



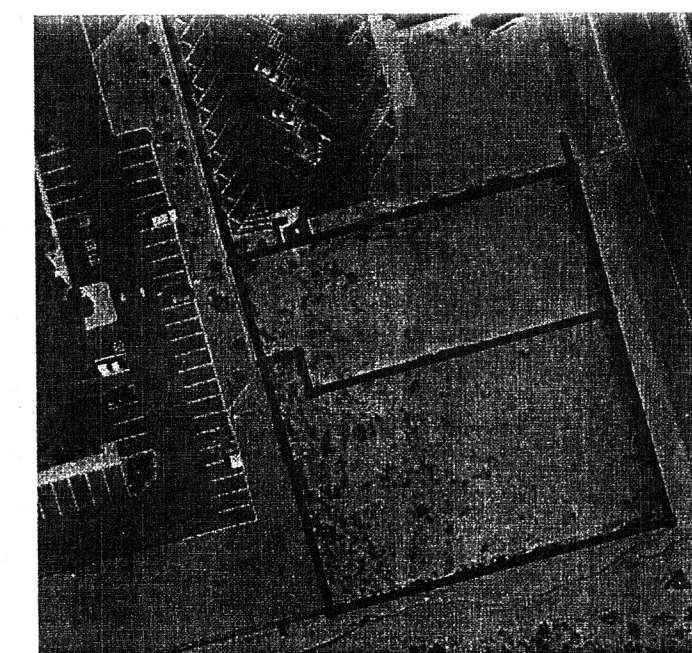
9330 BALBOA AVENUE  
SAN DIEGO, CA 92123  
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**DATES**

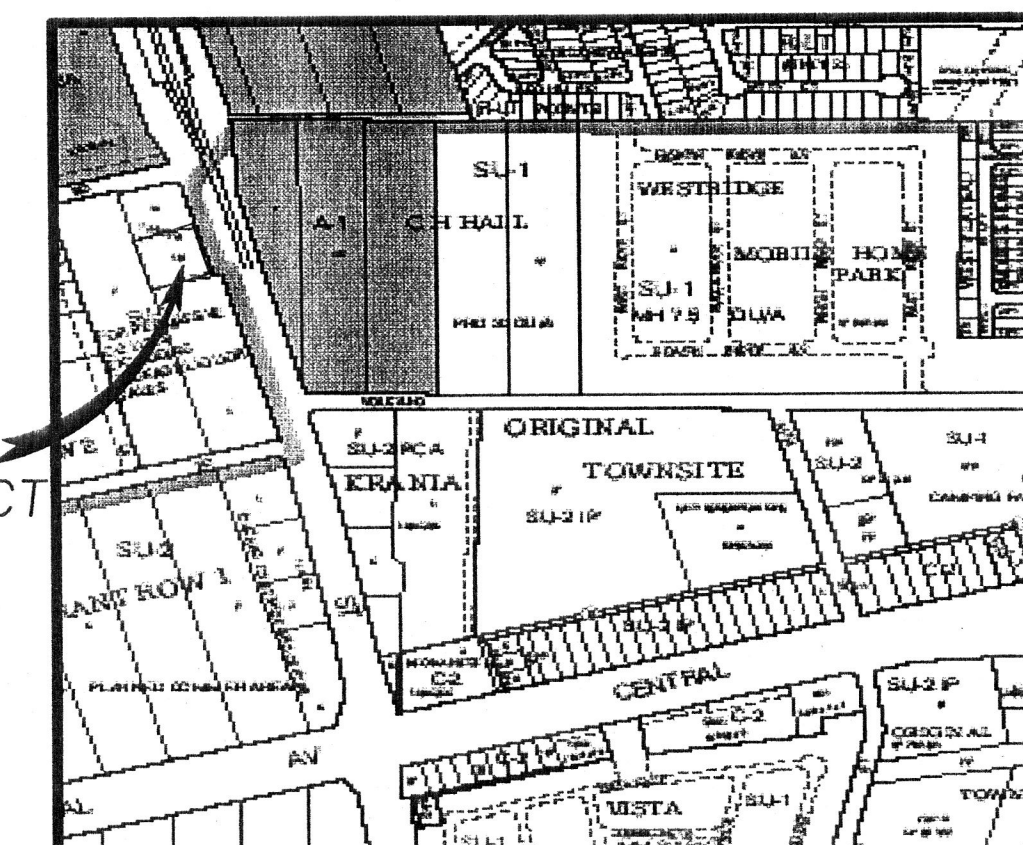
RELEASE: FEBRUARY 24, 2011

**REVISIONS**

▲ CLOUDED AREAS  
INDICATE MAY  
2011 MODIFICATIONS  
REQUIRED TO ADDRESS  
EPC CONDITIONS  
OF APPROVAL



THIS PROJECT



NTS

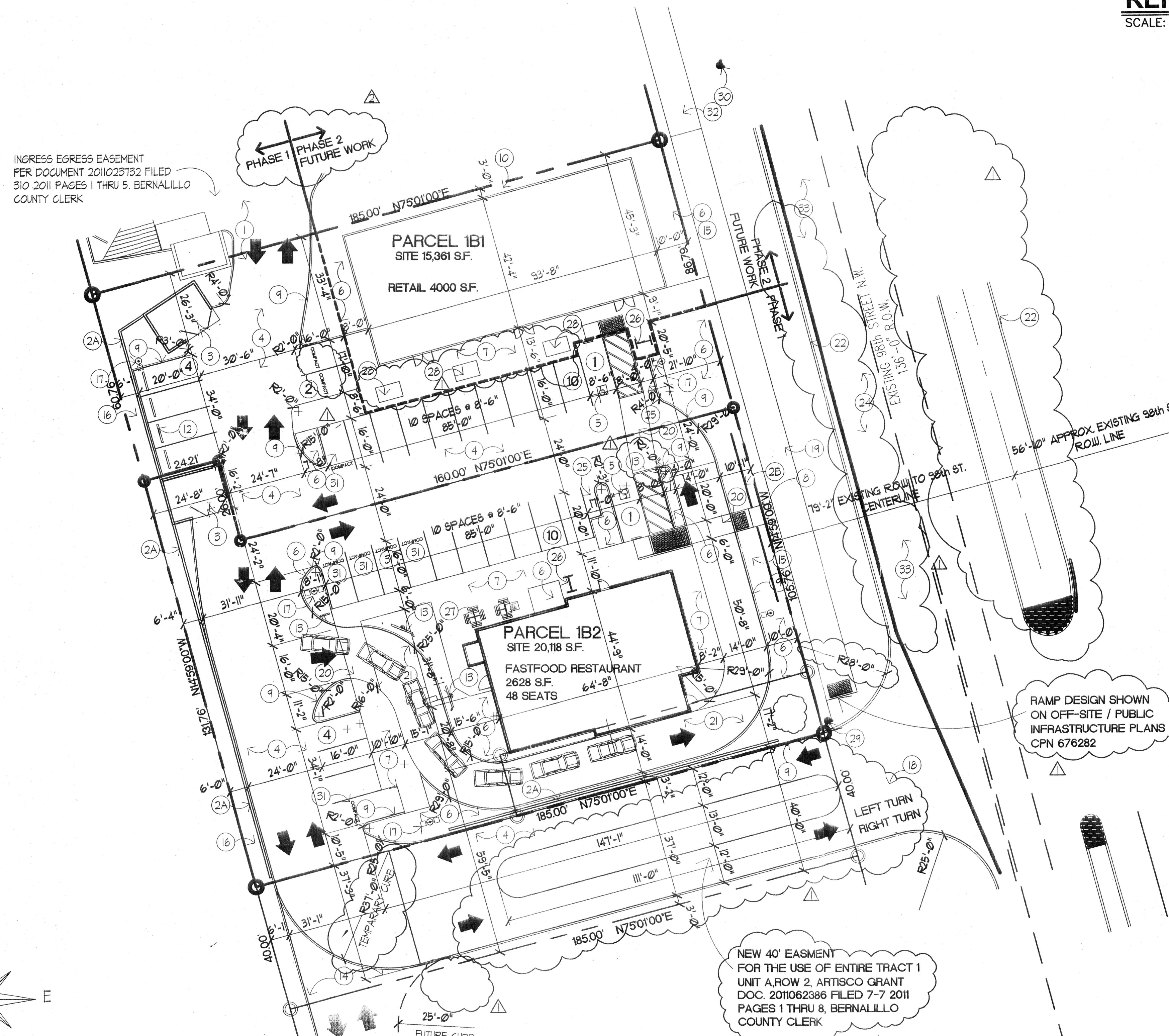
**VICINITY MAP**

A PORTION OF ZONE ATLAS  
PAGE: K-09-Z  
CITY OF ALBUQUERQUE, NEW MEXICO  
SCALE: 1" = 750'

**NOTE:**  
DELIVERY TRUCKS ARE PROHIBITED DURING ALL PEAK HOURS. THESE HOURS ARE FROM 6-8 AM, 11 AM-1 PM, AND 4-6 PM, MONDAY THRU FRIDAY.

**REFERENCE SITE PLAN**

SCALE: 1" = 100'



INGRESS EGRESS EASEMENT  
PER DOCUMENT 2011023732 FILED  
3/10/2011 PAGES 1 THRU 5, BERNALILLO  
COUNTY CLERK

PHASE 1  
PHASE 2  
FUTURE WORK

PARCEL 1B1  
SITE 15,361 S.F.  
RETAIL 4000 S.F.

PARCEL 1B2  
SITE 20,118 S.F.  
FASTFOOD RESTAURANT  
2628 S.F.  
48 SEATS

NEW 40' EASEMENT  
FOR THE USE OF ENTIRE TRACT 1  
UNIT A, ROW 2, ARTISCO GRANT  
DOC. 2011062386 FILED 7-7-2011  
PAGES 1 THRU 8, BERNALILLO  
COUNTY CLERK

RAMP DESIGN SHOWN  
ON OFF-SITE / PUBLIC  
INFRASTRUCTURE PLANS  
CPN 676282

**SITE DATA**

PHASE 1- FAST FOOD RESTAURANT LOT  
MAXIMUM BLDG HGT- 22'-0"  
SETBACKS 5'-0" FRONT, 0'-0" SIDE/REAR  
F.A.R. = 2628 ÷ 20.118 = .131

PHASE 2- RETAIL LOT  
MAXIMUM BLDG HGT- 26'-0"  
SETBACKS 5'-0" FRONT, 0'-0" SIDE/REAR  
F.A.R. = 4000 ÷ 15.361 = .261

EXISTING SITE ZONING: SU-1  
FOR PERMISSIVE C-2 USES  
EXCLUDING PACKAGE LIQUOR SALES

ALL LIGHTING SHALL COMPLY WITH  
THE STANDARDS OF PARAGRAPH  
4-16-3-4, AREA LIGHTING REGULATIONS,  
OF THE ZONING CODE

SITE PLAN SHALL BE DESIGNED PER  
DPM STANDARDS

**PARKING CALCULATION**

RESTAURANT- 2628 S.F. @ 48 SEATS  
48 ÷ 4 = 12 SPACES

RETAIL- 4000 S.F.  
4000 ÷ 200 = 20 SPACES

TOTAL SPACES REQUIRED = 32 SPACES  
TOTAL SPACES PROVIDED = 32 SPACES

TOTAL ADA SPACES REQUIRED = 2 SPACES  
TOTAL ADA SPACES PROVIDED = 2 SPACES

BICYCLE PARKING = 4 SPACES PROVIDED  
MOTORCYCLE PARKING = 2 SPACES PROVIDED

**GENERAL NOTES:**

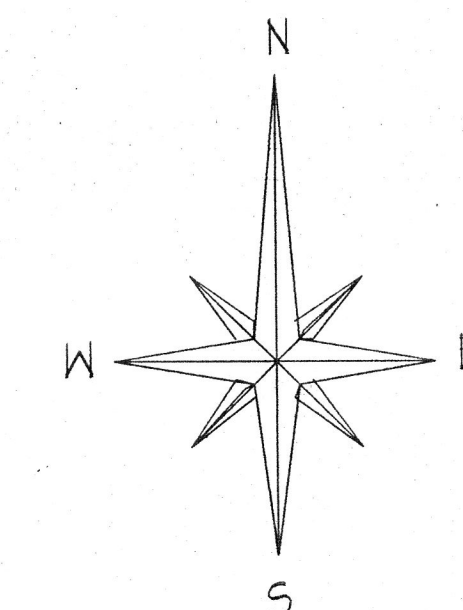
1. A SINGLE MONUMENT SIGN IS PERMITTED FOR TRACT I-B. THE SIGN SHALL BE A MONUMENT SIGN WHICH IS ARCHITECTURALLY INTEGRATED WITH BUILDING COLORS AND MATERIALS. THE HEIGHT OF THE MONUMENT SIGN IS LIMITED TO 8'-0" HIGH WITH TWO SIGN FACES WITH A MAXIMUM FACE AREA OF 50 SQ. FT. EACH

2. FUTURE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT REQUESTS SHALL BE DELEGATED TO THE DRB AND MUST CONFORM TO THE DESIGN GUIDELINES LISTED ON SHEET A-2 OF THE SITE DEVELOPMENT PLAN FOR SUBDIVISION

PROJECT NUMBER:	1000670
Application Number:	10EPC-40066
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated March 10th, 2011 and the Findings and Conditions in the Official Notification of Decision are satisfied.	
Is an infrastructure List required? (X) Yes ( ) No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.	
<b>DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:</b>	
<i>[Signature]</i>	07-25-11 Date
Traffic Engineering, Transportation Division	
<i>Allen Deter</i>	07/13/11 Date
Water Authority	
<i>[Signature]</i>	7-13-11 Date
Parks and Recreation Department	
<i>[Signature]</i>	7-13-11 Date
City Engineer	
<i>[Signature]</i>	7-26-11 Date
Solid Waste Management	
<i>[Signature]</i>	8-1-11 Date
DRB Chairperson, Planning Department	

**SITE PLAN KEY NOTES**

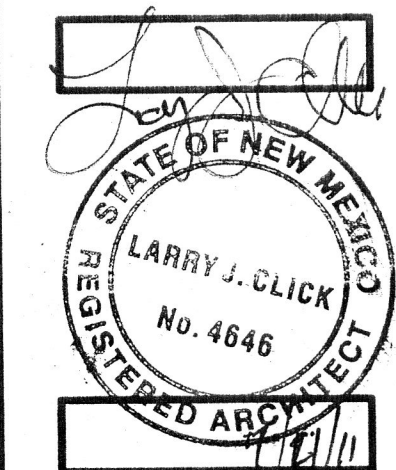
- 1 EXISTING DRIVE AISLE & NEW DRIVEWAY ACCESS
- 2A RETAINING WALL 4'-0" MAXIMUM HEIGHT
- 2B SCREENING DEVICE 3'-0" HEIGHT
- 3 DUMPSTER ENCLOSURE 6'-0" HIGH O.M.V. FINISH & COLOR TO MATCH BUILDING. SEE DETAIL NEXT SHEET
- 4 ASPHALT PAVING
- 5 CONCRETE ADA PARKING SPACE. SEE DETAIL SHEET SD1.1
- 6 LANDSCAPE AREA
- 7 CONCRETE SIDEWALK MIN. 6'-0" WIDE
- 8 PEDESTRIAN PATH
- 9 CONCRETE CURB
- 10 FUTURE BUILDING AREA
- 11 CONCRETE DRAINAGE CHANNEL
- 12 CONCRETE WHEEL STOP
- 13 SIGN MENU BOARD
- 14 FUTURE DRIVEWAY ACCESS TO ADJACENT PROPERTY SOUTH
- 15 10'-0" WIDE LANDSCAPE BUFFER
- 16 6'-0" WIDE MINIMUM LANDSCAPE BUFFER
- 17 SITE LIGHT STANDARD SEE DETAIL NEXT SHEET
- 18 NEW ROADWAY ACCESS
- 19 NEW 10'-0" WIDE ASPHALT TRAIL TO BE CONSTRUCTED THIS LOCATION
- 20 COLORED CONCRETE PEDESTRIAN PATH
- 21 CONCRETE DRIVE-THRU
- 22 NEW ROADWAY CURB
- 23 EXISTING ROADWAY CURB
- 24 EXISTING ROADWAY
- 25 MOTORCYCLE PARKING
- 26 BICYCLE PARKING
- 27 OUTDOOR SEATING
- 28 MINIMUM 36 SQ. FT. PLANTER
- 29 NEW FIRE HYDRANT
- 30 EXISTING FIRE HYDRANT
- 31 COMPACT PARKING STALL
- 32 CONNECT TO EXISTING 10'-0" TRAIL AT NORTH PROPERTY LINE
- 33 RIGHT TURN LANE ONLY



**SITE PLAN FOR BUILDING PERMIT**

SCALE: 1" = 20' GRAPHIC SCALE: 1 INCH = 20 FEET

LARRY J. CLICK & ASSOCIATES  
ARCHITECTS  
5444 N. Country Club, Suite # 105  
Tucson, Arizona 85718  
(520) 247-6670/2475218



