

PROJ 1000839

LANDSCAPING & BUFFERING
 A 10-FOOT WIDE LANDSCAPE BUFFER (WITH TREES AT LEAST 8- FEET HIGH AT THE TIME OF PLANTING) SHALL BE INSTALLED ALONG THE PROPERTY LINES WHICH ADJUT RESIDENTIAL ZONES. TREES SHALL BE PLANTED AT A MINIMUM INTERVAL OF 25 FEET. A MIX OF EVERGREENS AND DECIDUOUS TREES SHALL BE USED IN THE BUFFER ZONE.

EXISTING LOCATION OF INTERSECTION AT GOLF COURSE ROAD

PROPOSED 6' WIDE SIDEWALK AT PROPERTY LINE

ASPHALT PAVING WITH CONCRETE CURB & GUTTER TYPICAL AT PARKING

PAINT OUTSIDE CURB OF END ISLANDS AND LABEL FOR FIRE LANE (TYPICAL AT ALL END ISLANDS)

16" TALL (MAXIMUM) LIGHT FIXTURES TO BE FULLY SHIELDED HORIZONTAL LAMPB SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. TYPICAL

6' WIDE PEDESTRIAN WALKWAY WITH SLIGHTLY RAISED AND/OR TEXTURED PAVING TO PROVIDE ACCESS TO ELLISON DRIVE

PROPOSED FIRE HYDRANT (ONE OF TWO)

PAVED BICYCLE PARKING AREA WITH RACK

PAINT CURB AND LABEL FOR FIRE LANE

FULLY LANDSCAPED ISLAND WITH CURB & GUTTER ALL AROUND. TYPICAL

6' WIDE PEDESTRIAN WALKWAY WITH SLIGHTLY RAISED AND/OR TEXTURED PAVING TO PROVIDE ACCESS FOR WEST PARKING

CONCRETE CURB & GUTTER TO MATCH CITY STANDARDS. TYPICAL

TRACT 2-A EAGLE RANCH (FILED 10-11-1985, C28-123)

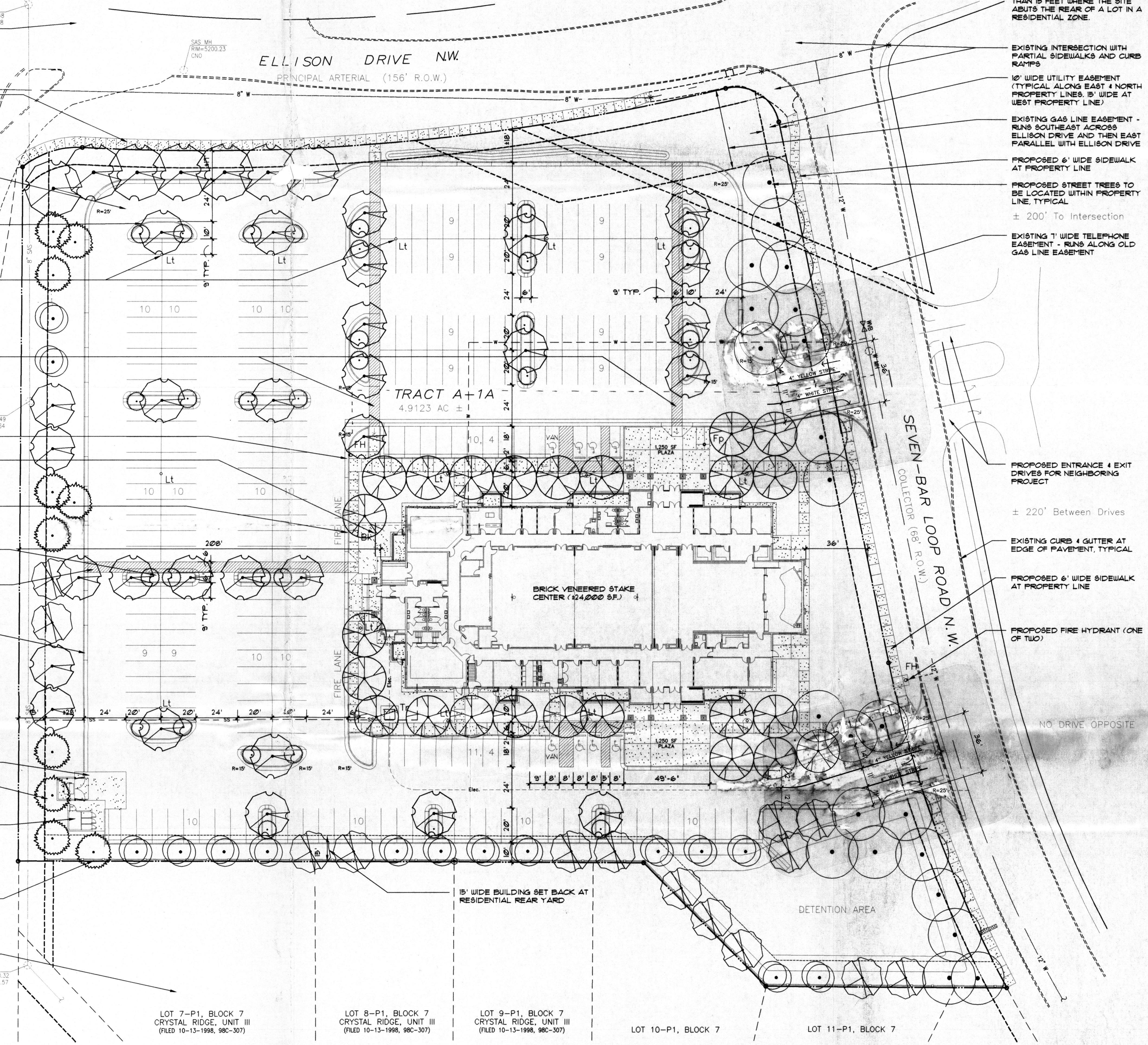
CONCRETE PAVEMENT AT ENCLOSURE FOR REFUSE TRUCK

BRICK VENEERED REFUSE ENCLOSURE TO MATCH STAKE CENTER

14' X 12' BRICK VENEERED STORAGE BUILDING (168 SF.) TO MATCH STAKE CENTER

EXISTING CONCRETE BLOCK WALL AT PROPERTY LINE TO BE STUCCO-COVERED

ADJACENT RESIDENTIAL PROPERTIES WITH HOUSES. (TYPICAL OF THREE)



SETBACK FOR Q-1 USES NEAR RESIDENTIAL ZONES. THE FOLLOWING (GREATER) SETBACK REQUIREMENTS SHALL APPLY:
 (A) THERE SHALL BE A FRONT OR CORNER SIDE SETBACK OF NOT LESS THAN TEN FEET WHERE THE LOT IS ACROSS THE STREET FROM THE FRONT LOT LINE OF A FACING LOT IN A RESIDENTIAL ZONE. THIS SETBACK APPLIES TO ON- AND OFF-PREMISE SIGNS.
 (B) THERE SHALL BE A SIDE OR REAR SETBACK OF NOT LESS THAN FIVE FEET WHERE THE SITE ADJUTS THE SIDE OF A LOT IN A RESIDENTIAL ZONE.
 (C) THERE SHALL BE A SIDE OR REAR SETBACK OF NOT LESS THAN 15 FEET WHERE THE SITE ADJUTS THE REAR OF A LOT IN A RESIDENTIAL ZONE.

EXISTING INTERSECTION WITH PARTIAL SIDEWALKS AND CURB RAMPB

10' WIDE UTILITY EASEMENT (TYPICAL ALONG EAST & NORTH PROPERTY LINES. 15' WIDE AT WEST PROPERTY LINE)

EXISTING GAS LINE EASEMENT - RUNS SOUTHEAST ACROSS ELLISON DRIVE AND THEN EAST PARALLEL WITH ELLISON DRIVE

PROPOSED 6' WIDE SIDEWALK AT PROPERTY LINE

PROPOSED STREET TREES TO BE LOCATED WITHIN PROPERTY LINE. TYPICAL ± 200' TO INTERSECTION

EXISTING 1" WIDE TELEPHONE EASEMENT - RUNS ALONG OLD GAS LINE EASEMENT

PROPOSED ENTRANCE & EXIT DRIVES FOR NEIGHBORING PROJECT ± 220' BETWEEN DRIVES

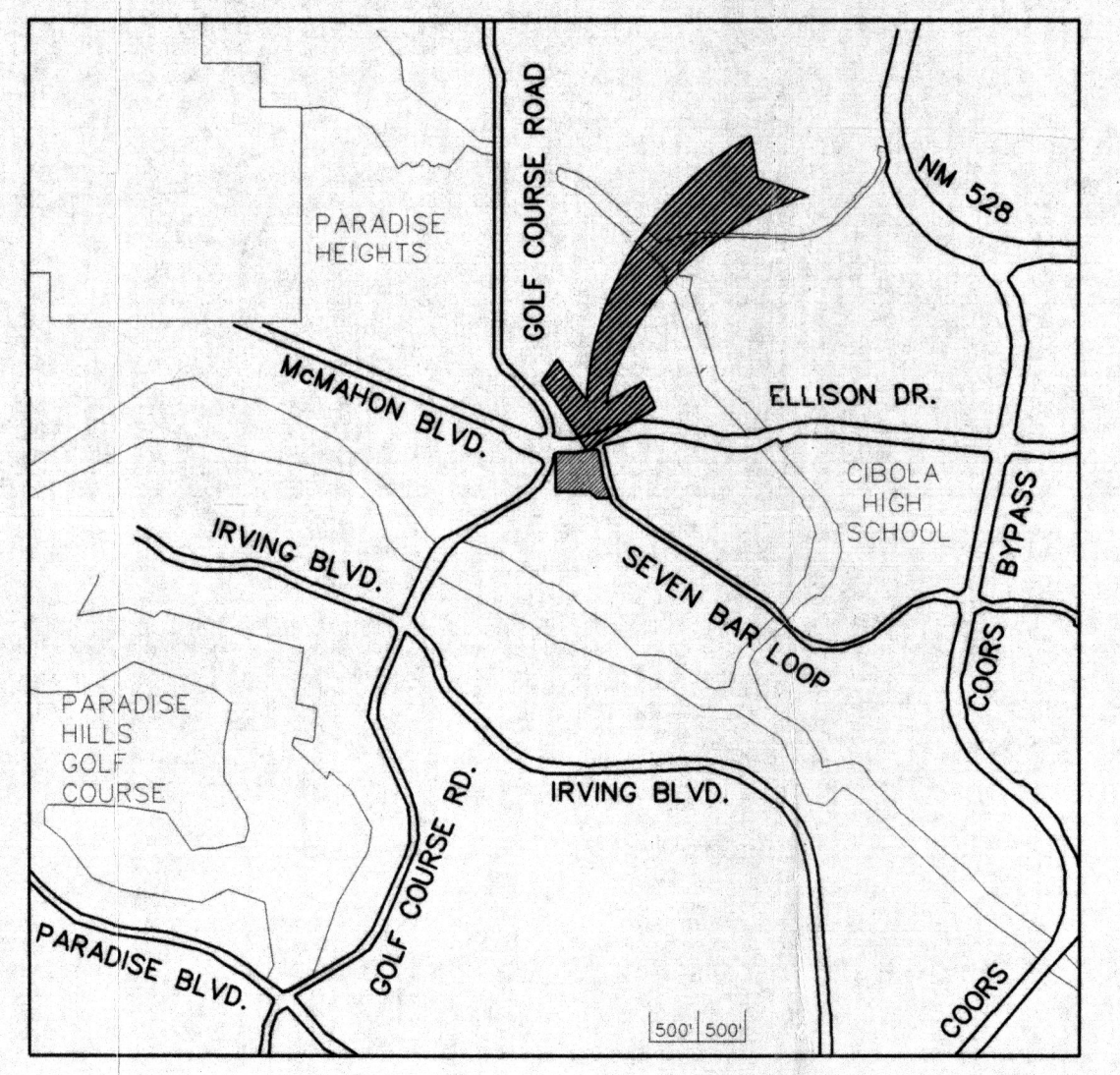
EXISTING CURB & GUTTER AT EDGE OF PAVEMENT, TYPICAL

PROPOSED 6' WIDE SIDEWALK AT PROPERTY LINE

PROPOSED FIRE HYDRANT (ONE OF TWO)

NO DRIVE OPPOSITE

NORTHWEST ALBUQUERQUE
 ZONE MAP - A-13



2 VICINITY MAP
 SCALE: 1" = 400'-0"

LEGAL DESCRIPTION

TRACT A-1A, SEVEN-BAR RANCH, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JANUARY 9, 1989, BOOK 95C, PAGE 2.

