

PROJ 1000849

**LOT SIZES**

1. ALL LOTS TO BE A MIN. OF 22000'
2. ALL LOTS TO HAVE A MIN. OF 150' OPEN SPACE
3. ALL LOTS TO BE A MIN. OF 22' WIDE

**NOTES:**

**SETBACKS**

1. ALL LOTS TO HAVE A 22' SETBACK TO GARAGE
2. ALL LOTS TO HAVE A 10' FRONT SETBACK TO STRUCTURE (EXCLUDING GARAGE SEE #1 & #2)
3. ALL LOTS TO HAVE A MIN. OF 12' REAR SETBACK
4. ALL "STAND ALONE" STRUCTURES TO HAVE A MIN. OF 5' SIDE YARD SETBACKS
5. NO MORE THAN 8 UNITS TO BE ATTACHED (GROUP). GROUPS WILL BE SEPERATED BY A MIN. 10'-0".

**GENERAL**

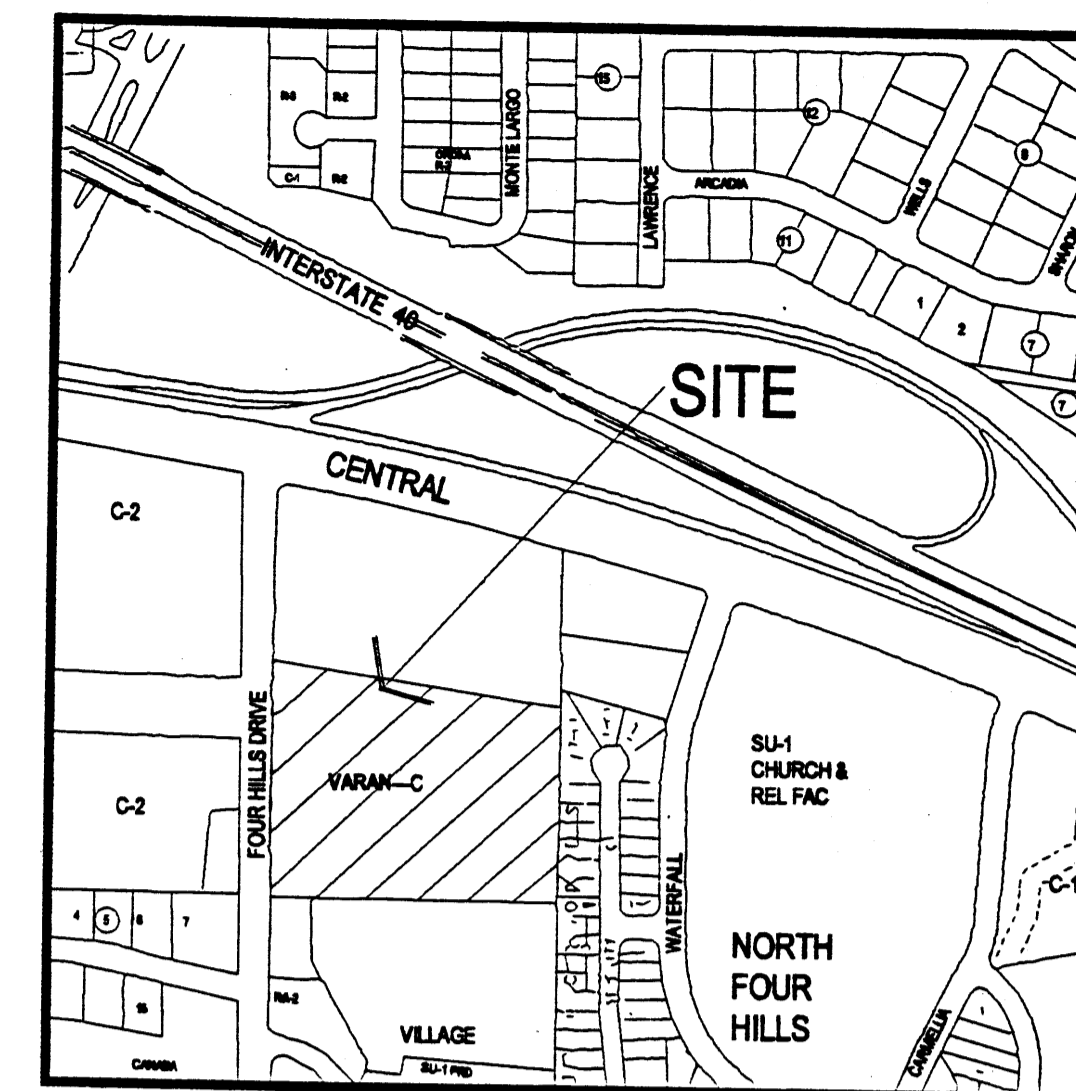
1. HOME SIZES WILL RANGE FROM A MINIMUM OF 10000' TO A MAXIMUM OF 20000'.
2. LOTS #16 - #26 TO HAVE GROUND MOUNT COOLERS / AIR CONDITIONERS.
3. GARAGE ORIENTATION (LEFT / RIGHT) TO BE BUILDER'S CHOICE
4. OFFSTREET PARKING: 1 SPACE PER BATHROOM PER SECTION 14-16-3-1 OF THE ZONING CODE
5. 1"=30'-0" SCALE APPROVED BY BOB TORRES
6. ROLL OVER / MOUNTABLE CURB THRU-OUT SUBDIVISION

**LEGAL DESCRIPTION**

SOUTHERN PORTION OF LANDS OF VARAN--C. SITUATE WITHIN A PORTION OF NW/4 OF SECTION 26. T11N R4E. NMPM, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

**ADDRESS**

ON FOUR HILLS ROAD BETWEEN CENTRAL AVENUE AND PINON CREEK ROAD, SE, ALBUQUERQUE, NEW MEXICO



VICINITY MAP

L-23-Z

# BREEZE AT MOUNTAIN GATE

FOUR HILLS ROAD  
(BETWEEN CENTRAL AVENUE AND PINON CREEK ROAD)  
ALBUQUERQUE, NEW MEXICO

SITE DEVELOPMENT PLAN FOR SUBDIVISION PERMIT  
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

MAY 1999

## INDEX TO DRAWINGS

#00450-01556 / 00450-01557

\*00410-00000-01411

CITY APPROVALS: APPLICATION NO. & PROJECT NO. 1000849

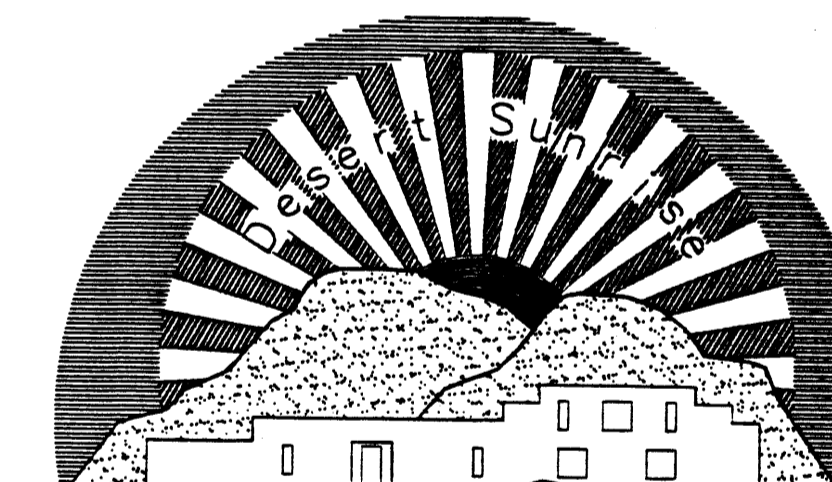
N/A	DATE
<i>Paul D. Dink</i>	11/22/00
TRAFFIC ENGINEERING	DATE
<i>Adrian E. Cardenas</i>	11/22/00
PARKS RECREATION	DATE
<i>Nancy D. Dink</i>	7/19/02
UTILITY DEVELOPMENT DIVISION	DATE
N/A	DATE
REAL PROPERTY DIVISION	DATE
<i>Loan D. Me...</i>	11/22/00
AMAFCA	DATE
<i>Loan D. Me...</i>	11/22/00
CITY ENGINEER	DATE
<i>Janet S...</i>	8/1/02
CITY PLANNER ALBUQUERQUE PLANNING DIVISION	DATE

**PAGE NUMBER:**

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3	3 of 10
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5	5 of 10
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7	7 of 10
8	8 of 10
9	9 of 10
10	10 of 10

**DESCRIPTION**

- COVER PAGE
- GEOMETRY PLAN
- SITE DEVELOPMENT PLAN
- CONCEPTUAL UTILITY PLAN
- LANDSCAPING PLAN
- GRADING PLAN
- CONCEPTUAL CUT + FILL
- GRADING CROSS SECTIONS
- BUILDING ELEVATIONS + DETAILS
- BUILDING ELEVATIONS + DETAILS



505 293 1496  
Box 2243 Tijeras, New Mexico 87050

PROJECT: BREEZE AT MOUNTAIN GATE

FOUR HILLS

ALBUQUERQUE, NM

TITLE: COVER SHEET

REVISIONS:

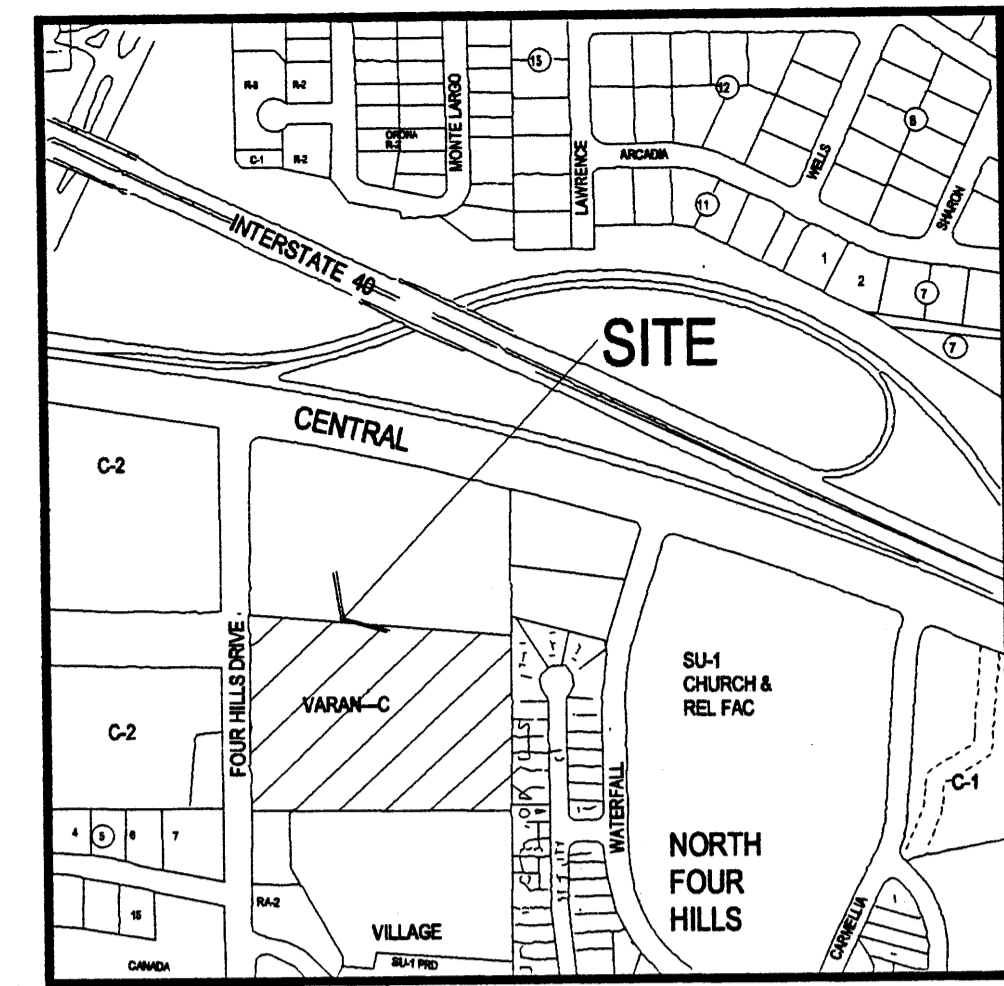
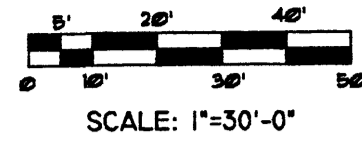

DATE: 6/5/99

FILE: 4-hills.dwg

**PISTOLS'**  
Computerized Drafting  
Chris Mullins  
1518 Encinasights NE Albuquerque, NM 87112  
Ph: 505-258-2339 Fax: 505-294-9166  
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PAGE:

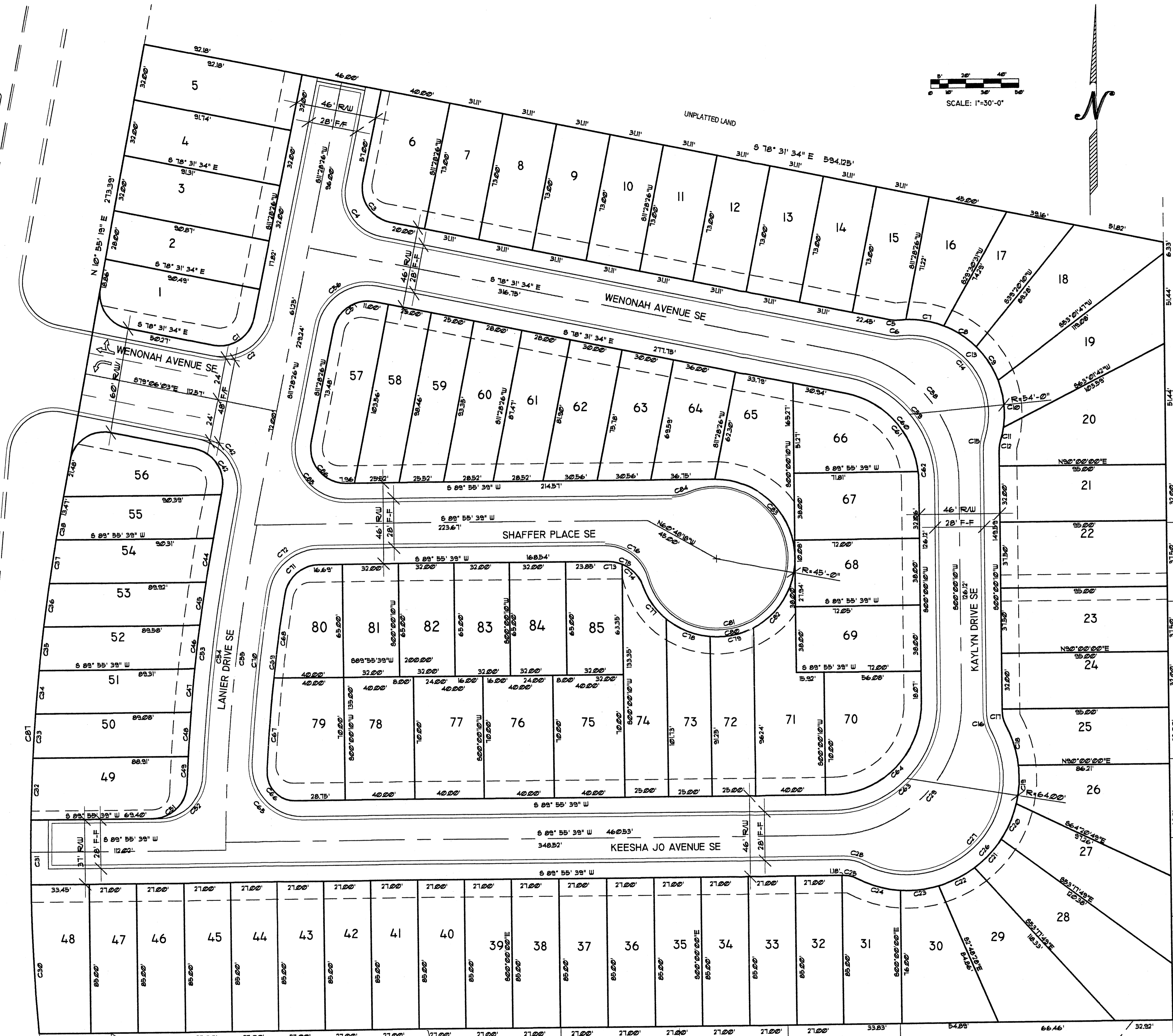
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VICINITY MAP L-23-Z