DRAWN BY: LUCA  
SCALE: AS NOTED

**SITE PLAN FOR BUILDING PERMIT SD1.0**

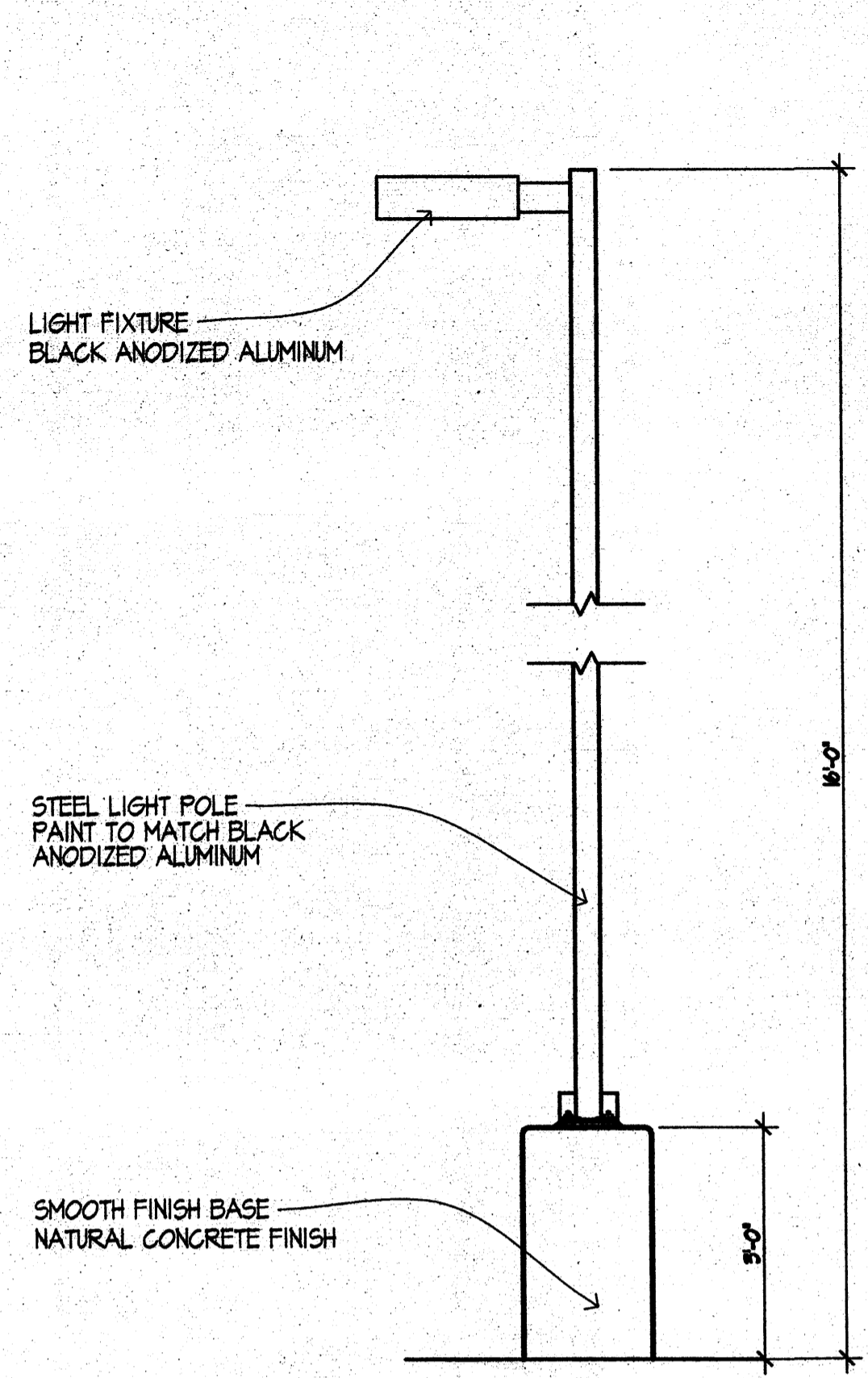


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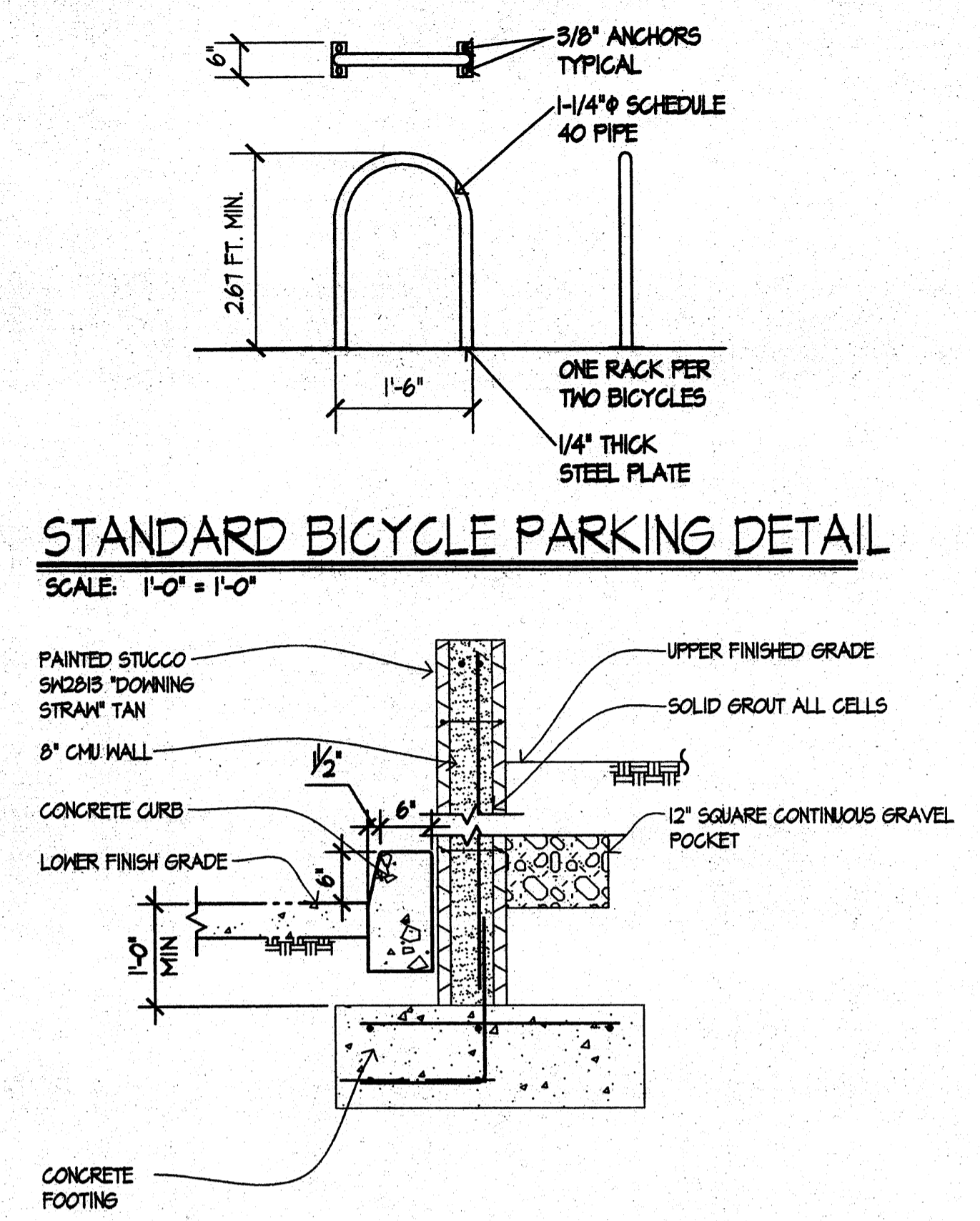
RELEASE: MAY 18, 2011  
P.M. UPDATES: \_\_\_\_\_  
PERMIT: \_\_\_\_\_  
BID: \_\_\_\_\_  
CONSTRUCTION: \_\_\_\_\_

REVISIONS	
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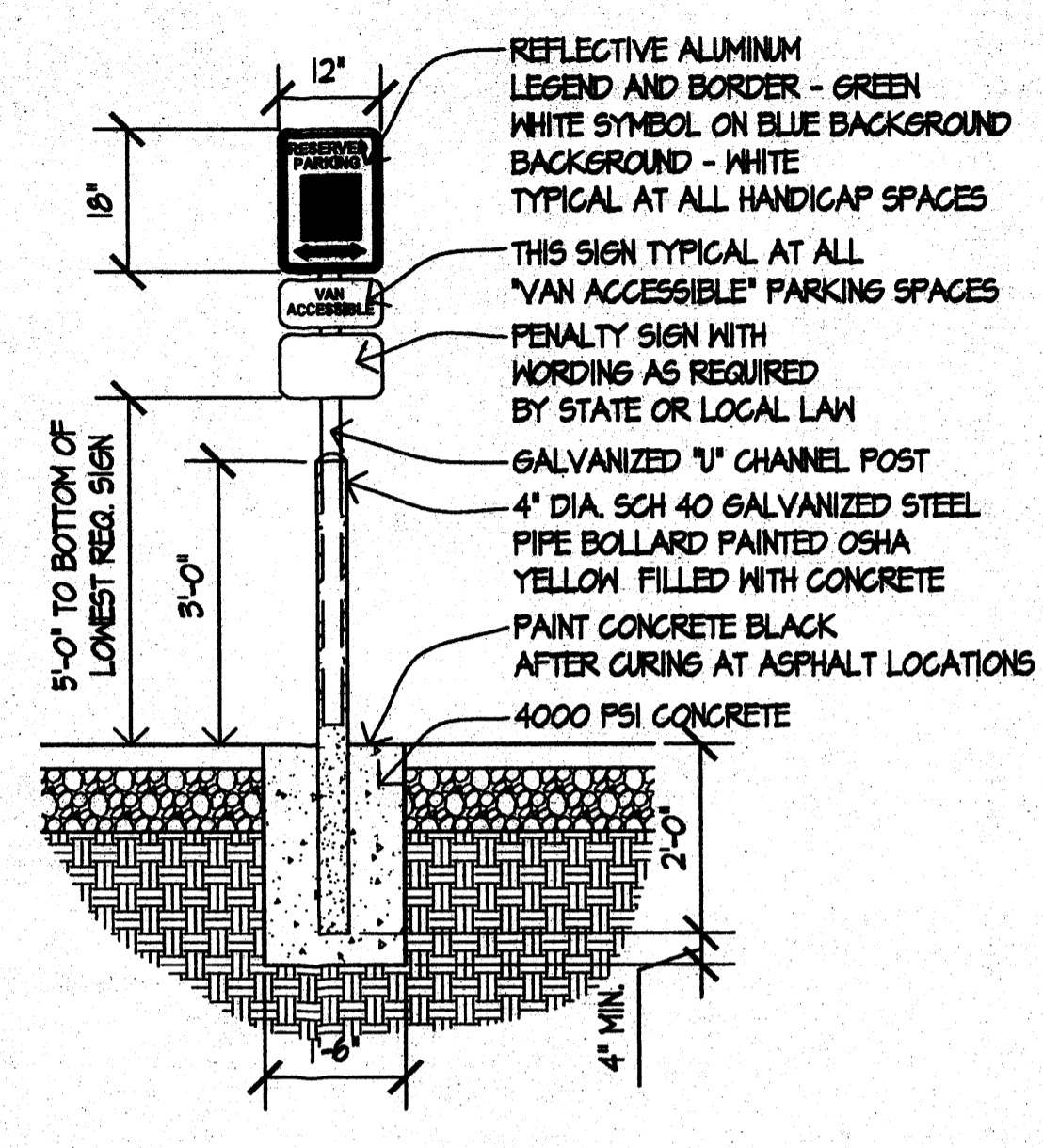
JACK IN THE BOX #1268 F  
98TH / AVALON  
ALBUQUERQUE, NEW MEXICO



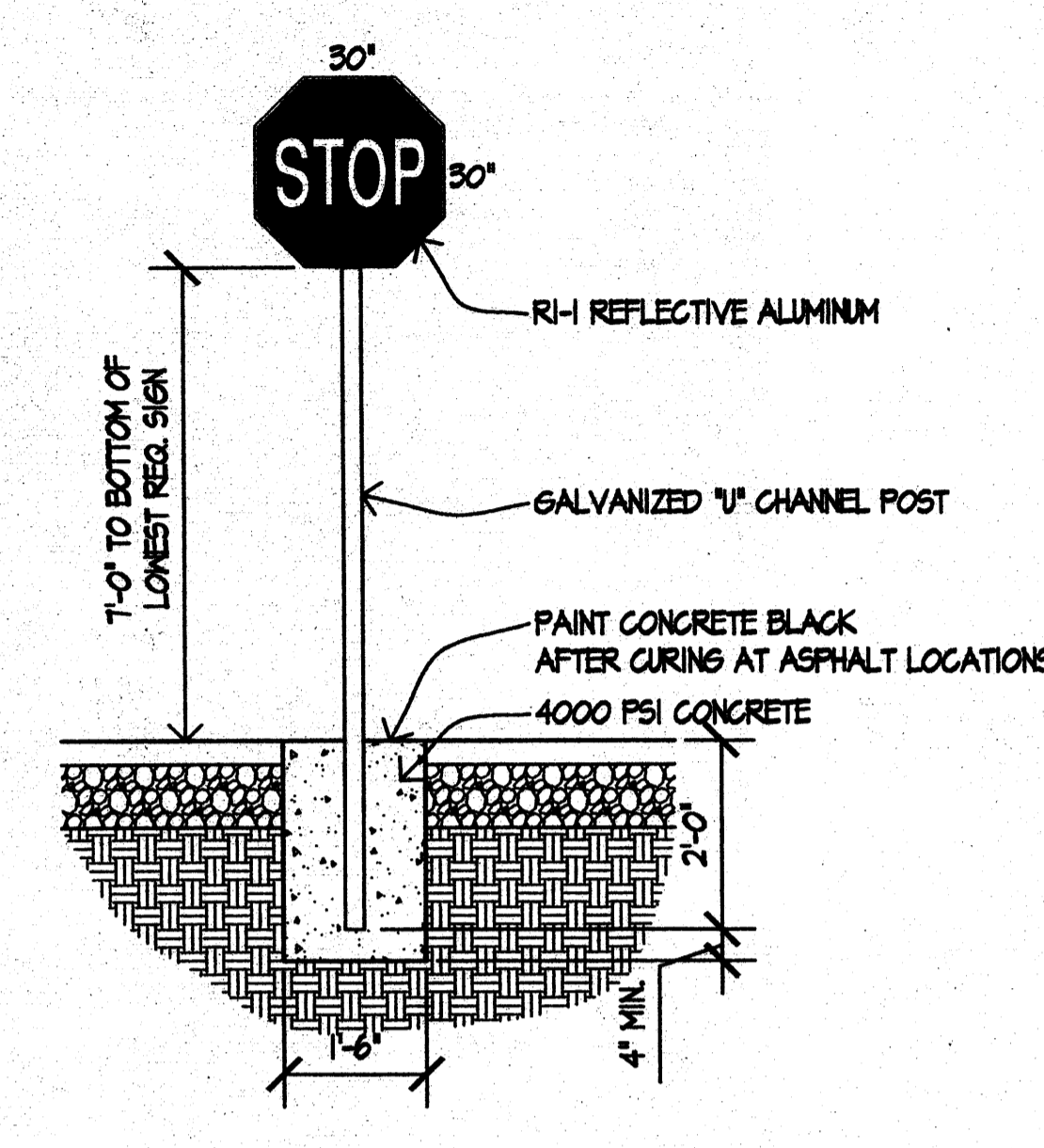
**PARKING LOT LIGHT STANDARD**  
SCALE: 1/2" = 1'-0"



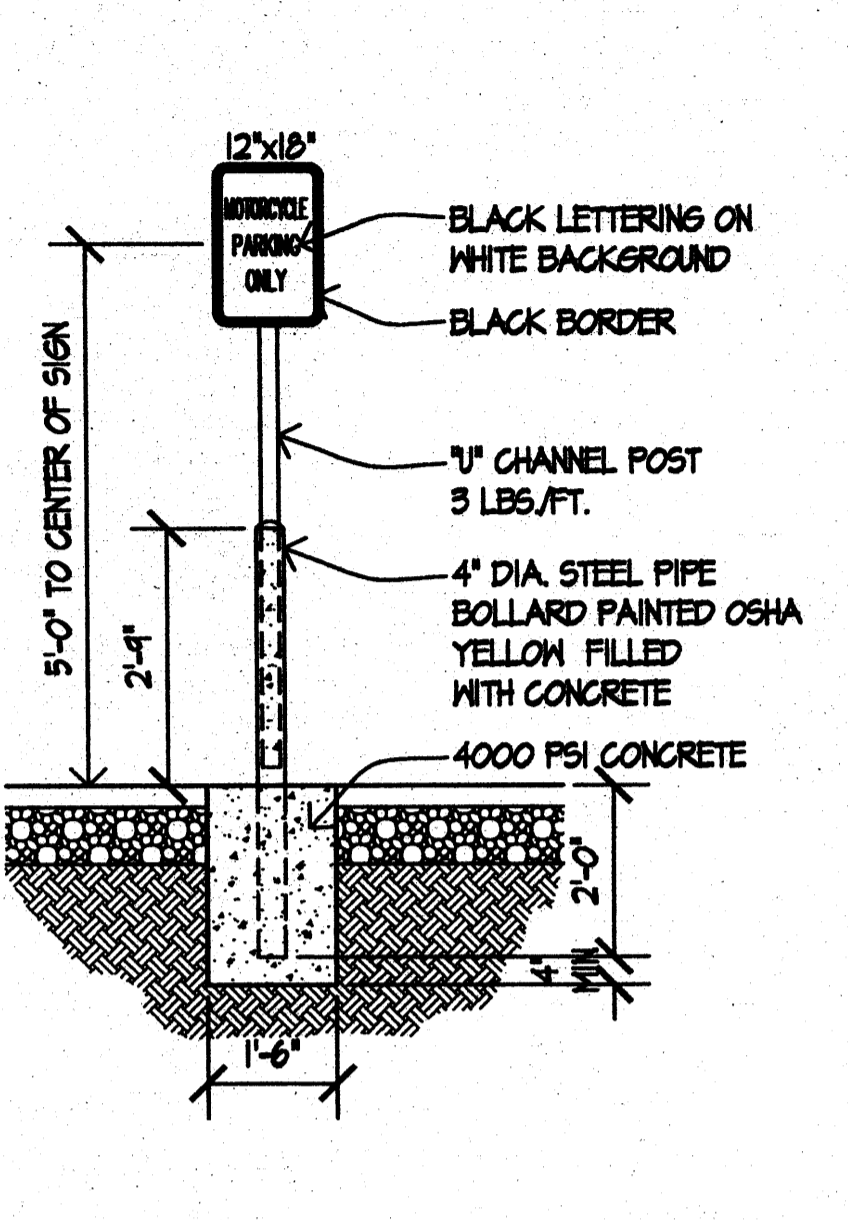
**STANDARD BICYCLE PARKING DETAIL**  
SCALE: 1'-0" = 1'-0"