BUILDING ADDRESS

4500 7-BAR LOOP ROAD N.W.
 ALBUQUERQUE, NEW MEXICO 87114

EXISTING ZONING

BU-1 FOR Q-1 USES

GROSS BUILDING AREA

24,000 SF.

PARKING CALCULATIONS

CHURCH: ONE SPACE FOR EACH FOUR SEATS IN MAIN ROOM

TOTAL STAKE CENTER SEATING

(OVERFLOW SEATING)

(18% ADDITIONAL SPACES W/ OVERFLOW)

(MAXIMUM PARKING W/ OVERFLOW)

TOTAL REQUIRED SPACES

REGULAR SPACES

HANDICAPPED SPACES - FOR LESS THAN 300 TOTAL

PARKING PROVIDED

REGULAR SPACES

HANDICAPPED SPACES - FOR LESS THAN 300 TOTAL

TOTAL

BICYCLE RACK

ONE BICYCLE PER 20 PARKING SPACES

300 PARKING SPACES REQUIRE 15 BICYCLES

931 / 4 = 233 SPACES	(144 / 4 = 36 SPACES)
(265 x 10% = 27 SPACES)	(233 + 36 = 271 SPACES)
	(233 + 36 = 271 SPACES)
233 SPACES	
225 SPACES	8 H.C. SPACES
251 SPACES	
251 SPACES	8 H.C. SPACES
259 SPACES	

Project # 1000839
 Application # 00450-00000-01706

CASE NUMBER: Z-1000839
 This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on Nov. 17, 2000 and that the findings and conditions in the Official Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN			
<i>Bill Smith</i>	1-08-04	<i>Roger A. Huen</i>	12-20-00
Traffic Engineer, Transportation Division	Date	Public Works/Utilities Development Division	Date
<i>William E. Cardenas</i>	12/20/00	<i>Jose J. Medina</i>	12/20/00
Public Works/Utilities Division	Date	City Engineer, Engineering Division/AMAFCA	Date
<i>Bill Smith</i>	12-20-00	<i>William E. Cardenas</i>	Dec. 11-00
New Mexico, Inc.	Date	Public Works/Utilities Division	Date

APPROVAL AND CONFIRMATION ACCEPTANCE: as specified by the Development Process Manual.
Bill Smith 11/25/01
 Planner, Albuquerque Planning Department Date

PLN2 (10706) 4/96

1 SITE DEVELOPMENT PLAN
 SCALE: 1" = 30'-0"

MARK DATE REVISION

The CHURCH of JESUS CHRIST of LATTER-DAY SAINTS
 ALBUQUERQUE WEST STAKE CENTER
 4500 7-BAR LOOP ROAD N.W., ALBUQUERQUE, NEW MEXICO 87114
 SANDERS ROGERS ARCHITECTS, P.C. Architecture Landscape Architecture Interior Design
 301 GOLD AVENUE S.W. SUITE 202 ALBUQUERQUE N.M. 87102 (505) 247-1168 FAX (505) 247-0262

PROJECT FOR
 THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS
 PROJECT NAME

ALBUQUERQUE WEST STAKE CENTER
 PROJECT ADDRESS

4500
 7-BAR LOOP ROAD N.W.
 ALBUQUERQUE N.M. 87114

SHEET TITLE

SITE DEVELOPMENT PLAN
 D.R.B.
 REVISION

PROJECT DESIGNATION

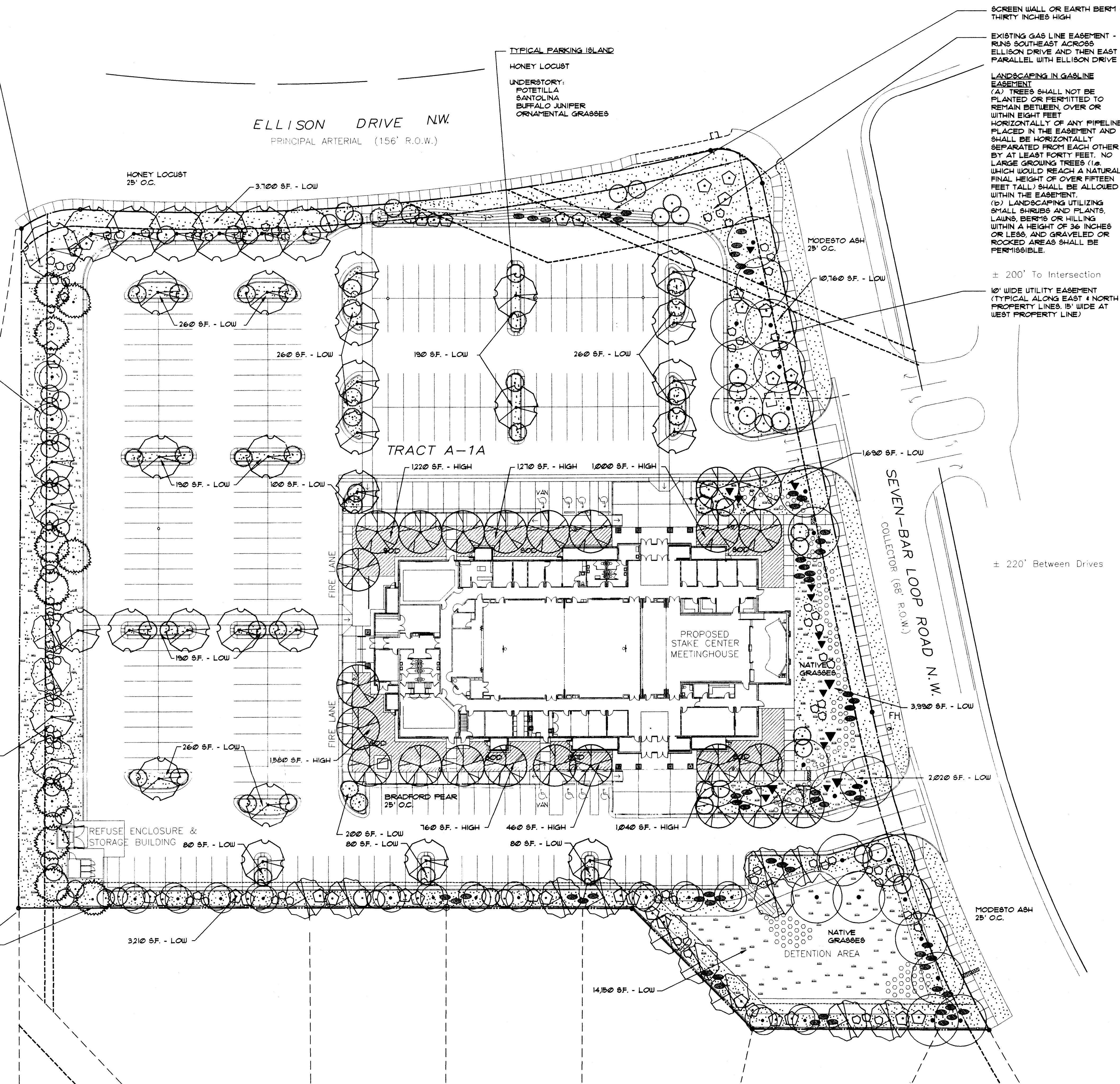
PROPERTY NUMBER 545-1949	SHEET NO. A-1
DEVELOPMENT NUMBER LE98-346T	
DATE 12-11-00	SHEET <u>1</u> OF <u>3</u>

020999 OCTOBER 1998
 \E:\Data\Drawings\4-1\Drawings\2000\2003\05_Arch\West\DRBL\A-11-D-000.dwg Mod. Dec. 11. 02. 00. 0000

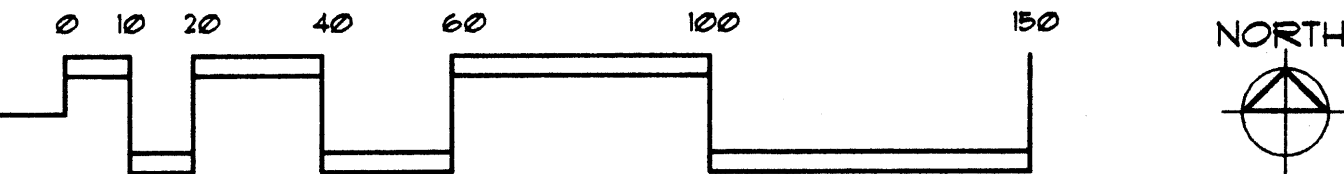
LANDSCAPING & BUFFERING
 A 10-FOOT WIDE LANDSCAPE BUFFER WITH TREES AT LEAST 8- FEET HIGH AT THE TIME OF PLANTING SHALL BE INSTALLED ALONG THE PROPERTY LINES WHICH ADJUT RESIDENTIAL ZONES. TREES SHALL BE PLANTED AT A MINIMUM INTERVAL OF 25 FEET. A MIX OF EVERGREENS AND DECIDUOUS TREES SHALL BE USED IN THE BUFFER ZONE.

