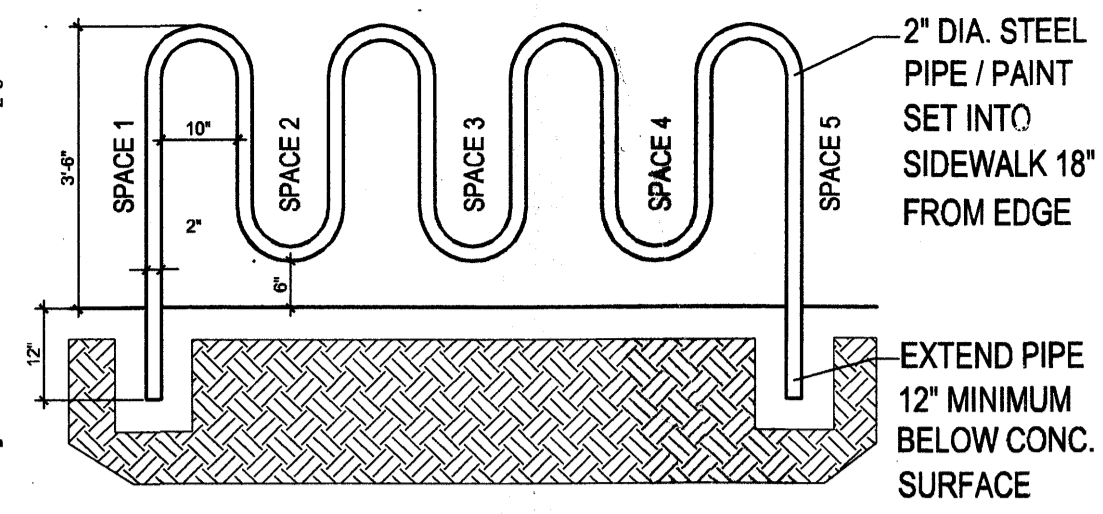
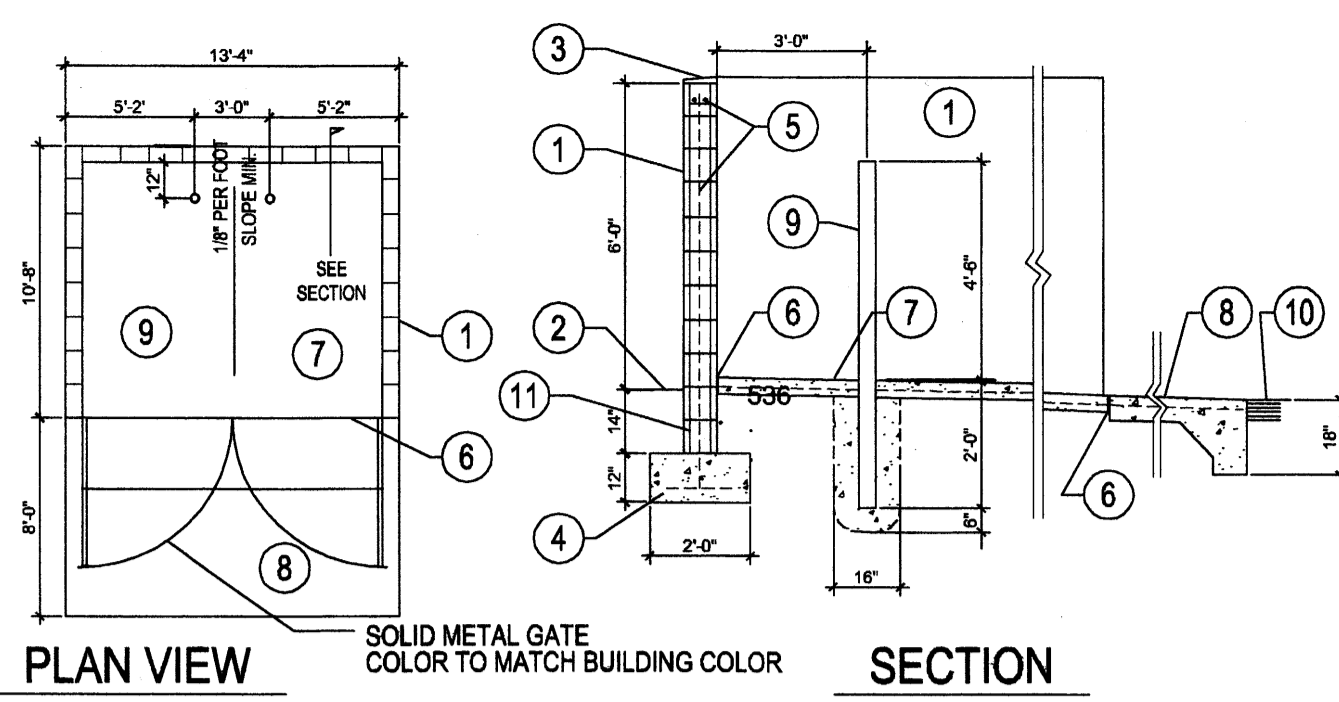


1 Monument Sign
Scale: Not to Scale



2 Bike Rack Detail
Scale: Not to Scale



PLAN VIEW SECTION

KEYED NOTES

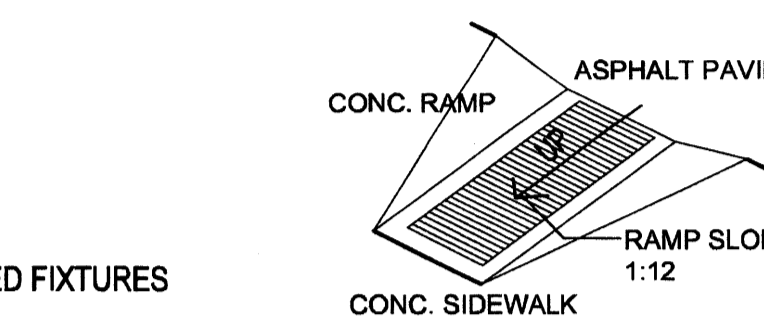
- 8" CMU WALL WITH STUCCO SYSTEM OVER BUILDING PAPER. COLOR BY ARCHITECT.
- FINISH GRADE.
- SLOPE STUCCO CAP.
- 4#4 BARS CONT. @ BOTTOM OF FOOTING #4 @ 16" O.C. ACROSS BOTTOM OF FOOTING.
- 2#5 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM, CONTINUOUS #5 BARS @ 32" O.C. VERTICAL. GROUT REINFORCED CELLS, DURAWALL @ 16" O.C. HORIZONTAL.
- 1/2" EXPANSION JOINT MATERIAL
- 4" CONCRETE SLAB 3000 PSI 3/4" AGGREGATE WITH 6X6-10X10 WWM.
- 6" CONCRETE APRON 3000 PSI 3/4" AGGREGATE WITH 6X6-10X10 WWM W/ TURNDOWN EDGE.
- 4" CONCRETE FILLED PIPE IN 18" DIA. X 2'-6" DEEP CONC. FOOTING. PAINT TO MATCH STUCCO FINISH.
- ASPHALT PAVING
- GROUT ALL CELLS SOLID BELOW GRADE, TYPICAL