WINONAH AVENUE

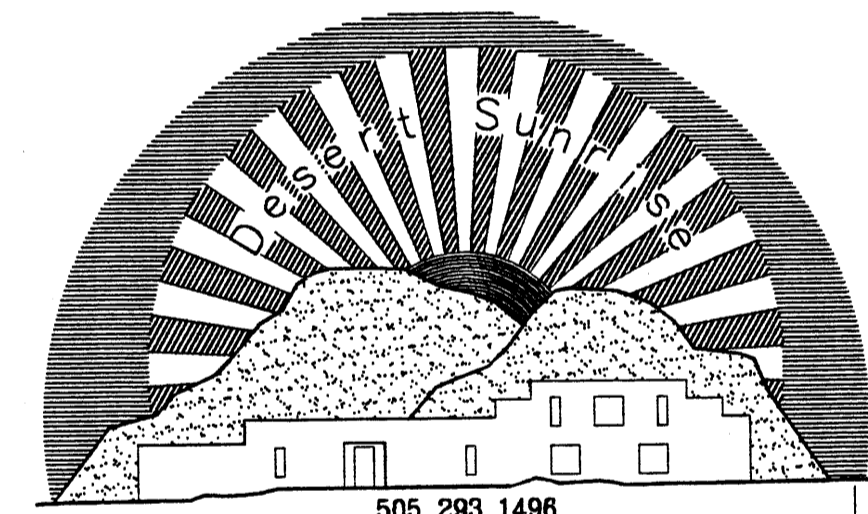
FOUR HILLS ROAD



LOT	SQUARE FEET/ACRES
1	3,074.68/0.0706
2	2,539.07/0.0583
3	2,914.86/0.0669
4	2,928.82/0.0672
5	2,942.51/0.0676
6	2,834.16/0.0651
7	2,270.42/0.0521
8	2,270.42/0.0521
9	2,270.42/0.0521
10	2,270.42/0.0521
11	2,270.42/0.0521
12	2,270.42/0.0521
13	2,270.42/0.0521
14	2,270.42/0.0521
15	2,270.46/0.0521
16	2,346.84/0.0539
17	2,331.14/0.0535
18	3,688.55/0.0847
19	3,713.69/0.0853
20	4,298.21/0.0981
21	3,040.00/0.0698
22	3,562.50/0.0818
23	3,562.50/0.0818
24	3,040.00/0.0698
25	2,895.00/0.0665
26	3,740.95/0.0859
27	3,468.39/0.0796
28	4,602.59/0.1057
29	3,875.68/0.0890
30	2,974.33/0.0683
31	2,720.57/0.0625
32	2,295.00/0.0521
33	2,295.00/0.0521
34	2,295.00/0.0521
35	2,295.00/0.0521
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40	2,295.00/0.0521
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44	2,295.00/0.0521
45	2,295.00/0.0521
46	2,295.00/0.0521
47	2,295.00/0.0521
48	2,690.00/0.0618
49	3,060.38/0.0703
50	2,245.00/0.0515
51	2,245.00/0.0515
52	2,245.00/0.0515
53	2,245.00/0.0515

LOT	SQUARE FEET/ACRES
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55	2,245.00/0.0515
56	2,149.87/0.0631
57	2,695.31/0.0619
58	2,566.36/0.0589
59	2,436.27/0.0559
60	2,574.18/0.0591
61	2,411.00/0.0553
62	2,402.15/0.0551
63	2,214.81/0.0508
64	2,410.50/0.0553
65	2,776.74/0.0637
66	2,849.89/0.0654
67	2,735.52/0.0628
68	2,736.00/0.0628
69	2,736.00/0.0628

LOT	SQUARE FEET/ACRES
70	3,362.97/0.0772
71	3,712.41/0.0852
72	2,308.60/0.0530
73	2,376.45/0.0546
74	2,978.29/0.0684
75	2,600.00/0.0597
76	2,600.00/0.0597
77	2,600.00/0.0597
78	2,600.00/0.0597
79	2,730.12/0.0627
80	2,444.03/0.0561
81	2,240.00/0.0514
82	2,240.00/0.0514
83	2,240.00/0.0514
84	2,240.00/0.0514
85	2,236.95/0.0514



505 293 1498  
Box 2843 Tijeras, New Mexico 87059

PROJECT: BREEZE AT MOUNTAIN GATE

FOUR HILLS

ALBUQUERQUE, NM

TITLE: GEOMETRY PLAN

REVISIONS:	
6/5/99	
10/19/99	

DATE: 10/19/99  
FILE: 4-hills.dwg

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CURVE TABLES

CURVE	RADIUS	CHORD BEARING	LENGTH
C1	16.00'	N 84° 28' 26" E	21.82'
C2	25.00'	N 84° 28' 26" E	34.10'
C3	16.00'	N 33° 31' 34" W	22.56'
C4	25.00'	N 33° 31' 34" W	35.35'
C5	16.00'	S 87° 15' 31" E	4.86'
C6	25.00'	S 87° 15' 31" E	13.93'
C7	84.00'	S 78° 09' 33" E	22.00'
C8	84.00'	S 86° 21' 06" E	22.00'
C9	84.00'	S 32° 29' 46" E	22.71'
C10	84.00'	N 05° 51' 31" W	26.98'
C11	84.00'	S 13° 02' 21" W	8.34'
C12	16.00'	S 08° 44' 13" W	4.86'

CURVE TABLES

CURVE	RADIUS	CHORD BEARING	LENGTH
C13	84.00'	N 38° 15' 42" W	92.30'
C14	49.00'	N 38° 15' 42" W	75.25'
C15	25.00'	N 08° 44' 13" W	13.93'
C16	25.00'	S 13° 50' 31" E	11.97'
C17	16.00'	S 13° 50' 31" E	7.98'
C18	64.00'	S 16° 12' 29" E	24.01'
C19	64.00'	S 03° 51' 26" W	22.00'
C20	64.00'	S 23° 40' 46" W	22.00'
C21	64.00'	S 43° 33' 04" W	22.39'
C22	64.00'	S 63° 41' 55" W	22.83'
C23	64.00'	S 08° 41' 48" W	22.72'
C24	64.00'	N 74° 01' 04" W	26.25'

CURVE TABLES

CURVE	RADIUS	CHORD BEARING	LENGTH
C25	25.00'	S 76° 13' 48" E	11.97'
C26	64.00'	N 44° 51' 55" E	122.75'
C27	55.00'	S 44° 51' 55" W	105.00'
C28	25.00'	S 76° 13' 48" E	11.97'
C29	25.00'	S 44° 51' 55" W	105.00'
C30	1071.20'	N 01° 33' 55" W	88.00'
C31	1071.20'	S 08° 40' 56" W	37.00'
C32	1071.20'	S 02° 36' 04" W	36.19'
C33	1071.20'	S 04° 07' 11" W	29.19'
C34	1071.20'	S 05° 30' 31" W	25.14'
C35	1071.20'	S 06° 52' 48" W	25.17'
C36	1071.20'	S 08° 15' 11" W	25.19'

CURVE TABLES

CURVE	RADIUS	CHORD BEARING	LENGTH
C37	1071.20'	S 09° 33' 00" W	25.21'
C38	1071.20'	S 10° 34' 16" W	13.78'
C39	16.00'	N 38° 31' 34" W	23.40'
C40	25.00'	N 38° 31' 34" W	36.57'
C41	880.20'	S 12° 59' 11" W	11.96'
C42	880.20'	S 08° 58' 28" E	21.84'
C43	1071.20'	S 08° 58' 28" E	37.00'
C44	880.20'	S 10° 31' 23" E	22.38'
C45	880.20'	S 08° 58' 28" E	29.19'
C46	880.20'	S 08° 58' 28" E	29.19'
C47	880.20'	S 07° 36' 26" W	29.71'
C48	880.20'	S 06° 13' 54" W	29.16'

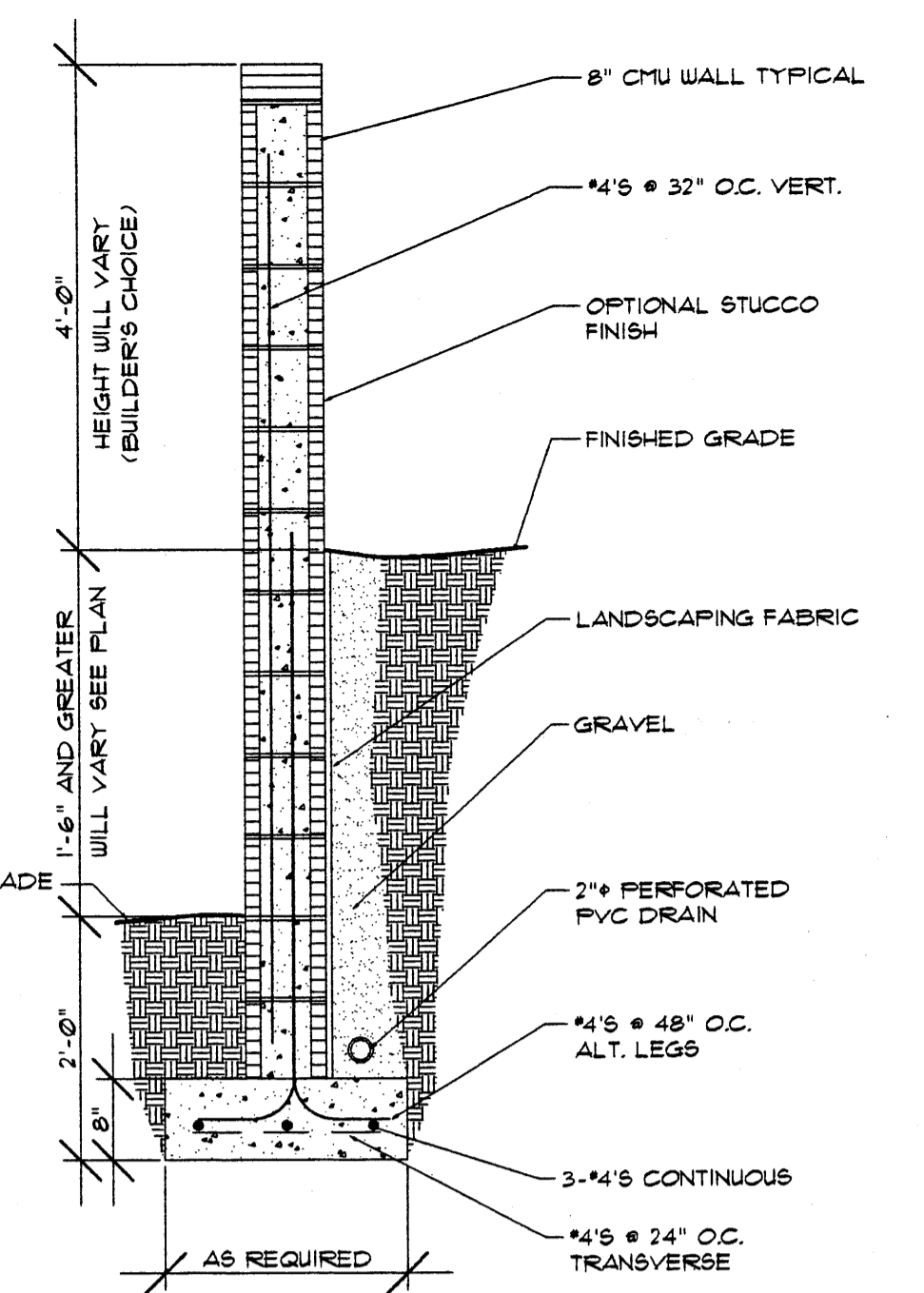
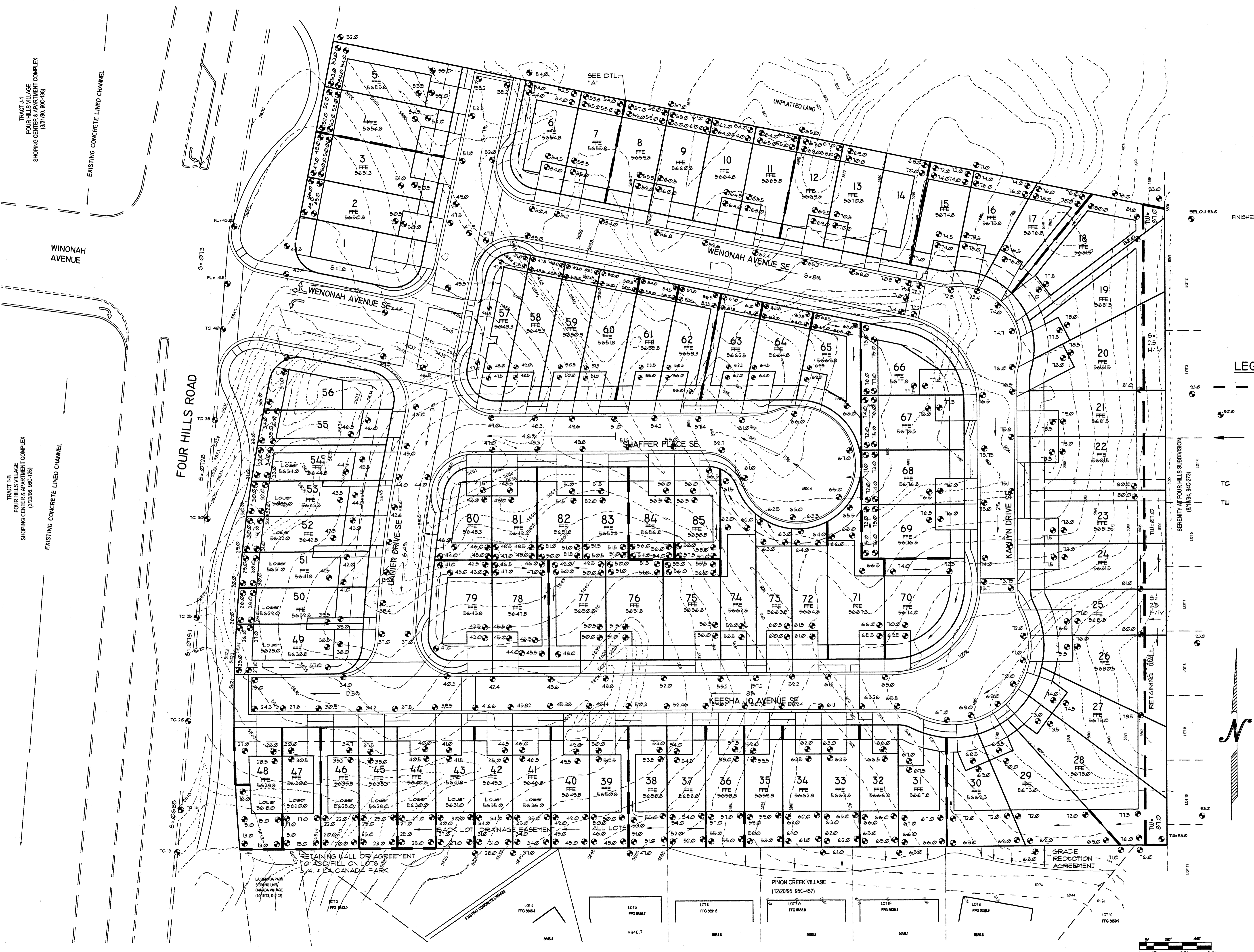
CURVE TABLES