LANDSCAPE BUFFER
 30' WIDE MINIMUM
 TRACT 2-A
 EAGLE RANCH
 (FILED 10-11-1985, C28-123)

EXISTING CONCRETE BLOCK WALL AT PROPERTY LINE



1 LANDSCAPING PLAN
 SCALE: 1" = 30'-0"



PLANTING LEGEND

SYMBOL	DESCRIPTION	SIZE	HEIGHT	SPREAD
TREES				
○	FRAXINUS VELUTINA 'Modesto' (MODESTO ASH)	2' CAL. B & B	50' HIGH	30' WIDE
⊗	PYRUS CALLERYANA 'Bradford' (BRADFORD PEAR)	1 1/2' CAL. B & B	20'-30' H	10'-30' W
⊕	FORESTIERA NEOMEXICANA (NEW MEXICO OLIVE) MULTI-TRUNKED	1 1/2' CAL. B & B	20'-30' H	10'-30' W
⊙	PINUS EDULIS (PINON PINE)	2' CAL. B & B	6'-25' H	
⊖	GLEDITSA TRICANTHOS 'Shademaster' (HONEY LOCUST)	2' CAL. B & B	24' H	16' W
⊗	ROBINA NEOMEXICANA (NEW MEXICO LOCUST)	1 1/2' CAL. B & B	15'-20' H	

SYMBOL	DESCRIPTION	SIZE	HEIGHT
○	JUNIPERUS SABINA 'Buffalo' (BUFFALO JUNIFER)	5 GALLON	1' HIGH
⊕	CHRYSOTHAMNUS NAUSEOSUS (CHAMISA)	5 GALLON	2'-5' HIGH
⊖	POTENTILLA FRUTICOSA 'Farreri' (POTENTILLA, CINQUEFOIL)	5 GALLON	1'-3' HIGH
⊙	SANTOLINA CHAMAECYPARISSUS (SANTOLINA - LAVENDER COTON)	1 GALLON	1'-2' HIGH

SYMBOL	DESCRIPTION	SIZE
▨	A MIXTURE OF OLYMPIC OR FALCON TALL FESCUE AND BLUEGRASS	SOD
- - -	NATIVE GRASSES	
▽	BOULDER - LARGE SIZE (24" DIAM. MIN.)	
▽	BOULDER - SMALL/MEDIUM SIZE (12"-18" DIAM.)	
○	COBBLE RIP RAP	4'-6' DIAM.
●	CRUSHED GRAVEL ADOBE BROWN	3/4' MINUS

WATER WASTE STATEMENT

1) THE LANDSCAPE DESIGN SHALL COMPLY WITH THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.
 E.G. HIGH WATER USE TURF SHALL NOT BE USED ON SLOPES GREATER THAN 4%, AND NO TURF SHALL BE PLANTED CLOSER THAN EIGHT FEET TO THE CURB IN PUBLIC RIGHT OF WAY. ALL SLOPES MUST BE PLANTED FOR EROSION CONTROL (IMPERVIOUS PAVING IS NOT ALLOWED).

GENERAL NOTES

- ALL AREAS SPECIFIED TO HAVE AGGREGATE MULCH OR OTHER MULCH MATERIALS SHALL HAVE THE MULCH MATERIALS CONTINUOUS THROUGHOUT THE ENTIRE AREA. MULCH MATERIALS SHALL BE PLACED TO A MINIMUM DEPTH OF FOUR (4) INCHES WITH THE TOP OF THE MULCH APPROXIMATELY 1" BELOW THE TOP OF ADJACENT CURBING OR PAVEMENT SURFACES.
- AGGREGATE MULCH MATERIALS SHALL BE PLACED OVER TOP OF A CONTINUOUS FIBERGLASS WEED BARRIER FABRIC. MINIMUM OVERLAP OF THE FABRIC JOINTS SHALL BE TWO (2) FEET. EDGES OF THE FABRIC SHALL BE SECURED BY PLACEMENT IN A TRENCH A MINIMUM OF SIX (6) INCHES DEEP. THE WEED BARRIER SHALL BE A DAWITT PRO 5 (5 OZ.) WOVEN FABRIC OR PRE-BID APPROVED EQUAL.
- BOULDERS SHALL BE A NATIVE GRANITE OR SANDSTONE. BOULDER SIZE SHALL BE AS INDICATED IN THE PLANT MATERIAL LEGEND. INITIAL BOULDER GROUPINGS SHALL BE REVIEWED BY ARCHITECT FOR ACCEPTANCE AND AS STANDARD APPEARANCE FOR OTHER FOLLOWING LOCATIONS.
- PLANT MATERIAL QUALITY, SIZE, AND CONDITION SHALL BE IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK, 1980, AS PUBLISHED BY THE AMERICAN COMMITTEE ON HORTICULTURAL STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. AS A MINIMUM STANDARD.
- ALL TREES 2" CALIPER AND LARGER SHALL BE GUYED. ALL TREES SMALLER THAN 2" CALIPER TO BE STAKED.
- AFTER COMPLETION OF THE CONTRACT, OWNER SHALL MAINTAIN THE LANDSCAPING.

IRRIGATION NOTES

1) IRRIGATION SHALL BE BY FULLY AUTOMATIC IRRIGATION SYSTEM DESIGNED WITH LOW FLOW AND LOW WATER USE. IT SHALL BE SEPARATELY METERED.

NET LOT AREA	
SITE AREA 214,000 SF.	
- 24,119 BLDG.	
NET LOT AREA 190,000 SF.	
MINIMUM AMOUNT OF LANDSCAPING REQUIRED 190,000 SF. x 0.15 = 28,500 SF.	
HIGH WATER USE - SOD	7,330 SF.
LOW WATER USE -	
SHRUBS & NATIVE GRASSES	51,420 SF.
LANDSCAPE TOTAL	58,470 SF.
MINIMUM AMOUNT OF LANDSCAPING REQUIRED	58,470 = 31% > 15% MIN. REQUIRED
190,000	
PLANTING RESTRICTIONS APPROACH	
MAXIMUM AMOUNT OF SOD ALLOWED	
7,330	
= 13% < 20% MAX. ALLOWED	
58,470	

MARK DATE REVISION

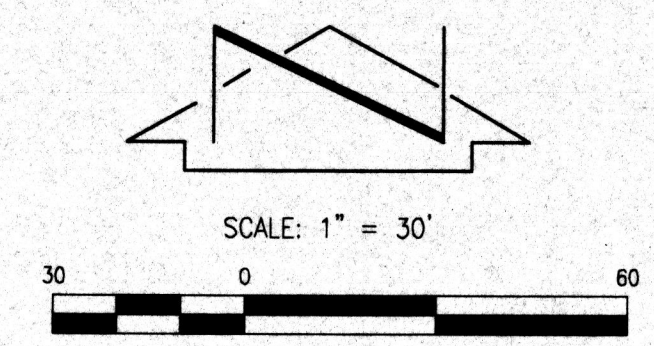
The CHURCH of JESUS CHRIST of LATTER-DAY SAINTS
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 501 GOLD AVENUE S., SUITE 202 ALBUQUERQUE, N.M. 87102 (505) 947-1858 FAX (505) 247-0266

PROJECT FOR
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS
 PROJECT NAME
 ALBUQUERQUE WEST STAKE CENTER
 PROJECT ADDRESS
 4500 7-BAR LOOP ROAD N.W. ALBUQUERQUE N.M. 87114

SHEET TITLE
LANDSCAPING PLAN
 D.R.B.
 REVISION

PROJECT DESIGNATION
 PROPERTY NUMBER 545-1949
 DEVELOPMENT NUMBER LE98-3461
 DATE 12-11-00
 SHEET 21

ELLISON DRIVE N.W.
(156' R.O.W.)



PROJECT BENCHMARK

USGS BRASS TABLET STAMPED "BLACK-2 1977", SET FLUSH WITH GROUND, NEAR THE SOUTHWEST CORNER OF THE INTERSECTION OF GOLF COURSE ROAD N.W. WITH McMAHON BOULEVARD N.W.
ELEVATION = 5213.93 FEET (M.S.L.D.)

T.B.M. #1

CHISELED "C" ON TOP OF CURB AT END OF EXTRUDED CURB
ELEVATION = 5200.83 FEET (M.S.L.D.)

T.B.M. #2

TOP OF P.K. NAIL AND WASHER (NO I.D.) IN TOP OF WALL
ELEVATION = 5189.78 FEET (M.S.L.D.)

LEGAL DESCRIPTION:

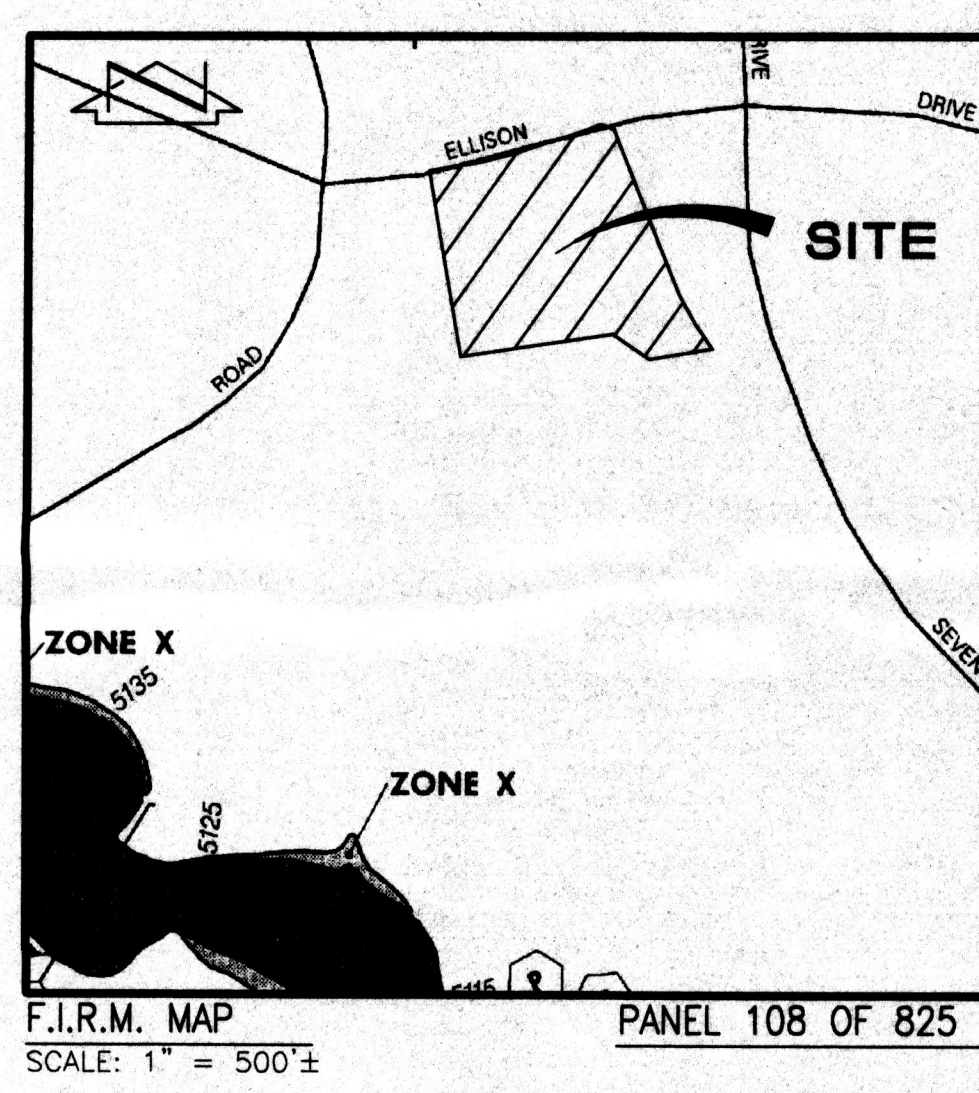
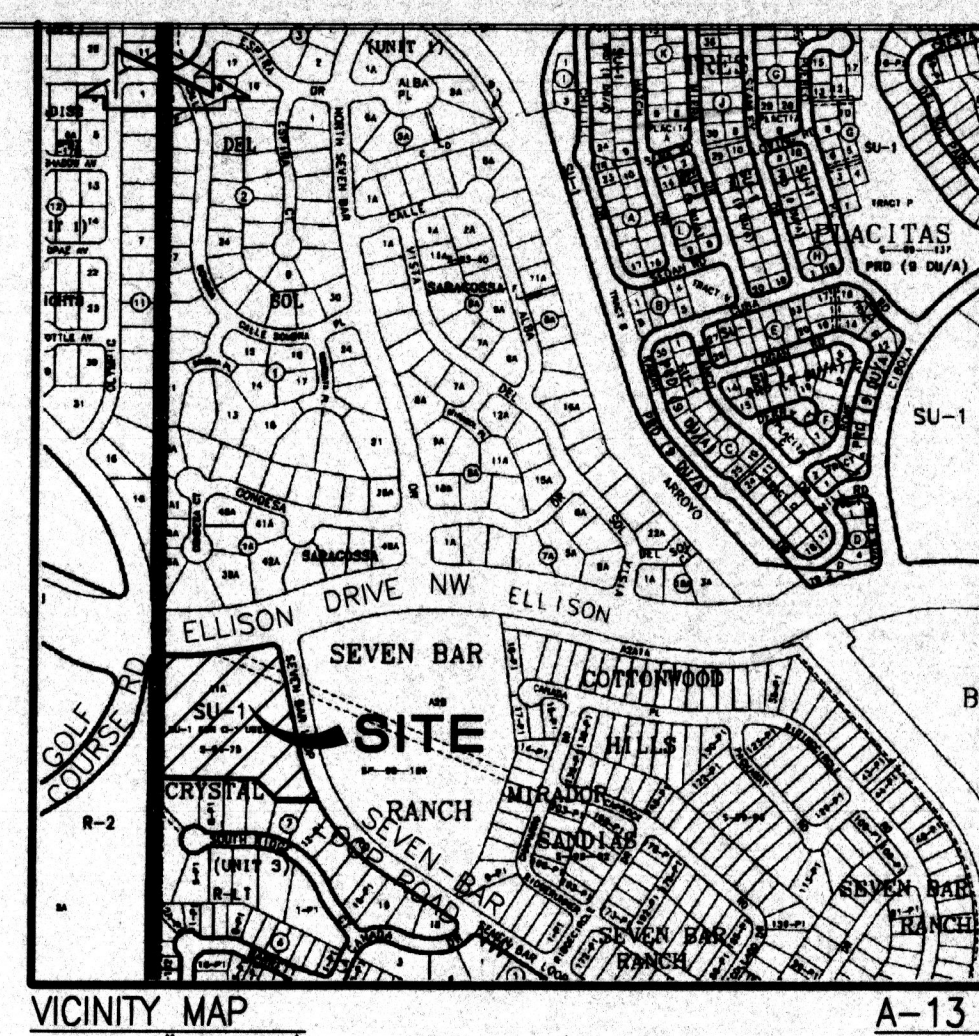
TRACT A-1A, SEVEN BAR RANCH