3 Refuse Enclosure
Scale: Not to Scale EXISTING R-T TOWNHOMES

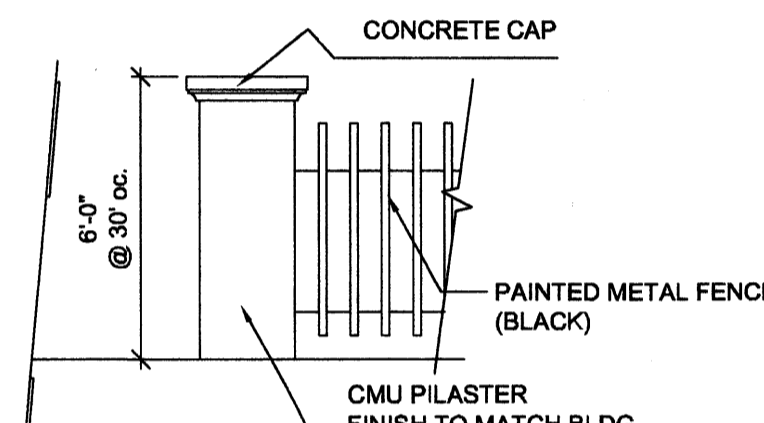
NOTE: LIGHTS TO BE HORIZONTAL LAMPS WITH SHIELDED FIXTURES

4 Site Lighting Detail
Scale: Not to Scale

5A TYP. CURB DETAIL
NOT TO SCALE

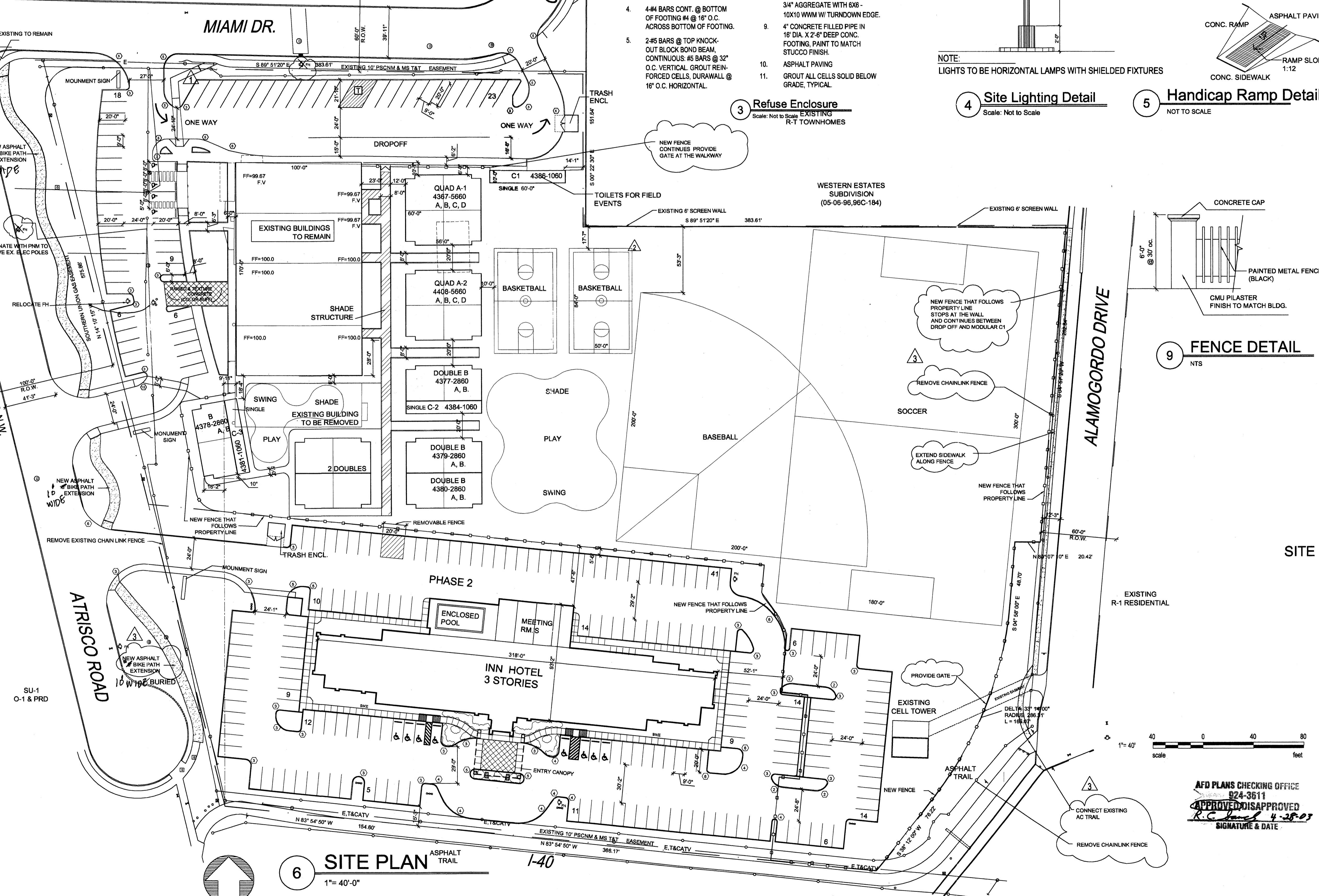


5 Handicap Ramp Detail
NOT TO SCALE



9 FENCE DETAIL
NTS

EXISTING WAL-MART WESTBLUFF CENTER



6 SITE PLAN
1" = 40'-0"

LEGAL DESCRIPTION

LOT 6, WESTBLUFF CENTER
LOT A.13, TOWN OF ATRISCO GRANT
LOT 9 BLOCK 9, PALISADES

CURRENT ZONING

SU-1 IP USES

ACRAGE

SCHOOL = 6.32ac
HOTEL = 2.5ac
TOTAL ac. = 8.82 ac.