CURVE	RADIUS	CHORD BEARING	LENGTH
C49	52.00'	N 39° 15' 42" W	65.82'
C50	52.00'	N 09° 16' 35" E	5.95'
C51	61.00'	N 44° 51' 55" E	86.27'
C52	52.00'	N 44° 51' 55" E	73.56'
C53	25.00'	S 43° 11' 15" E	36.44'
C54	16.00'	S 43° 11' 15" E	23.32'
C55	942.20'	N 05° 07' 01" E	53.23'
C56	942.20'	N 08° 18' 31" E	52.33'
C57	942.20'	S 08° 42' 30" W	105.52'
C58	55.120'	S 08° 42' 30" W	106.53'
C59	16.00'	N 45° 55' 23" E	20.57'
C60	25.00'	N 45° 55' 23" E	32.14'
C61	21.00'	S 78° 39' 46" E	8.31'
C62	21.00'	S 43° 23' 54" E	16.99'
C63	21.00'	S 54° 48' 28" E	24.25'
C64	49.00'	S 02° 31' 00" E	30.47'
C65	49.00'	N 34° 38' 38" W	25.47'
C66	49.00'	S 61° 16' 16" E	27.10'
C67	49.00'	S 78° 44' 56" E	25.49'
C68	49.00'	S 03° 23' 29" W	16.70'
C69	16.00'	N 46° 18' 01" E	22.07'
C70	25.00'	N 26° 14' 30" E	34.82'
C71	880.20'	S 08° 04' 52" W	105.07'
C72	979.20'	S 08° 04' 52" W	114.84'
C73	965.20'	S 07° 11' 28" W	209.21'
C74	965.20'	N 06° 28' 26" E	35.30'
C75	16.00'	S 56° 28' 26" W	22.56'
C76	16.00'	S 38° 11' 57" W	24.78'
C77	1071.20'	N 02° 02' 48" E	295.20'





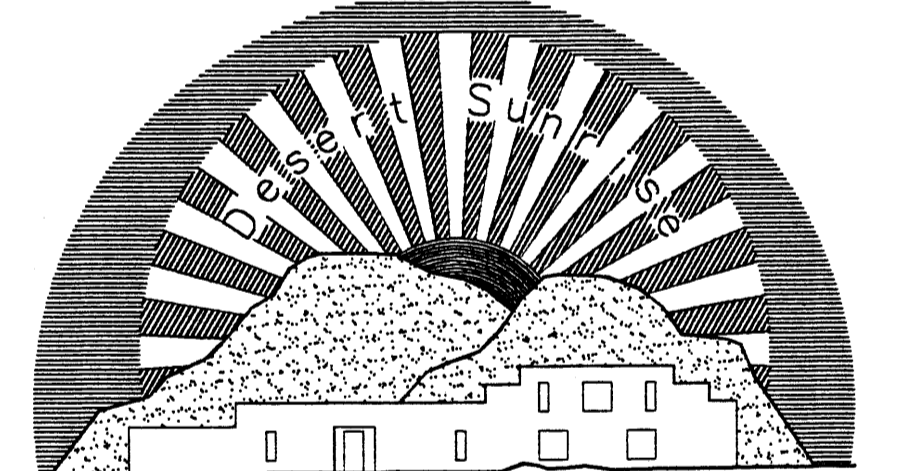




▲ TYPICAL RETAINING WALL 1'-10"

- LEGEND:**
- RETAINING WALL
  - SPOT ELEVATION
  - DIRECTION OF FLOW
  - CONTOUR LINES (EXISTING GRADE)
  - TC TOP OF CURB
  - TW TOP OF WALL

- NOTES:**
1. ALL WALLS WITH MORE THAN 15' DIFFERENCE IN SURFACE ELEVATIONS OF GROUND FROM ONE SIDE OF THE WALL TO THE OTHER WILL BE RETAINING WALLS.
  2. EXISTING TOPOGRAPHY IS IRREGULAR AND INCLUDES AN EXISTING RAILROAD BURM. CUTS RANGE UP TO ABOUT 10 FEET AND FILL UP TO 32'. SIGNIFICANT AREAS OF CUT AND FILL ARE MARKED.
  3. ALL ROOFS SHALL DRAIN TO STREET IN FRONT OF PROPERTY UNLESS NOTED FOR BACK LOT RUN OFF.
  4. BACK LOTS ADJACENT TO PUBLIC RIGHT-OF-WAY MAY DRAIN DIRECTLY TO RIGHT-OF-WAY OVER CURB AND SIDEWALK.

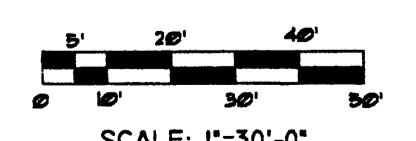


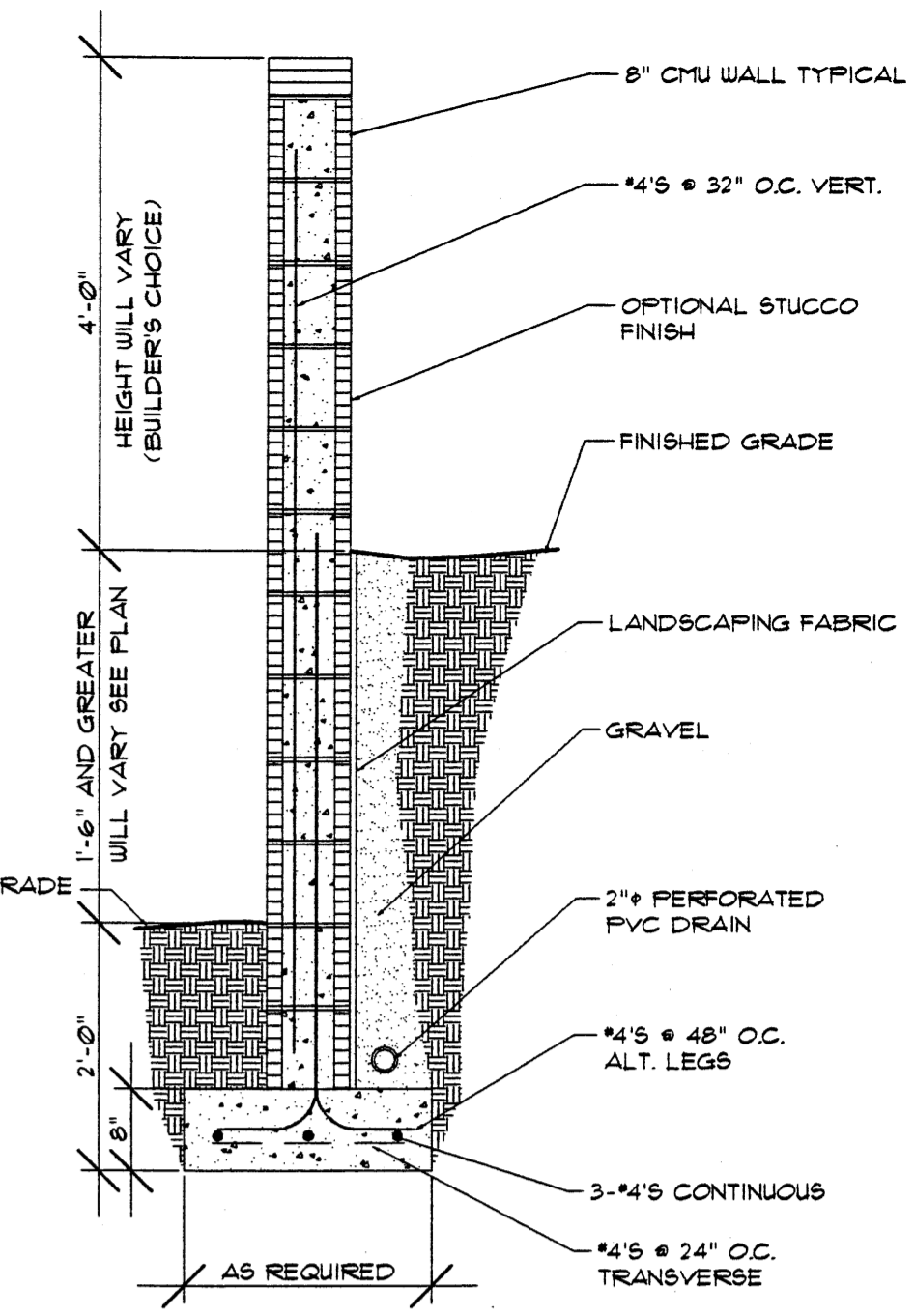
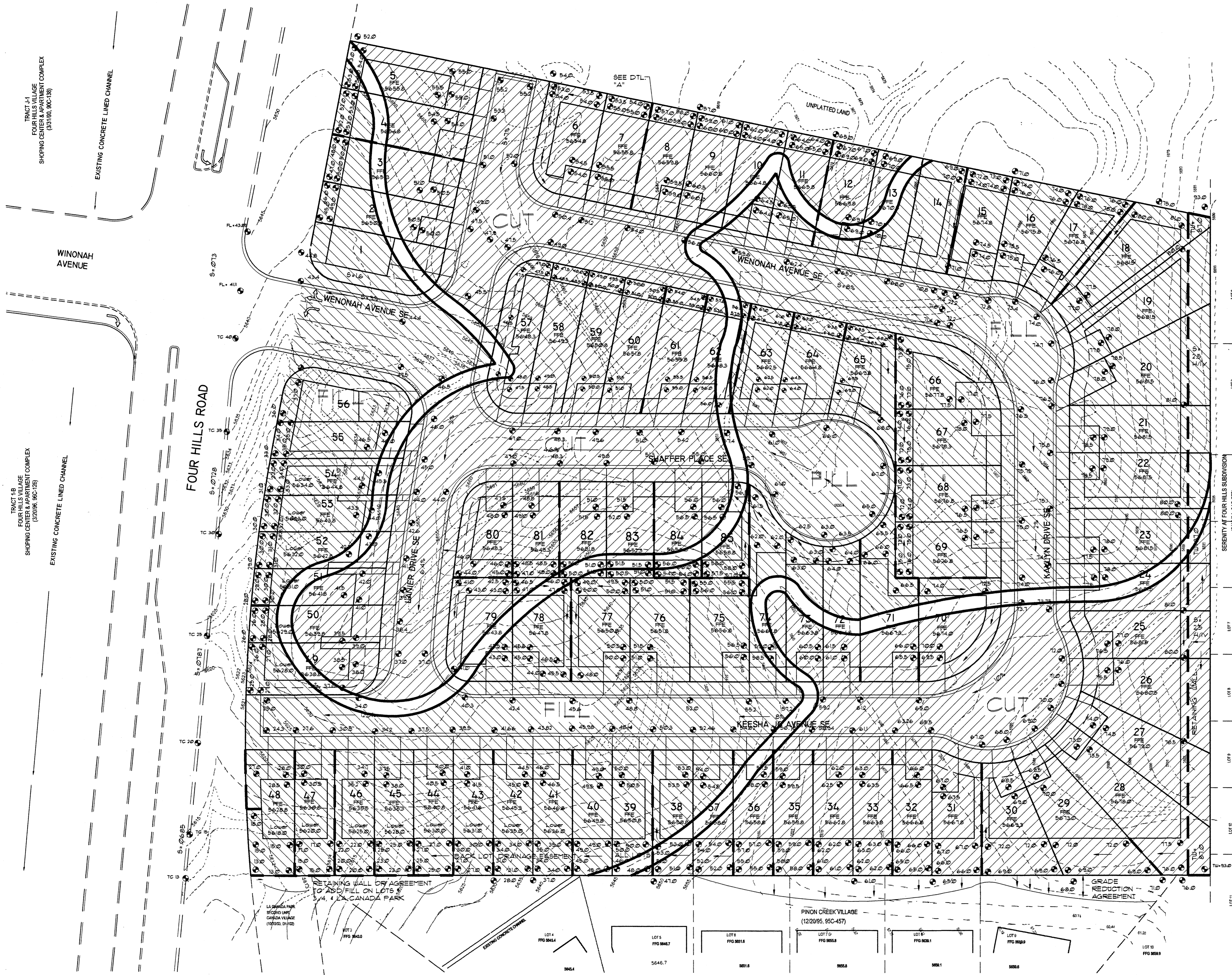
505 283 1496  
 Box 2243 Tijeras, New Mexico 87059  
 PROJECT: BREEZE AT MOUNTAIN GATE  
 FOUR HILLS  
 ALBUQUERQUE, NM  
 TITLE: GRADING PLAN