KEYED NOTES

- ① 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT C40-21
- ② 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 95C-2
- ③ 15' NEW MEXICO UTILITY, INC. SEWER SERVICE EASEMENT GRANTED BY DOCUMENT FILED 10-21-1983, BOOK MISC. 58-A, PAGE 151, DOC. #83 72565
- ④ 7' M.S.T.#1, RIGHT-OF-WAY EASEMENT GRANTED BY DOCUMENT FILED 04-21-1965, BOOK R/W 143, PAGE 329, DOC. #50547
- ⑤ 30' SOUTHERN UNION GAS COMPANY RIGHT-OF-WAY EASEMENT GRANTED BY DOCUMENT FILED 01-14-1946, BOOK 220, PAGE 547, AND AMENDED BY SUPPLEMENTAL RIGHT-OF-WAY GRANT FILED 03-07-1961, BOOK D585, PAGE 409, DOC. #10263, AS MODIFIED BY RELEASE OF CONVEYANCE FILED 01-12-1989, BOOK MISC. 702-A, PAGE 863, DOC. #892875
- ⑥ 20' PUBLIC SANITARY SEWER EASEMENT GRANTED BY PLAT 97C-356 (OFFSITE)
- ⑦ ADDITIONAL 5' PUBLIC SANITARY SEWER EASEMENT GRANTED BY PLAT 97C-356 (OFFSITE)
- ⑧ 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 98C-307 (OFFSITE)
- ④ SET #5 REBAR W/CAP STAMPED "NEW MEXICO PLS 11184"
- ⑧ FOUND P.K. NAIL W/WASHER (NO I.D.) IN TOP OF WALL
- ③ FOUND REBAR W/YELLOW CAP (NO I.D.), TAGGED W/WASHER STAMPED "NMP5 11184"
- ⑤ FOUND #5 REBAR (NO I.D.), TAGGED W/WASHER STAMPED "NMP5 11184"
- ⑤ FOUND REBAR W/CAP STAMPED "PLS 10042" (BENT), 0.24" NORTH OF PROPERTY LINE, NOT HONORED

LEGEND

AC ASPHALT CURB	⊙ PROPERTY CORNER
BWF BARBED WIRE FENCE	⊘ MANHOLE
CMU CONCRETE MASONRY UNIT	⊗ WATER VALVE BOX
CNO COULD NOT OPEN	⊙ TRAFFIC SIGN
CONC CONCRETE	⊙ TRAFFIC SIGNAL
DWS DASHED WHITE STRIPE	⊙ TRAFFIC SIGNAL PULLBOX
EA EDGE OF ASPHALT	⊙ TELEPHONE RISER
EC EDGE OF CONCRETE	⊙ TELEPHONE CABINET
EXC EXTRUDED CONCRETE CURB	⊙ UTILITY PAINT MARK
FL FLOWLINE	— 80 — CONTOUR LINE
I.D. IDENTIFICATION	— — — EASEMENT LINE
INV INVERT	— — — ADJOINER LINE
MH MANHOLE	— — — PROPERTY LINE
PXW PEDESTRIAN CROSSWALK	7466.98 ELEVATION
R.O.W. RIGHT-OF-WAY	⊙ DECIDUOUS TREE
SAS SANITARY SEWER	⊙ BOULDER
STD C&G STANDARD CURB AND CUTTER	⊙ PROPOSED CONCRETE
SW SIDEWALK	— 91 — PROPOSED CONTOUR
SWS SOLID WHITE STRIPE	⊙ 95.6 PROPOSED SPOT ELEVATION
SYS SOLID YELLOW STRIPE	⊙ PROPOSED DIRECTION OF FLOW
TA TOP OF ASPHALT	⊙ HIGH POINT
TC TOP OF CONCRETE	(98.0) FUTURE GRADE (±) PER GOLF COURSE / ELLISON REALIGNMENT
TCO TELEPHONE CABINET	
TR TELEPHONE RISER	
TSS TRAFFIC SIGNAL	
TSPB TRAFFIC SIGNAL PULLBOX	
TW TOP OF WALL	
UGT UNDERGROUND TELEPHONE	
VG VALLEY CUTTER	
VHPG VERY HIGH PRESSURE GAS LINE	
W WITH	
WF WIRE FENCE	
WP WOOD POLE	
WS WOOD SIGN	
WVB WATER VALVE BOX	



MARK DATE REVISION

ELLISON DRIVE N.W.

SEVEN BAR RANCH

SITE

SCALE: 1" = 750'

ELLISON DRIVE

SEVEN BAR LOOP ROAD N.W.

ZONE X

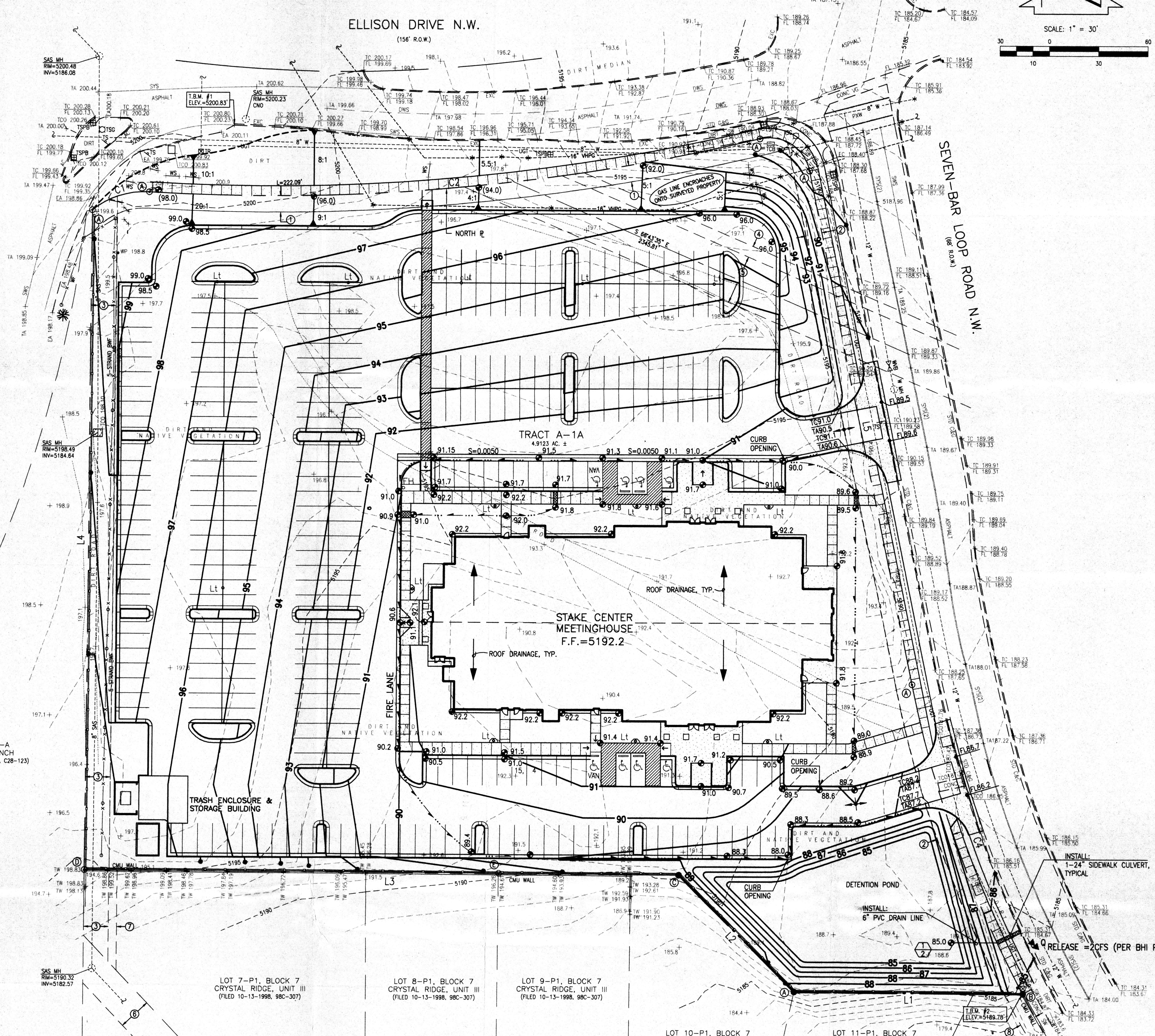
SCALE: 1" = 500'

F.I.R.M. MAP

PANEL 108 OF 825

The CHURCH of JESUS CHRIST of LATTER-DAY SAINTS
ALBUQUERQUE WEST STAKE CENTER
4500 7-BAR LOOP ROAD N.W., ALBUQUERQUE, NEW MEXICO 87114
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301 GOLD AVENUE S.W. SUITE 202 ALBUQUERQUE N.M. 87102 (505) 247-1168 FAX (505) 247-0262

GOLF COURSE ROAD N.W.
(86' R.O.W.)