PARKING REQUIRED:

HOTEL: 60,000 sqft 98 RM = 98 SPACES REQ.
MEETING RM'S 3,000 / 15 = 200 PERSONS
200 / 4 = 50 SPACES REQ.
H/C SPACES = 8 REQ. 8 PROVIDED
BIKE SPACE: NONE REQ. 6 PROVIDED
TOTAL SPACES REQ. = 148 PROVIDED = 149
TOTAL SPACES PROVIDED = 92

SCHOOL: 35,420sqft 24 EMPLOYEES
24 SPACES REQ. 62 PROVIDED
H/C SPACES = 4 REQ. 4 PROVIDED
BIKE SPACE: 20 REQ. 20 PROVIDED

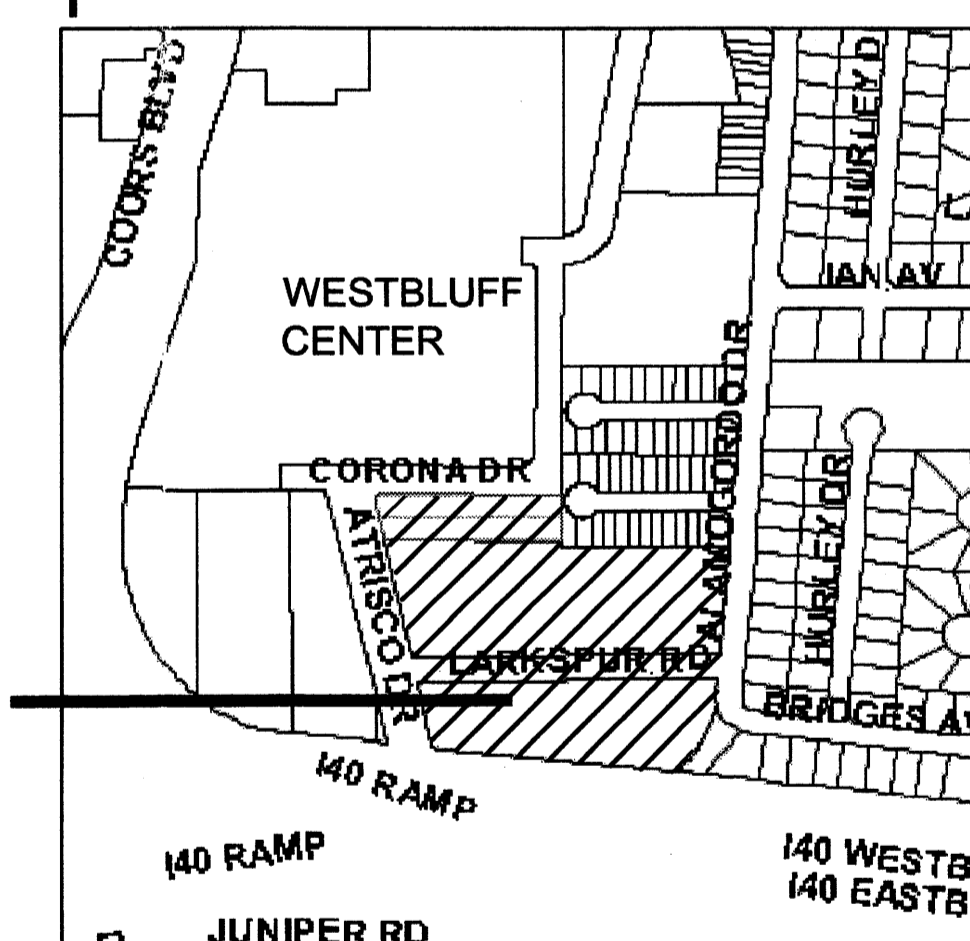
TYPICAL PARKING SPACES

STANDARD—9'-0" x 20'-0"
SMALL CAR—7'-6" x 15'-0"
HANDICAP—8'-0" x 20'-0"
WITH 8'-0" ACCESS AISLE
* ALL SPACES ARE STANDARD W/ TYP.
4" PAINTED STRIP UNLESS OTHERWISE NOTED *

FAR LOT LOT=383,328sqft / BLDG=95,420= FAR 4.0

CURB RADIUS DESIGNATION

- ② = 10' RADIUS
- ③ = 3' RADIUS
- ④ = 5' RADIUS
- ⑤ = 15' RADIUS
- ⑥ = 25' RADIUS



ZONING MAP H-11
SCALE 1" = 500'

EPC CASE # 0206-0337 BP DRB CASE # 1000 931

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on 04/30/03 and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

<i>Richard Douthett</i>	4/30/03
Traffic Engineer, Transportation Division	Date
<i>Christina Dandora</i>	4/30/03
Parks and General Services Department	Date
<i>Roger A. Shum</i>	4/30/03
Public Works, Water Utilities Division	Date
<i>Bradley H. Bihan</i>	8/19/03
City Engineer, Engineering Division / AMAFCA	Date

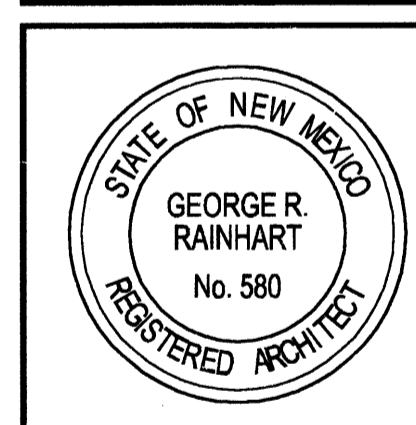
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

Sharon Matson 4/30/03
City Planner, Albuquerque / Bernalillo County Planning Division

Michael Helton 4-28-03
Solid Waste will comply w/ COS specs

REV	DATE	BY	REVISION
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PROJ 1000831
 GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE., SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877



PROJECT TITLE	HORIZON ACADEMY, WESTBLUFF
PROJECT NUMBER	140 - ATRISCO ALBUQUERQUE, NM
PROJECT MANAGER	George Rainhart, AIA
DRAWN BY	SMA
JOB NO.	0038A
SHEET TITLE	SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
DATE:	11.10.02
SCALE:	1"=40'-0"
sheet:	A1
of:	