REVISIONS:	
6/5/99	
10/19/99	

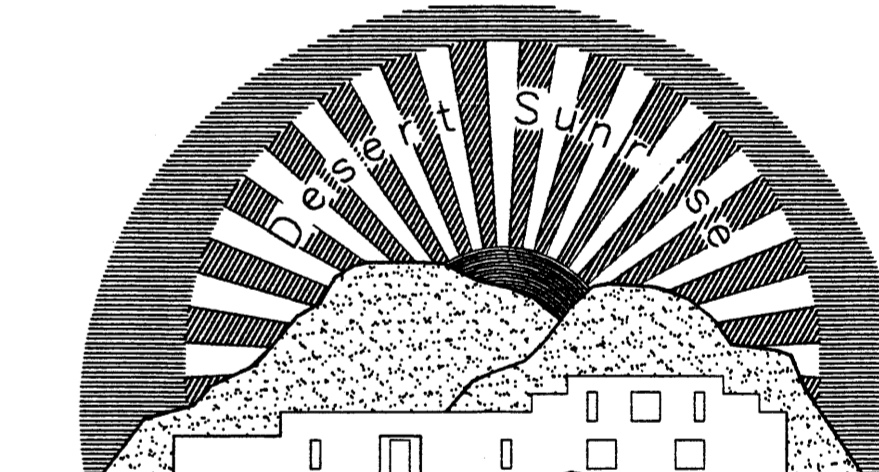
DATE: 10/19/99  
 FILE: 4-hills.dwg

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- LEGEND:**
- RETAINING WALL
  - SPOT ELEVATION
  - ← DIRECTION OF FLOW
  - CONTOUR LINES (EXISTING GRADE)
  - TC TOP OF CURB
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- NOTES:**
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505 293 1496  
 Box 2243 Tijeras, New Mexico 87059

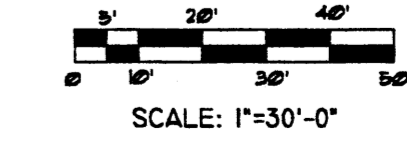
PROJECT: BREEZE AT MOUNTAIN GATE  
 FOUR HILLS  
 ALBUQUERQUE, NM

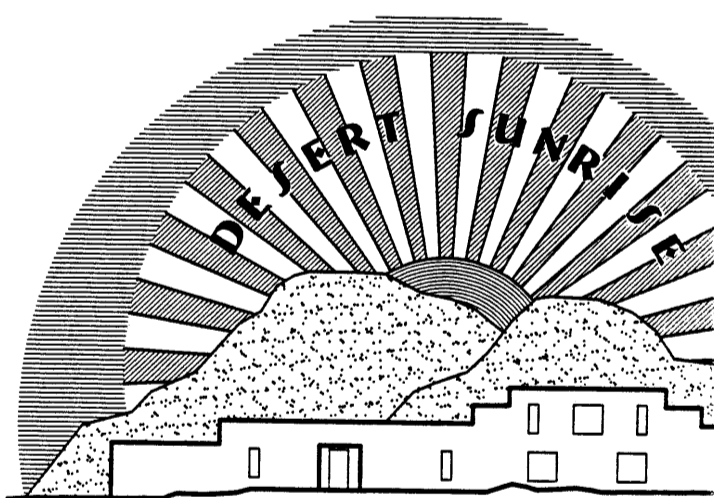
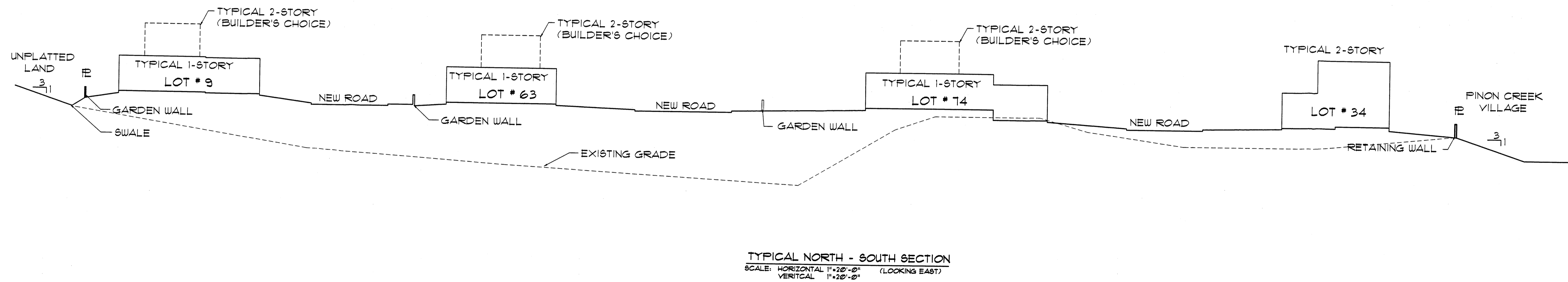
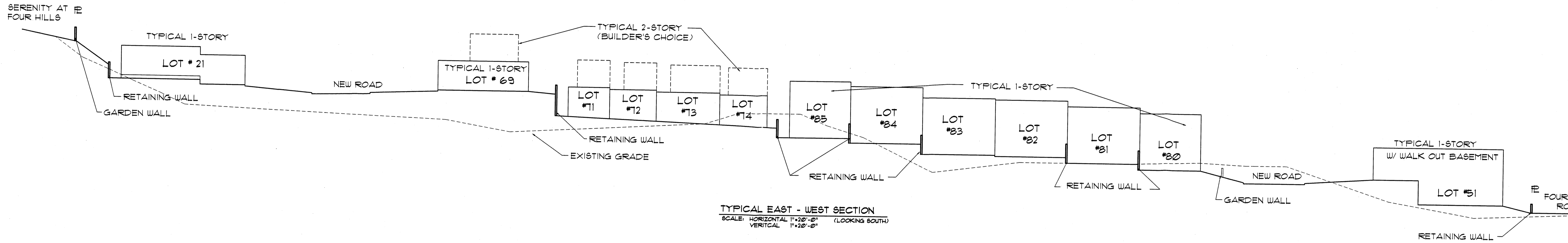
TITLE: CONCEPTUAL  
 CUT & FILL

REVISIONS:
6/5/99
10/19/99

DATE: 10/19/99  
 FILE: 4-hills.dwg

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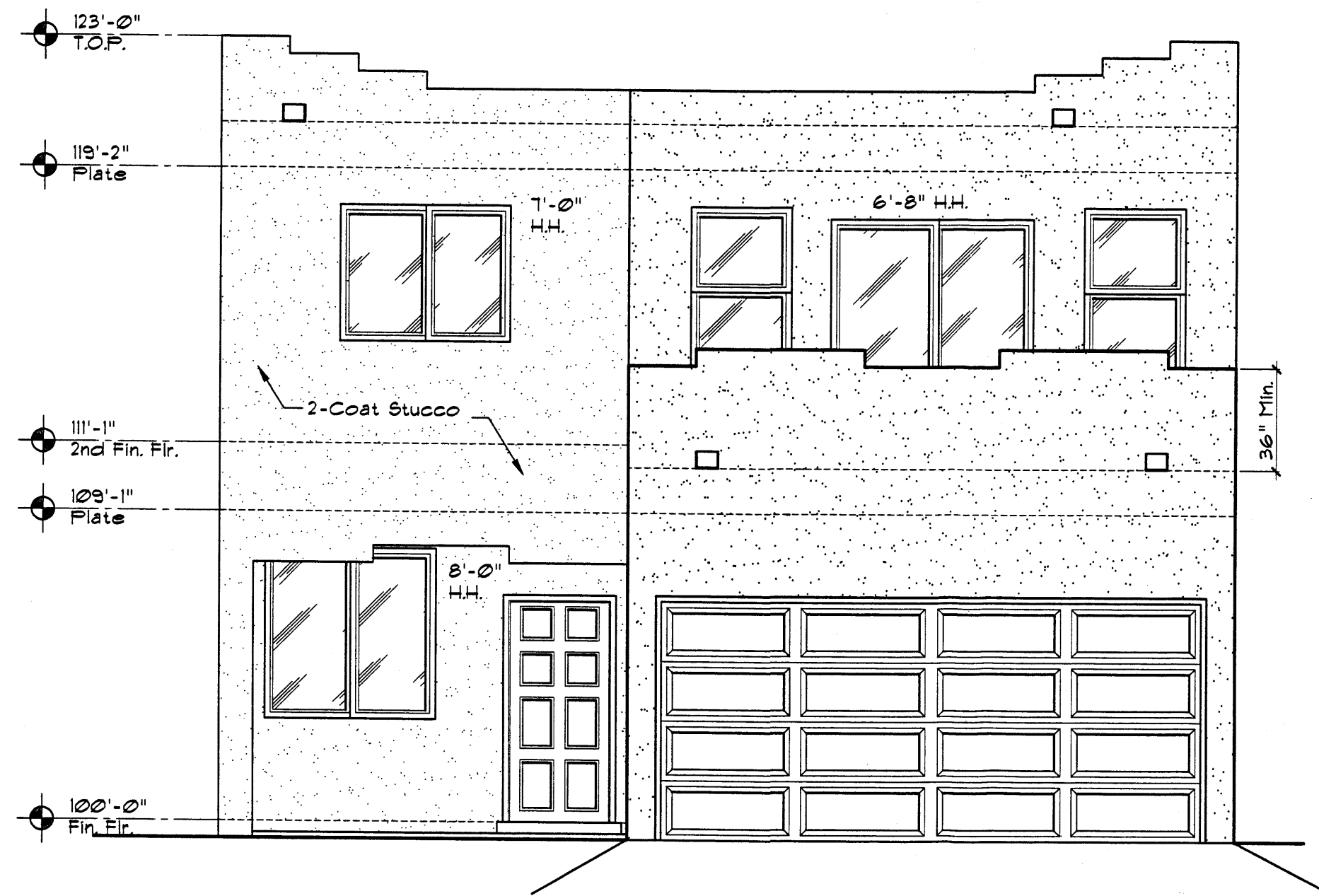
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 Box 2243 Tijeras, New Mexico 8706  
 PROJECT: BREEZE AT MOUNTAIN G.  
 FOUR HILLS  
 ALBUQUERQUE, NM  
 TITLE: GRADING CROSS SECTI

REVISIONS:		

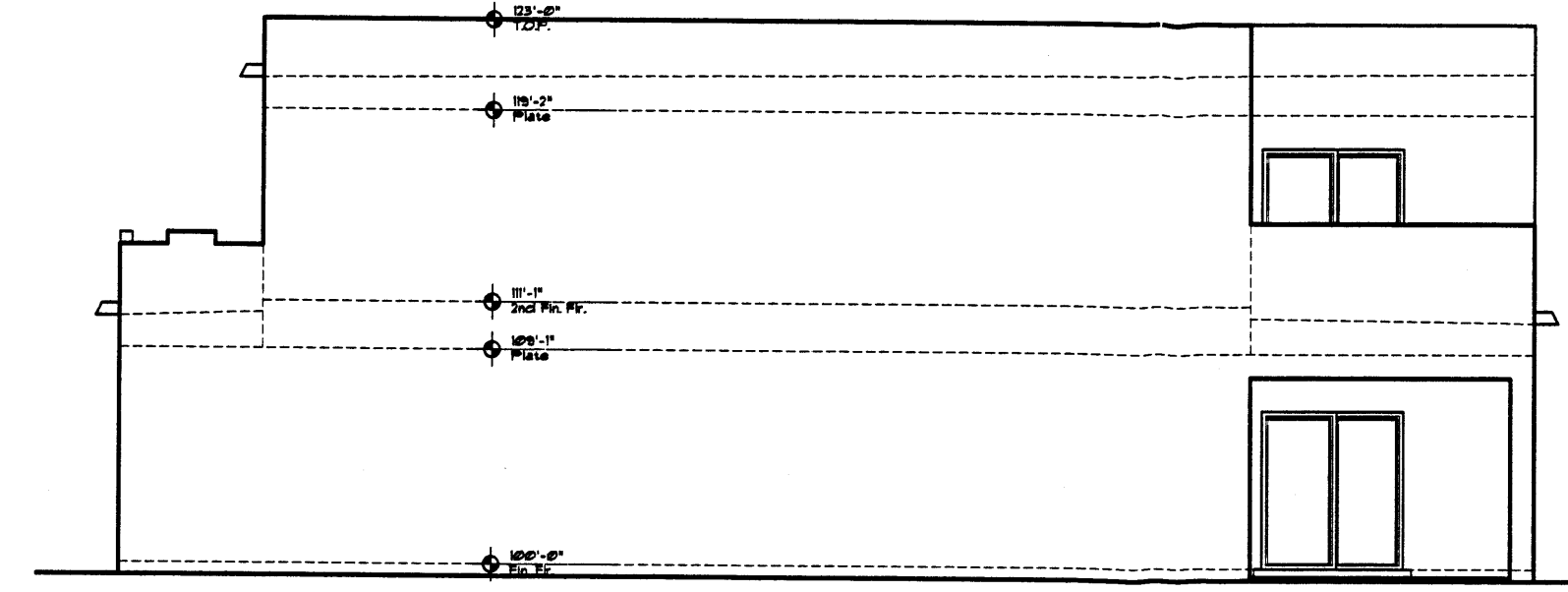
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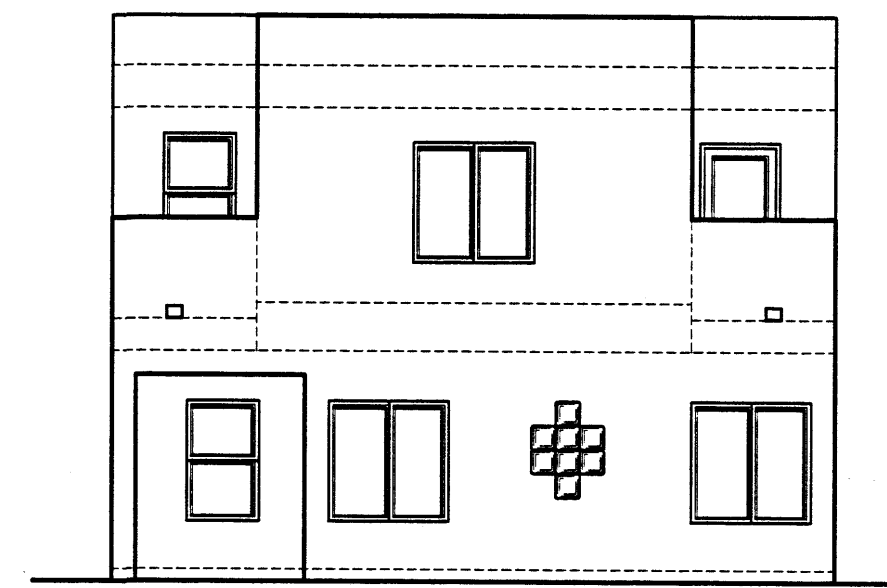