TRACT 2-A
EAGLE RANCH
(FILED 10-11-1985, C28-123)

LOT 7-P1, BLOCK 7
CRYSTAL RIDGE, UNIT III
(FILED 10-13-1998, 98C-307)

LOT 8-P1, BLOCK 7
CRYSTAL RIDGE, UNIT III
(FILED 10-13-1998, 98C-307)

LOT 9-P1, BLOCK 7
CRYSTAL RIDGE, UNIT III
(FILED 10-13-1998, 98C-307)

LOT 10-P1, BLOCK 7

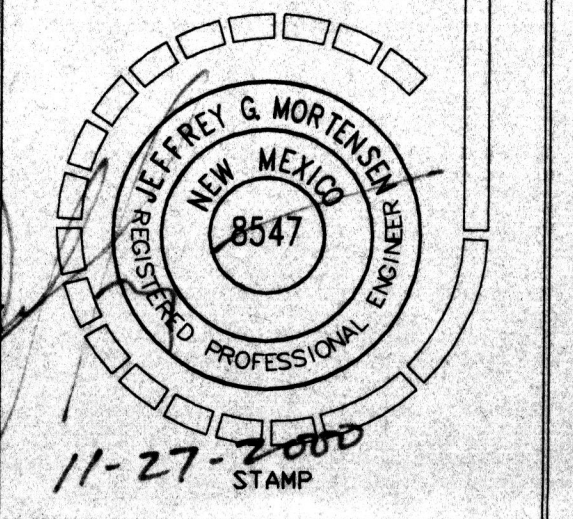
LOT 11-P1, BLOCK 7

BOUNDARY TABLES

LINE	DIRECTION	DISTANCE
L1	N 89°40'35" W	138.91'
L2	N 44°46'12" W	99.92'
L3	N 89°45'11" W	359.92'
L4	N 00°15'33" E	400.38'
L5	S 11°36'02" E	318.26'

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA
C1	50.00'	37.00'	N 71°56'08" E	36.18'	42°23'56"
C2	1278.00'	373.40'	N 84°45'54" E	372.07'	16°44'26"
C3	25.00'	40.15'	S 57°36'08" E	35.97'	92°00'26"
C4	684.00'	200.47'	S 19°56'16" E	199.75'	16°47'33"

NOTE:
THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN FOR ORIENTATION ONLY. BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN IS BASED UPON THE SURVEY PERFORMED BY JEFF MORTESEN & ASSOCIATES, INC., DATED 09/2000.



PROJECT FOR
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS
PROJECT NAME
ALBUQUERQUE WEST STAKE CENTER
PROJECT ADDRESS
4500 7-BAR LOOP ROAD N.W.
ALBUQUERQUE N.M. 87114

SHEET TITLE
CONCEPTUAL GRADING PLAN

PROJECT DESIGNATION
PROPERTY NUMBER
545-1948
REVELOPMENT NUMBER
LE98-346T
DATE
9-29-00

SHEET NO.
A-3
SHEET 1 OF 2



JEFF MORTESEN & ASSOCIATES, INC.
6400-B MIDWAY PARK BLVD. N.E.
ALBUQUERQUE, N.M. 87109
ENGINEERS & SURVEYORS (505) 245-4850
FAX (505) 245-4854 Email: jma@jmaassoc.com

2000.069.2

File Path: E:\MORTEN\WORK\DWG
Plot Date: 11-27-2000
Plot Time: 12:30 pm
File Name: 069403.DWG

DRAINAGE PLAN

I. EXECUTIVE SUMMARY AND INTRODUCTION:

THIS IS AN UNDEVELOPED SITE WITHIN AN INFILL AREA LOCATED AT THE SOUTHWEST CORNER OF GOLF COURSE ROAD NW AND ELLISON DRIVE NW ON THE WEST SIDE (NORTHWEST MESA). PROPOSED CONSTRUCTION CONSISTS OF A NEW CHURCH WITH ASSOCIATED PARKING AND LANDSCAPING. SITE DRAINAGE IS PREDOMINATELY NORTHWEST TO SOUTHEAST. EXISTING MINOR OFFSITE FLOWS ENTER THE SITE FROM THE NORTH AND WEST FROM THE BORDERING PUBLIC RIGHT OF WAY. THESE FLOWS WILL BE ACCEPTED IN THE DEVELOPED CONDITION, BUT WILL BE PONDED ALONG WITH THE DEVELOPED FLOWS IN A DETENTION POND AT THE SOUTHEAST CORNER OF THE SITE. FLOWS WILL BE DISCHARGED FROM THE POND AT A CONTROLLED RATE OF 2.0 CFS THROUGH A DRAINPIPE AND A SIDEWALK DRAIN ONTO SEVEN BAR LOOP NW, WHICH DRAINS INTO BLACK DIVERSION CHANNEL. THIS SITE IS LIMITED TO A RATE OF 2.0 CFS BY A PREVIOUSLY APPROVED CONCEPTUAL DRAINAGE PLAN. THE DOWNSTREAM DISCHARGE CAPACITY WAS QUANTIFIED AT 66.3 CFS IN SEVEN BAR LOOP ROAD AT ITS INTERSECTION WITH BLACK DIVERSION CHANNEL AND BLACK DIVERSION CHANNEL WAS DETERMINED TO HAVE AN ACCEPTANCE CAPACITY OF 119 CFS AT THAT POINT, BY THAT PLAN. THIS PLAN SEEKS APPROVAL OF SITE DEVELOPMENT PLAN FOR BUILDING PERMIT.

II. PROJECT DESCRIPTION:

AS SHOWN BY CITY ZONE MAP A-13, THIS IS A SU-1 ZONED SITE LOCATED AT THE SOUTHEAST CORNER OF GOLF COURSE ROAD NW AND ELLISON DRIVE NW, AND THE LEGAL DESCRIPTION IS: TRACT A-1A, SEVEN BAR RANCH, AS SHOWN IN PANEL 108 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS FOR BERNALILLO COUNTY, NEW MEXICO, AND INCORPORATED AREAS, DATED SEPTEMBER 20, 1996. THIS SITE DOES NOT LIE WITHIN, NOR UPSTREAM OF A DESIGNATED FLOOD HAZARD ZONE.

III. BACKGROUND DOCUMENTS:

THE FOLLOWING IS A LIST OF PREVIOUSLY PREPARED DOCUMENTS FOR THIS SITE. THIS LIST MAY NOT BE INCLUSIVE, HOWEVER, REPRESENTS A SUMMARY OF THOSE PLANS AND DOCUMENTS WHICH ARE KNOWN TO THIS PREPARER.

A. TOPOGRAPHIC SURVEY OF TRACT A-1A FOR SANDERS ROGERS ARCHITECTS, PC/THE CHURCH OF JESUS CHRIST OF LATTER DAY SAINTS. PREPARED BY JEFF MORTENSEN & ASSOCIATES, INC. ALBUQUERQUE NEW MEXICO, DATED SEPTEMBER 2000. TOPOGRAPHIC AND BOUNDARY INFORMATION SHOWN HEREON HAS BEEN TAKEN FROM THIS SURVEY.

B. CONCEPTUAL DRAINAGE PLAN (A13/DB) FOR PROPOSED PLATTING OF TRACTS A-1A, A-2B, AND A-2A SEVEN BAR RANCH. PREPARED BY BOHMAN-HUSTON, INC (BHI) BEARING ENGINEER'S STAMP DATE OF 11-29-94.

IV. EXISTING CONDITIONS:

AT PRESENT, THE SITE IS UNDEVELOPED WITH NO ONSITE OR OFFSITE DRAINAGE FACILITIES. THE SITE IS BOUNDED ON THE EAST BY SEVEN BAR LOOP ROAD AND ON THE NORTH BY ELLISON DRIVE, BOTH OF WHICH ARE FULLY DEVELOPED PUBLIC ROADS. THE SITE IS BOUNDED ON THE WEST BY GOLF COURSE ROAD NW, WHICH DOES NOT HAVE CURB AND GUTTER, AND ON THE SOUTH BY A DEVELOPED RESIDENTIAL SUBDIVISION. THE SITE IS TOPOGRAPHICALLY LOWER THAN BOTH ELLISON AND GOLF COURSE ROADS, AND ONLY RECEIVES VERY MINOR OFFSITE SHEET FLOWS FROM THE BORDERING PUBLIC RIGHT-OF-WAY. THE SITE IS TOPOGRAPHICALLY HIGHER THAN THE SUBDIVISION, BUT ONSITE AND OFFSITE FLOWS ARE PREVENTED FROM ENTERING THE SUBDIVISION BY THE EXISTING CMU WALLS ALONG THE SOUTHERN BOUNDARY OF THE SITE. THE SITE DRAINS BY SHEET FLOW FROM NORTHWEST TO SOUTHEAST, AND BY CONCENTRATED FLOWS WEST TO EAST ALONG THE CMU WALL AND EXIT ONTO SEVEN BAR LOOP ROAD AT THE SOUTHEAST CORNER OF THE SITE, WHICH DRAINS TO BLACK DIVERSION CHANNEL. AT PRESENT THERE IS SUFFICIENT CAPACITY FOR THIS SITE AND TRACT 2-A, THE UNDEVELOPED SITE IMMEDIATELY TO THE EAST ACROSS SEVEN BAR LOOP ROAD. HOWEVER, THAT SITE IS ALSO IN THE PROCESS OF BEING DEVELOPED. THE PROPOSED DEVELOPMENT OF THIS SITE AT THIS TIME REQUIRES THE DECREASED RELEASE OF PEAK DISCHARGE FROM THIS SITE IN ACCORDANCE WITH PREVIOUSLY APPROVED PLANS.

V. DEVELOPED CONDITIONS:

THE PROPOSED DEVELOPMENT CONSISTS OF NEW BUILDING CONSTRUCTION WITH ASSOCIATED PAVED PARKING AND LANDSCAPING IMPROVEMENTS. THERE WILL NO CHANGE IN THE MANNER, PEAK RATE OF DISCHARGE OR VOLUME OF OFFSITE FLOWS. ONSITE FLOWS WILL INCREASE, AS A RESULT OF DEVELOPMENT, BUT THE PROPOSED ONSITE DRAINAGE PATTERN WILL MIMIC HISTORIC PATTERNS. OFFSITE AND DEVELOPED ONSITE FLOWS WILL BE DIRECTED TO A DETENTION POND, SIZED TO HOLD THE 100-YEAR DESIGN STORM VOLUME, FOR THE CONTROLLED RELEASE OF FLOWS DISCHARGED FROM THIS SITE. THE PROPOSED POND, LOCATED AT SOUTHEAST CORNER OF THE SITE, WILL DRAIN THROUGH A DRAINPIPE AND A PROPOSED SIDEWALK DRAIN ONTO SEVEN BAR LOOP ROAD. MAINTENANCE OF THE POND, DRAINPIPE, AND SIDEWALK DRAIN WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE MAXIMUM WATER SURFACE LEVEL IN THE POND IS 5188.7 FEET. THE MAXIMUM ELEVATION AT THE POND IS 5189.0 FEET SO THE POND WILL HAVE A FREEBOARD OF 0.3 FEET. THE POND IS SIZED TO RECEIVE ALL DEVELOPED AND OFFSITE FLOWS AND DISCHARGE ALL RUNOFF THROUGH THE DRAIN PIPE. IN THE EVENT THE DRAINPIPE BECOMES CLOGGED, THE POND COULD OVERFILL, THEN THE OVERFLOW WILL REACH THE SOUTHERN PRIVATE ENTRANCE AND EXIT THE SITE THROUGH THE ENTRANCE AT A RATE OF 0.9 CFS UNTIL A NEW MAXIMUM WATER LEVEL OF 5188.5 FEET IS OBTAINED. ALL RUNOFF WILL REMAIN ON SITE UNTIL THE DRAINPIPE IS CLEAR AND CONTROLLED DISCHARGE CAN RESUME. IT IS THE INTENT OF THIS GRADING AND DRAINAGE PLAN THAT THE PEAK DISCHARGE RESULTING FROM THE PROPOSED IMPROVEMENTS NOT EXCEED 2.0 CFS.