DEVELOPER

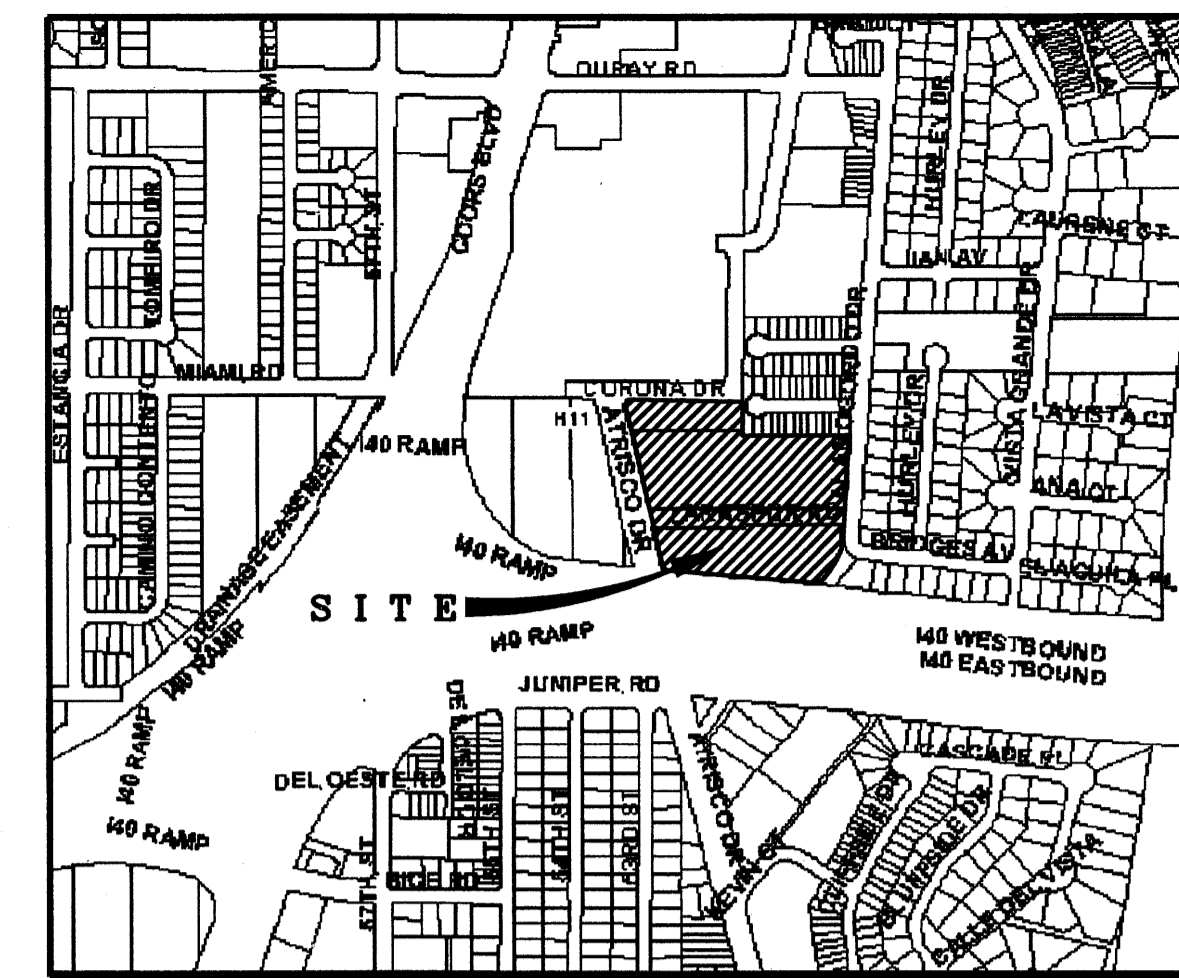
THUNDER DEVELOPMENT
3 CALLE PINON
PLACITAS, NEW MEXICO 87043
(516) 884-9805

ARCHITECT

GEORGE RAINHART ASSOCIATES
2325 SAN PEDRO
SUITE 2B
ALBUQUERQUE, NEW MEXICO 87110
(505) 884-9110

ENGINEER

D. MARK GOODWIN & ASSOCIATES
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO
(505) 828-2200



VICINITY MAP ZONE MAP: H-11-Z

EXISTING LEGAL DESCRIPTION

TOWN OF ATRISCO GRANT, NORTHEAST UNIT, PORTION OF TRACT A13 AND PALISADES PORTION OF BLOCK 9, TOGETHER WITH WEST BLUFF CENTER SUBDIVISION, TRACT 6, SITUATE WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 10, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

SITE PLAN FOR SUBDIVISION

THIS SITE PLAN FOR SUBDIVISION COVERS NEW DEVELOPMENT ON TRACTS A & B TRACT AND ITS PRINCIPLE EXISTING BUILDING ARE TO BE INCORPORATED INTO THE NEW DEVELOPMENT. OTHER ANCILLARY BUILDINGS ARE TO BE RAZED. THE TOTAL SITE AREA IS 8.50 ACRES PRIOR TO ANY R/W DEDICATIONS.

EXISTING USE

TRACT B CONTAINS AN EXISTING BUILDING THAT IS CURRENTLY VACANT.

PROPOSED USE

THE SITE IS ZONED SU-1 IP, WITH USES PROPOSED TO BE A CHARTER SCHOOL WITH A STUDENT POPULATION NOT TO EXCEED 400 STUDENTS. TRACT A IS TO CONTAIN A 3 - STORY HOTEL PROVIDING 98 ROOMS.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS

TRAILS AND SIDEWALKS:
PEDESTRIANS ARE TO ACCESS THE SITE FROM THE EXISTING CORONA DRIVE AND ATRISCO DRIVE VIA EXISTING AND PROPOSED SIDEWALKS AND TRAILS.

VEHICULAR ACCESS:
VEHICLES ARE TO ACCESS INDIVIDUAL LOTS FROM THE EXISTING PUBLIC STREETS AROUND THE SITE.

BICYCLE ACCESS:
A BIKE TRAIL CURRENTLY EXISTS ALONG INTERSTATE 40. ACCESS TO THE TRAIL WILL BE VIA ATRISCO DRIVE AND THEN SOUTH TO I-40.

MAXIMUM BUILDING HEIGHT

MAXIMUM BUILDING HEIGHT ON TRACT A SHALL BE 42' AND 26' ON TRACT B. MINIMUM SETBACK REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE O-1 ZONE AS CONTAINED IN THE CITY OF ALBUQUERQUE ZONING ORDINANCE.

MAXIMUM TOTAL NUMBER OF DWELLING UNITS OR NONRESIDENTIAL F.A.R.

TRACT A'S MAXIMUM F.A.R. SHALL BE 0.58.
TRACT B'S MAXIMUM F.A.R. SHALL BE 0.25.

GENERAL NOTES

1. IN ORDER TO ACHIEVE THE GOALS OF THIS PLAN, A PLAT WILL BE PROVIDED AT DRB TO ESTABLISH TRACT BOUNDARIES IN CONJUNCTION WITH FINAL SIGN-OFF OF THIS PLAN.

APPROVED AND ACCEPTED BY:

Project No. 1000 831 03DRS - 00562 SUB

Application No.