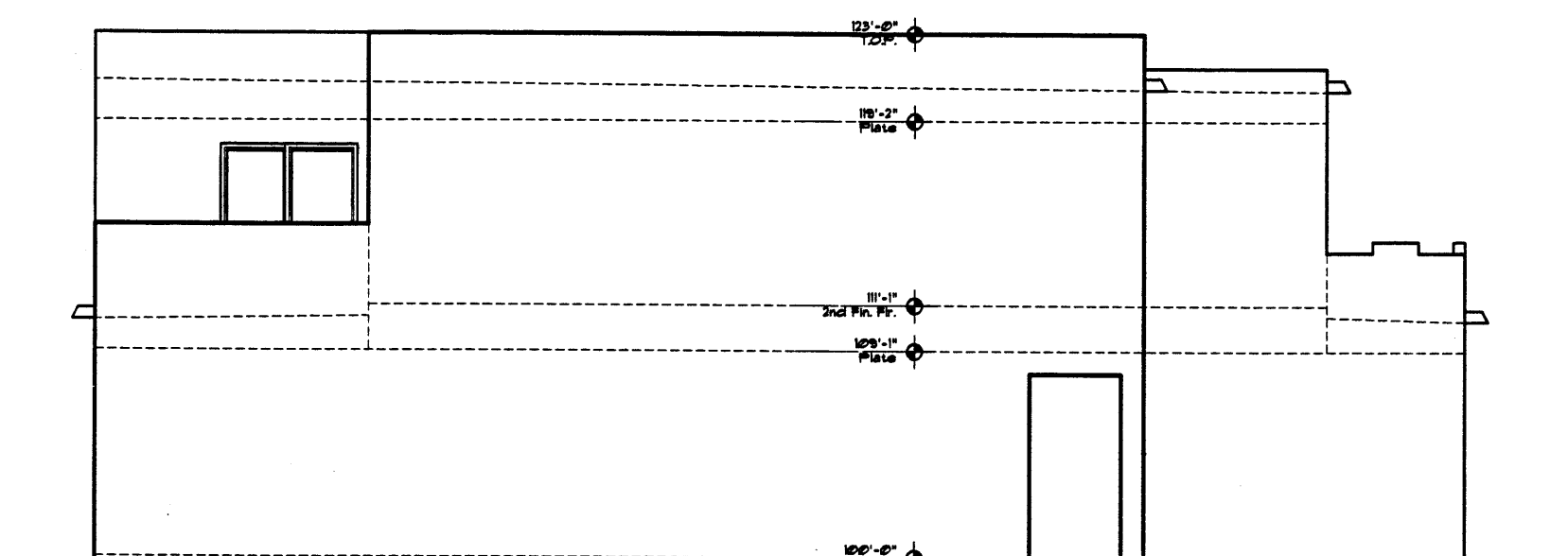
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1/4"=1'-0"



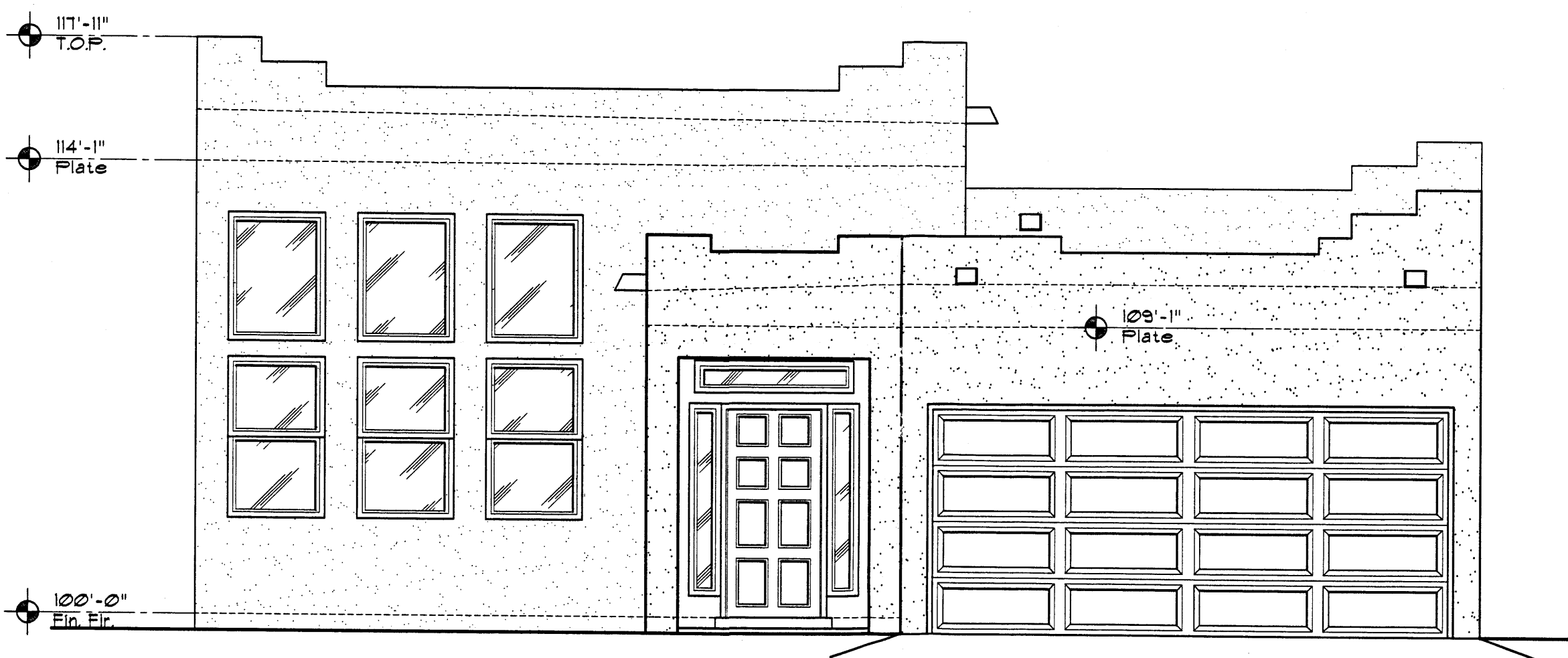
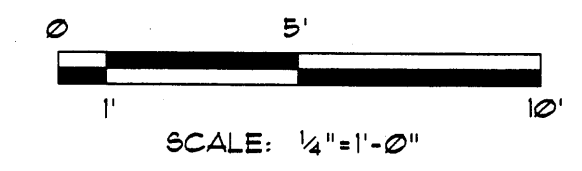
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1/8"=1'-0"



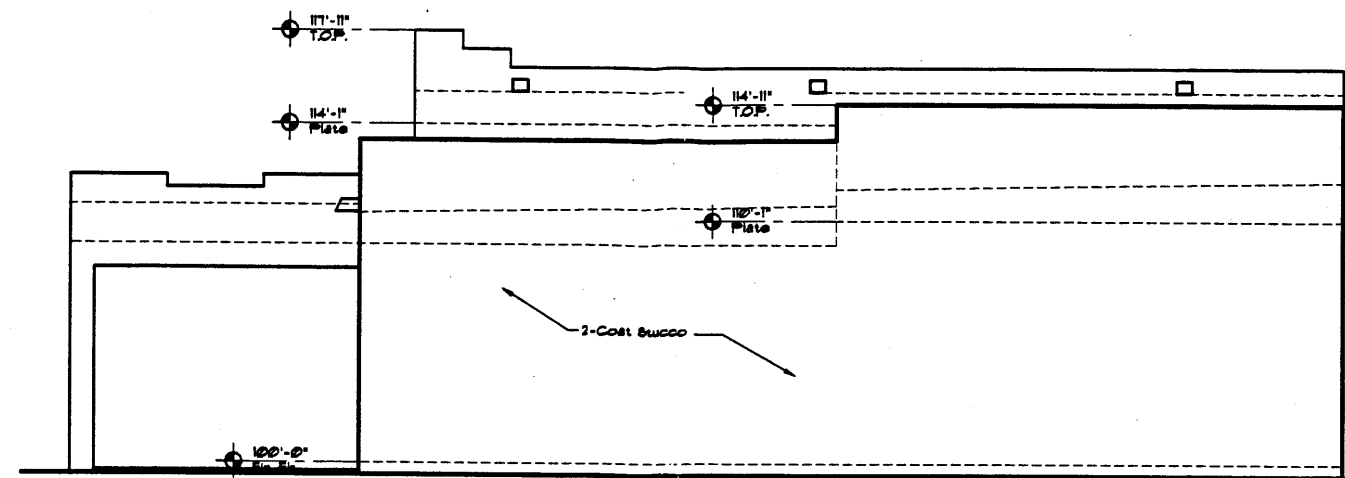
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1/8"=1'-0"



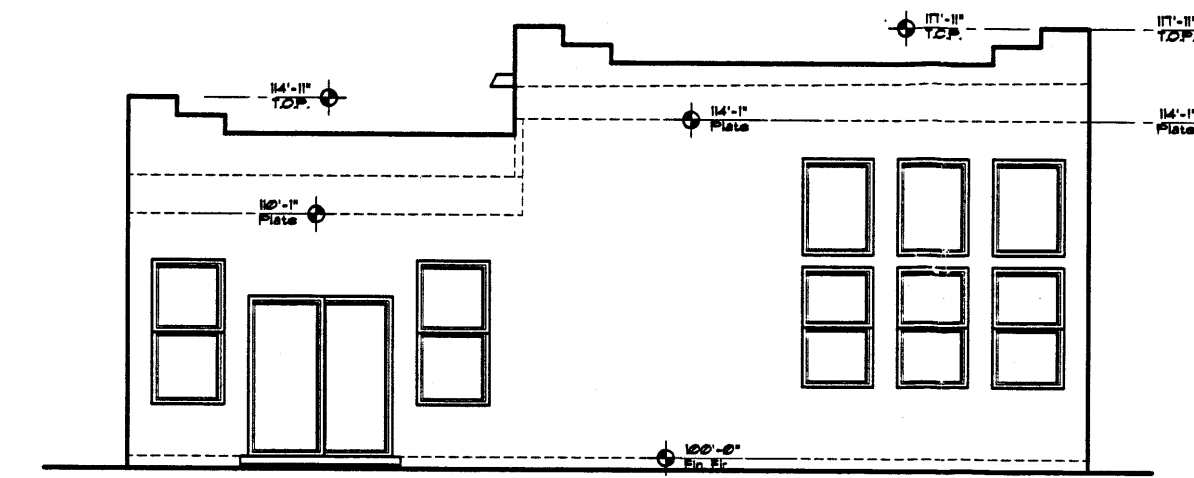
4 Left Elevation (30' Lot 2-Story)  
1/8"=1'-0"



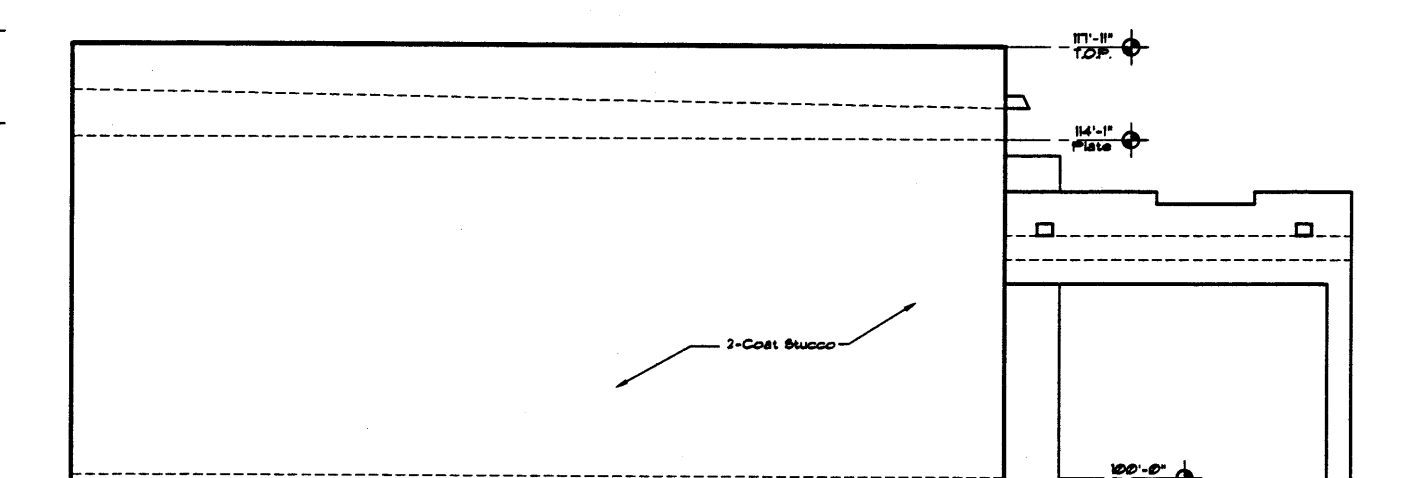
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1/4"=1'-0"



2 Right Elevation (30' Lot 2-Story)  
1/8"=1'-0"

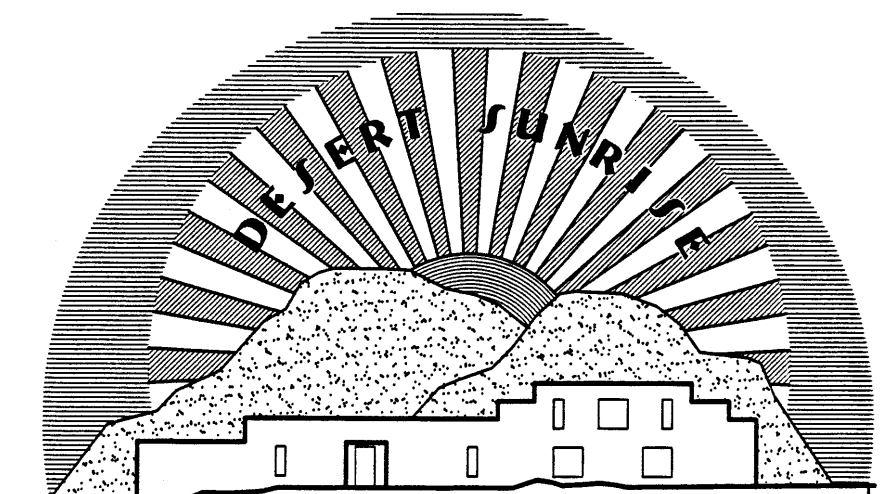


3 Rear Elevation (30' Lot 2-Story)  
1/8"=1'-0"



4 Left Elevation (30' Lot 2-Story)  
1/8"=1'-0"

APPROVED COLORS: HACIENDA, PALIMINO, SOAPSTONE, ...