VI. GRADING PLAN:

A GRADING PLAN HAS BEEN PREPARED IN SUPPORT OF THIS DRAINAGE SUBMITTAL. THE GRADING PLAN SHOWS: 1) EXISTING GRADES INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1'0" INTERVALS, 2) PROPOSED GRADES INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1'0" INTERVALS, 3) THE LIMIT AND CHARACTER OF THE EXISTING IMPROVEMENTS, 4) THE LIMIT AND CHARACTER OF THE PROPOSED IMPROVEMENTS, 5) CONTINUITY BETWEEN EXISTING AND PROPOSED GRADES. THE GRADING PLAN APPEARS ON SHEET A3.

VII. CALCULATIONS:

THE CALCULATIONS, WHICH APPEAR HEREON, ANALYZE BOTH THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRE AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, DATED JANUARY, 1993, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUNOFF GENERATED. AS SHOWN BY THESE CALCULATIONS, THERE WILL BE A GROSS INCREASE IN THE PEAK RATE AND THE VOLUME OF RUNOFF GENERATED BY THIS SITE. AS FURTHER DEMONSTRATED BY HYDROGRAPH AND ORIFICE CALCULATIONS, THE PROPOSED DETENTION POND WILL RESTRICT THE PEAK RATE OF DISCHARGE FROM THIS SITE TO 2.0 CFS WHICH IS A NET DECREASE IN PEAK RATE OF DISCHARGE GENERATED BY THIS SITE.

VIII. CONCLUSION:

THE PROPOSED DEVELOPMENT OF THIS SITE IS CONSISTENT WITH THE REQUIREMENTS OF THE PREVIOUSLY APPROVED CONCEPTUAL DRAINAGE PLAN RESTRICTING THE PEAK RATE OF DISCHARGE FROM THIS PARCEL TO 2.0 CFS. THIS RESTRICTION IS ACCOMPLISHED BY CONTROLLED RELEASE FROM A PROPOSED ONSITE PRIVATE DETENTION POND; THAT IS SIZED TO HOLD THE 100-YEAR, 6-HOUR RAINFALL EVENT. THERE ARE NO PUBLIC INFRASTRUCTURE, DPM DESIGN VARIANCES, OR NEW EASEMENTS REQUIRED BY THIS PROJECT. SITE RUNOFF WILL CONTINUE TO DRAIN IN A MANNER CONSISTENT WITH EXISTING PATTERNS WITH A SIGNIFICANT DECREASE IN THE PEAK RATE OF DISCHARGE. THE DISCHARGE FROM THIS FACILITY WILL NOT HAVE AN ADVERSE IMPACT ON THE EXISTING CAPACITY IN SEVEN BAR LOOP ROAD, OR OTHER EXISTING OR PROPOSED DEVELOPMENTS SITUATED DOWNSTREAM.

CALCULATIONS

SITE CHARACTERISTICS

- PRECIPITATION ZONE = 1
- $P_{6,100} = P_{360} = 2.20$
- TOTAL AREA (A_T) = 214,000 SF/4.91 AC
- EXISTING LAND TREATMENT

TREATMENT	AREA (SF/AC)	%
A	214,000/4.91	100
- DEVELOPED LAND TREATMENT

TREATMENT	AREA (SF/AC)	%
B	53,660/1.23	25
D	160,340/3.68	75

EXISTING CONDITION

- VOLUME

$$E_w = (E_c A_c + E_g A_g + E_o A_o + E_d A_d) / A_T$$

$$E_w = [(0.44)(4.91)] / 4.91 = 0.44 \text{ IN}$$

$$V_{100} = (E_w / 12) A_T$$

$$V_{100} = (0.44 / 12) 4.91 = 0.1800 \text{ AC FT} = 7,840 \text{ CF}$$
- PEAK DISCHARGE

$$Q_p = Q_{PA} A_A + Q_{PB} A_B + Q_{PC} A_C + Q_{PD} A_D$$

$$Q_p = Q_{100} = (1.29)(4.91) = 6.3 \text{ CFS}$$

DEVELOPED CONDITION

- VOLUME

$$E_w = (E_c A_c + E_g A_g + E_o A_o + E_d A_d) / A_T$$

$$E_w = [(0.67)(1.23) + (1.97)(3.68)] / 4.91 = 1.64 \text{ IN}$$

$$V_{100} = (E_w / 12) A_T$$

$$V_{100} = (1.64 / 12) 4.91 = 0.6710 \text{ AC FT} = 29,230 \text{ CF}$$
- PEAK DISCHARGE

$$Q_p = Q_{PA} A_A + Q_{PB} A_B + Q_{PC} A_C + Q_{PD} A_D$$

$$Q_p = Q_{100} = (2.03)(1.23) + (4.37)(3.68) = 18.6 \text{ CFS}$$

3. POND VOLUME

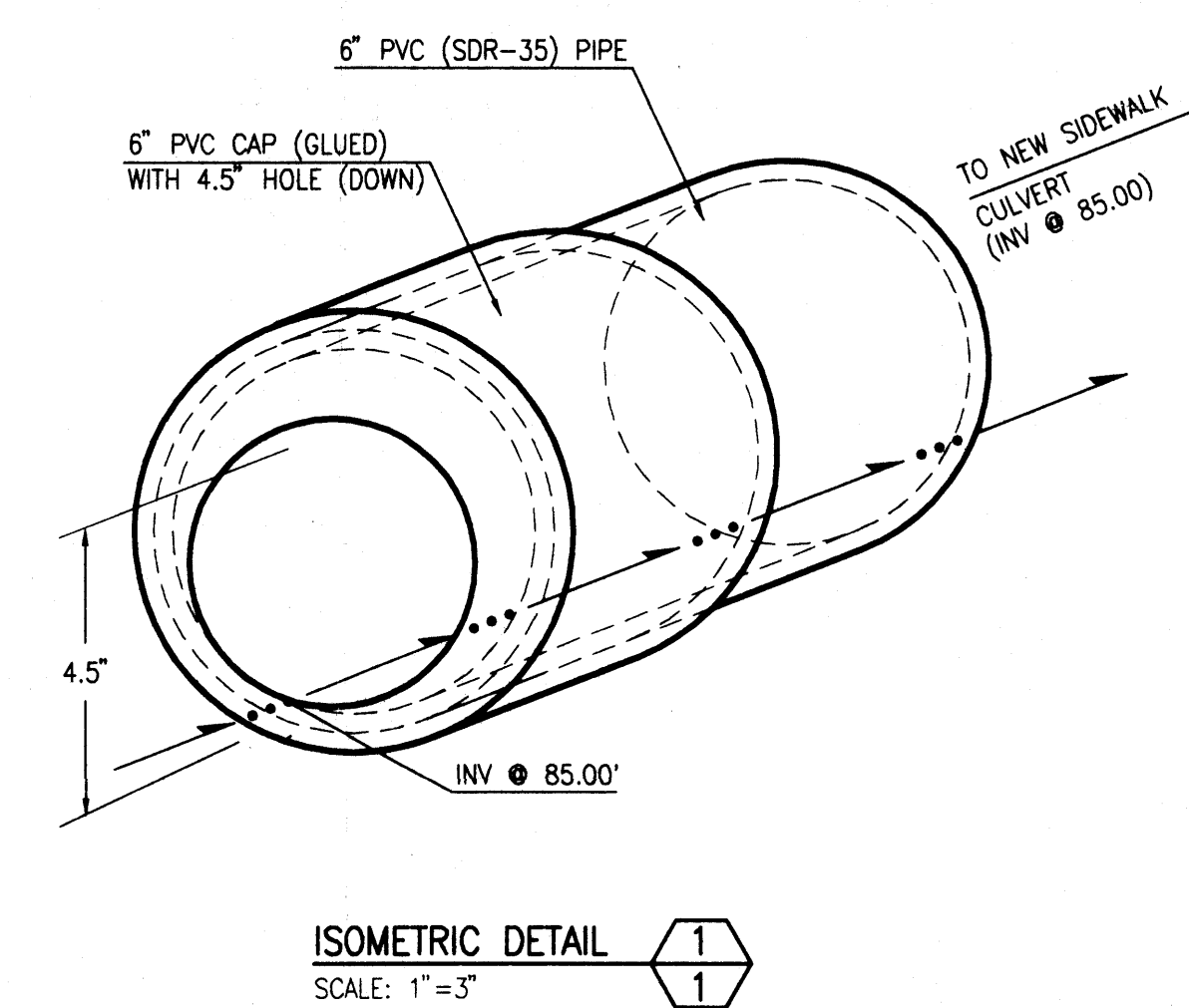
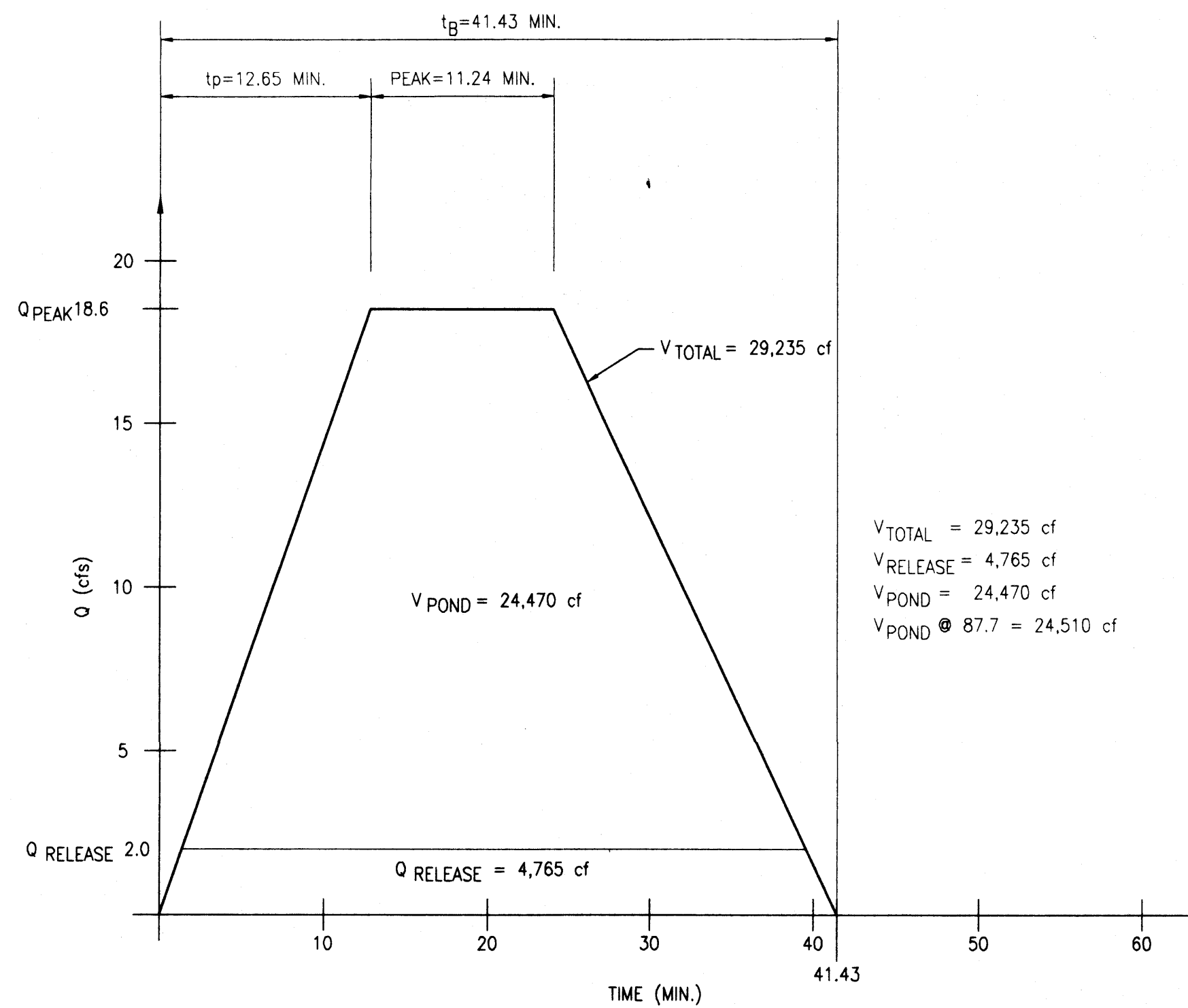
AVERAGE END-AREA METHOD

