

PROJECT NO.
APPLICATION NO.

APPROVED AND ACCEPTED BY:

Planning Department 10/15/02
 Bradly S. Biglum 10/9/02
 City Engineer
 Transportation Development 10-09-02
 Utility Development 10-9-02
 Parks and Recreation 10/9/02

Project # 1000844
Application # 02DRB-01490

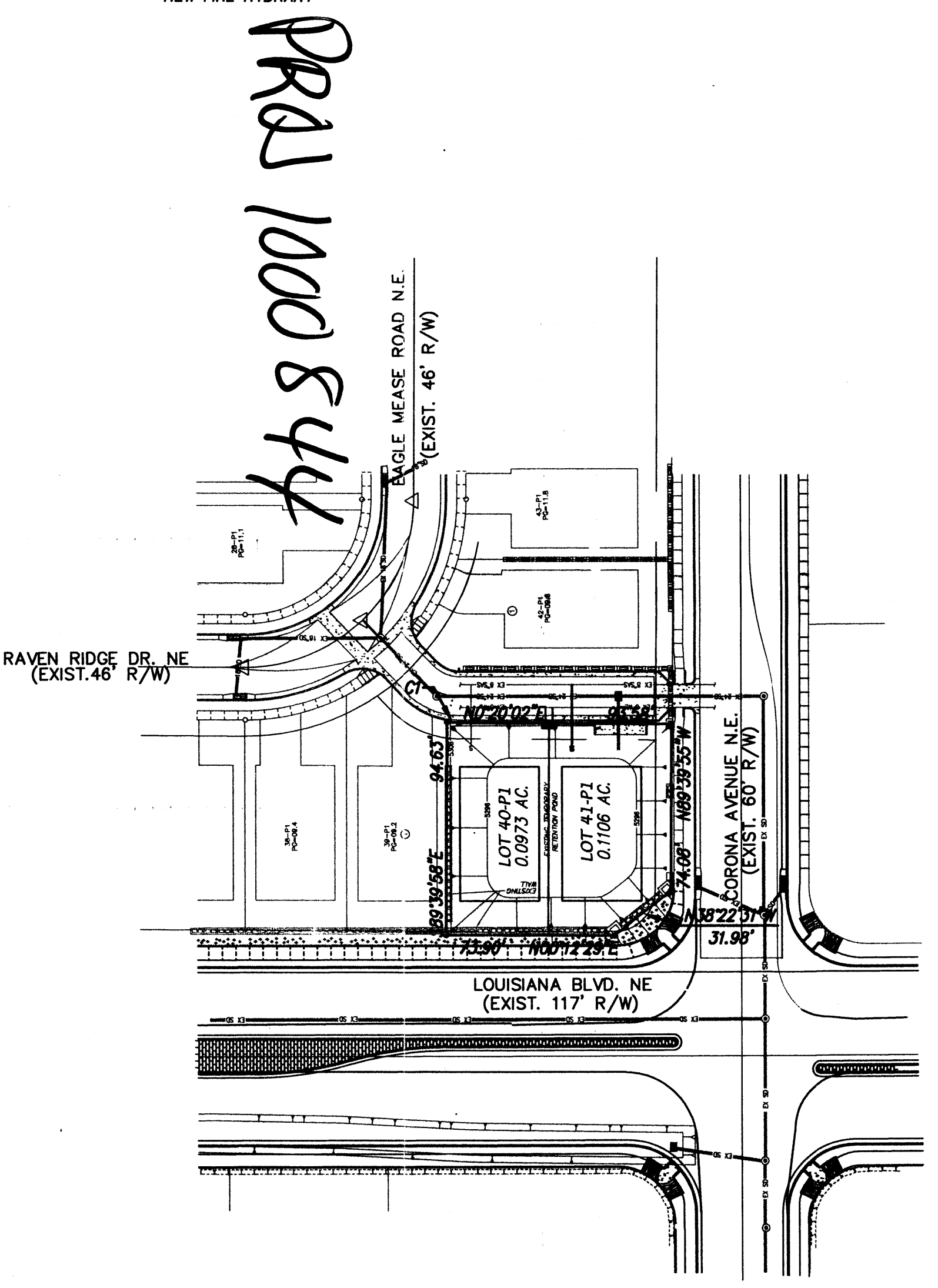
LEGEND

	EXISTING EDGE OF PAVEMENT		ASPHALT PATH/TRAIL (WIDTH VARIES)		4' SIDEWALK
	EXISTING WATERLINE		NEW SIDEYARD WALL		RIGHT-OF-WAY VACATION
	EXISTING SANITARY SEWER LINE		NEW SANITARY SEWER SERVICE		
	NEW 8" SAS		NEW WATER METER BOX		
	NEW RETAINING WALL		NEW PROPERTY LINE		
	NEW CURB AND GUTTER		NEW EASEMENT LINE		
	EXISTING CURB AND GUTTER		PROPERTY LINE TO BE ELIMINATED		
	EXISTING PROPERTY LINE		FUTURE SANITARY SEWER LINE		
	NEW FIRE HYDRANT		FUTURE WATERLINE		