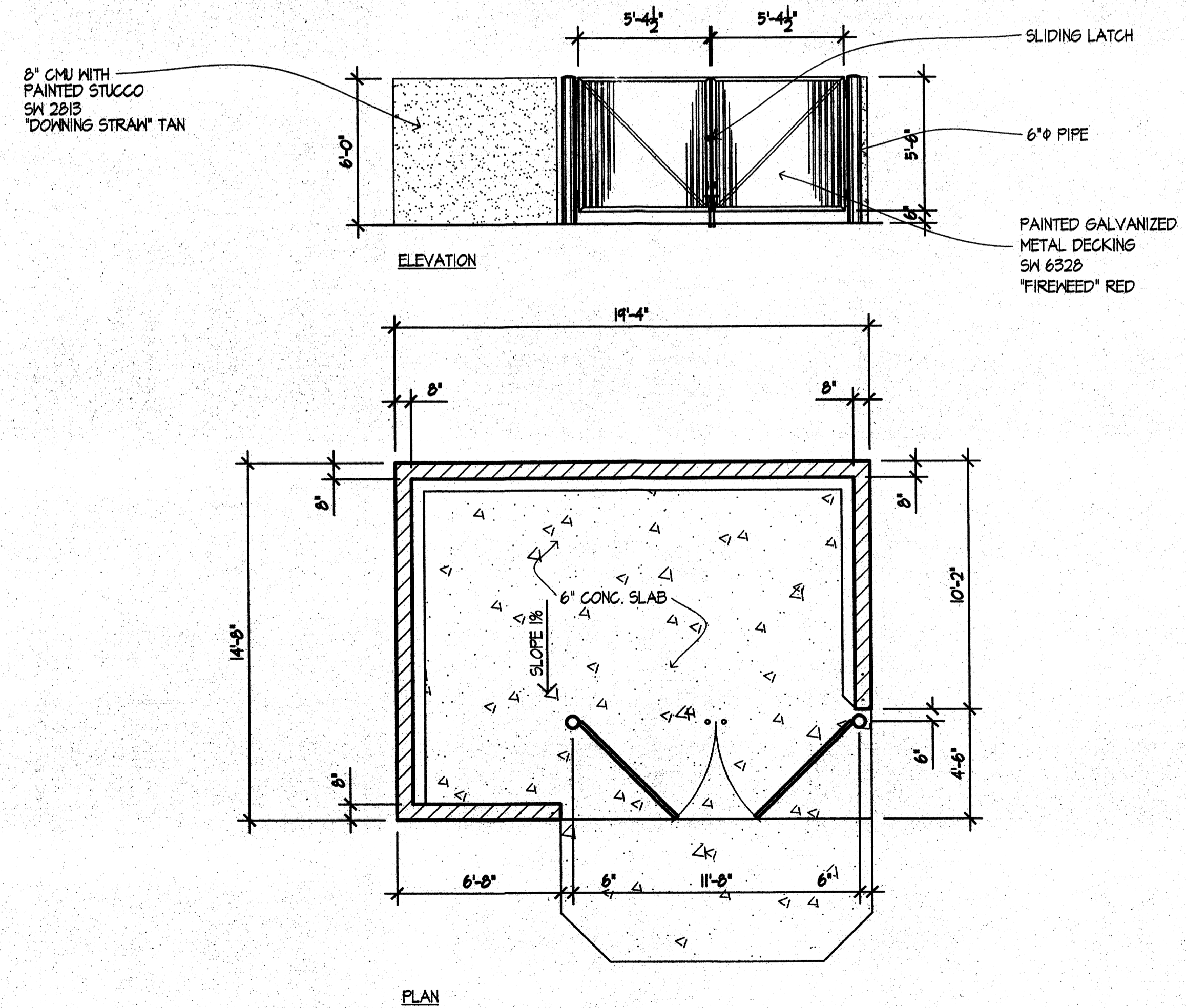
**STANDARD ADA SIGN DETAIL**  
SCALE: NTS



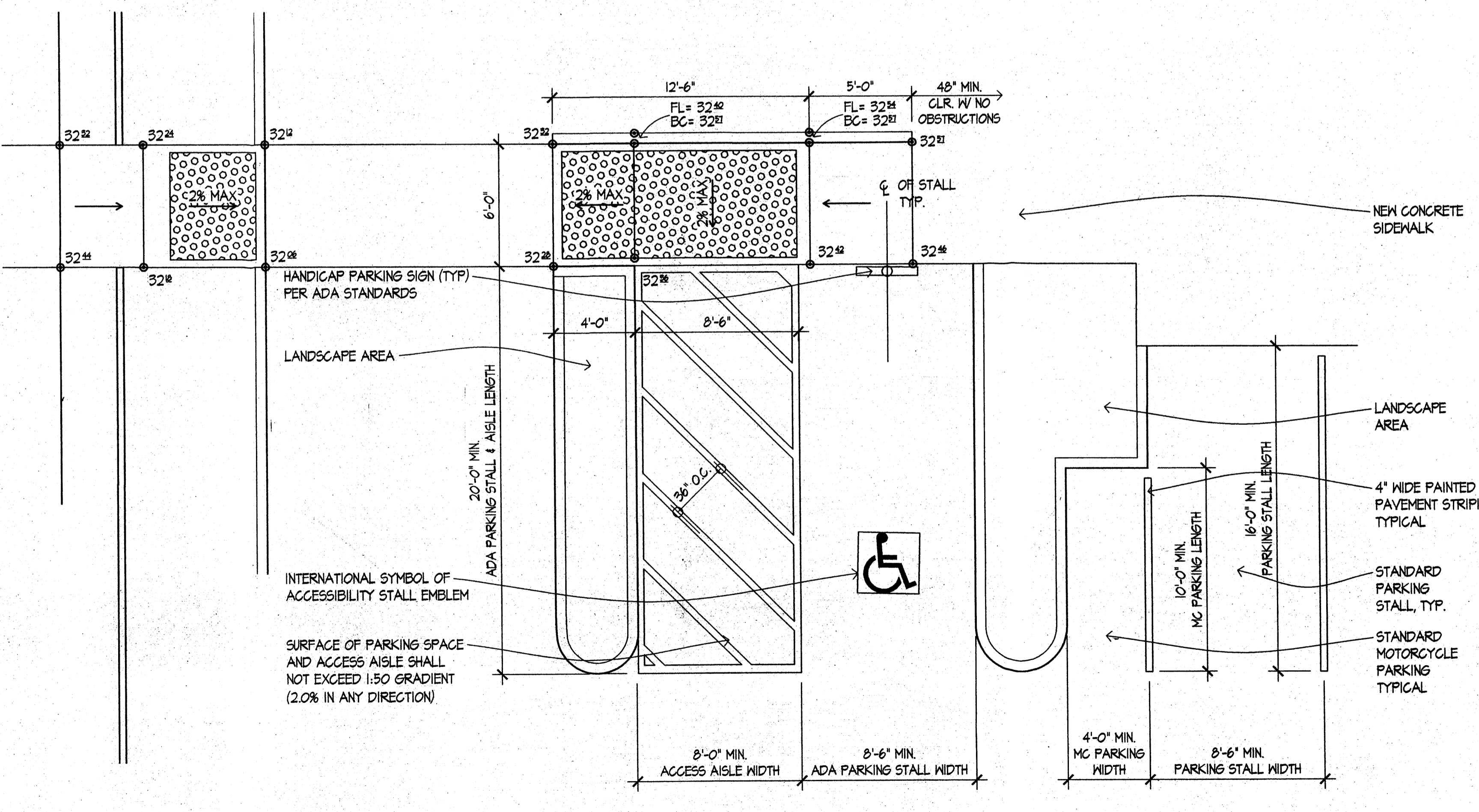
**STANDARD STOP SIGN DETAIL**  
SCALE: NTS



**STANDARD MC SIGN DETAIL**  
SCALE: NTS

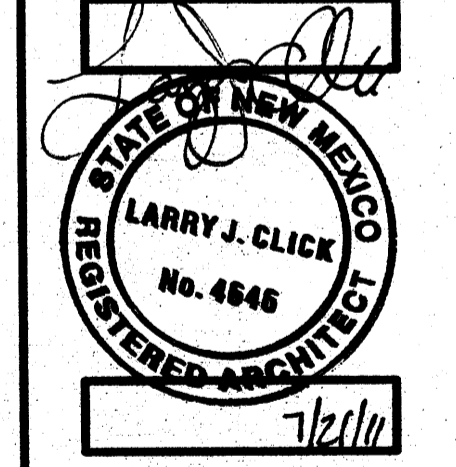


**DUMPSTER ENCLOSURE**  
SCALE: 1/4" = 1'-0"



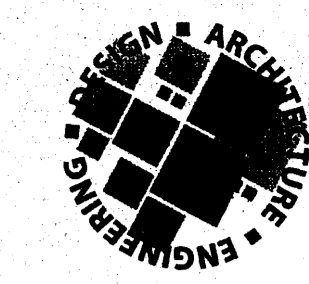
**ADA & STANDARD PARKING STALL DETAIL**  
SCALE: 1/4" = 1'-0"

LARRY J. CLICK & ASSOCIATES  
LARRY J. CLICK ARCHITECT  
6444 N. Country Club Drive # 105  
Tucson, Arizona 85718  
(520) 521-1461/521-1466



**SITE INFORMATION**  
MK TYPE: 9A\_LG2  
JOB #: 1268 F  
ADDRESS: 98TH / AVALON ALBUQUERQUE, NM  
DRAWN BY: LUCA  
SCALE: \_\_\_\_\_

**SITE DETAILS**  
**SD1.1**

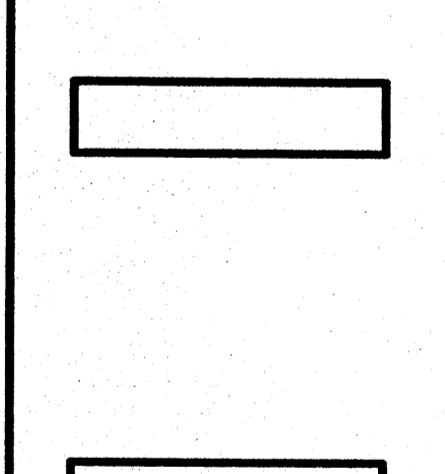
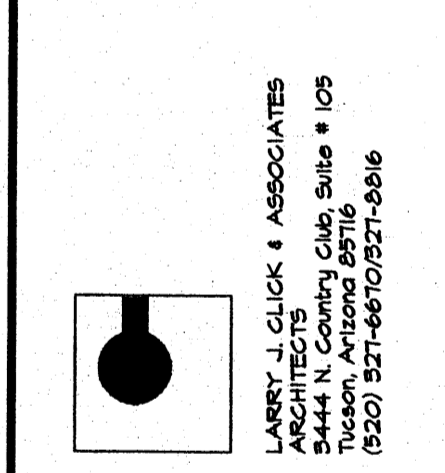
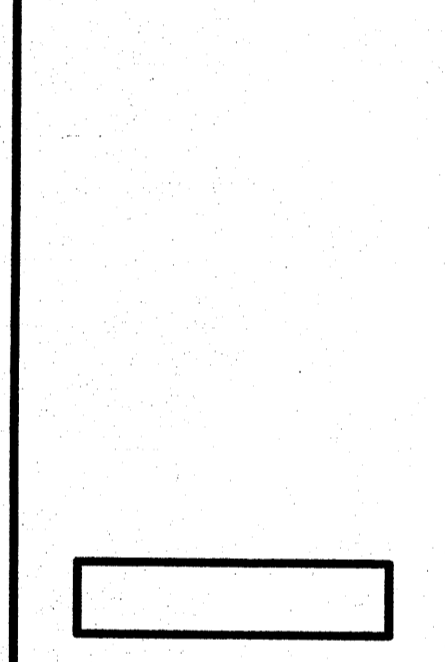
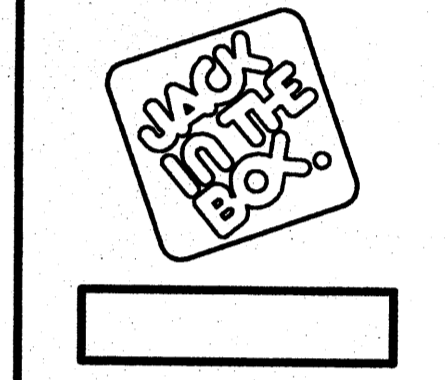


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DATES	
RELEASE:	MAY 18, 2011
P.M. UPDATES:	
PERMIT:	
BID:	
CONSTRUCTION:	

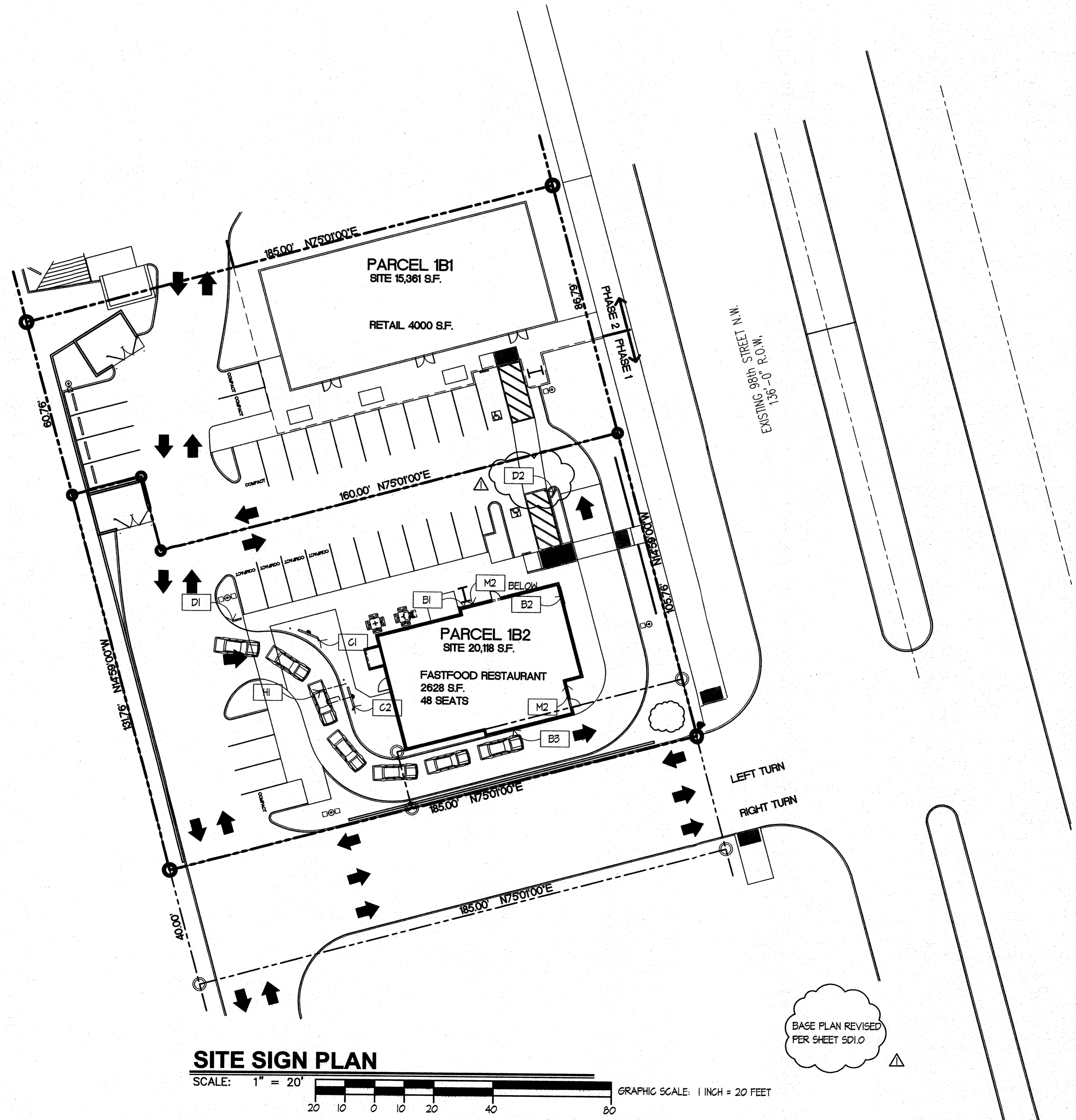
REVISIONS	
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JACK IN THE BOX #1268 F  
 98TH / AVALON  
 ALBUQUERQUE, NEW MEXICO



SITE INFORMATION	
MK TYPE:	9A_LG2
JB #:	1268 F
ADDRESS:	98TH / AVALON ALBUQUERQUE, NM
DRAWN BY:	LJCA
SCALE:	