City Engineer: *Bruce B. Bly* 4/30/03
Transportation Development: *Bill Dams* 4/30/03
Utility Development: *Roger A. Dumas* 4/30/03
Park and Recreation: *Christine Sandoval* 4/30/03
EPC Group Planner: *Sheran Maton* 4/30/03
DRB Chair/Planner: *DRB Chair/Planner*

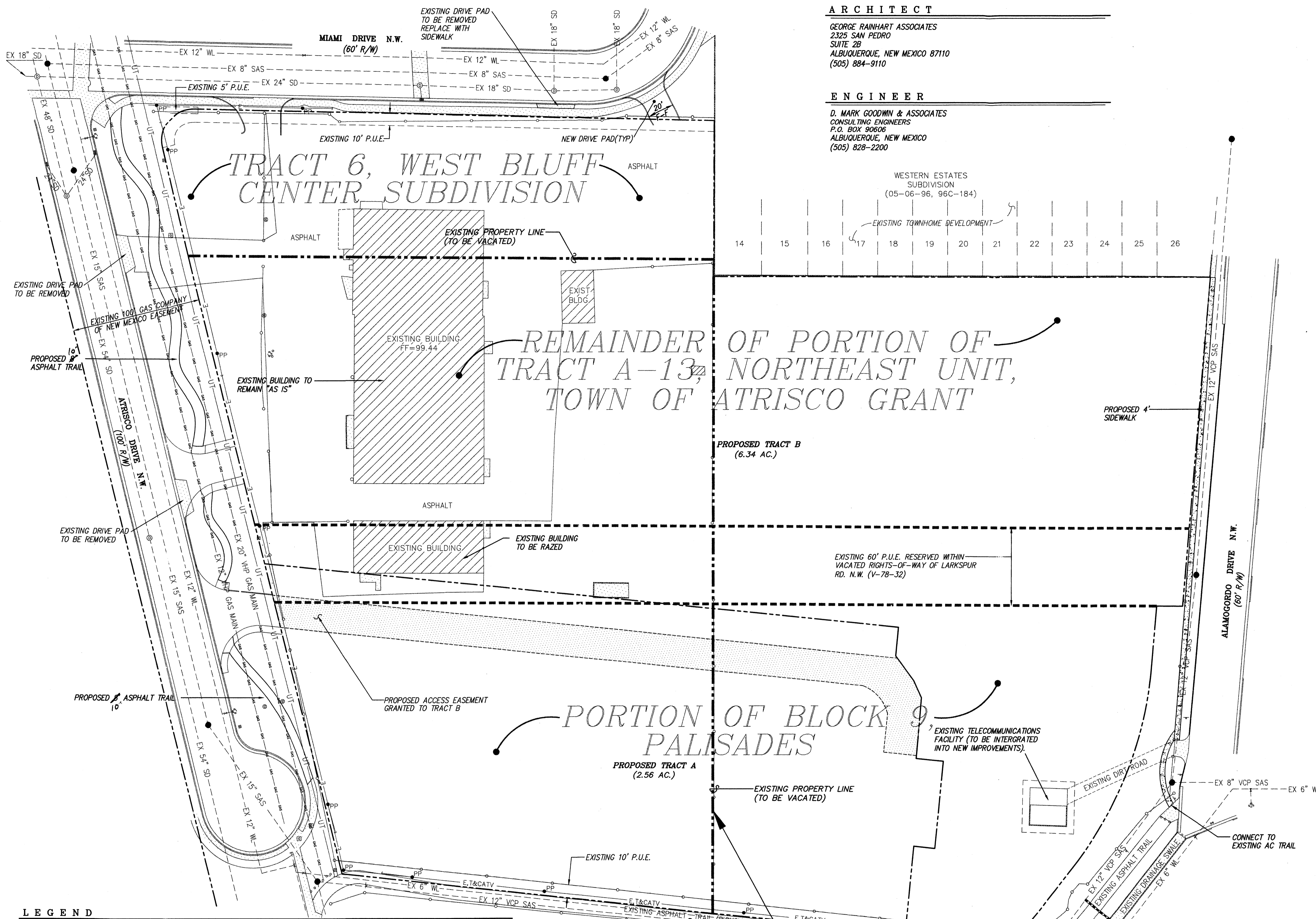
dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

REV	DATE	BY	REVISION
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GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE, SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

PRELIMINARY
NOT FOR
CONSTRUCTION

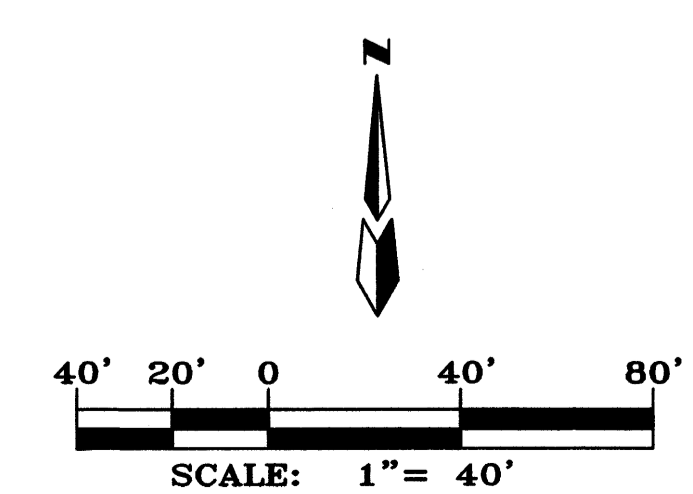
PROJECT TITLE: HORIZON DEVELOPMENT
1-40 + ATRISCO ALBUQUERQUE, NM
PROJECT MANAGER: George Rainhart, AIA
DRAWN BY: DER
JOB NO.: 0208
SHEET TITLE: SITE DEVELOPMENT PLAN FOR SUBDIVISION
DATE: 05.01.02
SCALE: 1"=40'-0"
sheet: C-1
of:



LEGEND

EXISTING ASPHALT CURB	EXISTING FIRE HYDRANT
EXISTING CONCRETE CURB	EXISTING OVERHEAD UTILITY LINES
EXISTING CONCRETE/SIDEWALK	EXISTING POWER POLE
PROPOSED CONCRETE SIDEWALK	EXISTING GUYWIRE
EXISTING WALL OR HEAD WALL	EXISTING LIGHT POLE
EXISTING BOLLARD/FENCE POST	EXISTING TELEPHONE PEDESTAL
EXISTING SIGN	EXISTING UNDERGROUND GAS MARKER
EXISTING CHAIN LINK FENCE	EXISTING GAS VALVE/METER
EXISTING SANITARY SEWER MANHOLE	EXISTING STORM SEWER MANHOLE
EXISTING CLEANOUT	EXISTING DROP INLET
EXISTING WATER VALVE	PROPOSED SCREENING WALL
PROPOSED PEDESTRIAN WALKWAY	PROPOSED PROPERTY LINE
PROPOSED ACCESS EASEMENT	

EXISTING PARCEL LINE CREATED BY WARRANTY DEED FILED AUGUST 2, 1989 IN BOOK D-366A, PAGES 115-119, DOCUMENT No. B967459 (ILLEGAL SUBDIVISION - UNRECOGNIZED).