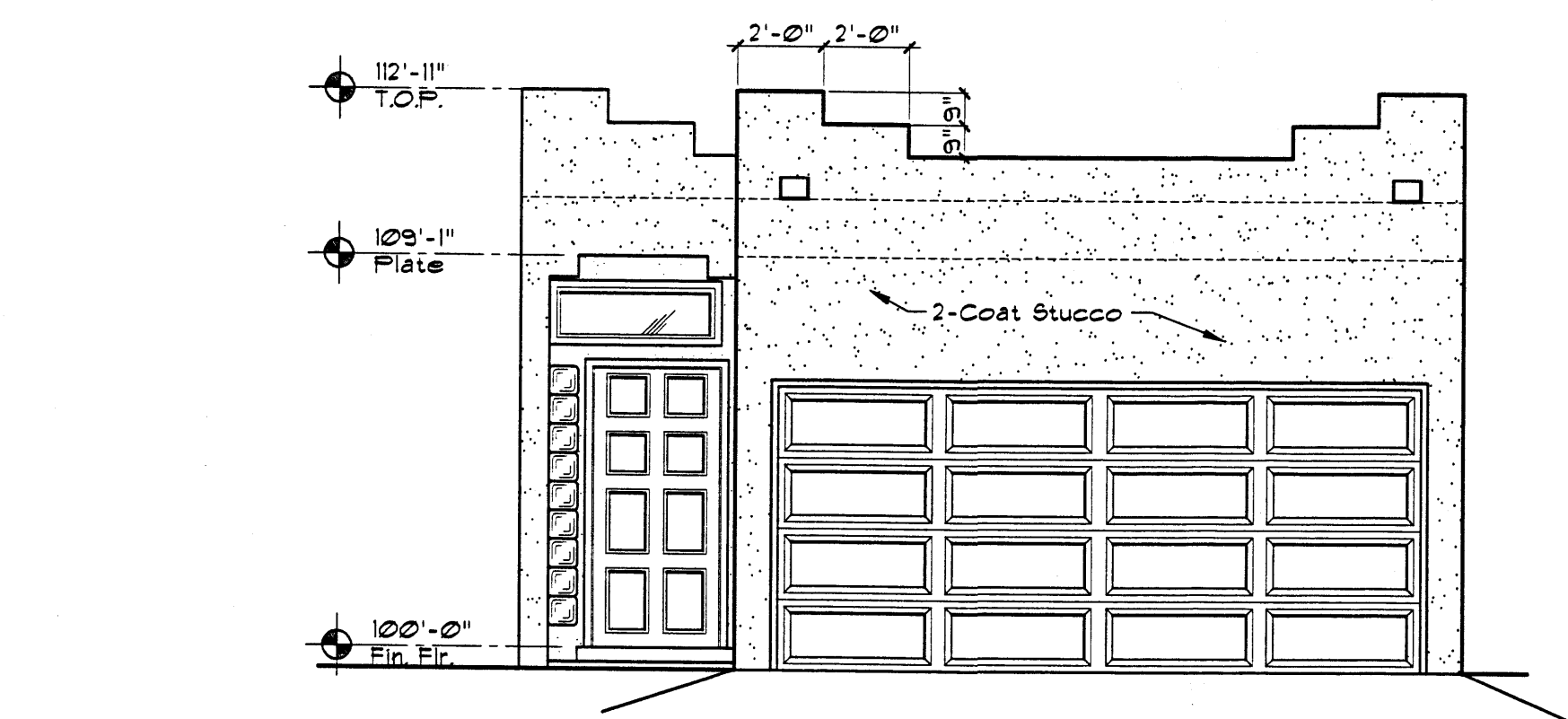


505 293 1496  
Box 2243 Tijeras, New Mexico 87059  
PROJECT: BREEZE AT MOUNTAIN GATE  
FOUR HILLS  
ALBUQUERQUE, NM  
TITLE: BUILDING ELEVATIONS

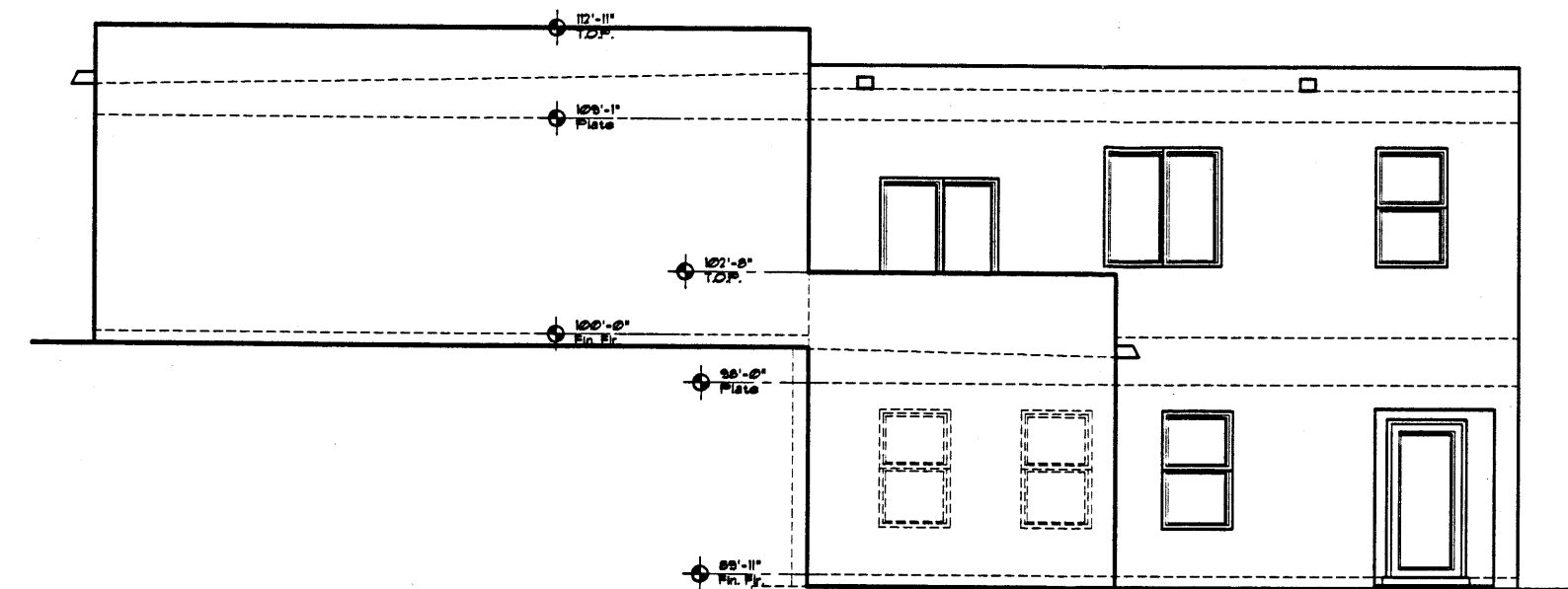
REVISIONS:	

DATE: 4/29/99  
FILE: 4-hills.dwg

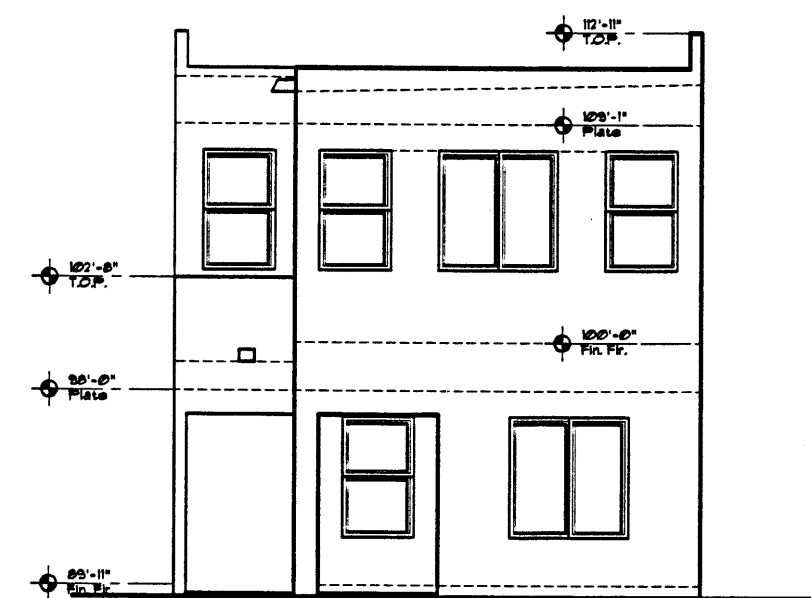
**Pistol's**  
Computerized Drafting  
Chris Mullins  
11518 Snowheights NE Albuquerque, NM 87112  
Ph: 505-238-2339 Fax: 505-234-9166  
E-mail: cmullins@flashnet



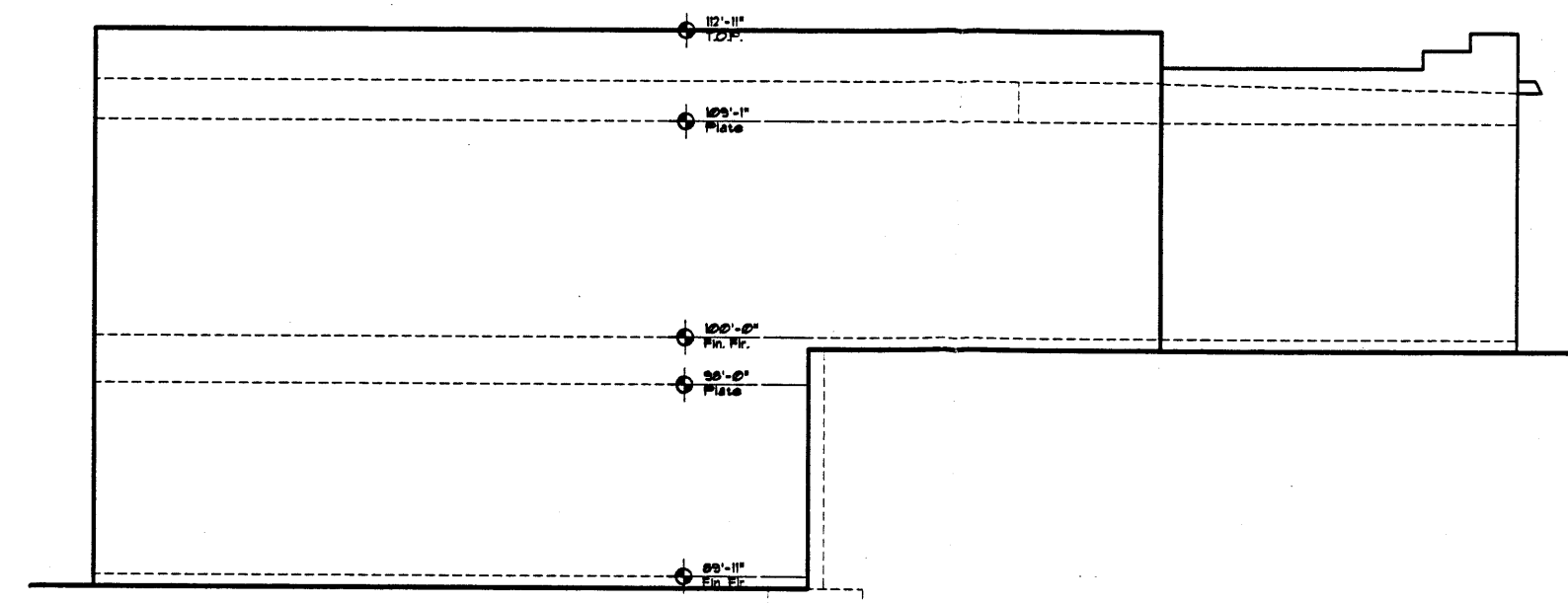
1 Front Elevation (22' Lot 1-Story w/ Walk Out Bsmt.)  
1/4"=1'-0"



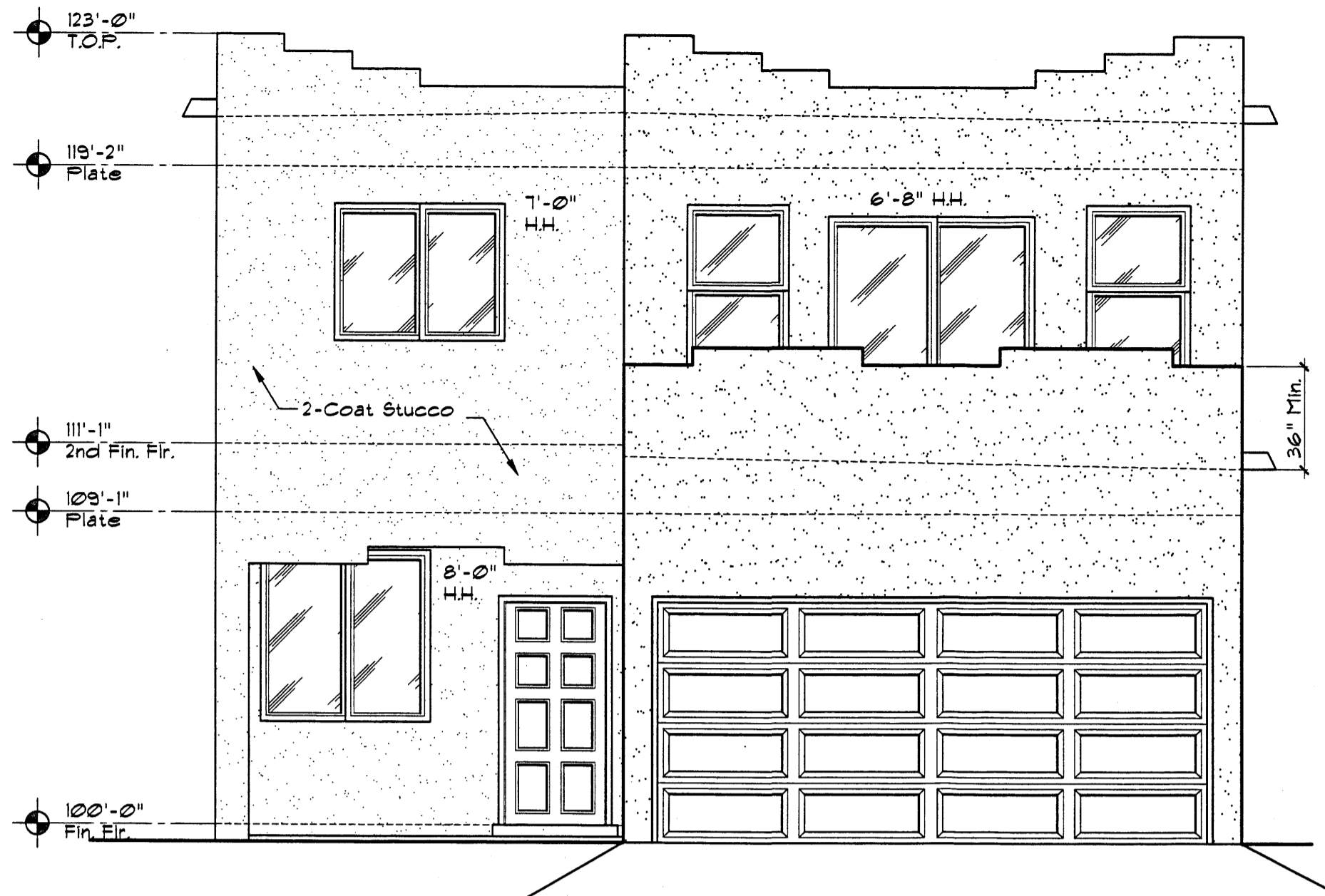
2 Right Elevation (22' Lot 1-Story w/ Walk Out Bsmt.)  
1/8"=1'-0"