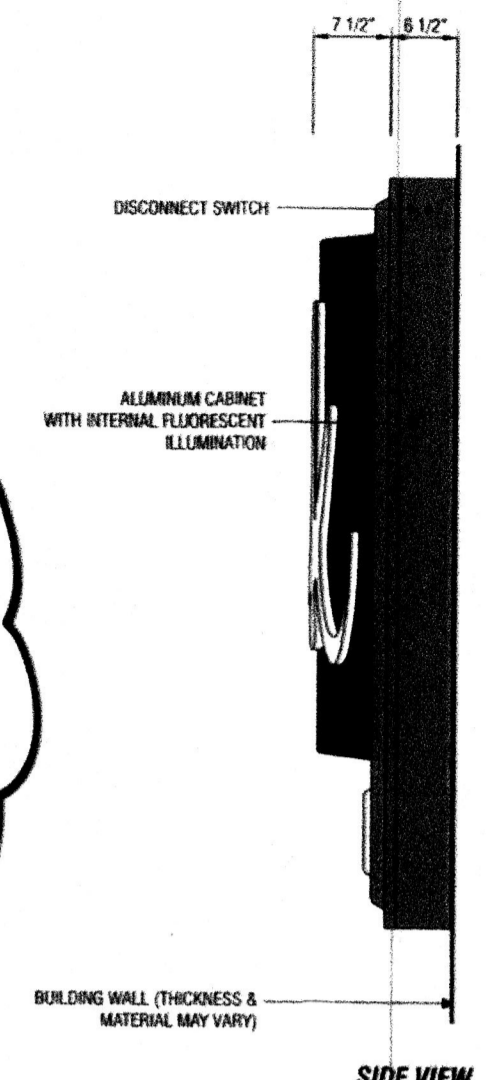
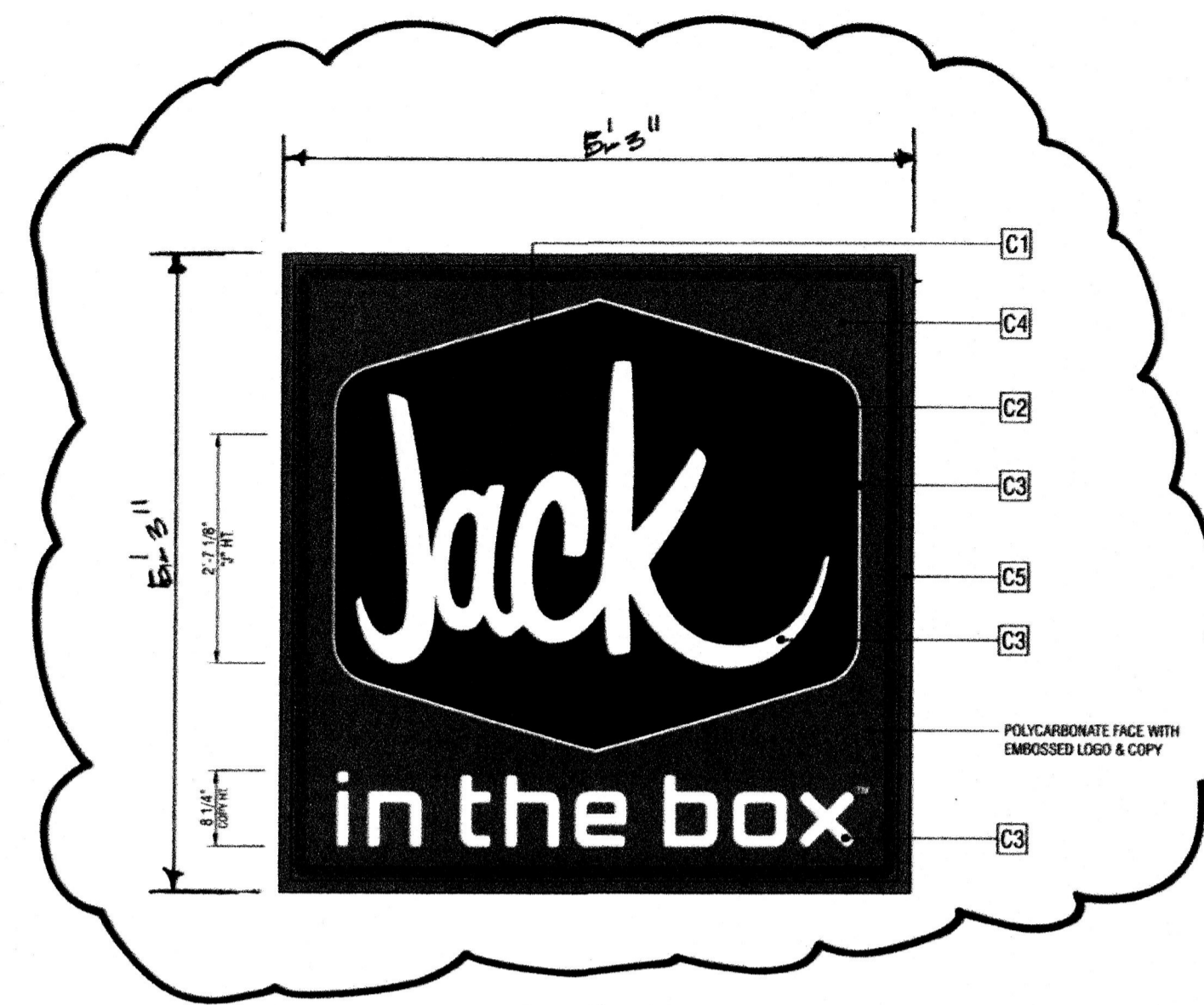
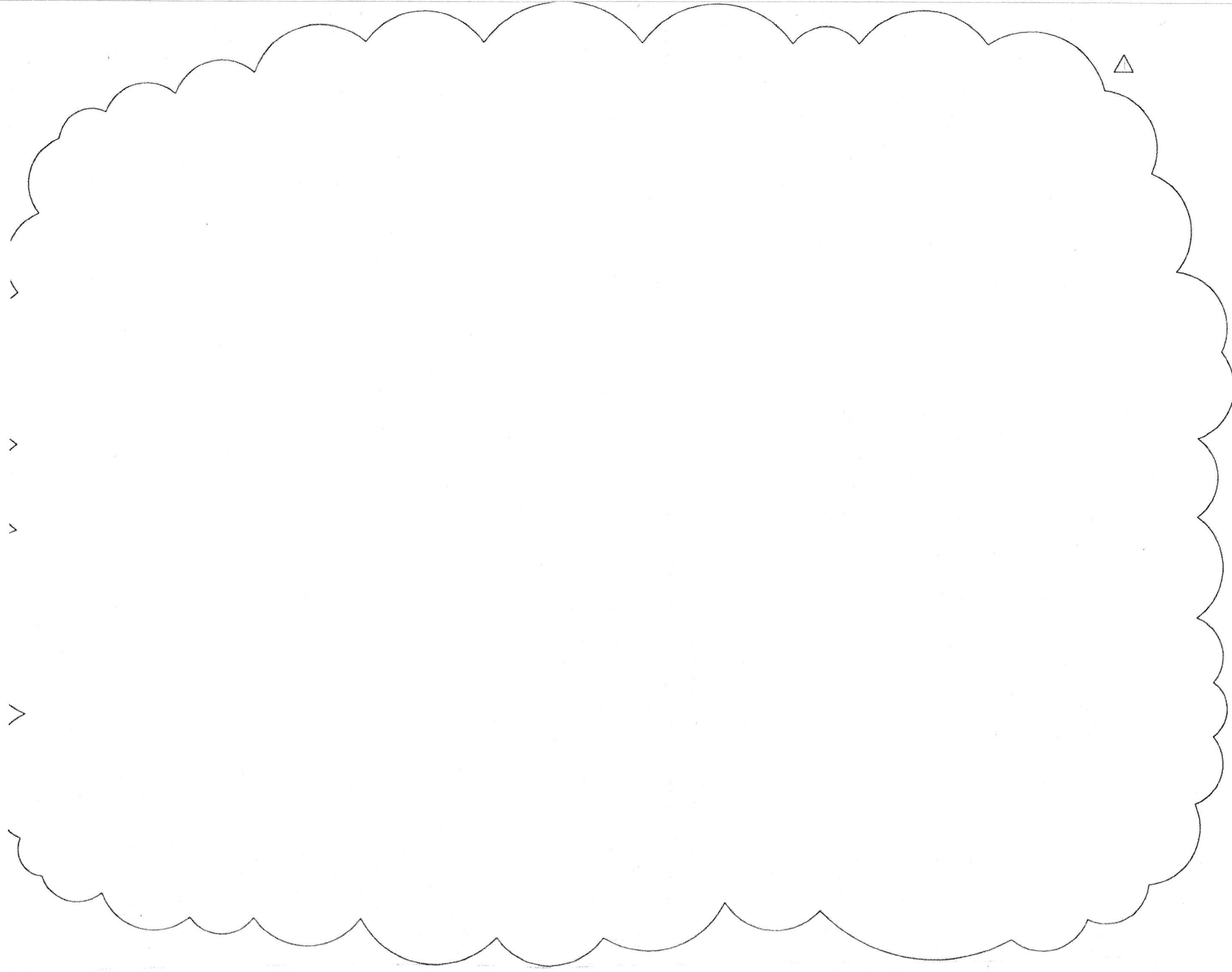
**SITE SIGN PLAN**  
**S1.0**



**SITE SIGN PLAN KEY NOTES**

- B1 INTERNALLY ILLUMINATED BUILDING SIGN- NORTH
- B2 INTERNALLY ILLUMINATED BUILDING SIGN- EAST
- B3 INTERNALLY ILLUMINATED BUILDING SIGN- SOUTH
- B4 INTERNALLY ILLUMINATED BUILDING SIGN- WEST
- C1 INTERNALLY ILLUMINATED PREVIEW MENU BOARD
- C2 INTERNALLY ILLUMINATED ORDER MENU BOARD
- D1 INTERNALLY ILLUMINATED DIRECTIONAL SIGN- "DRIVE THRU"
- D2 INTERNALLY ILLUMINATED DIRECTIONAL SIGN- "THANK YOU"
- HI HEIGHT DETECTOR
- M2 NON ILLUMINATED MARQUEE PANEL

LARRY J. CLICK & ASSOCIATES  
 5444 N. Country Club, Suite # 105  
 Tucson, Arizona 85716  
 (520) 321-6022-7066

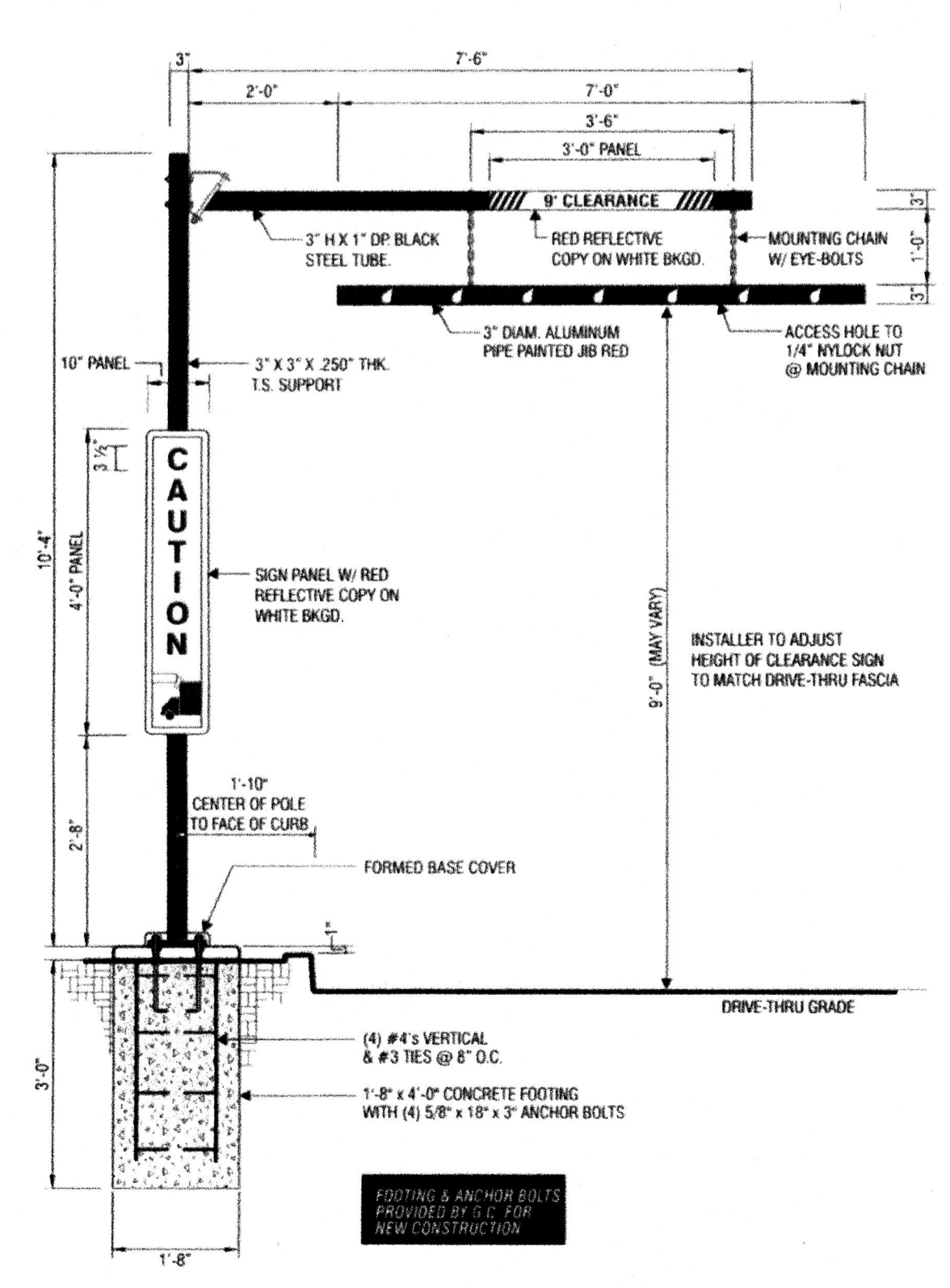


COLOR SPECIFICATIONS	
PAINT	
C1	Lacryl Series 400 L-100-S-6404-1 'Deep Red' Painted second surface
C2	Lacryl Series 400 443 'Deep Red' Painted second surface
C3	Lacryl Series 400 L-100-W 'White' Painted second surface
C4	3M 3630 61 'Stone Gray' Vinyl Applied second surface
C5	Matthews 'Stone Gray' w/ 'Satin Finish' (to match vinyl)

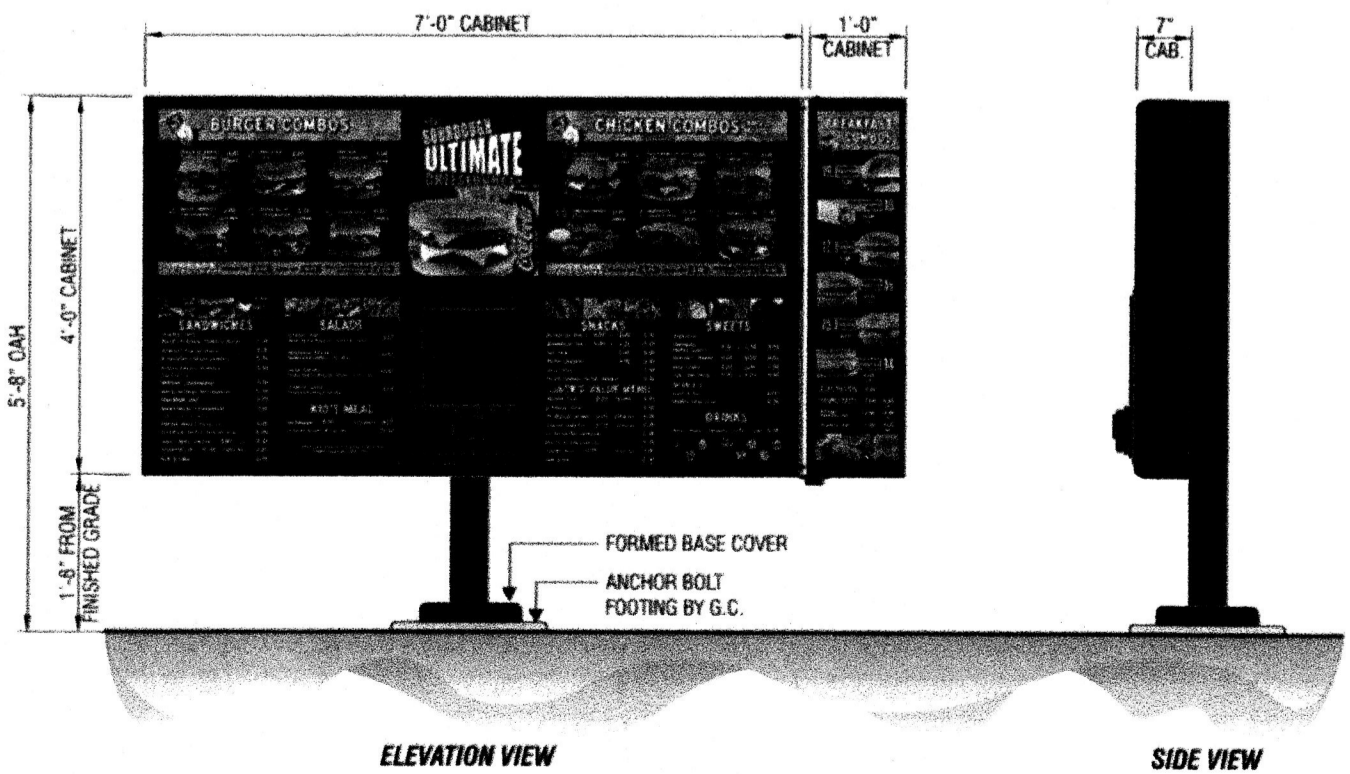
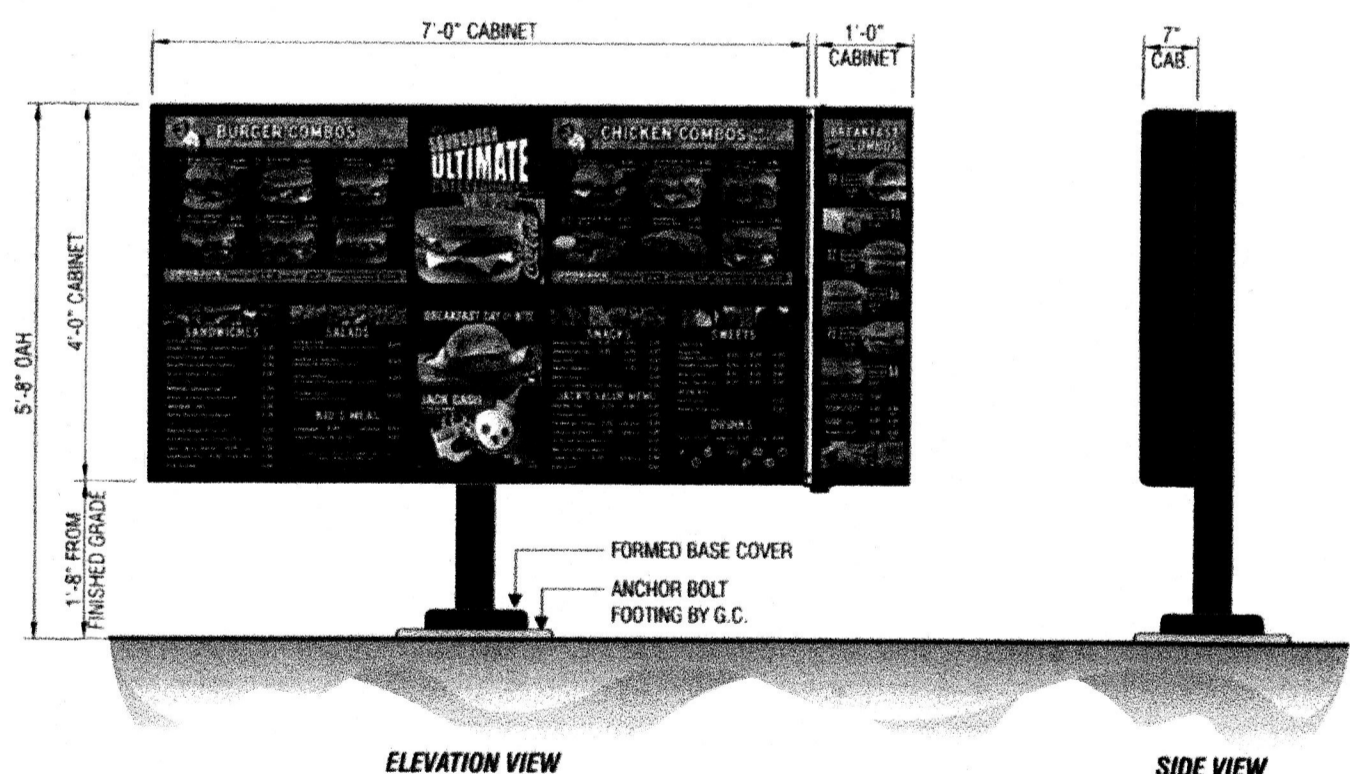
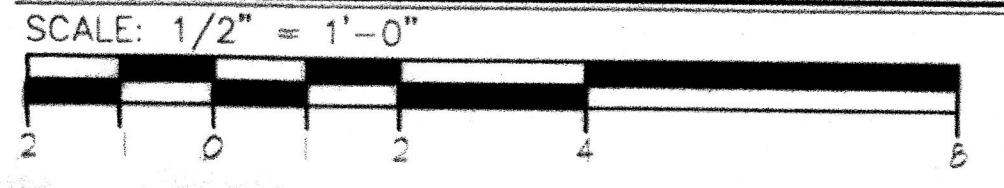
ELEVATION VIEW