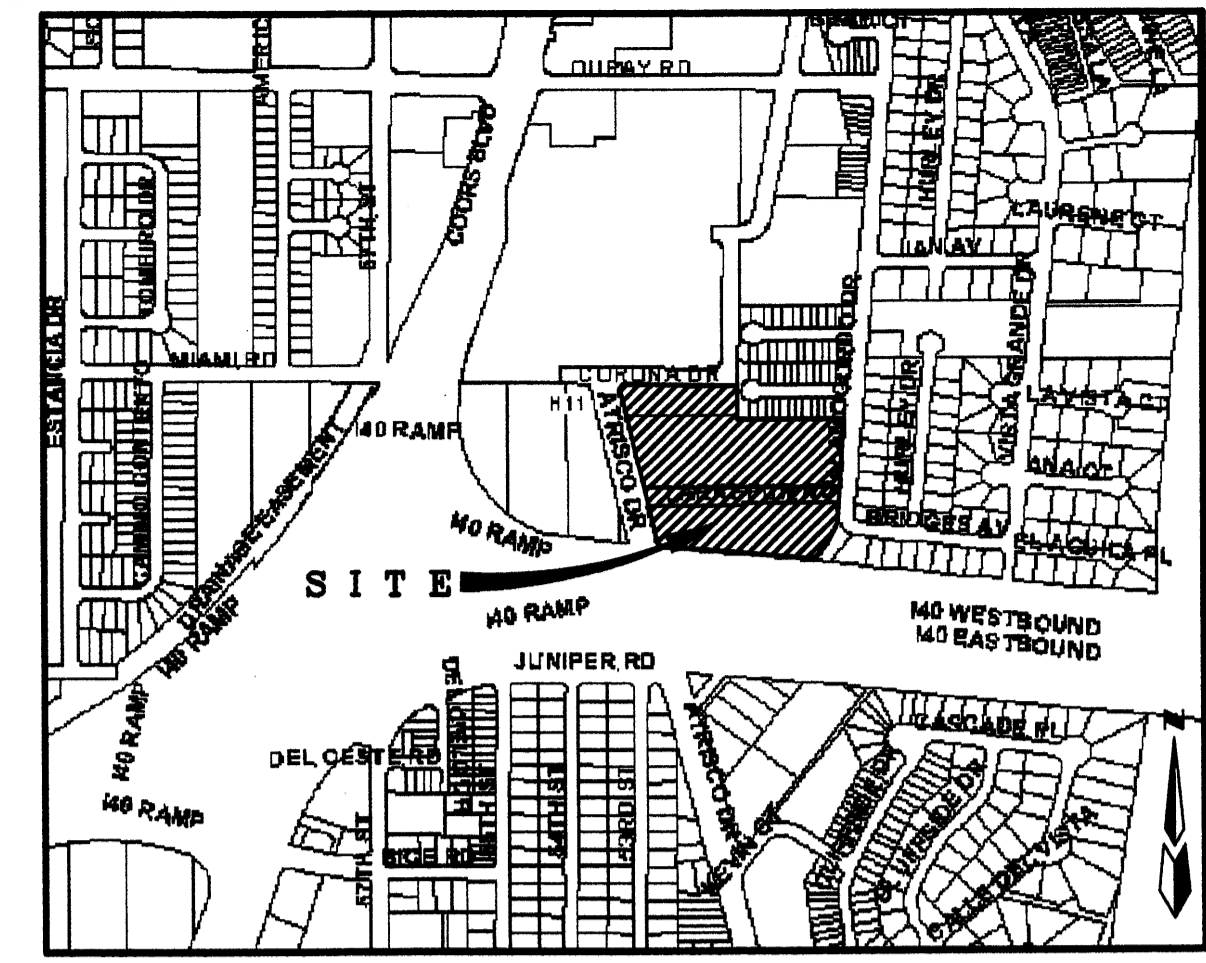


- KEYED NOTES**
- REMOVE EXISTING SIDEWALK, EXISTING CURB & GUTTER OR DRIVEPAD AS NECESSARY IN ORDER TO INSTALL NEW PRIVATE ENTERANCE PER COA DWG. 2426
 - NEW 24" SIDEWALK CULVERT PER COA STD. DWG. 2236

CONCRETE SWALE SECTION
N.T.S.

GENERAL NOTES

- THERE ARE NO APPARENT OFFSITE FLOWS ENTERING THIS SITE.
- INDIVIDUAL PROPERTY OWNERS ARE RESPONSIBLE FOR MAINTAINING DRAINAGE IMPROVEMENTS ON THEIR RESPECTIVE PROPERTIES SO THAT THEY CONTINUE TO FUNCTION PROPERLY YEAR AFTER YEAR.
- ELEVATIONS SHOWN HEREON ARE INTENDED TO BE FINAL GRADES. OWNER, ROUGH GRADING CONTRACTOR AND LANDSCAPE CONTRACTOR ARE RESPONSIBLE FOR ASSURING THAT AFTER ALL WORK IS COMPLETE, SITE'S FINAL SURFACE GRADES ARE AS SHOWN HEREON.
- EARTHWORK CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND FOLLOWING REQUIREMENTS OF THE SURFACE DISTURBANCE PERMIT FROM THE CITY ENVIRONMENTAL HEALTH DEPARTMENT.
- OWNER AND ALL ASSOCIATED CONTRACTORS WHO ENGAGE IN ALTERATION OF SITE SURFACES OUTSIDE OF BUILDINGS, SHALL FILE A NOTICE OF INTENT WITH EPA AND FOLLOW STORM WATER POLLUTION PREVENTION PLAN REQUIREMENTS.
- EACH OF THE TRACTS SHOWN HEREON SHALL BE SUBJECT TO A RECIPROCAL CROSS LOT DRAINAGE EASEMENT.
- THIS IS A CONCEPTUAL GRADING AND DRAINAGE PLAN THAT ALSO FUNCTIONS AS A MASTER PLAN FOR THE HORIZON ACADEMY SUBDIVISION. DEVELOPMENT OF EITHER TRACT A OR B WILL REQUIRE AN INDIVIDUAL GRADING & DRAINAGE PLAN FOR THAT SITE.
- SEE ATTACHED DRAINAGE CALCULATIONS FOR MORE DETAILED HYDROLOGIC INFORMATION.



VICINITY MAP ZONE MAP: H-11-Z

LEGAL DESCRIPTION

TRACTS "A" & "B" HORIZON ACADEMY SUBDIVISION.

ACS BENCHMARK

ACS ALUMINUM CAP STAMPED "11-H11", LOCATED IN THE CENTER MEDIAN OF COORS BLVD. N.W. 0.12 MILES SOUTH OF OURAY ROAD N.W. GEOGRAPHIC POSITION (NAD 1927), IN FEET, N.M. STATE PLANE COORDINATES (CENTRAL ZONE), X=364,763.94, Y=1,495,852.97, ELEVATION=5098.51, NGVD29, IN FEET.

