatcher Street
8"	SAS Gravity Line	Skywatcher Street	Star Gazer Avenue	Terminus
8"	SAS Gravity Line	Black Hole CELESTIAL Avenue	Skywatcher Street	Harvest Moon Street
8"	SAS Gravity Line	Canis Avenue	Skywatcher Street	Harvest Moon Street
8"	SAS Gravity Line	Star Gazer Avenue	Harvest Moon Street	Terminus
8"	SAS Gravity Line	Rockcliff Blvd.	McMahon Blvd.	South Property line

-- Off-site mitigation costs at \$194.52/lot x 78 lots = \$15,172.56 ^{MAY BE} (Modified Procedure 'C')

Construction completion deadline date is 2 years from Preliminary Plat approval. **MARCH 28, 2003**

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Prelim. Plat Approved: _____
Prelim. Plat Expires: _____
Site Plan Approved: _____

Date Submitted: 2/19/01

* Sidewalk Deferral

** DEFERRED CONSTRUCTION ⁽²⁾

Stormdrain to include manholes, inlets, riprap and outfall.

Grading and Drainage Certification for each unit per DPM including Perimeter Walls and Retaining Walls as shown on the Grading Plan for Release of SIA and Financial Guarantees.

Water infrastructure to include valves, fittings, valveboxes and fire hydrants.

Sanitary sewer to include manholes and service connections.

Street lights per DPM.

Signature: _____
Agent/Owner Print Name: Gregory J. Krenik, PE
Firm: Mark Goodwin & Associates, PA

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

[Signature] 3-28-01 Robert [Signature] 3/28/01 Adrian E. [Signature] 3/28/01
Transportation Dev. Date Utility Dev. Date Parks & Recreation Date
[Signature] 2-22-01 [Signature] 3/28/01 [Signature] 3/28/01
N.M.U.I. Date Engineer/AMAFCA Date DRB Chairman Date

DRC REVISIONS

REVISIONS	DATE	DRC CHAIR	USER DEPT	AGENT/OWNER
①	Mar 16, 2001	[Signature]	[Signature]	[Signature]
②	Sept 11, 2001	[Signature]	[Signature]	[Signature]
③	Sept 19, 2001	[Signature]	[Signature]	[Signature]
④	Feb 25, 2002	[Signature]	[Signature]	[Signature]

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(LEGAL DESCRIPTION OF SUBDIVISION)

Paradise Skies Units 5, 6 & 7
 (NAME and UNIT OF SUBDIVISION)

DRB Project No.: 1000788
 D.R.C. Project No.: _____
 Prelim. Plat Approved: 10/11/00
 Prelim. Plat Expires: 10/11/01
 Site Plan Approved: N/A.

Date Submitted: 8/29/00

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of the project acceptance and close out by the City.

<u>SIZE</u>	<u>TYPE IMPROVEMENT</u>	<u>LOCATION</u>	<u>FROM</u>	<u>TO</u>
UNIT 5				
24' F-E	<i>PERM.</i> Res Paving Std C & G (S. side) 6' Sdwk (S. side)	Sagittarius Avenue	East Property Line	Rockcliff Blvd.
24' F-E	<i>PERM.</i> Res Paving Std C & G (W. side) *4' Sdwk (W. side)	Rockcliff Blvd.	Ardmore Avenue	Sagittarius Avenue
28' F-F	Res. Paving Std C & G (both sides) *4' Sdwk (both sides)	Rockcliff Court	Sagittarius Avenue	Terminus
24' F-E	Res. Paving Mount C & G (S. side) *4' Sdwk (S. side)	Ardmore Avenue	Brookline Place	Rockcliff Blvd.
28' F-F	Res. Paving Std C & G (both sides) *4' Sdwk (both sides)	Brookline Place	Lot 44, Blk J	Terminus
8"	PVC Water Line	Rockcliff Blvd.	Sagittarius Avenue	Ardmore Avenue
8"	PVC Water Line	Sagittarius Avenue	East Property Line	Rockcliff Blvd.
8"	PVC Water Line	Rockcliff Court	Sagittarius Avenue	Terminus
8"	PVC Water Line	Ardmore Avenue	Brookline Place	Rockcliff Blvd.
8"	PVC Water Line	Brookline Place	30' Easement	Lot 44, Blk J