SIDE VIEW

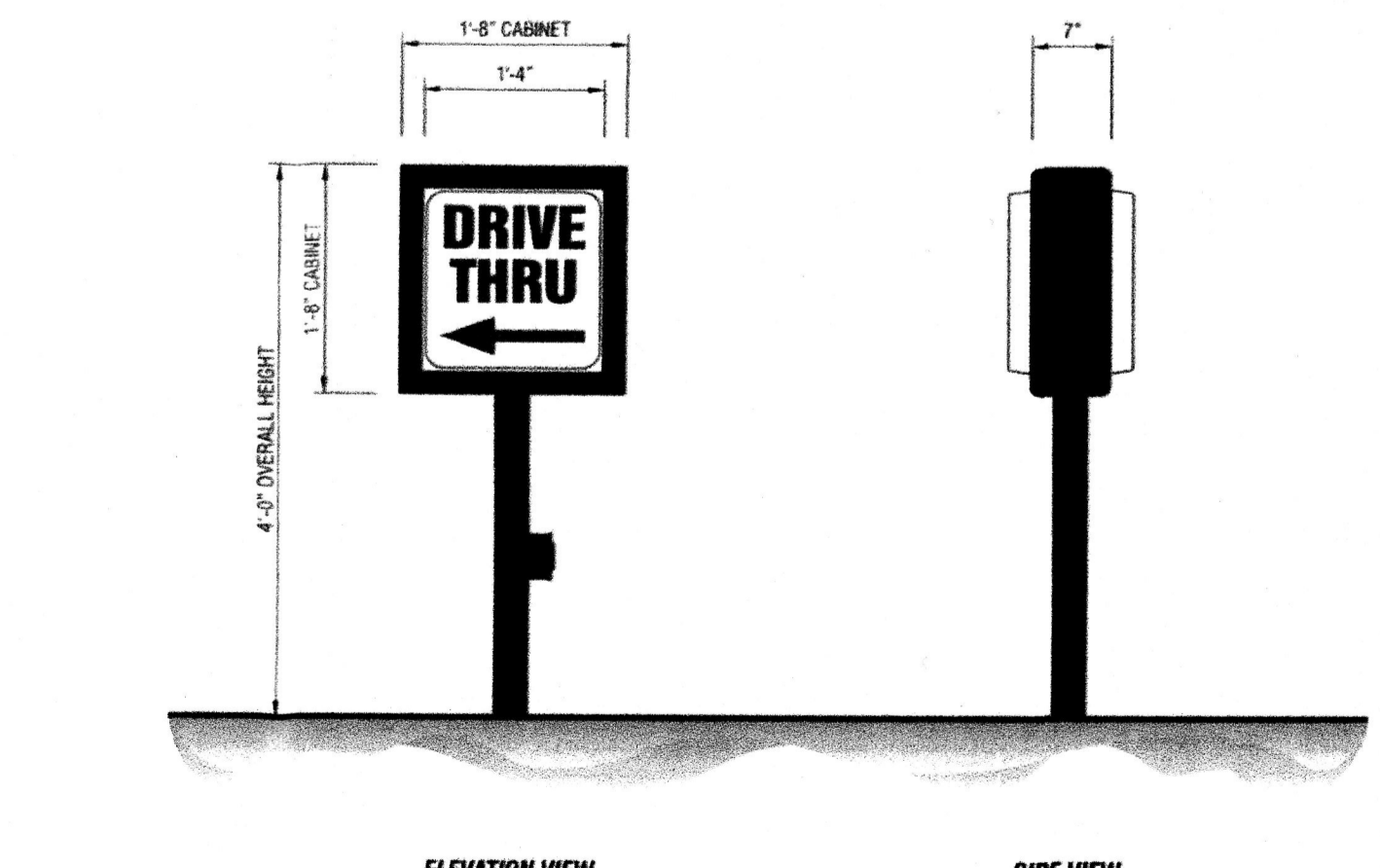
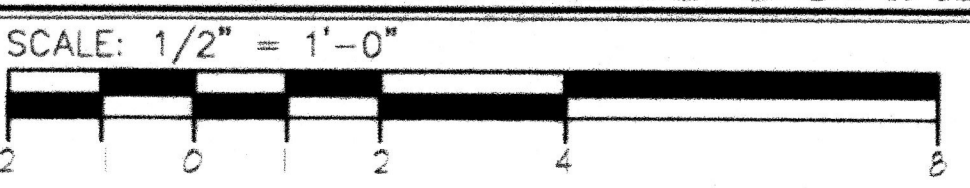
**INTERNALLY ILLUMINATED BUILDING SIGN**  
SCALE: 3/4" = 1'-0"



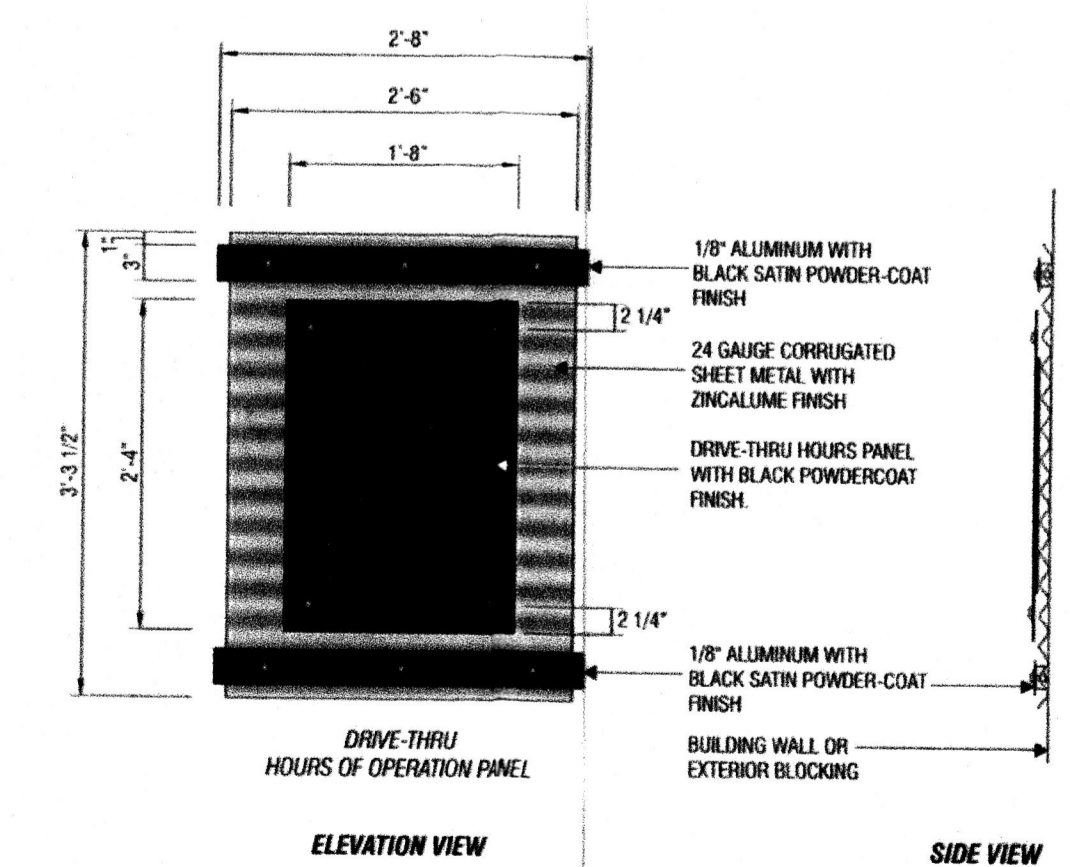
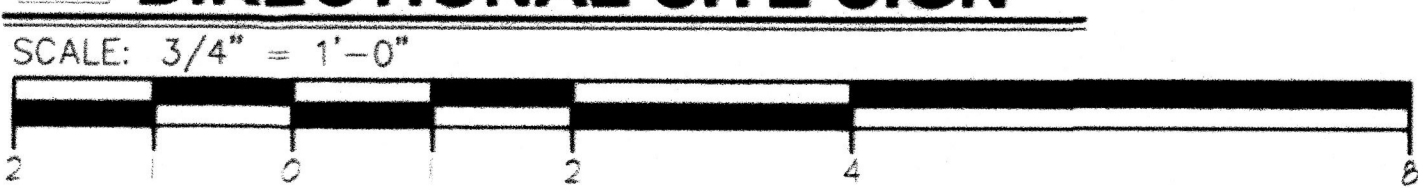
**HEIGHT DETECTOR**



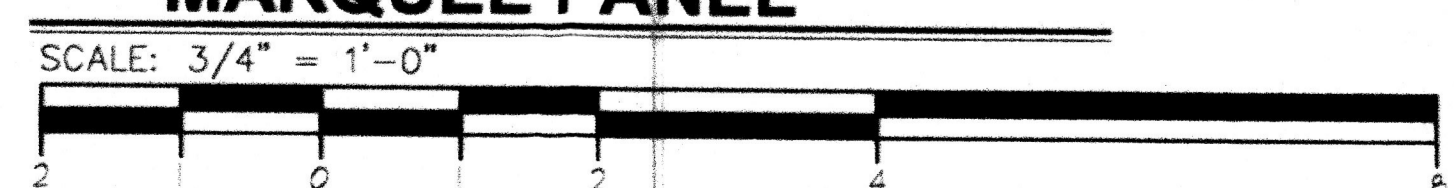
**INTERNALLY ILLUMINATED PREVIEW/MENU BOARD**



**INTERNALLY ILLUMINATED DIRECTIONAL SITE SIGN**



**NON-ILLUMINATED MARQUEE PANEL**



RELEASE:	FEBRUARY 24, 2011
REVISONS	
△ CLOUDED AREAS INDICATE MAY 2011 MODIFICATIONS REQUIRED TO ADDRESS EPC CONDITIONS OF APPROVAL	

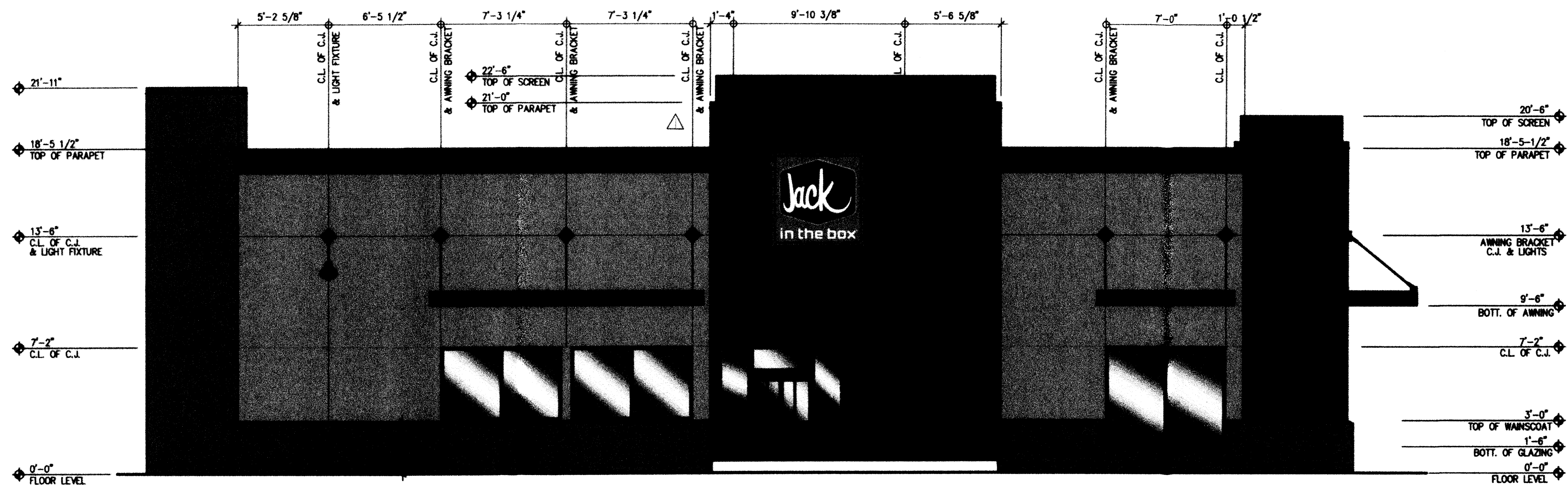
FAST FOOD RESTAURANT DEVELOPMENT  
AYALON & 98TH ST.  
ALBUQUERQUE, NEW MEXICO

ARCHITECTS  
LARRY J. LUCIA & ASSOCIATES  
2444 N. Country Club Blvd. # 105  
35201 505-465-0271-5056

DRAWN BY: LJCA  
SCALE: AS NOTED

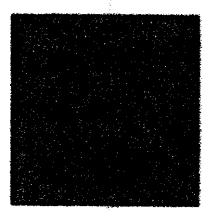
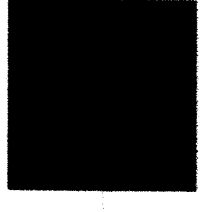
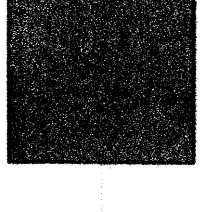
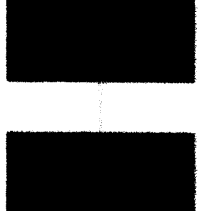
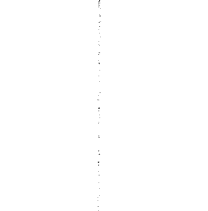
**SIGN DETAILS**

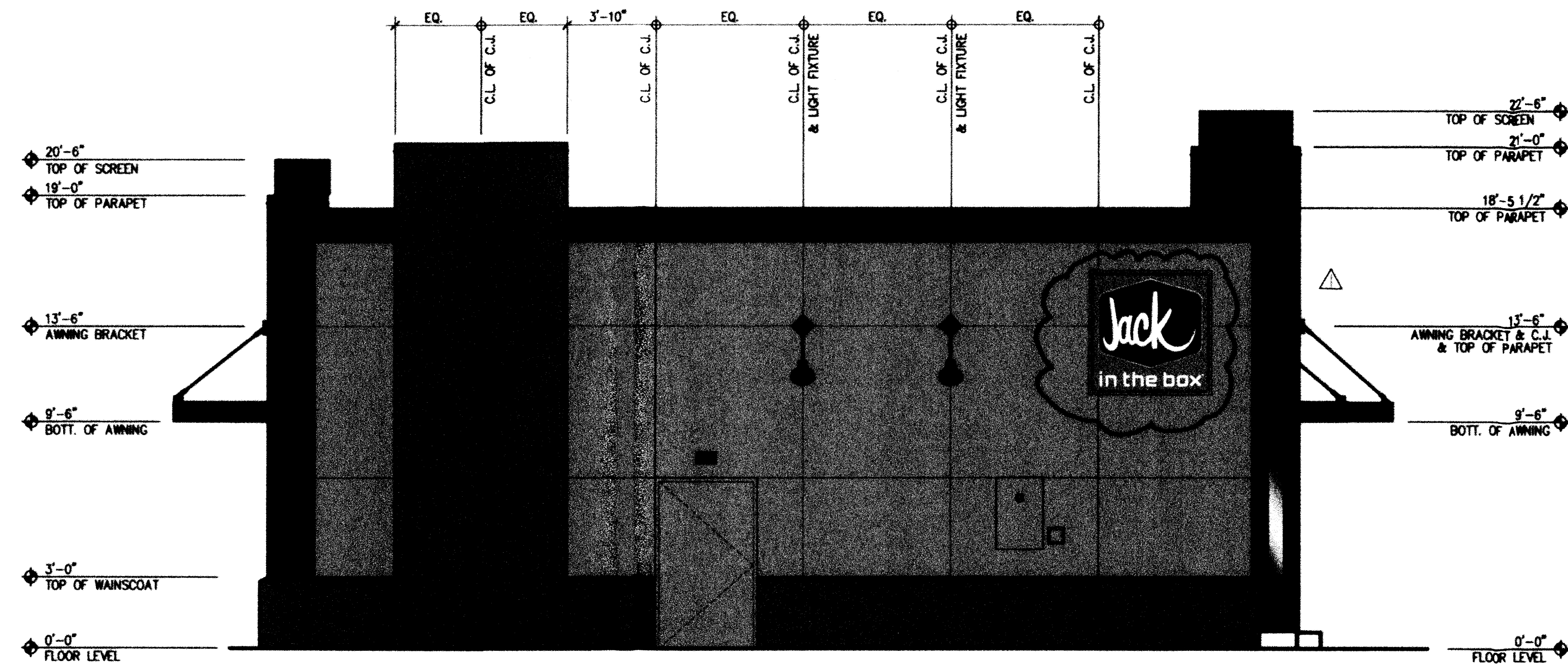
**S1.1**



**SOUTH ELEVATION**

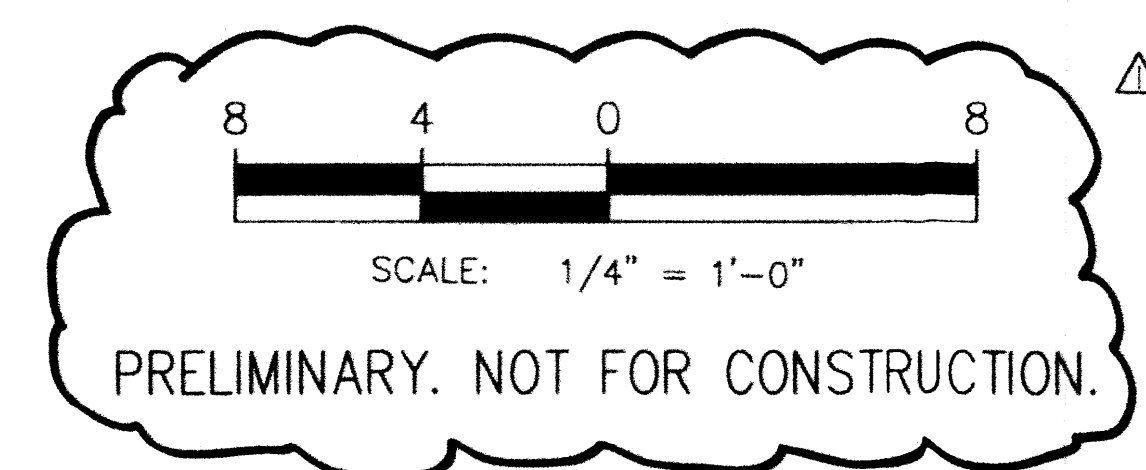
SCALE: 1/4" = 1'-0"

- 
 STUCCO  
 SHERWIN WILLIAMS  
 SW 7039 "VIRTUAL TAUPE" (BROWN)
- 
 STUCCO  
 SHERWIN WILLIAMS  
 SW 7037 "BALANCED BEIGE" (BROWN)
- 
 STUCCO  
 SHERWIN WILLIAMS  
 SW 6328 "FIREWEED" (RED)
- 
 METAL  
 SHERWIN WILLIAMS  
 SW 6990 "CAVIAR" (DARK GREY)
- 
 STUCCO  
 SHERWIN WILLIAMS  
 SW 7074 "SOFTWARE" (GREY)
- 
 STOREFRONT #33 BLACK ANODIZED
- 
 METAL SCREEN  
 DARK GREY GALVANIZED FINISH



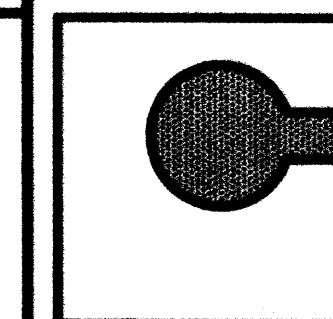
**WEST ELEVATION**

SCALE: 1/4" = 1'-0"



PRELIMINARY. NOT FOR CONSTRUCTION.