ELEV (ft)	AREA (sf)	VOL (cf)	I VOL (cf)
5,185	7,000	7,775	7,890
5,186	8,550	9,175	16,950
5,187	9,800		
5,187.7		7,560	24,510
5,188	11,800		

$V_{pond} = 24,510 \text{ Vreq'd} = 24,470$
 $V_{pond} > V_{req'd}$
 $V_{100} \text{ WATER SURFACE LEVEL} = 5,187.7$
 $V_{MAX} \text{ WATER SURFACE LEVEL} = 5,187.7$
 FREE BOARD = 0.3'

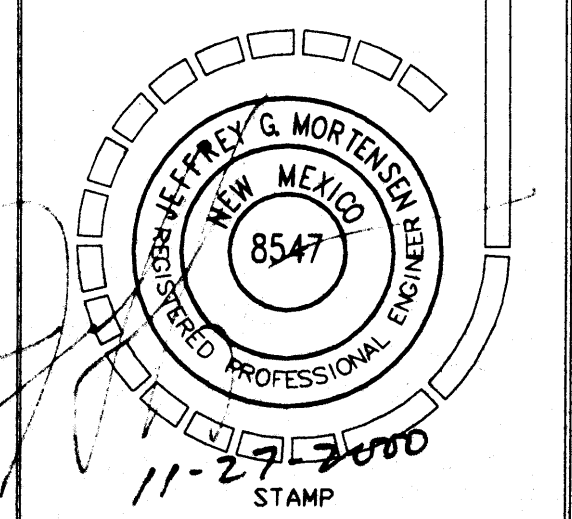
COMPARISON

$\Delta V_{100} = 29,230 - 7,840 = 21,390 \text{ CF (INCREASE)}$
 $\Delta Q_{100} = 6.3 - 2.0 = 4.3 \text{ cfs (DECREASE)}$



MARK	DATE	REVISION

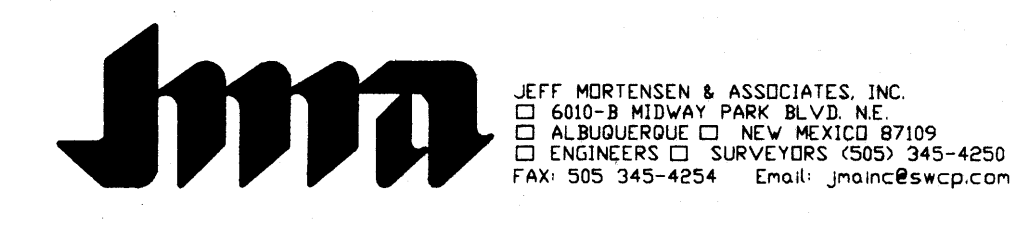
The CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS
 ALBUQUERQUE WEST STAKE CENTER
 4500 7-BAR LOOP ROAD N.W., ALBUQUERQUE, NEW MEXICO 87114
 SANDERS ROGERS ARCHITECTS, P.C. Architecture Landscape Architecture Interior Design
 301 GOLD AVENUE S.W. SUITE 202 ALBUQUERQUE NM. 87102 (505) 247-1168 FAX (505) 247-0262



PROJECT FOR
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS
 PROJECT NAME
 ALBUQUERQUE WEST STAKE CENTER
 PROJECT ADDRESS
 4500 7-BAR LOOP ROAD N.W. ALBUQUERQUE N.M. 87114

SHEET TITLE
DRAINAGE PLAN AND CALCULATIONS

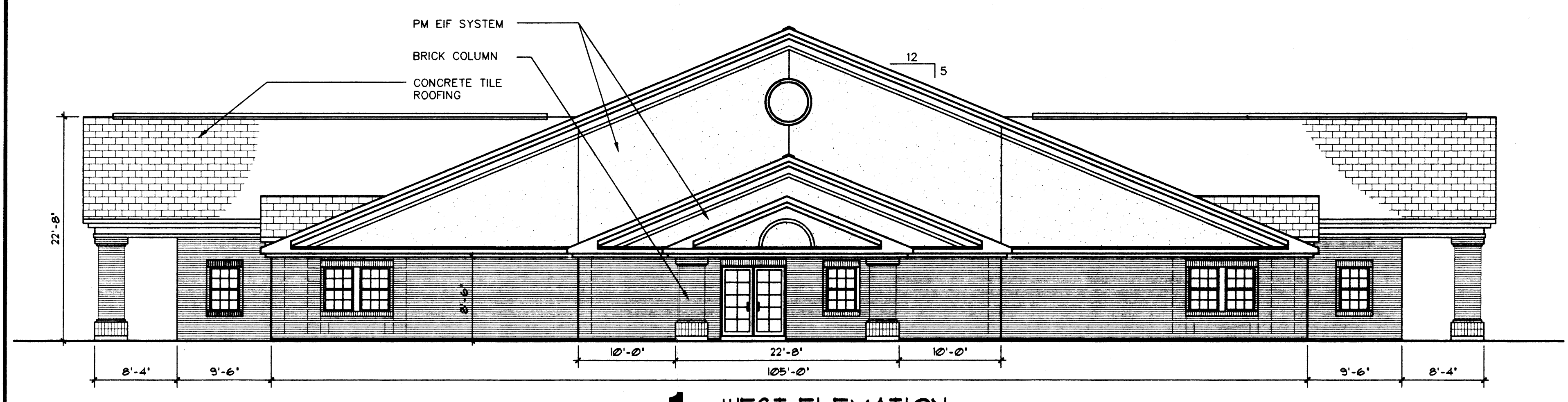
PROJECT DESIGNATION	PROPERTY NUMBER	SHEET NO.
	545-1948	
	DEVELOPMENT NUMBER	A-4
	LE98-346T	
DATE	9-29-00	SHEET 2 OF 2



2000.069.2

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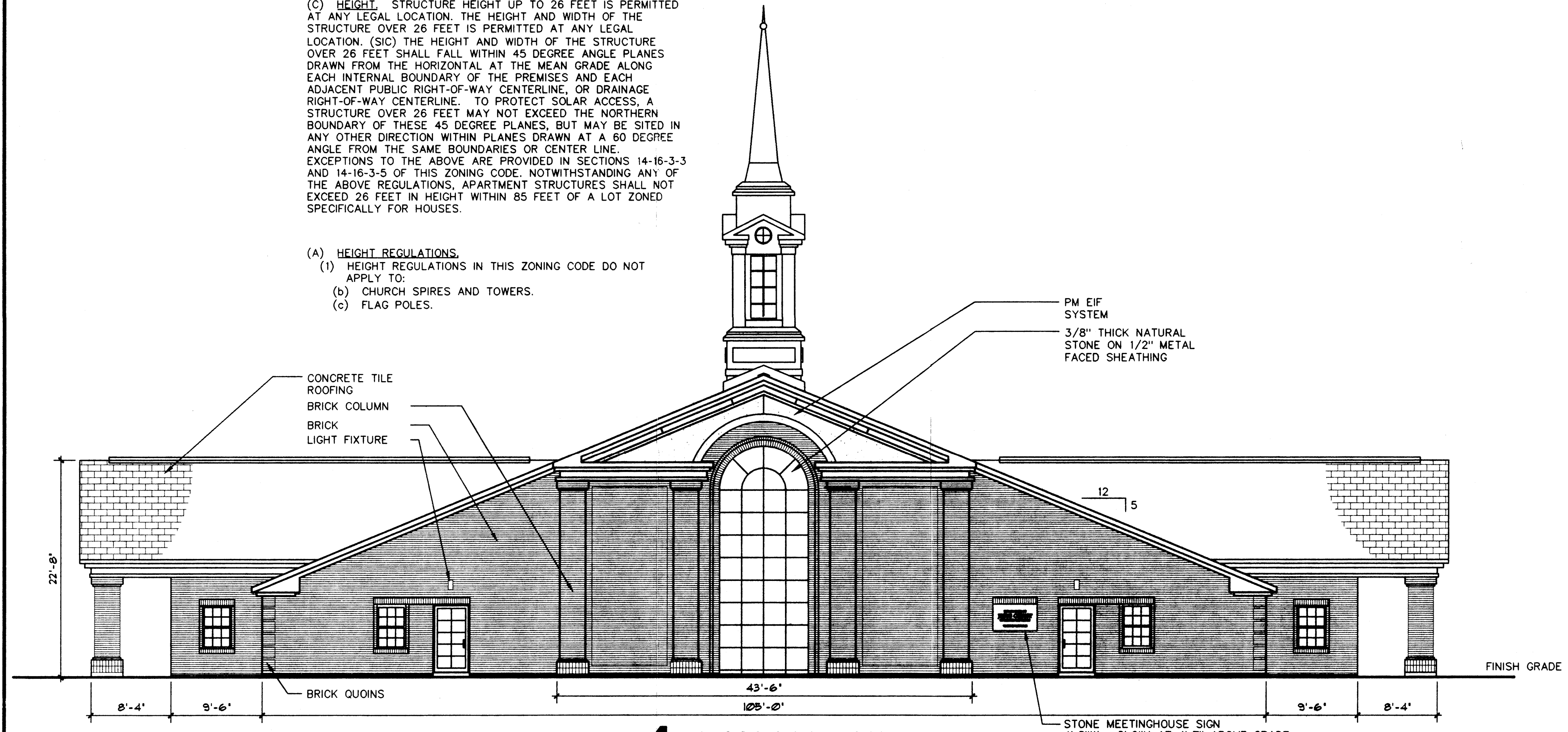
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1 WEST ELEVATION