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<u>SIZE</u>	<u>TYPE IMPROVEMENT</u>	<u>LOCATION</u>	<u>FROM</u>	<u>TO</u>
8"	SAS Gravity Line	Brookline Place	Lot 44, Blk J	30' Easement
8"	SAS Gravity Line	Rockcliff Blvd.	Ardmore Avenue	Sagittarius Avenue
8"	SAS Gravity Line	Rockcliff Court	Sagittarius Avenue	30' Easement
15"	SAS Gravity Line	30' Easement	East Property Line	West Property Line
- -	Off-site mitigation costs at \$194.52/lot x 44 lots = \$8,558.88 (Modified Procedure 'C')			
13'	Concrete Rundown	Rockcliff Court	Terminus	30' Easement
13'	Concrete Rundown	Brookline Place	Terminus	30' Easement
30"	RCP Stormdrain	Swinburne Dam	Brookline Place Terminus	Outfall
18"	RCP Stormdrain	Swinburne Dam	Rockcliff Court Terminus	Outfall
30"	RCP Stormdrain Outfall	Swinburne Dam		

WITH ENERGY DISSIPATOR

Construction completion deadline date is 2 years from Preliminary Plat approval.

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<u>UNIT 6</u>				
** 24' F-E	<i>PERM.</i> Res Paving Std C & G (N. Side) 6' Sdwk (N. Side)	Sagittarius Avenue	East Property Line	Rockcliff Blvd
** 24' F-E	<i>PERM.</i> Res Paving Std C & G (E. side) 4' Sdwk (E. side)	Rockcliff Blvd	Lot 3, Blk G	Sagittarius Avenue
28' F-F	Res. Paving Mount. C & G(both sides) *4' Sdwk(both sides)	Ursa Avenue	Cassiopeia Street	Quasar Street
25' F-F	Res. Paving Mount C & G(both sides) *4' Sdwk(W. side)	Quasar Street	Full Moon Avenue	Terminus
28' F-F	Res. Paving Mount C & G(both sides) *4' Sdwk(both sides)	Quasar Street	Lot 3, Blk G	Full Moon Avenue
28' F-F	Res. Paving Mount C & G(both sides) *4' Sdwk(both sides)	Full Moon Avenue	Cassiopeia Street	Quasar Street
8"	PVC Water Line	Rockcliff Blvd	Sagittarius Avenue	North Prop. Line
8"	PVC Water Line	Sagittarius Avenue	East Property Line	Rockcliff Blvd
8"	PVC Water Line	Ursa Avenue	Cassiopeia Street	Quasar Street
8"	PVC Water Line	Full Moon Avenue	Cassiopeia Street	Quasar Street
8"	PVC Water Line	Quasar Street	Terminus	Cyonus Avenue
8"	SAS Gravity Line	Ursa Avenue	Cassiopeia Street	Quasar Street
8"	SAS Gravity Line	Full Moon Avenue	Cassiopeia Street	Quasar Street
8"	SAS Gravity Line	Quasar Street	Cyonus Avenue	Terminus
8"	SAS Gravity Line	Rockcliff Blvd	Sagittarius Avenue	North Property Line

-- Off-site mitigation costs at \$194.52/lot x 63 lots = \$12,254.76 (Modified Procedure 'C')

Construction completion deadline date is 2 years from Preliminary Plat approval.