△ CLOUDED AREAS  
 INDICATE MAY  
 2011 MODIFICATIONS  
 REQUIRED TO ADDRESS  
 EPC CONDITIONS  
 OF APPROVAL



**FAST FOOD RESTAURANT  
 DEVELOPMENT  
 AVALON & 98TH STREET  
 ALBUQUERQUE, NM**

**LARRY J. CLICK & ASSOCIATES  
 ARCHITECTS  
 3444 N. Country Club, Suite # 103  
 Tucson, Arizona 85716  
 (520) 527-6670/527-8816**

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### GRADING AND DRAINAGE NARRATIVE

#### I. INTRODUCTION

THE PURPOSE OF THIS SUBMITTAL IS TO PRESENT A GRADING AND DRAINAGE PLAN FOR A PROPOSED JACK-IN-THE-BOX DEVELOPMENT IN SW ALBUQUERQUE. THE SITE IS LOCATED AT THE SOUTHWEST CORNER OF THE 98TH AVENUE AND AVALON ROAD. THE PROJECT WILL INCLUDE A JACK-IN-THE-BOX RESTAURANT AND RETAIL BUILDING WITH PEDESTRIAN ACCESS, PARKING, AND LANDSCAPING ON APPROXIMATELY 0.99 ACRES.

#### II. SITE LOCATION

THE SITE IS LOCATED WITHIN ZONE ATLAS MAP K-9-Z. THE PROJECT IS BOUNDED ALONG THE EAST BY 98TH AVENUE, ALONG THE WEST BY A DEVELOPED HOTEL SITE, ALONG THE NORTH BY A RETAIL BUILDING AND ALONG THE SOUTH BY UNDEVELOPED PROPERTY.

#### III. EXISTING HYDROLOGIC CONDITIONS

THE SITE ENCOMPASSES APPROXIMATELY 0.99 ACRES AND IS UNDEVELOPED. SLOPES FOR THE SITE RANGE BETWEEN 3 TO 4% TO THE SOUTHEAST AND THERE IS LIMITED VEGETATION COVER. CURRENTLY, THE SITE DRAINS VIA SURFACE FLOW TOWARD A SWALE ON THE WEST SIDE OF 98TH AVENUE. THE RUNOFF, 1.63 CFS, FLOWS SOUTH ALONG 98TH AVENUE, ENTERING THE EXISTING INLET AT THE NORTHWEST CORNER OF VOLCANO ROAD AND 98TH AVENUE.

#### IV. OFFSITE DRAINAGE

THERE IS LIMITED OFFSITE FLOW ENTERING THE SITE. THE HOTEL SITE TO THE WEST CONTAINS ITS FLOWS ON SITE, DRAINING NORTH TO AVALON AVENUE. FLOW FROM THE PROPERTY TO THE NORTH IS INTERCEPTED BY A CONCRETE SWALE AT THE PROPERTY LINE, DRAINING TO 98TH STREET. THE JACK-IN-THE-BOX SITE IS HIGHER THAN THE 98TH AVENUE RIGHT-OF-WAY AND THE UNDEVELOPED PROPERTY TO THE SOUTH.

#### V. PROPOSED HYDROLOGIC CONDITIONS

THE PROPOSED SITE RUNOFF, 4.14 CFS, DRAINS WITH A PORTION OF THE SITE ENTERING INLETS IN THE PARKING AREA AND AN INLET IN THE DRIVE-THRU. THE REMAINING PORTION DISCHARGING OFFSITE VIA PROPOSED CURB & GUTTER. THE ON-SITE STORM DRAIN SYSTEM WILL DISCHARGE TO THE EXISTING STORM DRAIN IN 98TH AVENUE. THE SURFACE RUNOFF DISCHARGING OFFSITE WILL FLOW EXISTING HYDROLOGIC CONDITIONS AND BE CONVEYED BY THE EXISTING SWALE ON THE WEST SIDE OF 98TH AVENUE AND ENTER THE EXISTING INLET AT THE NORTHWEST CORNER OF VOLCANO ROAD AND 98TH AVENUE.

#### VI. CONCLUSION

THE GRADING AND DRAINAGE PLAN FOR THE JACK-IN-THE-BOX SITE IS CONSISTENT WITH THE APPROVED DRAINAGE MANAGEMENT PLAN. THE PLAN IS CAPABLE OF SAFELY PASSING THE 100 YEAR STORM AND MEETS CITY REQUIREMENTS. ALL ANALYSIS WAS COMPLETED IN ACCORDANCE WITH SECTION 22.2 OF THE DEVELOPMENT PROCESS MANUAL.

DRAINAGE BASIN CALCULATIONS FOR JIB @ 98th AND AVALON								
BASIN I.D.	AREA (AC)	% LAND TREATMENT				DISCHARGE (CFS)		
		A	B	C	D	10 YR*	100YR*	
HYDROLOGICAL VOLUMETRIC & DISCHARGE DATA (EXISTING CALCULATED)								
EXISTING BASIN	0.99	50.0%	50.0%	0.0%	0.0%	0.50	1.63	
<b>TOTAL</b>	<b>0.99</b>					<b>0.50</b>	<b>1.63</b>	
DEVELOPED								
DEVELOPED BASIN	0.99	0.0%	5.0%	90.0%		2.68	4.14	
<b>TOTAL</b>	<b>0.99</b>					<b>2.68</b>	<b>4.14</b>	

\*NOTE: Peak Discharge calculated from Chapter 22 Section 2 of the COA DPM.

### GENERAL NOTES

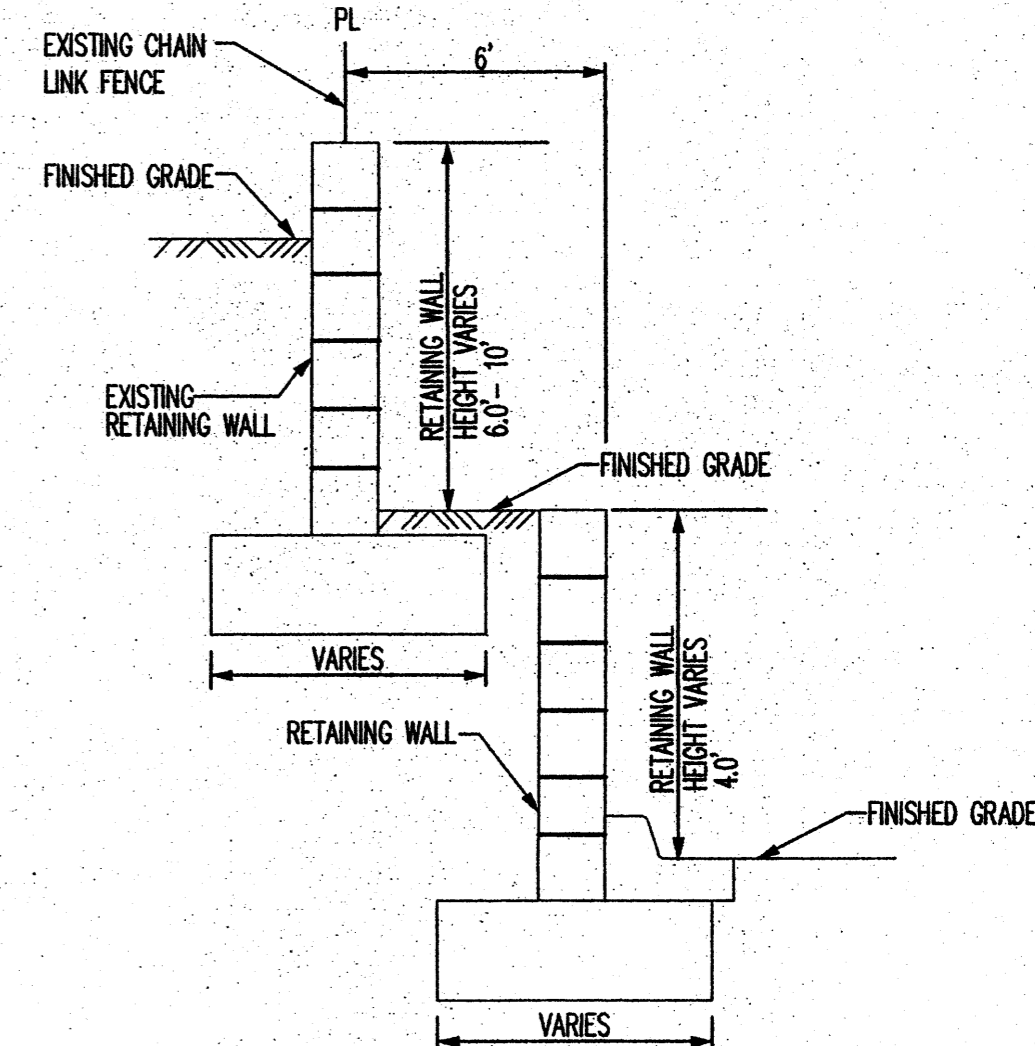
- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE. CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS ALSO RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E. BARRICADE, TOPSOIL, DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADE AT THE END AND BEGINNING OF EACH DAY.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR SWPPP COMPLIANCE AND IMPLEMENTATION.
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.

### GRADING NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS.
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BEAMS OR SET FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND Haul TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.
- ALL ELEVATIONS ARE TAKEN AT THE TOP OF ASPHALT UNLESS OTHERWISE NOTED.
- ALL CURB IS 6" MEDIAN CURB UNLESS OTHERWISE NOTED. ALL ELEVATIONS SHOWN ALONG MEDIAN CURB ARE AT FLOWLINE UNLESS OTHERWISE INDICATED.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.1" FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05" FROM BUILDING PLAN ELEVATION.

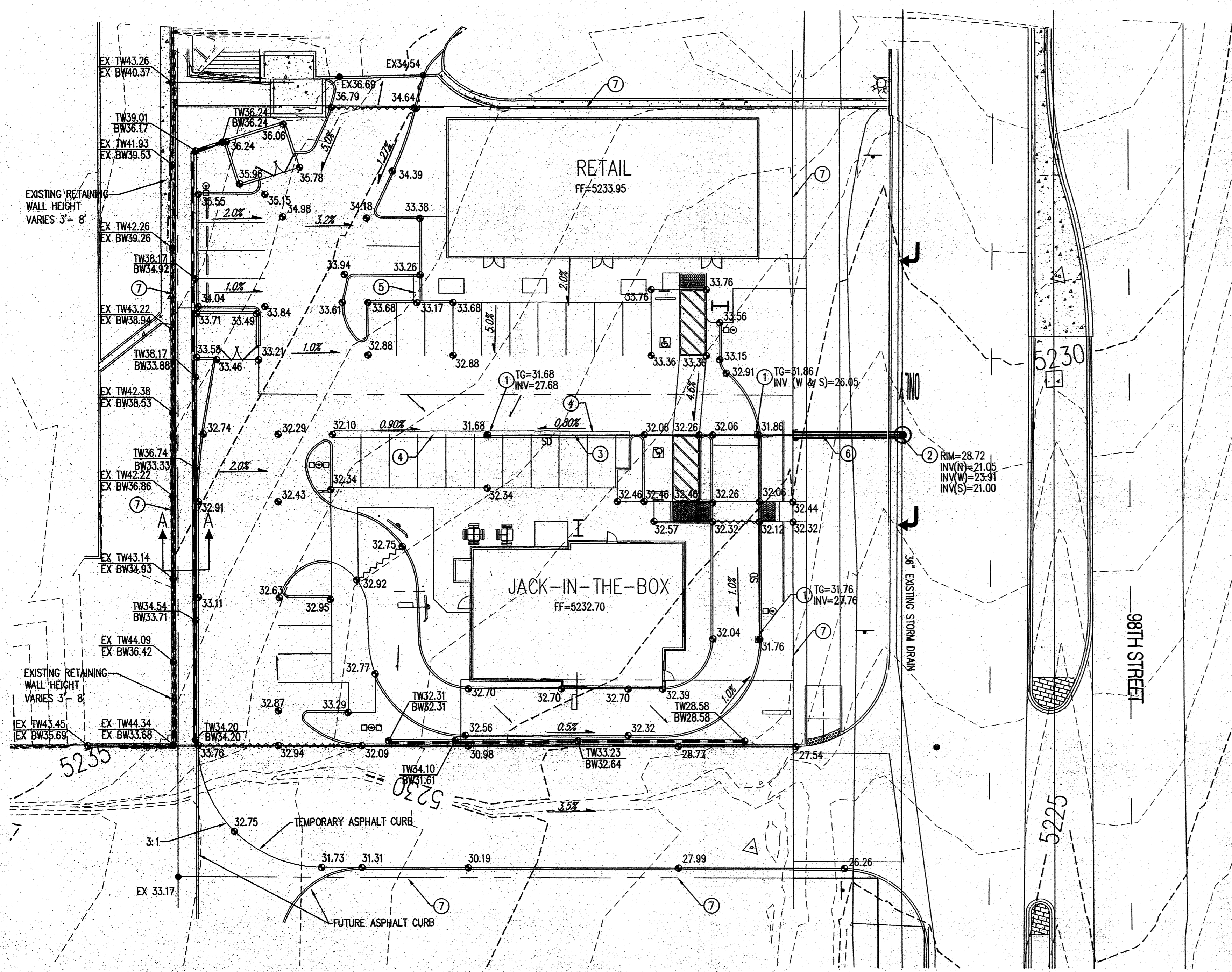
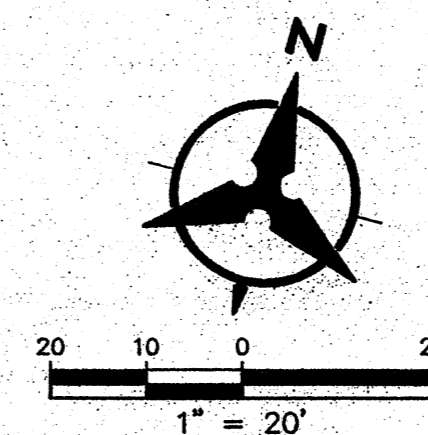
### KEYED NOTES

- INSTALL 24" NYLOPLAST CURB INLET STRUCTURE WITH 2'x2' STEEL BAR RECTANGULAR GRATE H-20 RATED (OR APPROVED EQUAL)
- CONNECT TO EXISTING STORM DRAIN WITH NEW 4" MANHOLE, TYPE C OR E
- INSTALL 12" HDPE (N-12WT OR APPROVED EQUAL) STORM DRAIN
- INSTALL 2" WIDE CONCRETE VALLEY GUTTER PER COA STD. DWG 2420.
- INSTALL 2" WIDE SIDEWALK CULVERT PER COA STD. DWG 2236.
- INSTALL 18" RCP STORM DRAIN.
- PROPERTY LINE