VICINITY MAP ZONE MAP: C-19-Z

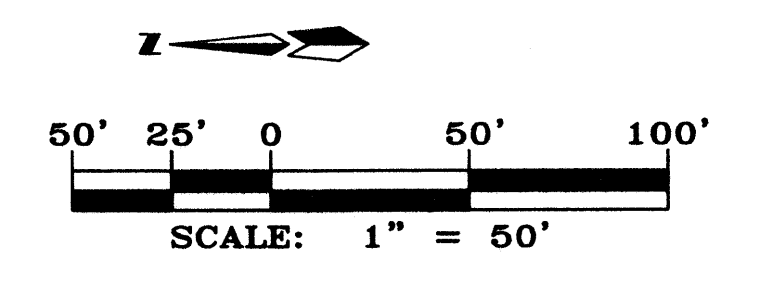
LEGAL DESCRIPTION

A tract of land situate within the Elena Gallegos Grant, Projected sections 18, Township 11 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo county, New Mexico being all of "Tract I", Eagle Pointe Subdivision, as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo county, New Mexico on October 20, 2000 in Volume 2000C, Folio 278 and containing 0.2079 acres more or less



CURVE TABLE

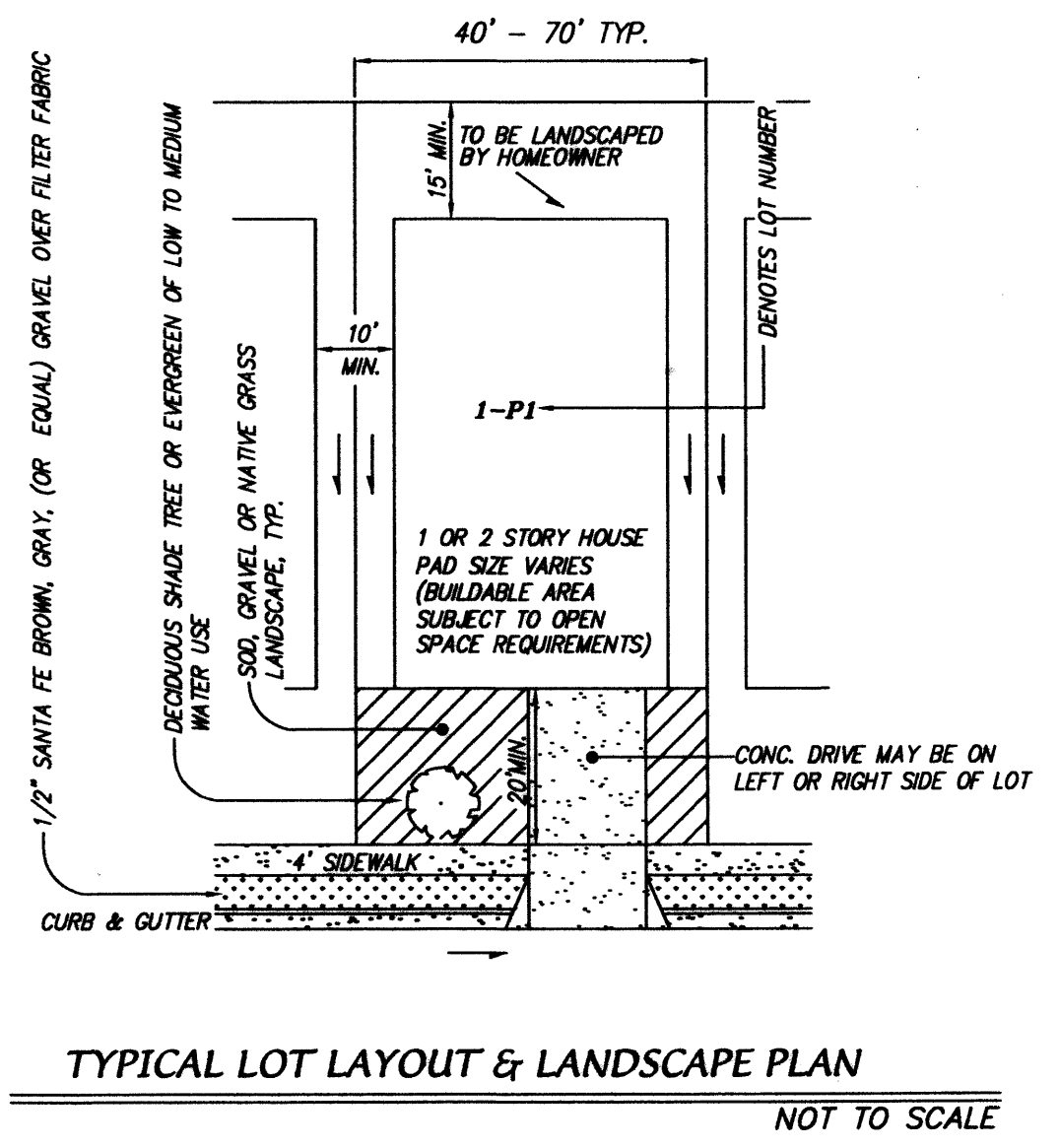
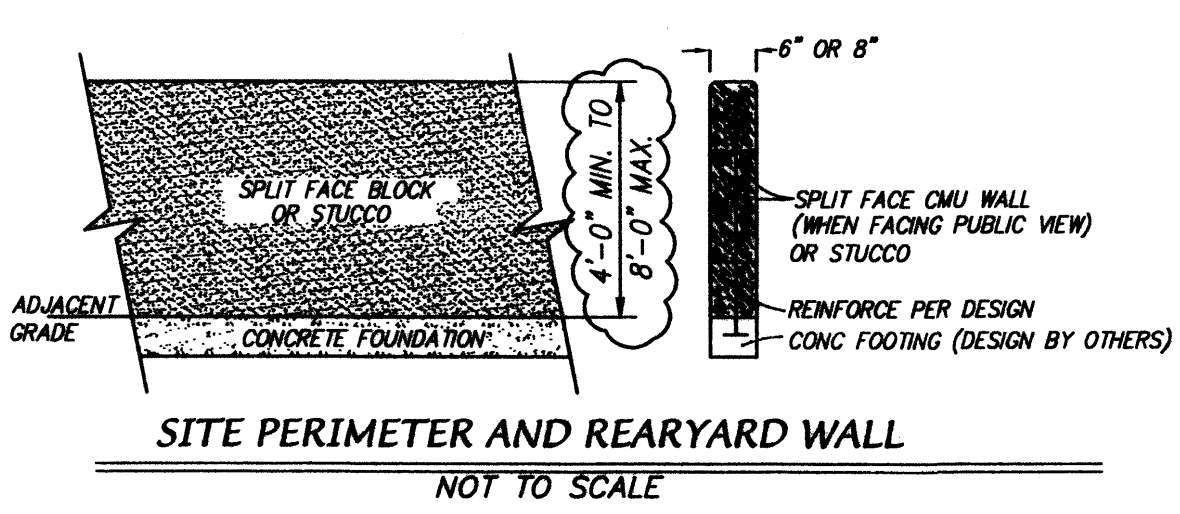
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CH-BEARING	CH-DIST
C1	36.00	5.30	82°49'	2.65	S04°32'56"W	5.29