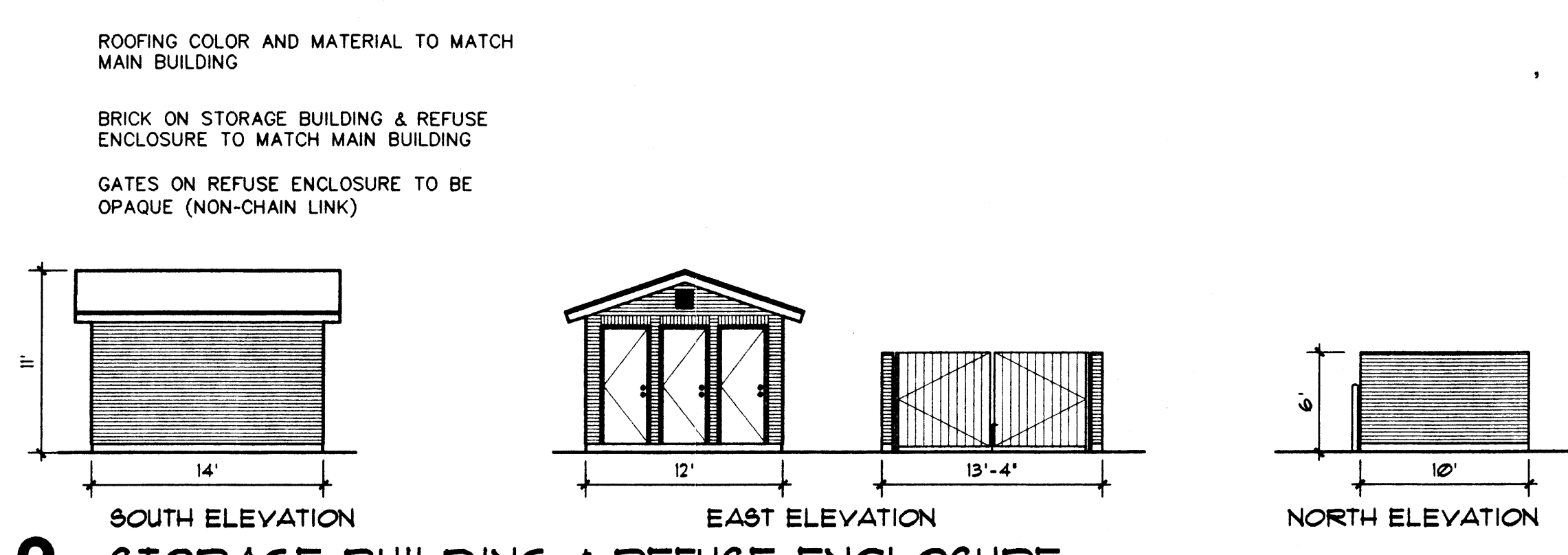
(C) HEIGHT. STRUCTURE HEIGHT UP TO 26 FEET IS PERMITTED AT ANY LEGAL LOCATION. THE HEIGHT AND WIDTH OF THE STRUCTURE OVER 26 FEET IS PERMITTED AT ANY LEGAL LOCATION. (SIC) THE HEIGHT AND WIDTH OF THE STRUCTURE OVER 26 FEET SHALL FALL WITHIN 45 DEGREE ANGLE PLANES DRAWN FROM THE HORIZONTAL AT THE MEAN GRADE ALONG EACH INTERNAL BOUNDARY OF THE PREMISES AND EACH ADJACENT PUBLIC RIGHT-OF-WAY CENTERLINE, OR DRAINAGE RIGHT-OF-WAY CENTERLINE. TO PROTECT SOLAR ACCESS, A STRUCTURE OVER 26 FEET MAY NOT EXCEED THE NORTHERN BOUNDARY OF THESE 45 DEGREE PLANES, BUT MAY BE SITED IN ANY OTHER DIRECTION WITHIN PLANES DRAWN AT A 60 DEGREE ANGLE FROM THE SAME BOUNDARIES OR CENTER LINE. EXCEPTIONS TO THE ABOVE ARE PROVIDED IN SECTIONS 14-16-3-3 AND 14-16-3-5 OF THIS ZONING CODE. NOTWITHSTANDING ANY OF THE ABOVE REGULATIONS, APARTMENT STRUCTURES SHALL NOT EXCEED 26 FEET IN HEIGHT WITHIN 85 FEET OF A LOT ZONED SPECIFICALLY FOR HOUSES.

(A) HEIGHT REGULATIONS.
 (1) HEIGHT REGULATIONS IN THIS ZONING CODE DO NOT APPLY TO:
 (b) CHURCH SPIRES AND TOWERS.
 (c) FLAG POLES.

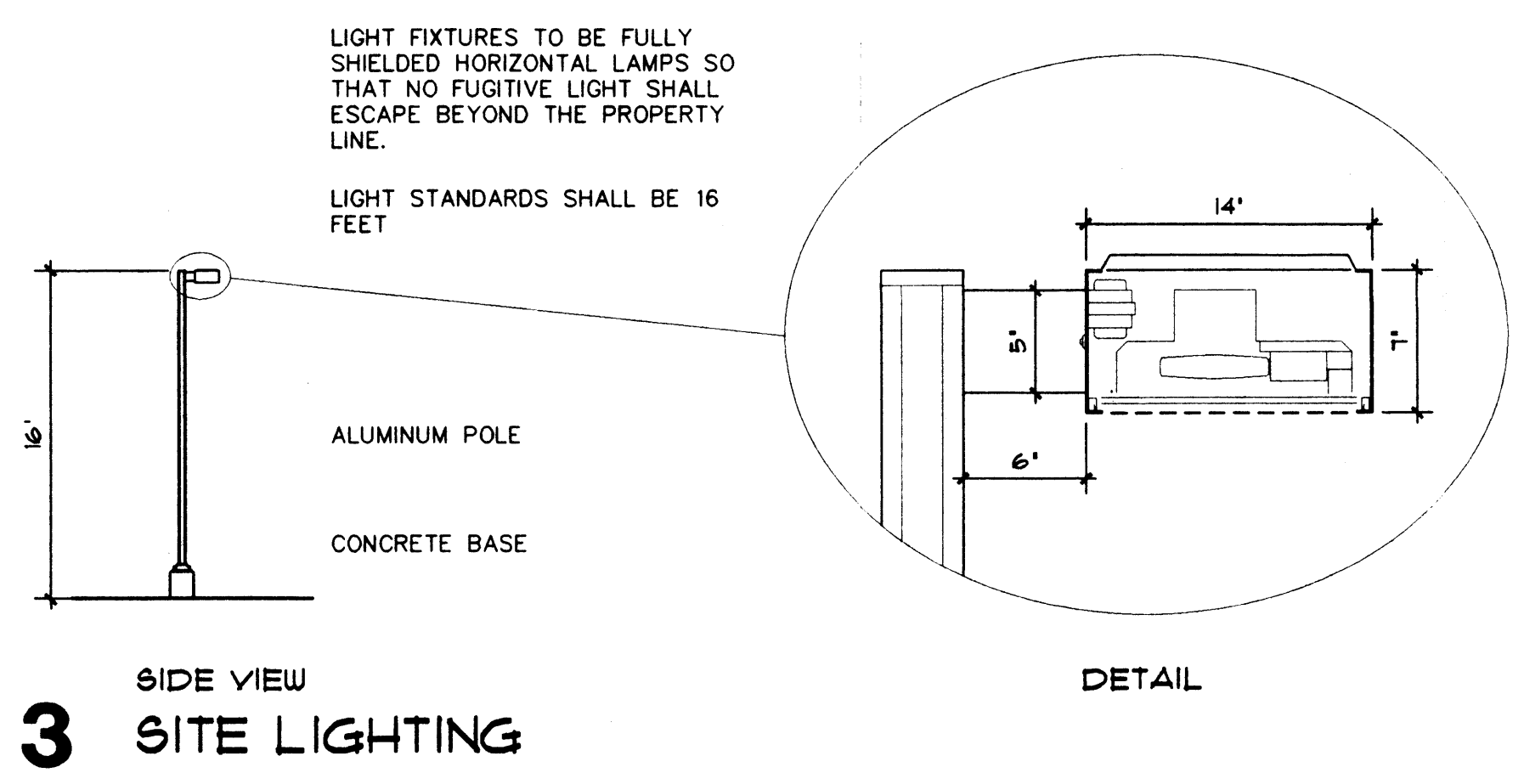


4 EAST ELEVATION

STONE MEETINGHOUSE SIGN
 4'-8" W x 2'-9" H AT 4'-7" ABOVE GRADE
 W/ NO LIGHTING (FACE AREA 12.8 SF)

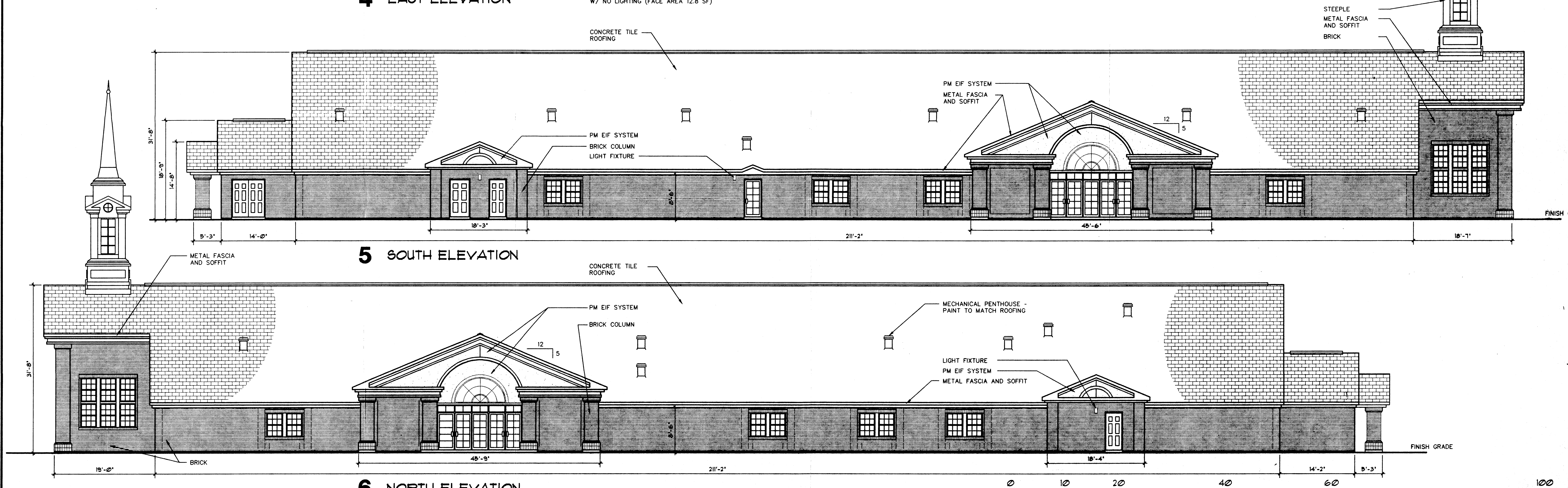


2 STORAGE BUILDING & REFUSE ENCLOSURE



3 SITE LIGHTING

EXTERIOR FINISH MATERIALS
 THIS BUILDING WILL BE BUILT WITH THE HIGHEST-QUALITY MATERIALS AND WORKMANSHIP.
 THE COLOR PALLET SHALL BE BASED ON EARTH-TONES, AS PROSCRIBE BY THE SEVEN-BAR RANCH SECTOR DEVELOPMENT PLAN.
 THE WINDOW AND SOFFIT TRIM IS GENERALLY WHITE OR OFF-WHITE, AS IS THE STEEPLE.



5 SOUTH ELEVATION

6 NORTH ELEVATION

BUILDING ELEVATIONS
 SCALE: 1/8" = 1'-0"

MARK DATE	
PROJECT FOR	
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS	
ALBUQUERQUE WEST STAKE CENTER	
PROJECT NAME	
ALBUQUERQUE WEST STAKE CENTER	
PROJECT ADDRESS	
4500 7-BAR LOOP ROAD N.W. ALBUQUERQUE N.M. 87111	
SHEET TITLE	
EXTERIOR ELEVATIONS	
D.R.B.	
PROJECT DESIGNATION	
PROPERTY NUMBER	SHEET
545-1949	A-5
DEVELOPMENT NUMBER	
LE98-346T	
DATE	
12-11-00	

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OCTOBER 1998 000589