LEGEND

- 5105 --- EXISTING CONTOUR (MAJOR)
- 5104 --- EXISTING CONTOUR (MINOR)
- TC- FL- EXISTING TOP OF CURB ELEVATION EXISTING FLOWLINE ELEVATION
- x 00.00 EXISTING SPOT ELEVATION
- EXISTING ASPHALT CURB
- EXISTING CONCRETE CURB
- EXISTING CONCRETE/SIDEWALK
- EXISTING WALL OR HEAD WALL
- EXISTING BOLLARD/FENCE POST
- EXISTING SIGN
- EXISTING CHAIN LINK FENCE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING CLEANOUT
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- E,T&CATV --- EXISTING OVERHEAD UTILITY LINES
- PP EXISTING POWER POLE
- EXISTING GUYWIRE
- EXISTING LIGHT POLE
- EXISTING TELEPHONE PEDESTAL
- EXISTING UNDERGROUND GAS MARKER
- EXISTING GAS VALVE/METER
- EXISTING STORM SEWER MANHOLE
- EXISTING DROP INLET
- PROPOSED HIGH POINT
- DRAINAGE BASIN BOUNDARY
- NEW CONCRETE HEADER CURB
- NEW CHAINLINK FENCE
- PROPOSED PARKING LOT OR FIELD SWALE OR FLOWLINE
- SIDEWALK CULVERT PER COA STD. DWG. 2236
- FS= 00.88 FINISH SLAB ELEVATION
- 02.02 NEW SPOT ELEVATION
- 07.67 TOP OF CURB
- 07.77 FLOWLINE
- FLOW DIRECTION

BASINS OUTFALL SUMMARY

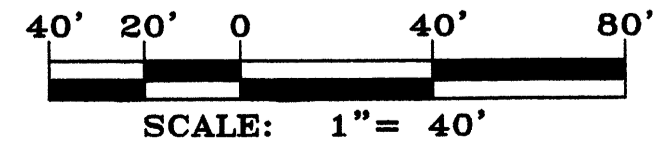
IN THE NORTHWEST CORNER OF THE SITE ALL OF BASIN A DRAINS INTO MIAMI DRIVE WHERE IT THEN FLOWS WEST INTO A TRIPLE "C" DROP INLET (IN A SUMP CONDITION) LOCATED JUST SOUTH OF THE ATRISCO/MIAMI INTERSECTION. FROM THIS INLET FLOW ENTERS A 54" STORM DRAIN IN ATRISCO ROAD AND DRAINS SOUTH INTO THE 1-40 BOX CULVERT. IN THE NORTHEAST PART OF THE SITE BASIN B FLOWS INTO MIAMI DRIVE AND THEN INTO A DOUBLE "C" DROP INLET (ALSO SUMP) LOCATED ALONG THE SOUTH SIDE OF MIAMI DRIVE. IN MIAMI DRIVE IS A 24" STORM DRAIN CONNECTING TO A 42" STORM DRAIN AT THE ATRISCO/MIAMI INTERSECTION. BASIN C DISCHARGES DIRECTLY INTO ATRISCO ROAD AT THE WEST MIDPOINT OF THE SITE BEFORE ENTERING THE PREVIOUSLY REFERENCED TRIPLE "C" DROP INLET JUST SOUTH OF THE MIAMI/ATRISCO INTERSECTION. BASIN D ALSO ENTERS ATRISCO ROAD AND THEN FLOWS NORTH TO JOIN WITH BASIN C FLOW ENTERING THE SAME TRIPLE "C" INLET SOUTH OF THE ATRISCO/MIAMI INTERSECTION. AFTER ENTERING THE INLET, FLOW IS CONVEYED IN THE 54" STORM DRAIN THAT DISCHARGES TO THE 1-40 BOX CULVERT(WEST BLUFF OUTFALL).

BASIN E FLOWS SOUTHEAST THROUGH AN EXISTING 18" RCP UNDER THE EXISTING ASPHALT TRAIL BEFORE ENTERING AN OPEN CONCRETE CHANNEL (8' WIDE WITH 2' HIGH SIDEWALLS) THAT COLLECTS FLOW FROM ALAMOGORDO DRIVE AND DISCHARGES IT DIRECTLY TO THE 1-40 BOX CULVERT. BASIN F ALSO FLOWS INTO ALAMOGORDO DRIVE AND THEN ALSO THROUGH THE SAME OPEN CHANNEL. THERE ARE NO OFF-SITE FLOWS ENTERING THE SITE.

Beault L. Biele 5/27/03
APPROVED FOR ROUGH GRADING DATE

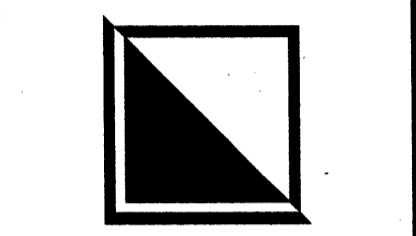
% LAND TREATMENT

BASIN	AREA(AC)	A	B	C	D	PEAK DISCHARGE(CFS)
A	0.71	0.0	10	5	85	2.91
B	2.75	0.0	50	10	40	8.55
C	0.80	0.0	15	10	75	3.28
D	1.34	0.0	15	0.0	85	5.49
E	1.58	0.0	15	0.0	85	6.53
F	1.89	0.0	90	10	0.0	3.62
EX. SITE	8.89	35	10	25	30	23.87