### LEGEND

- PROPERTY LINE
- - - - - 5.301' EXISTING CONTOURS
- X EX 5301.15 EXISTING GROUND SPOT ELEVATION
- 96.25 ALL SPOT ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE STATED.
- S=2.0% PROPOSED DIRECTION OF FLOW
- ~~~~~ WATER BLOCK
- - - - - PROPOSED CURB
- EASEMENT
- PROPOSED STORM DRAIN INLET
- ▬▬▬▬▬ PROPOSED RETAINING WALL



**LARRY J. CLICK & ASSOCIATES**  
ARCHITECTS  
1000 N. ALBUQUERQUE BLVD., SUITE # 105  
ALBUQUERQUE, NM 87102  
(505) 327-8670 / 327-8616

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**RELEASE:** MAY 18, 2011

**P.M. UPDATES:** \_\_\_\_\_

**PERMIT:** \_\_\_\_\_

**BID:** \_\_\_\_\_

**CONSTRUCTION:** \_\_\_\_\_

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**REVISIONS**

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**JACK IN THE BOX #1268 F**  
98TH / AVALON  
ALBUQUERQUE, NEW MEXICO

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**Bohman & Houston**  
Consulting Engineers, Architects, Planners & Environmental Scientists

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**ARCHITECT'S SEAL**

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**SITE INFORMATION**

MK TYPE: 9A\_LG2

JIB #: 1268 F

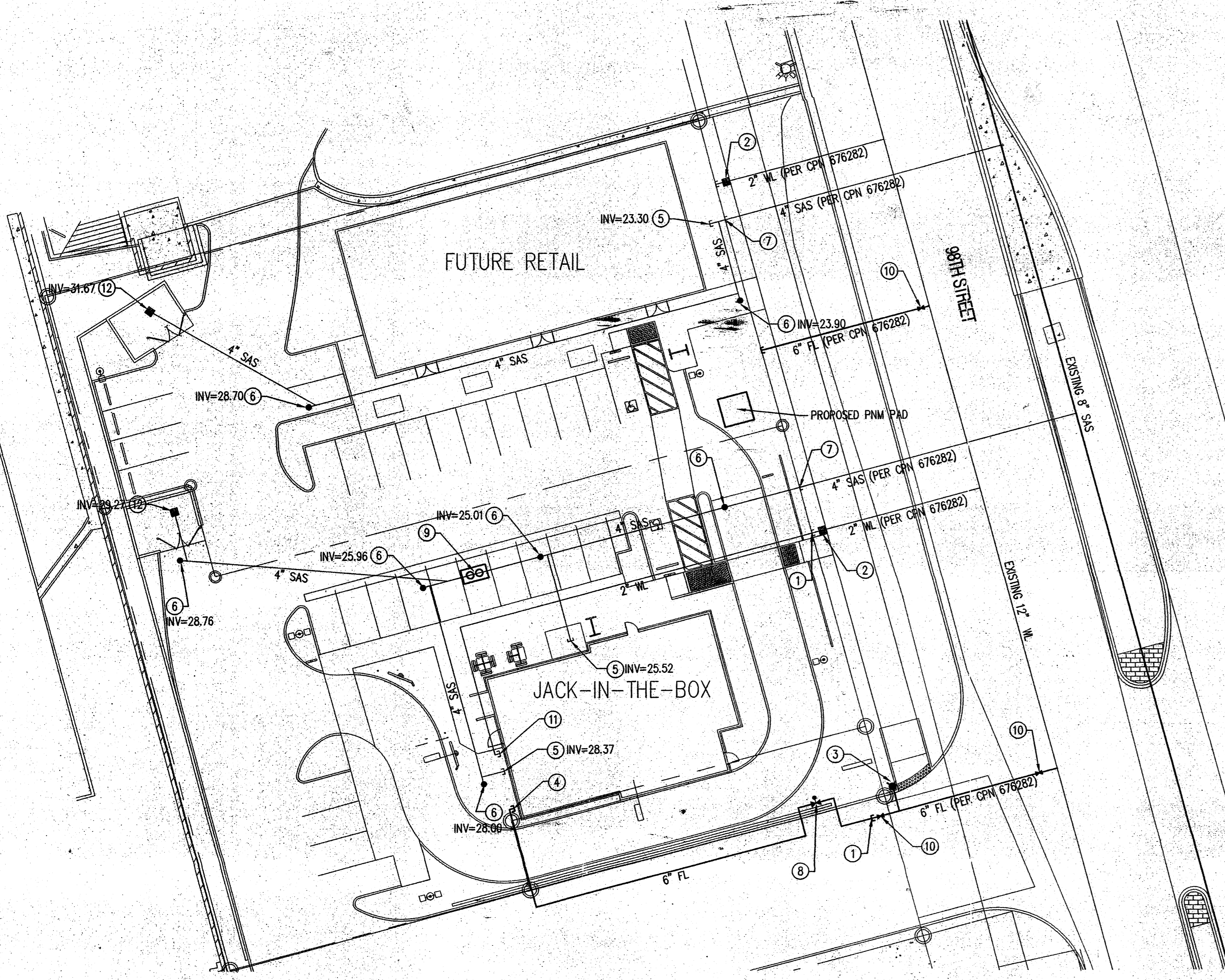
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DRAWN BY: LJCA

SCALE: \_\_\_\_\_

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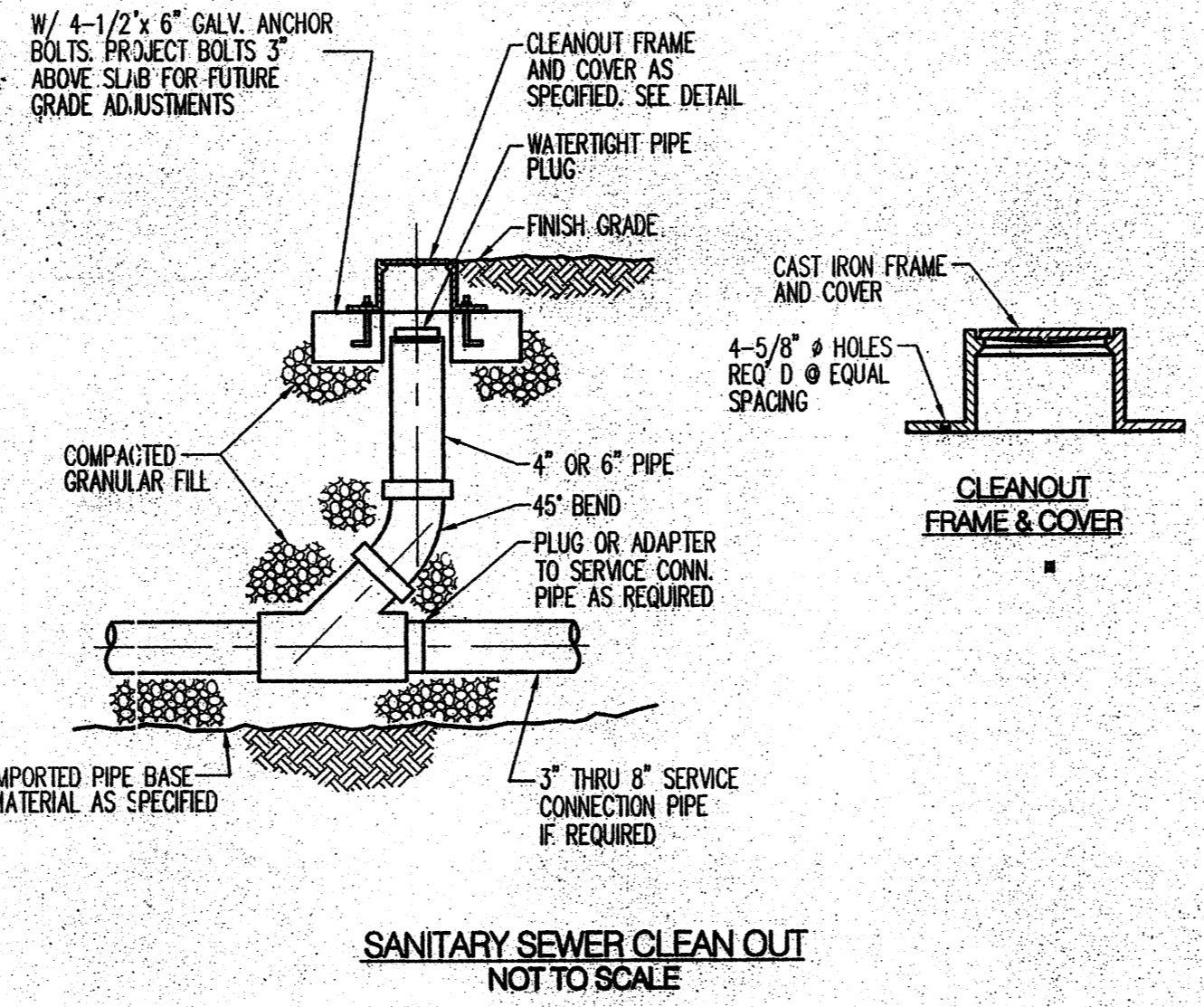
**GRADING PLAN C1.1**



- UTILITY KEYED NOTES:**
- CONNECT WATER/FIRE SERVICE TO EXISTING WATER STUBOUTS PER CPN 676282.
  - 2" DOMESTIC WATER METER AND BOX PER CPN 676282.
  - PROPOSED PUBLIC FIRE HYDRANT PER CPN 676282.
  - STUB 6" FIRE LINE TO WITHIN 5' OF BUILDING. SEE FIRE PROTECTION PLANS FOR CONTINUATION.
  - STUB 4" SANITARY SEWER TO WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
  - INSTALL SANITARY SEWER CLEAN OUT, SEE DETAIL THIS SHEET.
  - CONNECT SEWER SERVICE TO EXISTING STUB OUT PER CPN 676282.
  - INSTALL POST INDICATOR VALVE PER DETAIL THIS SHEET.
  - GREASE TRAP - BY OTHERS
  - 6" GATE VALVE PER CPN 676282
  - STUB 2" WATER SERVICE TO WITHIN 5' OF BUILDING. SEE PLUMBING PLAN FOR CONTINUATION.
  - INSTALL 12"x12" TRAFFIC RATED INLET TO SAS PER DETAIL THIS SHEET.

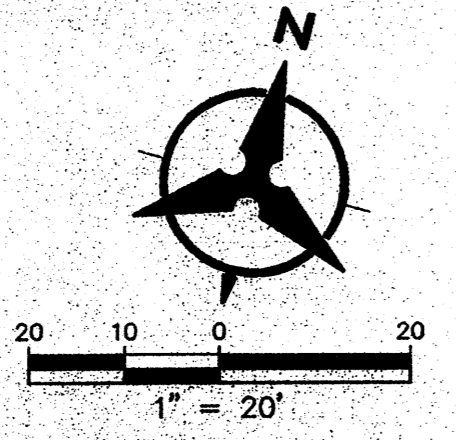
- GENERAL NOTES**
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
  - ALL CURVE DATA AND DIMENSIONS ARE CALCULATED FROM CENTERLINE OF PIPE OR MANHOLE. ALL SAS SLOPES ARE CALCULATED TO TRUE PIPE.
  - GRADE ELEVATIONS, WHERE NOTED, ARE FOR FLOWLINE OF CURB UNLESS OTHERWISE SPECIFIED.
  - CONTRACTOR IS TO INSTALL A 4" X 4" X 5' POST AND END AT THE END OF EACH SANITARY SEWER SERVICE.
  - CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ALL UTILITY CONDUITS AND EXISTING LINES.
  - CONTRACTOR SHALL PROVIDE THE INSPECTORS WITH THE PROPOSED TESTING PLAN. THE PLAN MUST BE APPROVED BEFORE TESTING OPERATIONS BEGIN.
  - CONTRACTOR SHALL PARK EQUIPMENT AND VEHICLES AS NOT TO INTERFERE WITH NORMAL ACTIVITIES OF RESIDENTS OR OTHER CONTRACTORS ON SITE.
  - ANY DAMAGE TO THE EXISTING FACILITIES (CURB & GUTTER, PAVEMENT, CONDUITS, LANDSCAPING, UTILITY LINES, ETC.) DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTORS' EXPENSE.
  - MH RIMS & CATCH BASIN INLET ELEVATIONS, VALVE BOXES, ARV, FIRE HYDRANT & FLANGE ELEVATIONS ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY AND ADJUST TO FINAL PAVEMENT GRADES.
  - ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
  - NO TREES MAY BE LOCATED WITHIN 10' OF A SEWER OR WATER LINE.
  - CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR ANY WORK PERFORMED WITHIN THE CITY OF ALBUQUERQUE RIGHT OF WAY OR WATER AUTHORITY EASEMENTS.

- UTILITY NOTES**
- THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
  - MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES, 48" FOR SEWER AND 18" FOR SERVICE LINES.
  - ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED OF HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE UPMO UNIFORM PLUMBING CODE, LATEST EDITION.
  - UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
  - ROUGH GRADING OF SITE (±0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
  - CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
  - ALL WATERLINE FITTINGS, VALVES, BENDS, TEES & CROSSES SHALL BE RESTRAINED USING MECHANICAL RESTRAINED JOINTS UNLESS OTHERWISE NOTED ON PLANS.
  - FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
  - CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.



**MATERIALS:**  
 SAS LINE: SDR-35 PVC  
 WATER LINE: C900-PVC

NOTE: CONTRACTOR SHALL VERIFY DEPTH AND LOCATIONS OF ALL EXISTING UTILITIES AND CONTACT ENGINEER IMMEDIATELY WITH ANY DISCREPANCIES.



**JAY R. SMITH MFG. CO.**  
 DIVISION OF SMITH INDUSTRIES, INC.  
 POST OFFICE BOX 327  
 MONTGOMERY, ALABAMA 36102-0237 (USA)  
 TEL: 334-277-9620 TELEX: 782306 FAX: 334-272-7386

**LOCATION**

## TRAFFIC FLOOR DRAINS

### SQUARE TOP WITH SOLID GASKETED HINGED COVER AND FREE STANDING SEDIMENT BUCKET

**FUNCTION:** Used in boiler rooms, industrial plants, and other applicable areas where waste water contains debris or salvageable materials which must be intercepted. Large hinged gasketed locking solid cover prevents hazardous or salvageable materials from entering the waste system yet allows wash-down when required by opening and lifting the cover. Sediment bucket prevents debris from entering the waste system during wash-down periods.

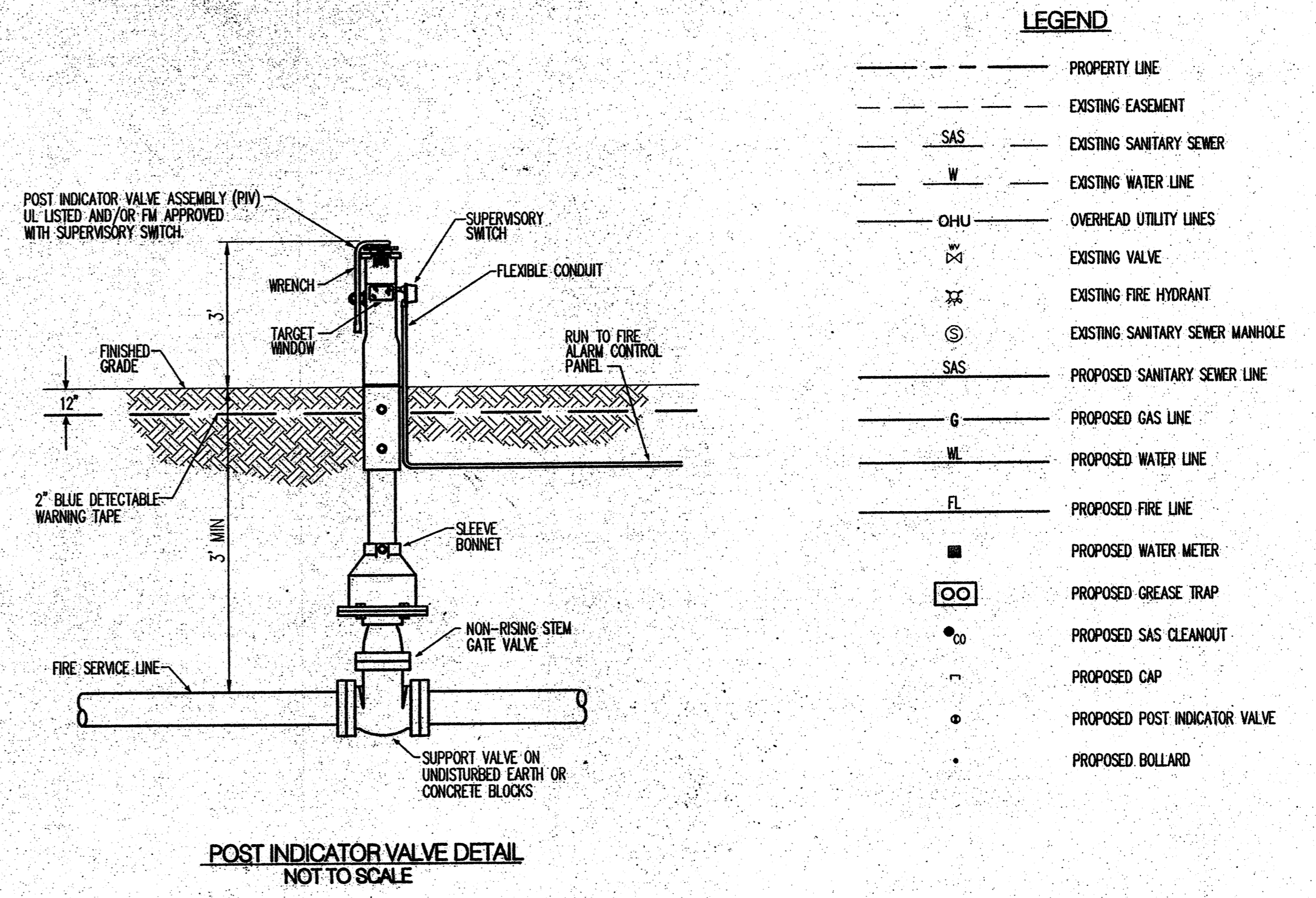
**REGULARLY FURNISHED:**  
 Duo Cast Iron Body with Hinged Gasketed Solid Scoriated Cover with screwdriver Lifting Notch, Locking Device and Sediment Bucket with Lift Handle.

**VARIATIONS:**  
 Flashing Clamp -C (Fig. 2415 only)  
 Less Locking Device -LLD  
 Cylinder Type Locking Device -CL  
 Vandal Proof Grate -U Locking Device and Lift Handle -SGC-LK-LH

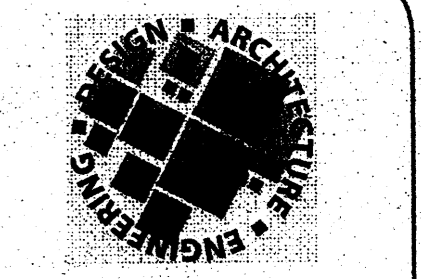
**OPTIONAL MATERIALS:**  
 Ductile Iron Solid Scoriated Hinged Gasketed Cover -M  
 Galvanized Cast Iron -G  
 Polished Bronze Top -PB

**FIGURE NUMBER**  
**2410-SGC**  
**2415-SGC**

REV.	DATE	DESCRIPTION	BY	CHK. BY