SUBDIVISION DATA

GROSS ACREAGE	0.2079
ZONE ATLAS NO.	C-19-Z
NO. OF EXISTING TRACTS/LOTS	1 TRACT
NO. OF TRACTS/LOTS CREATED	2 LOTS
NO. OF TRACTS/LOTS ELIMINATED	1 TRACT
MILES OF FULL WIDTH STREETS CREATED	0.00
AREA DEDICATED TO CITY OF ALBUQUERQUE	0.00
DATE OF SURVEY	AUGUST 2000

- GENERAL NOTES:
- DEVELOPMENT DENSITY:**
Gross site area is .2079 acres.
Site is zoned R-D with maximum density of 7 du/ac.
Density limitation allows for a maximum of 2 units over entire site.
 - MINIMUM BUILDING SETBACK:**
There is a five foot (5') internal setback to property line.
Front yard setback is 15' and backyard is 15'.
Minimum driveway length is 20'.
Minimum distance between buildings is 10'.
 - BUILDING HEIGHT:**
Structure shall not exceed 26 feet in height.
 - PARK DEVELOPMENT:**
The developer will pay cash in lieu of park dedication.
 - OPEN SPACE:**
Total remaining Open Space requirements are met via the Provision of Detached Open Space per the Provisions of Section 14-16-3-8(A)(3) of the City Zoning Code.
 - PARKING:**
Off-street parking is provided on each site in accordance with Section 14-16-3-1 of the zoning code for lots with the "P1" designation.
 - BUILDINGS:**
Buildings will be traditional style with pitched roofs and Siding will be stucco and may include stone or wood trim accents. The exterior stucco finish will consist of colors in shades of earthtones.
 - LANDSCAPING:**
Both individual and community landscaping shall comply with the Water Conservation Landscaping and Water Waste Ordinance. Perimeter landscaping shall be in accordance with the Street Tree Ordinance and trees planted will be in accordance with the list of deciduous and evergreen trees listed in the City of Albuquerque Guide to Xeriscaping.
 - PERIMETER WALL:**
The subdivision perimeter garden wall will be constructed of CMU and will be covered by either stucco or consist of a Split-Faced texture. The maximum wall height will be 8.0 feet, and minimum of 4.0 feet.
 - THE LANDSCAPE AREAS WITHIN/AND ABUTTING THE PUBLIC RIGHTS-OF-WAY:**
as shown on the approved Site Development/Utility Plan, shall be for the benefit of the Homeowners within Eagle Pointe Subdivision, and shall be maintained by the Eagle Pointe Homeowners Association.



EAGLE POINTE SUBDIVISION

SITE DEVELOPMENT / UTILITY PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS

P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: DMG	Drawn: SPS	Checked: DMG	Sheet I of I
Scale: 1" = 50'	Date: 09-23-02	Job: A02011	