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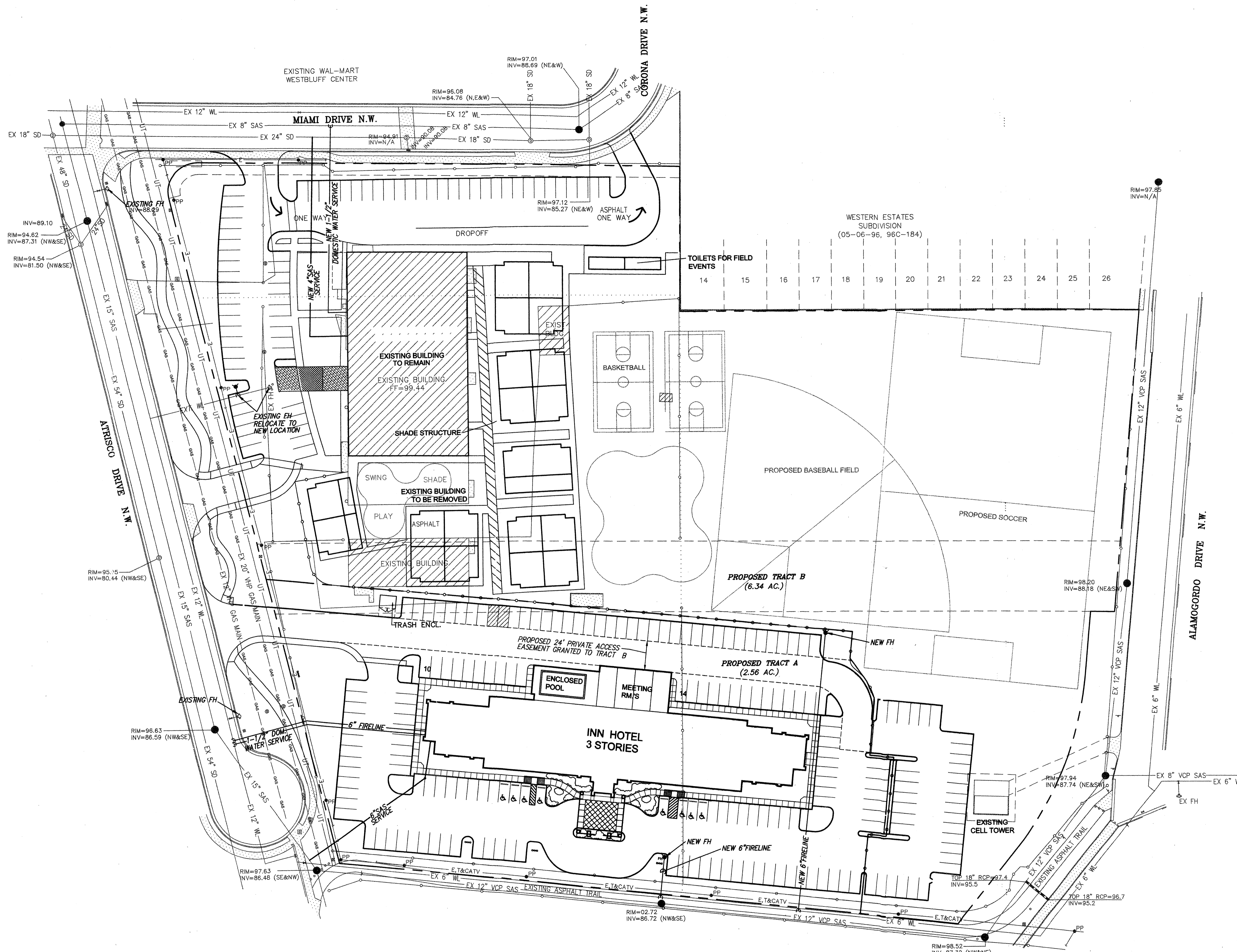


GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
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ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

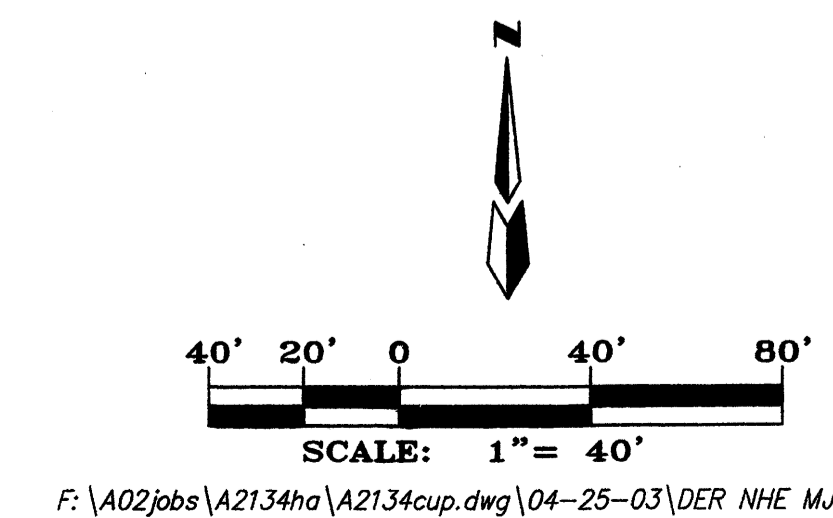
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HORIZON ACADEMY, WESTBLUFF
1-40 ATRISCO
ALBUQUERQUE, NM
JOB NO. 0200A
DRAWN BY: DER
PROJECT MANAGER: George Rainhart, AIA
SHEET TITLE
CONCEPTUAL GRADING & DRAINAGE PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

DATE: 12.13.02
SCALE: 1"=40'-0"
sheet: C-2
of:



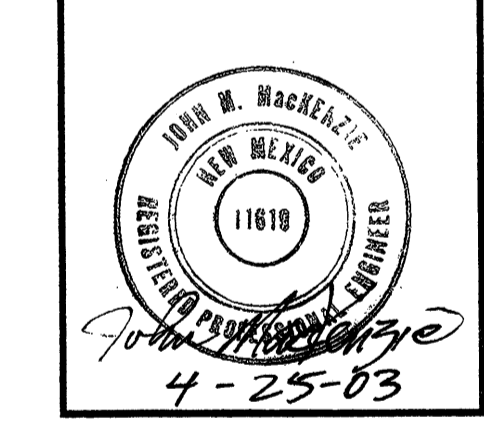
- LEGEND**
- EXISTING ASPHALT CURB
 - EXISTING CONCRETE CURB
 - ▨ EXISTING CONCRETE/SIDEWALK
 - EXISTING WALL OR HEAD WALK
 - EXISTING BOLLARD/FENCE POST
 - EXISTING SIGN
 - EXISTING CHAIN LINK FENCE
 - EXISTING SANITARY SEWER MANHOLE
 - EXISTING CLEANOUT
 - EXISTING WATER VALVE
 - EXISTING FIRE HYDRANT
 - E,T&CATV — EXISTING OVERHEAD UTILITY LINES
 - PP EXISTING POWER POLE
 - EXISTING GUYWIRE
 - EXISTING LIGHT POLE
 - EXISTING TELEPHONE PEDESTAL
 - EXISTING UNDERGROUND GAS MARKER
 - EXISTING GAS VALVE/METER
 - EXISTING STORM SEWER MANHOLE
 - EXISTING DROP INLET
 - 8" PUBLIC SAS — PROPOSED PUBLIC SAS LINE
 - 6" SAS SERVICE LINE — PROPOSED SAS SERVICE LINE w/CLEANOUT
 - MH — PROPOSED SANITARY SEWER MANHOLE
 - 8" PUBLIC WL — PROPOSED PUBLIC WATERLINE
 - FH — PROPOSED FIRE HYDRANT



dmg MARK GOODWIN & ASSOCIATES, P.A.
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REV	DATE	BY	REVISION
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GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE, SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877



PROJECT TITLE
HORIZON ACADEMY, WESTBLUFF
1-40 + ATRISCO
ALBUQUERQUE, NM

PROJECT MANAGER
George Rainhart, AIA

JOB NO.
0008A

DRAWN BY
DER

SHEET TITLE
CONCEPTUAL UTILITY PLAN

DATE:
05.01.02

SCALE:
1"=40'-0"

sheet:
C-3

of:

F:\A02\065\A2134ha\A2134cup.dwg F:\A02\25\14\21\03\2003 by: der

F:\A02\065\A2134ha\A2134cup.dwg\04-25-03\DER NHE MJR