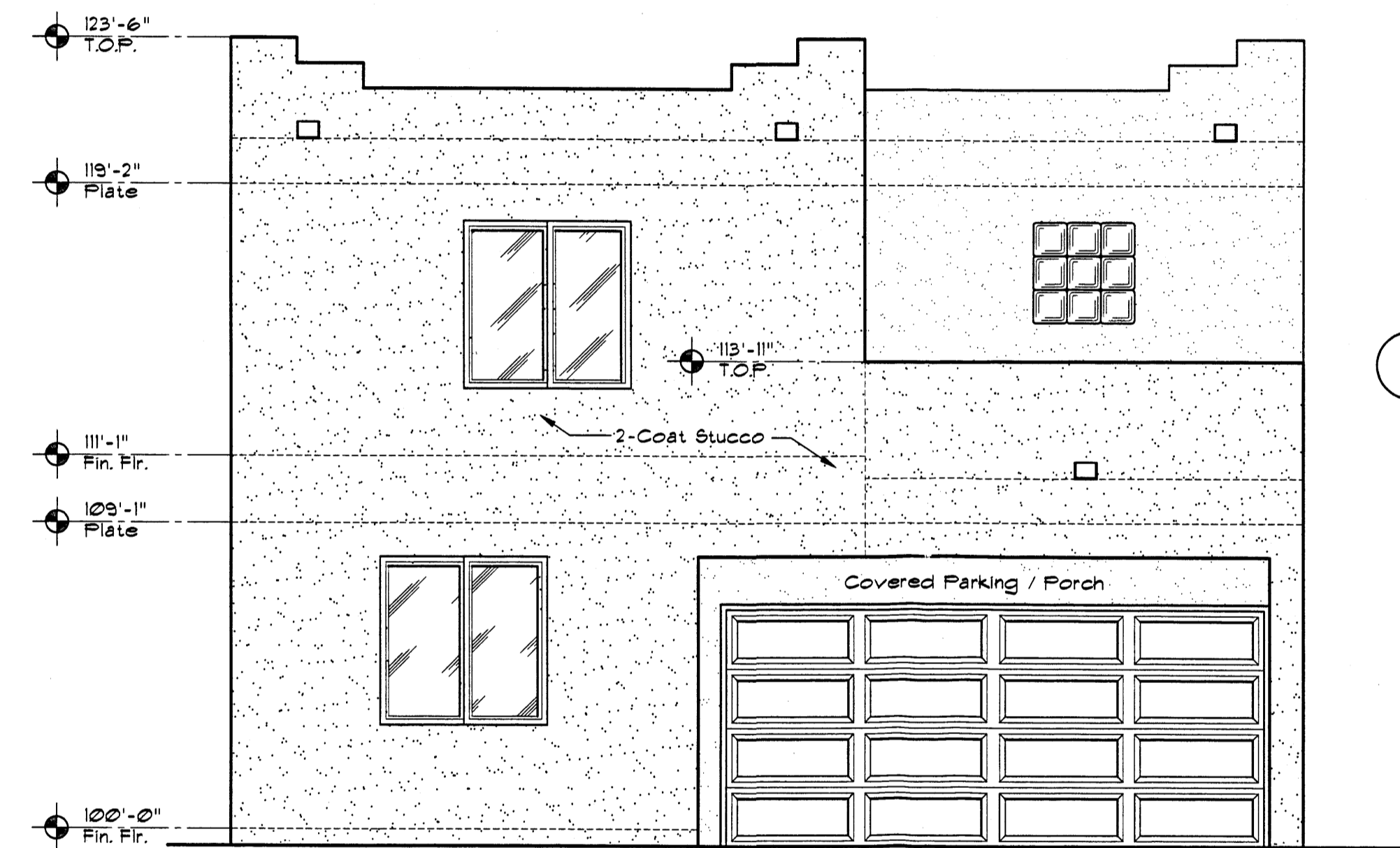
3 Rear Elevation (22' Lot 1-Story w/ Walk Out Bsmt.)  
1/8"=1'-0"



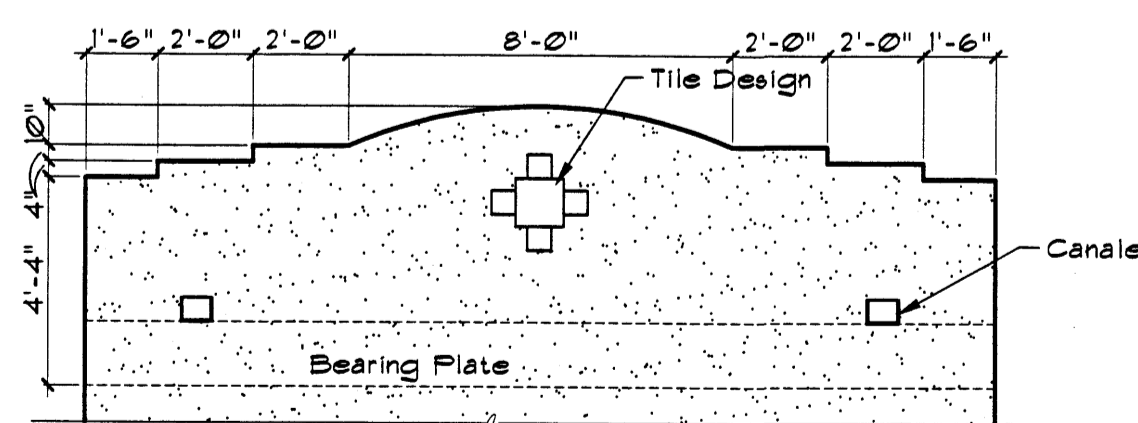
4 Left Elevation (22' Lot 1-Story w/ Walk Out Bsmt.)  
1/8"=1'-0"



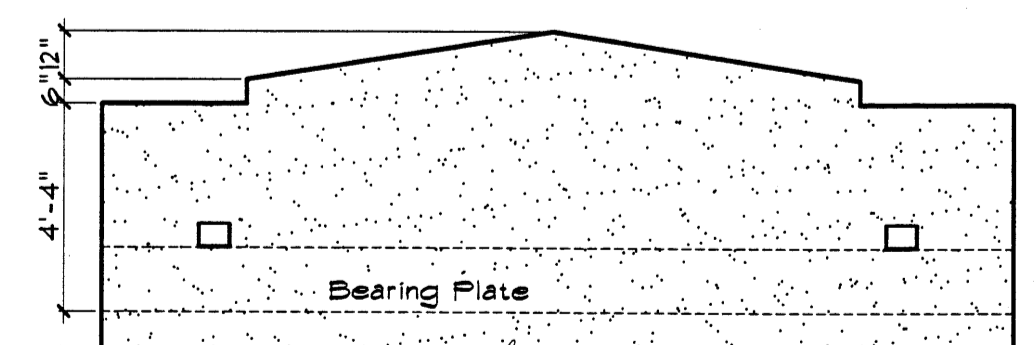
1 Front Elevation (30' Lot - Stand Alone)  
1/4"=1'-0"



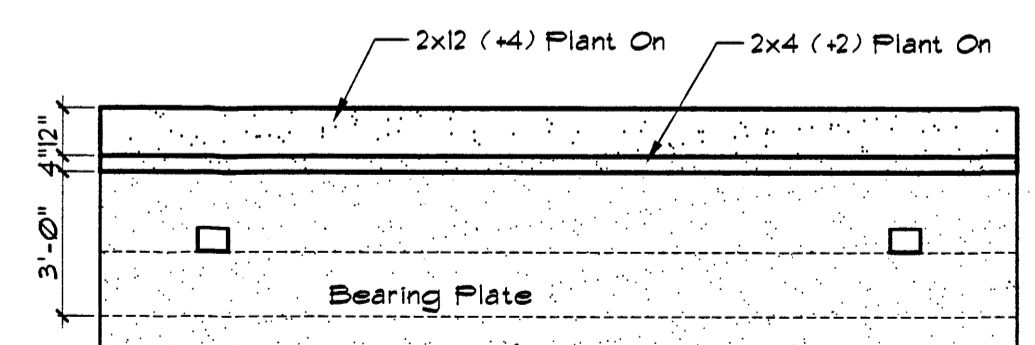
1 Front Elevation (32' Lot - 2 Story)  
1/4"=1'-0"



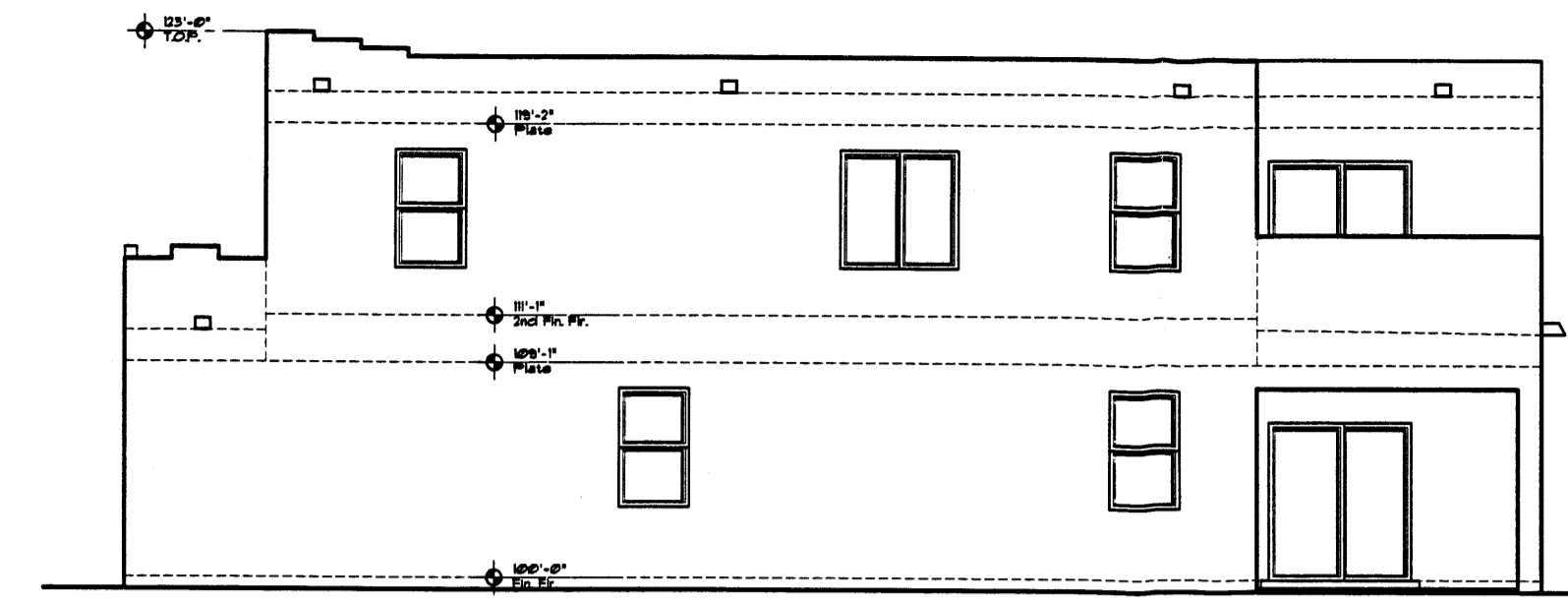
Alternate Parapet Design #1  
1/4"=1'-0"



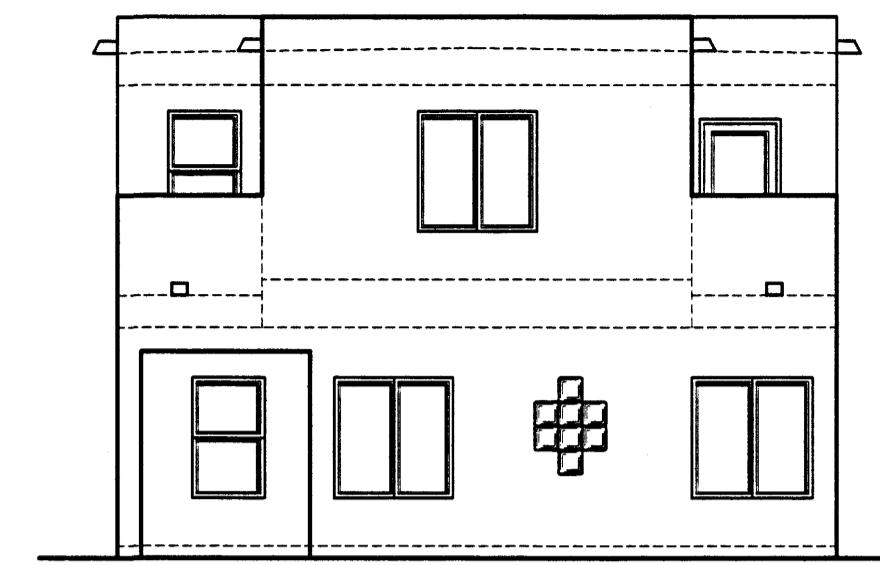
Alternate Parapet Design #2  
1/4"=1'-0"



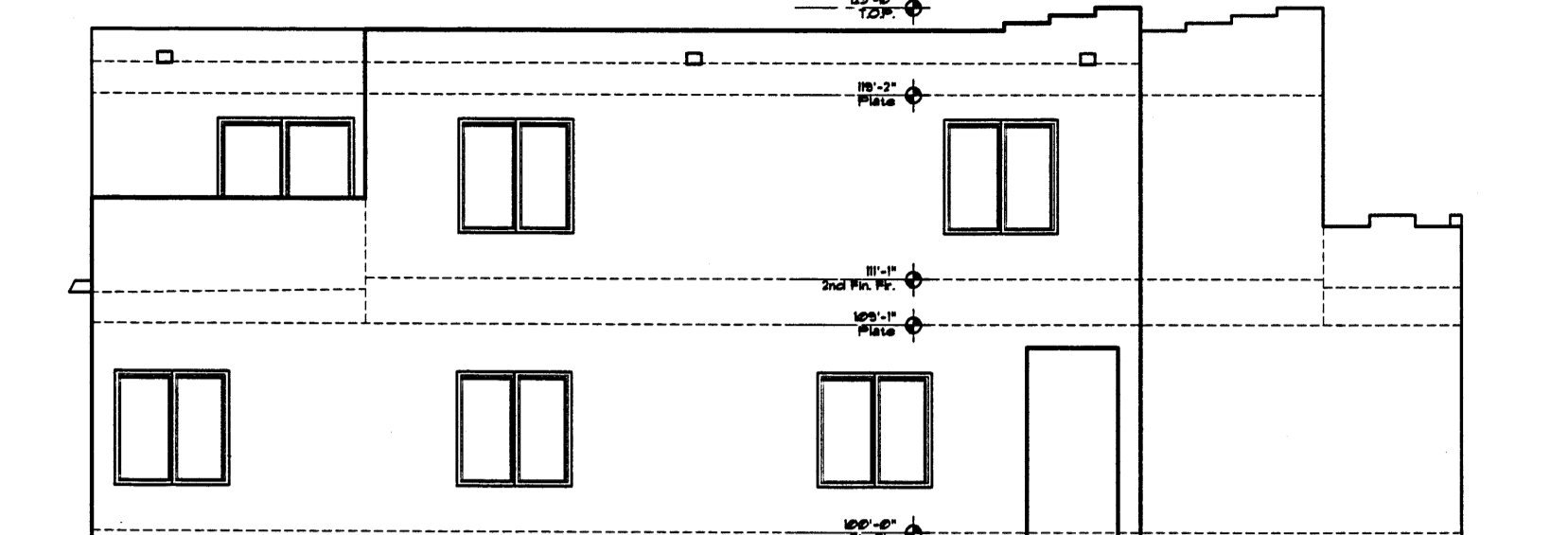
Alternate Parapet Design #3  
1/4"=1'-0"