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Date Submitted: 8/29/00

<u>SIZE</u>	<u>TYPE IMPROVEMENT</u>	<u>LOCATION</u>	<u>FROM</u>	<u>TO</u>
<u>UNIT 7</u>				
24' F-E	Art Paving Std C & G (W. Side) 6' Sdwk (W. Side)	Milky Way Street	Ursa Avenue	North Property line
**24' F-E	Res Paving <i>PERM.</i> Res Paving Std C & G (E. side) 4' Sdwk (E. side)	Rockcliff Blvd	Lot 3, Blk G	North Property line
25' F-F	Res. Paving Mount C & G (both sides) *4' Sdwk (E. side)	Neptune Street	Cyonus Avenue	Terminus
28' F-F	Res. Paving Std C & G (both sides) *4' Sdwk (both sides)	Quasar Street	Lot 3, Blk G	Cyonus Avenue
28' F-F	Res. Paving Std C & G (both sides) *4' Sdwk(both sides)	Neptune Street	Lot 2, Blk 1	Cyonus Avenue
25' F-F	Res Paving Mount C&G (both sides) *4' Sdwk (N. Side)	Cyonus Avenue	Quasar Avenue	Terminus
28' F-F	Res Paving Mount C&G (both sides) *4' Sdwk (both sides)	Cyonus Avenue	Quasar Street	Cassiopeia Street
28' F-F	Res Pav Std C&G (both sides) 4' Sdwk (both sides)	Cyonus Avenue	Cassiopeia Street	Neptune Street
32' F-F	Res Paving Mount C&G (both sides) 4' Sdwk (both sides)	Cassiopeia Street	Cyonus Avenue	Ursa Avenue

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 Site Plan Approved: _____

Date Submitted: 8/29/00

<u>SIZE</u>	<u>TYPE IMPROVEMENT</u>	<u>LOCATION</u>	<u>FROM</u>	<u>TO</u>
8"	PVC Water Line	Rockcliff Blvd	South Property line	North Property line
8"	PVC Water Line	Nepune Street	Ursa Avenue	Terminus
8"	PVC Water Line	Ursa Avenue	Cassiopeia Street	Quasar Street
8"	PVC Water Line	Cyonus Avenue	Terminus	Neptune Street
8"	SAS Gravity Line	Ursa Avenue	Cassiopeia Street	Quasar Street
8"	SAS Gravity Line	Neptune Street	Ursa Avenue	Terminus
8"	SAS Gravity Line	Cyonus Avenue	Neptune Street	Terminus
8"	SAS Gravity Line	Rockcliff Blvd	South Property Line	North Property Line
36"	RCP Storm Drain	Milky Way Street	North Property line	Ursa Avenue

-- Off-site mitigation costs at \$194.52/lot x 52 lots = \$10,115.04 (Modified Procedure 'C')

Construction completion deadline date is 2 years from Preliminary Plat approval.

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Prelim. Plat Approved: _____
Prelim. Plat Expires: _____
Site Plan Approved: _____

Date Submitted: 8/29/00

* Sidewalk Deferral

** Deferred construction until Unit 5 for drainage purposes.

Stormdrain to include manholes, inlets, riprap and outfall.

FOR EACH UNIT


AND RETAINING WALLS

Grading and Drainage Certification per DPM including Perimeter Walls as shown on the Grading Plan for Release of SIA and Financial Guarantees. ~~Financial Guarantees are not required for this project.~~


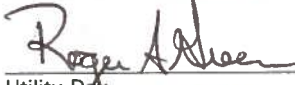




Water infrastructure to include valves, fittings, valveboxes and fire hydrants.

Sanitary sewer to include manholes and service connections.

Street lights per DPM.

Signature: 
Agent/Owner Print Name: Gregory J. Krenik, PE
Firm: Mark Goodwin & Associates, PA

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

 10-11-00 Date
Transportation Dev. Date
 10/11/00 Date
Utility Dev. Date
 10/11/00 Date
Parks & Recreation Date
 8-27-00 Date
N.M.U.I. Date
 10/11/00 Date
Engineer/AMAFCA Date
 10/11/00 Date
DFB Chairman Date

DRC REVISIONS

REVISIONS	DATE	DRC CHAIR	USER DEPT	AGENT/OWNER
①				
②				