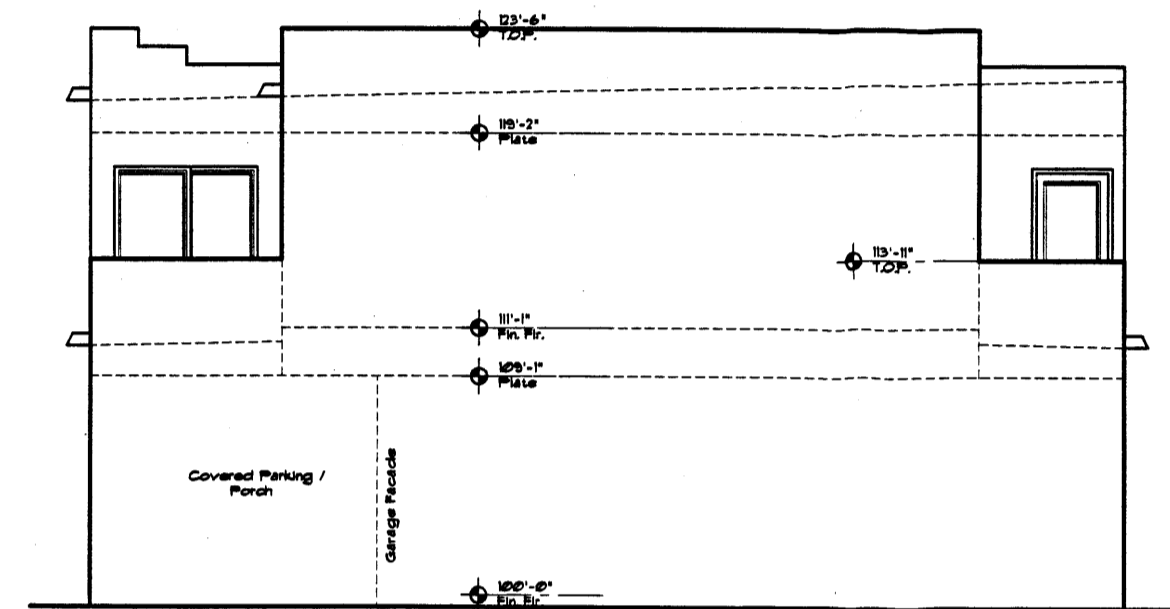
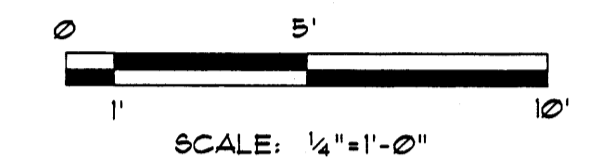
2 Right Elevation (30' Lot - Stand Alone)  
1/8"=1'-0"



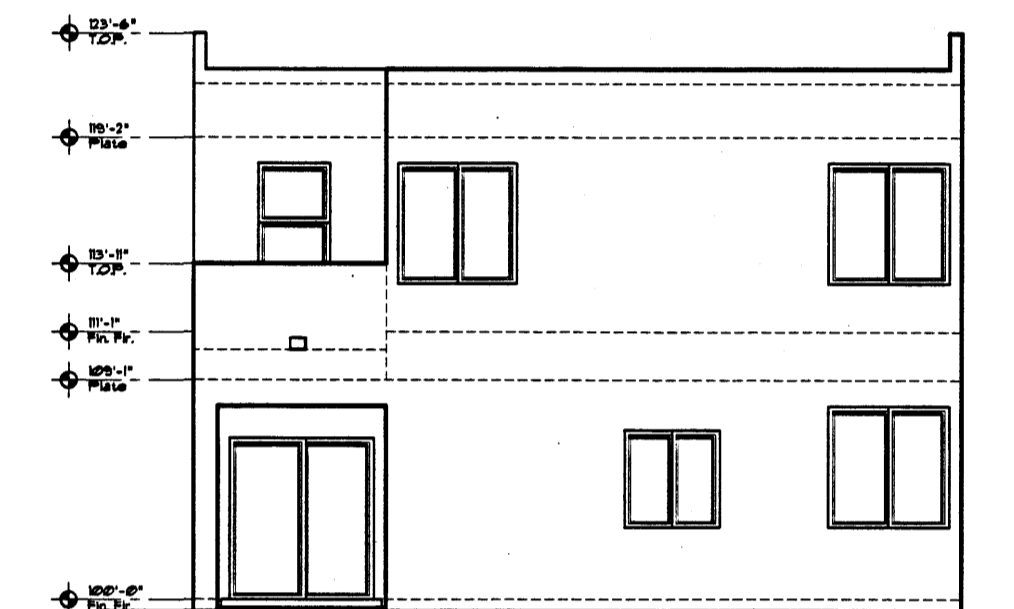
3 Rear Elevation (30' Lot - Stand Alone)  
1/8"=1'-0"



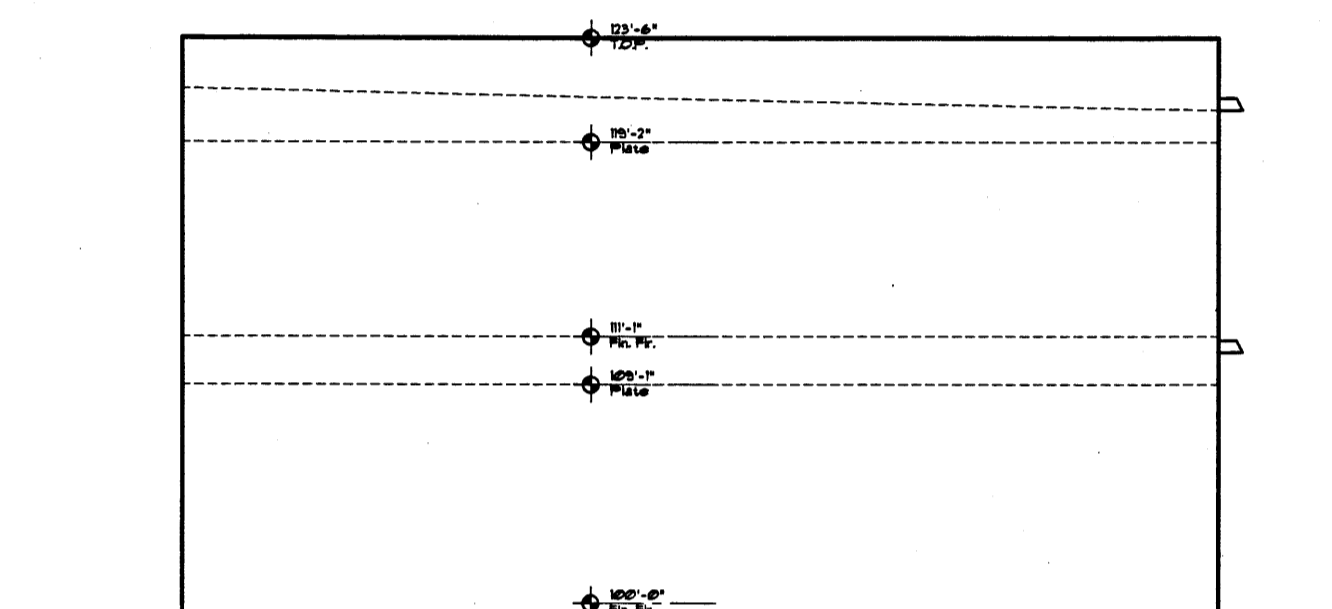
4 Left Elevation (30' Lot - Stand Alone)  
1/8"=1'-0"



2 Right Elevation (32' Lot - 2 Story)  
1/8"=1'-0"



3 Rear Elevation (32' Lot - 2 Story)  
1/8"=1'-0"



4 Left Elevation (32' Lot - 2 Story)  
1/8"=1'-0"

NOTE: A VOLUNTEER HOMEOWNERS' ASSOCIATION WILL BE ESTABLISHED

APPROVED COLORS & FIXTURES:

STUCCO (EL REY): HACIENDA (TAN), SOAPSTONE (ROSE-TAUPE), FAUN (MEDIUM BROWN), PALOMINO (YELLOW-BIEGE).

EXTERIOR TRIM: ANTIQUE WHITE

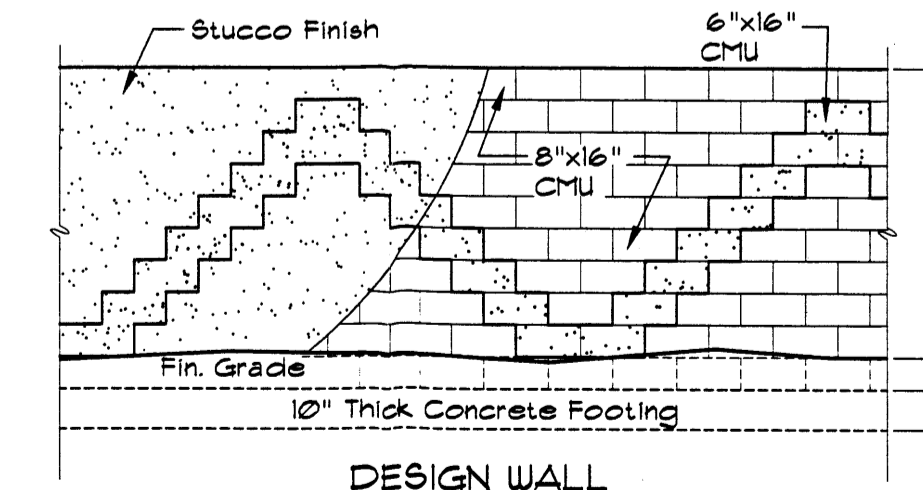
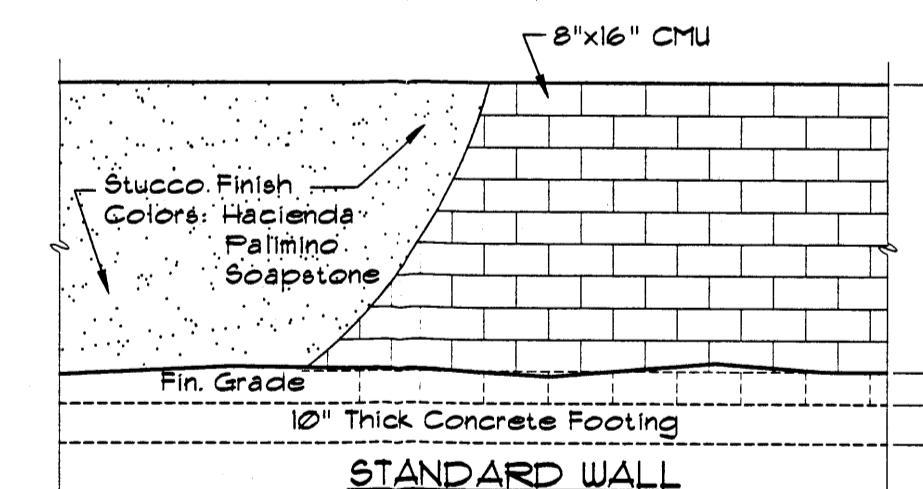
ARCHITECTURE REVIEW COMMITTEE FOR STYLE & COLOR APPROVAL: BILL WADE, GERALD OHLSEN & 1 OTHER.

ROOFLINE: SOUTHWEST CONTEMPORARY, NO METAL ROOFS ALLOWED.

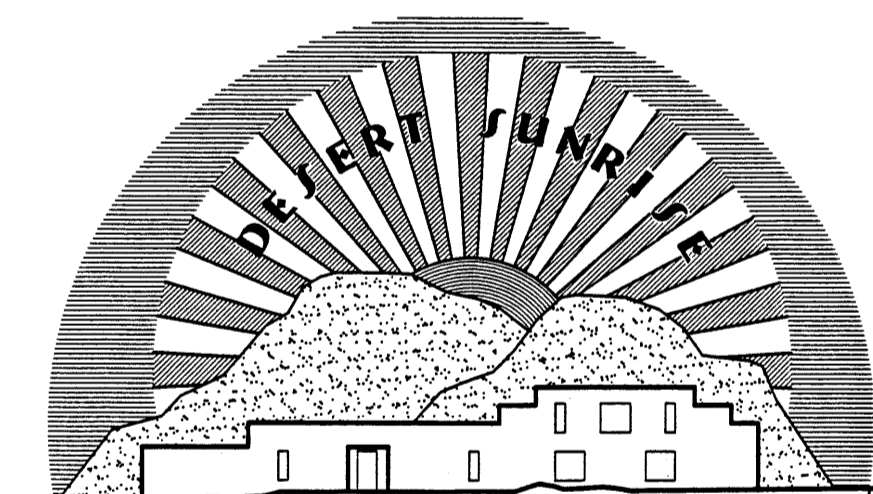
GARAGE DOORS: NON-INSULATED WHITE METAL RAISED PANEL AND MAY INCLUDE WINDOW AREAS IN UPPER PANELS, ANTIQUE WHITE.

FRONT DOOR: INSULATED STEEL WITH RAISED PANEL DESIGN WITH WOOD TRIM, ANTIQUE WHITE.

WINDOWS: WHITE VINYL THERMAL WINDOWS, SINGLE HUNG OR DOUBLE HUNG, HORIZONTAL SLIDER OR FIXED PANES, DIVIDED LIGHT OR CLEAR PANE, EYEBROW ARCH IN SOME CASES.



CMU Wall Elevations 1/4"=1'-0"



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**Pistol's**  
Computerized Drafting  
Chris Mullins

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PAGE: 10 of 10

APPROVED COLORS: HACIENDA, PALIMINO, SOAPSTONE, ...