A	08-04-2008	Added Screwdriver Notch and SGC-LK-LH	AM	CR



- LEGEND**
- PROPERTY LINE
  - EXISTING EASEMENT
  - SAS --- EXISTING SANITARY SEWER
  - W --- EXISTING WATER LINE
  - OHU --- OVERHEAD UTILITY LINES
  - EX --- EXISTING VALVE
  - FH --- EXISTING FIRE HYDRANT
  - SM --- EXISTING SANITARY SEWER MANHOLE
  - SAS --- PROPOSED SANITARY SEWER LINE
  - G --- PROPOSED GAS LINE
  - W --- PROPOSED WATER LINE
  - FL --- PROPOSED FIRE LINE
  - M --- PROPOSED WATER METER
  - [ ] --- PROPOSED GREASE TRAP
  - [ ] --- PROPOSED SAS CLEANOUT
  - [ ] --- PROPOSED CAP
  - [ ] --- PROPOSED POST INDICATOR VALVE
  - [ ] --- PROPOSED BOLLARD



9330 BALBOA AVENUE  
 SAN DIEGO, CA 92123  
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**DATES**

RELEASE: MAY 18, 2011

P.M. UPDATES: \_\_\_\_\_

PERMIT: \_\_\_\_\_

BID: \_\_\_\_\_

CONSTRUCTION: \_\_\_\_\_

**REVISIONS**

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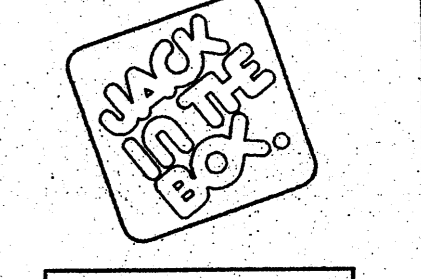
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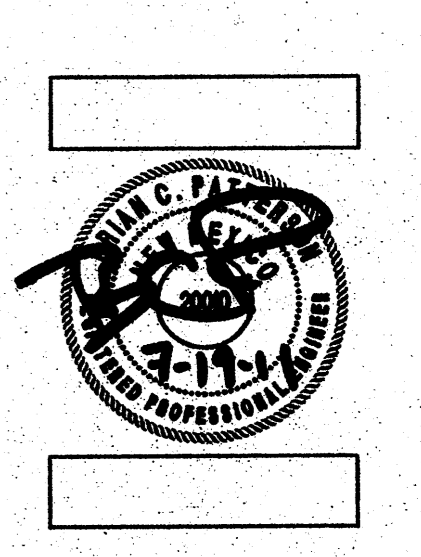
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JACK IN THE BOX #1268 F  
 98TH / AVALON  
 ALBUQUERQUE, NEW MEXICO



**Botanman**  
 CONSULTING ENGINEERS & ARCHITECTS  
 2444 N. Country Club, Suite # 105  
 Tucson, Arizona 85716  
 (520) 327-6970/327-8816

**LARRY J. CLARK & ASSOCIATES**  
 2444 N. Country Club, Suite # 105  
 Tucson, Arizona 85716  
 (520) 327-6970/327-8816



**SITE INFORMATION**

MK TYPE: 9A\_LG2

JIB #: 1268 F

ADDRESS: 98TH / AVALON  
 ALBUQUERQUE, NM

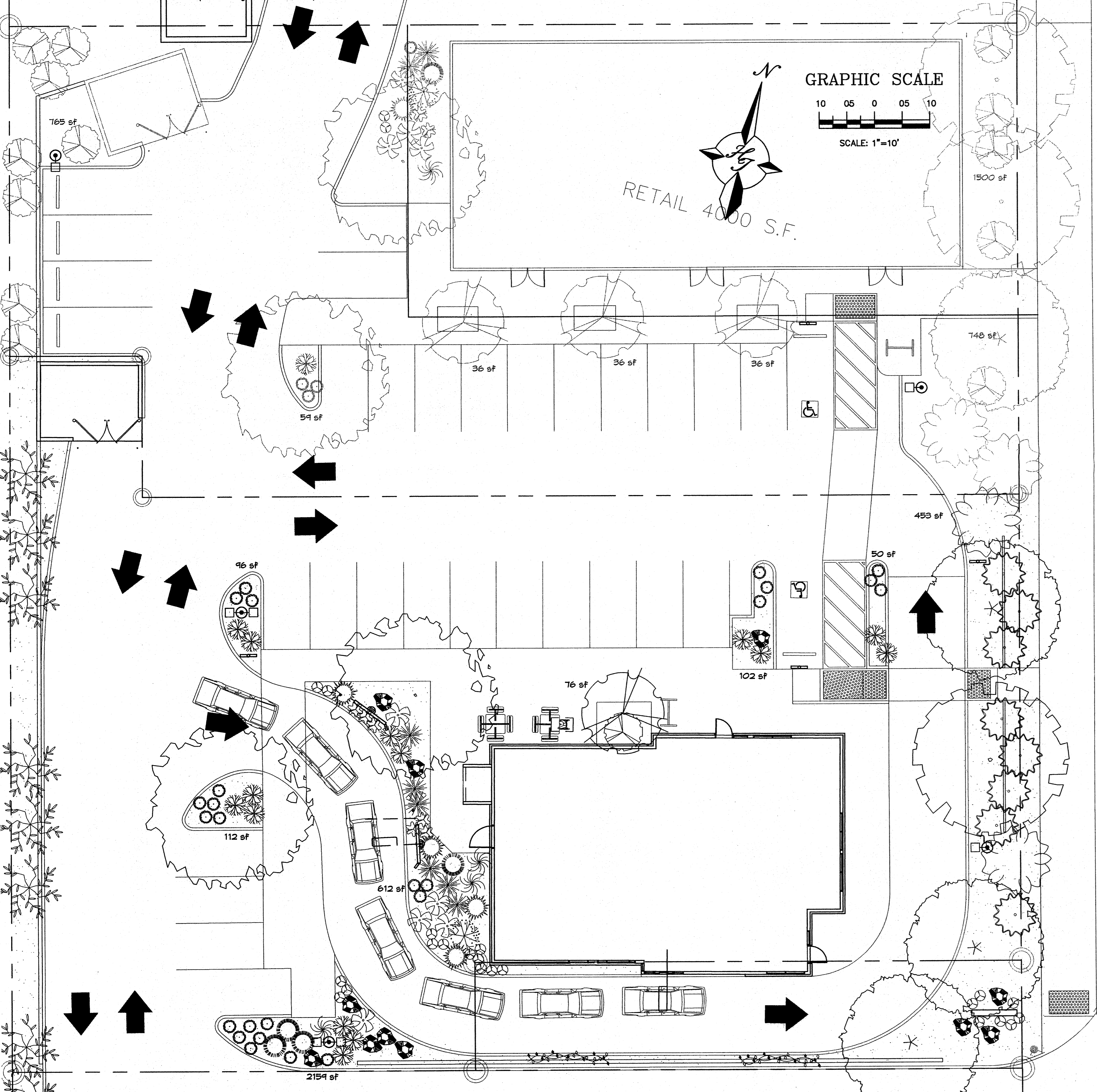
DRAWN BY: LJCA

SCALE: \_\_\_\_\_

**UTILITY PLAN**  
**C1.2**

**LANDSCAPE NOTES:**  
 -Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.  
 -It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.  
 -Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.  
 -Plant beds shall achieve 75% live ground cover at maturity.  
 -Santa Fe Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**  
 -Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.  
 -Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.  
 -Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.  
 -Location of controller to be field determined and power source for controller to be provided by others.  
 -Irrigation maintenance shall be the responsibility of the Property Owner.  
 -Water and Power source shall be the responsibility of the Developer/Builder.



**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA	35475	square feet
TOTAL BUILDINGS AREA	6692	square feet
NET LOT AREA	28783	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	4317	square feet
TOTAL BED PROVIDED	9396	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	7239	square feet
TOTAL GROUND COVER PROVIDED	8362 (84%)	square feet
TOTAL PONDING AREA	0	square feet
TOTAL SOD AREA (max. 20% of landscape required)	0	square feet
TOTAL NATIVE SEED AREA	0	square feet
TOTAL LANDSCAPE PROVIDED	9396 (32%)	square feet

**STREET TREE REQUIREMENTS**  
 Street trees required under the COA Street Tree Ordinance are as follows:  
 Name of Street: 98th  
 Required 7 Provided 7

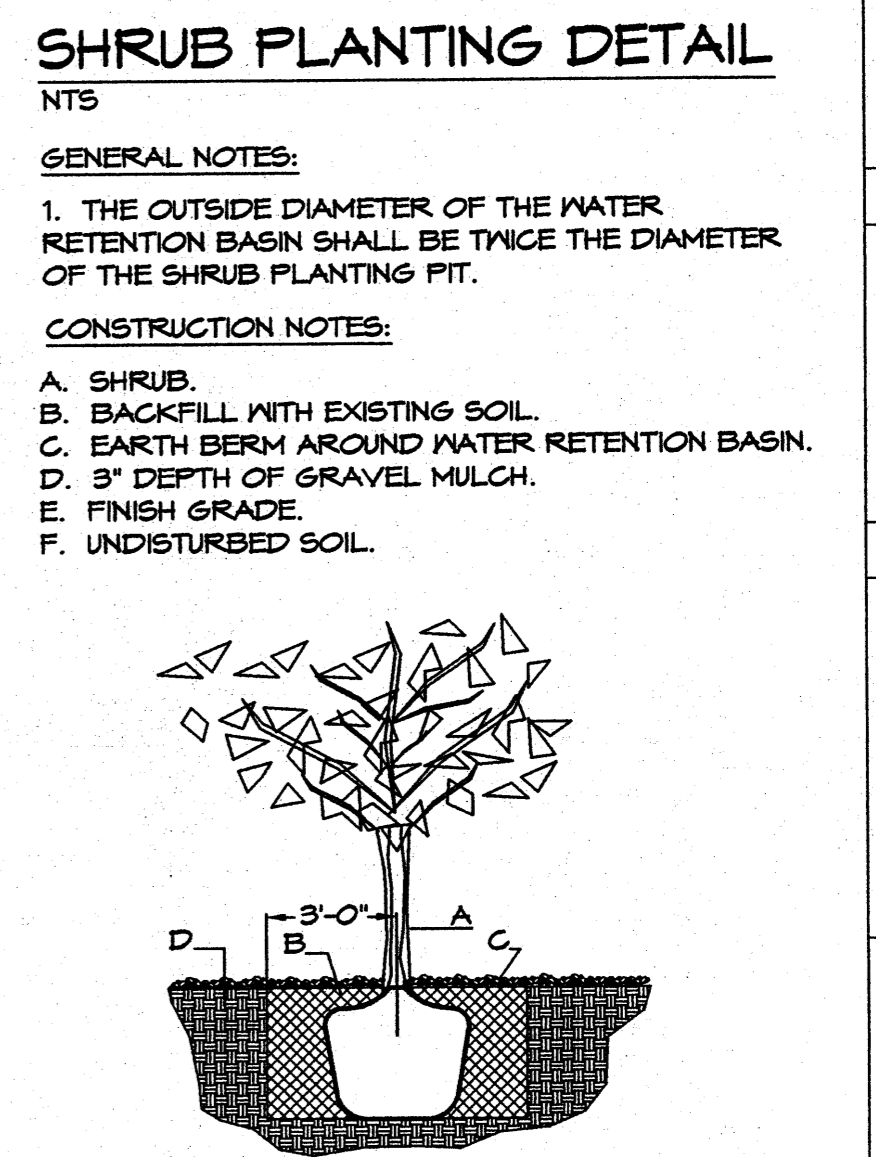
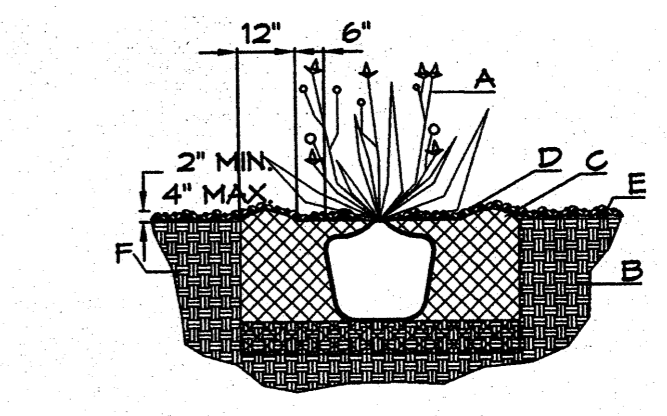
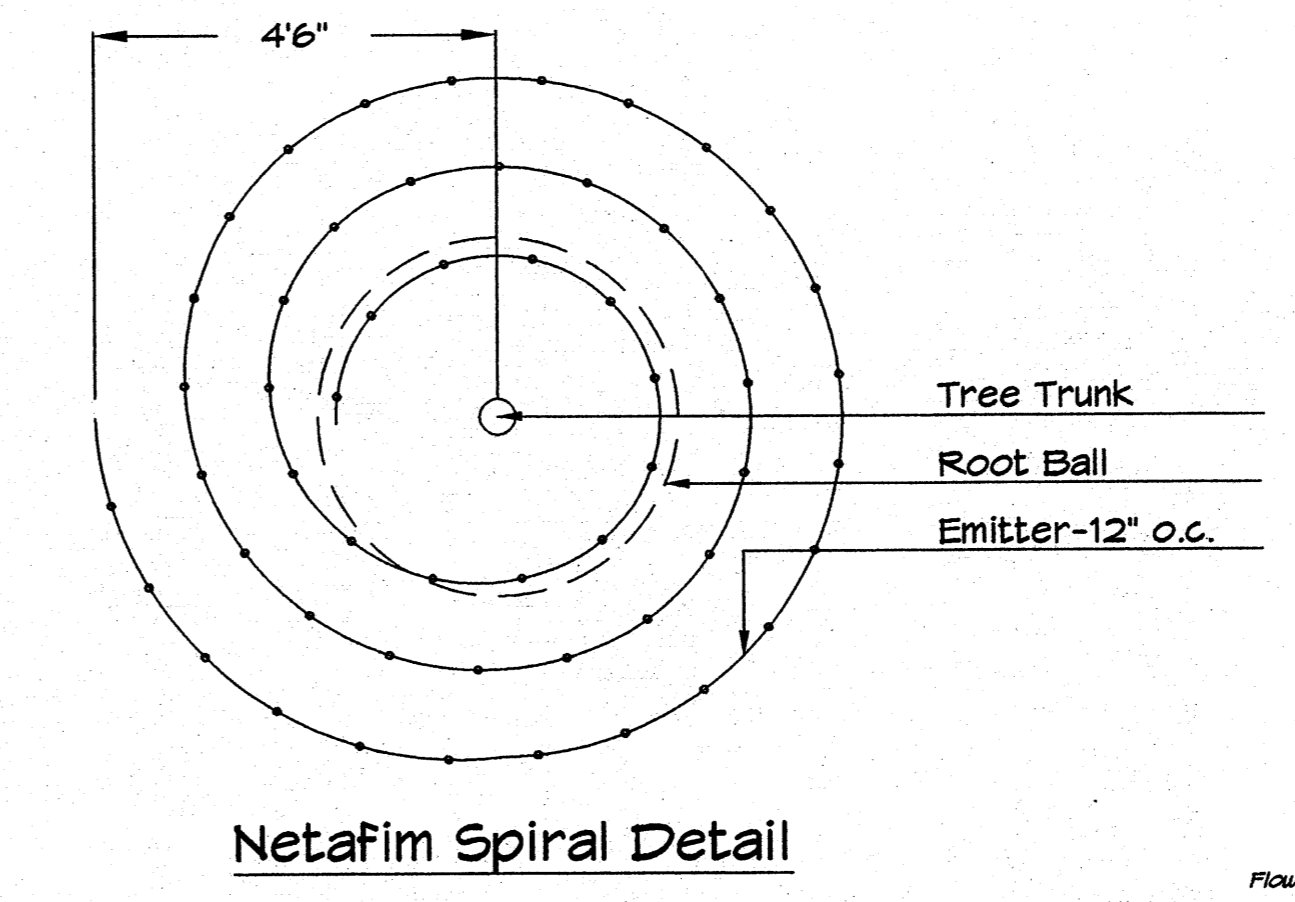
**PARKING LOT TREE REQUIREMENTS**  
 Shade trees required under the COA Parking Lot Tree Ordinance are as follows:  
 1 Shade tree per 10 spaces  
 Required 4 Provided 4

**NOTE TO CLIENT:**  
 Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

**PLANT LEGEND**

All plants shall be sized per American Standard for Nursery Stock  
 TREES: SHADE, ORNAMENTAL AND EVERGREEN

- |  |   |
|--|---|
| <ul style="list-style-type: none"> <li>COMMON HACKBERRY 2<br/>Celtis occidentalis<br/>2" Cal., 12-14" Inst./40' maturity<br/>Water (M) Allergy (L) 0sf</li> <li>CHITALPA 3<br/>Chilopsis x Catalpa<br/>2" Cal., 12-14" Inst./30' x 30' maturity<br/>Water (M) Allergy (L) 0sf</li> <li>PURPLE-LEAF PLUM 1<br/>Prunus cerasifera<br/>1 1/2" Cal., 10-12" Inst./20' x 20x maturity<br/>Water (M) Allergy (L) 0sf</li> <li>WESTERN RED CEDAR 2<br/>Thuja plicata 'Green Giant'<br/>15 Gal., 4-10" Inst./40' x 15' maturity<br/>Water (M) Allergy (L) 225sf</li> </ul> | <ul style="list-style-type: none"> <li>JAPANESE PAGODA TREE 1<br/>Sophora japonica<br/>2" Cal., 12-14" Inst./35' x 35' maturity<br/>Water (M) Allergy (L) 0sf</li> </ul>  |
| <ul style="list-style-type: none"> <li>LADY BANK'S ROSE (M) 2<br/>Rosa banksiae<br/>5 Gal., 400sf<br/>Unstaked Groundcover</li> <li>HONEYSUCKLE (M) 16<br/>Lonicera japonica<br/>1 Gal., 144sf<br/>Unstaked-Groundcover</li> </ul>   | <ul style="list-style-type: none"> <li>SHRUBS/ORNAMENTAL GRASSES</li> <li>* FARNY COTONEASTER 3<br/>Cotoneaster lacteus<br/>5 Gal., 144sf</li> <li>* RED TIP PHOTINIA 8<br/>Photinia fraseri<br/>5 Gal., 64sf</li> <li>MAIDENGRASS (M) 3<br/>Miscanthus sinensis<br/>5 Gal., 16sf</li> <li>SCOTCH BROOM (M) 4<br/>Cytisus scoparius<br/>5 Gal., 16sf</li> <li>REGAL MIST (M) 14<br/>Muhlenbergia capillaris<br/>5 Gal., 4sf</li> <li>CATMINT (M) 25<br/>Nepeta mussini<br/>1 Gal., 4sf, 1' H x 2' W</li> <li>THREADGRASS (M) 6<br/>Stipa tenuissima<br/>1 Gal., 4sf</li> <li>WILDFLOWER 21<br/>1 Gal., 4sf</li> </ul> |
| <ul style="list-style-type: none"> <li>SANTA FE BROWN GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH</li> <li>OVERSIZED GRAVEL &amp; BOULDERS</li> </ul>  | <ul style="list-style-type: none"> <li>DESERT ACCENTS</li> <li>PALM YUCCA (L) 0</li> <li>MUGO PINE (M) 4<br/>Pinus mugo<br/>5 Gal., 4sf</li> <li>OCOTILLO (L) 1<br/>Fouquieria splendens</li> <li>AGAVE (L) 5<br/>Agave spp.<br/>16 sf</li> <li>RED YUCCA (L) 6<br/>Hesperaloe parviflora<br/>5 Gal., 4sf</li> </ul>  |



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**DATES**

RELEASE: OCTOBER 18, 2010

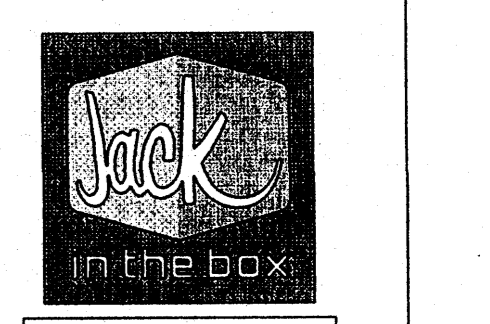
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PERMIT: \_\_\_\_\_

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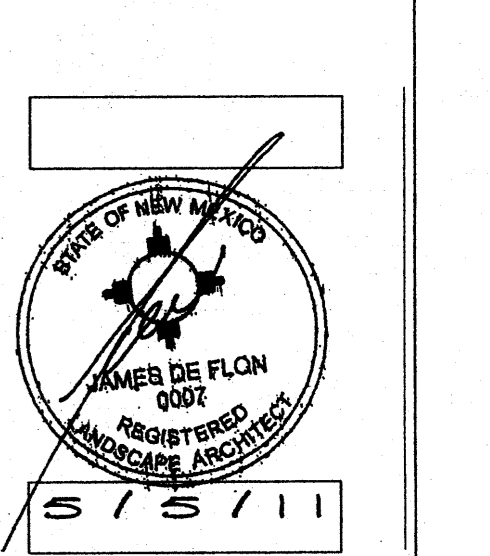
**REVISIONS**



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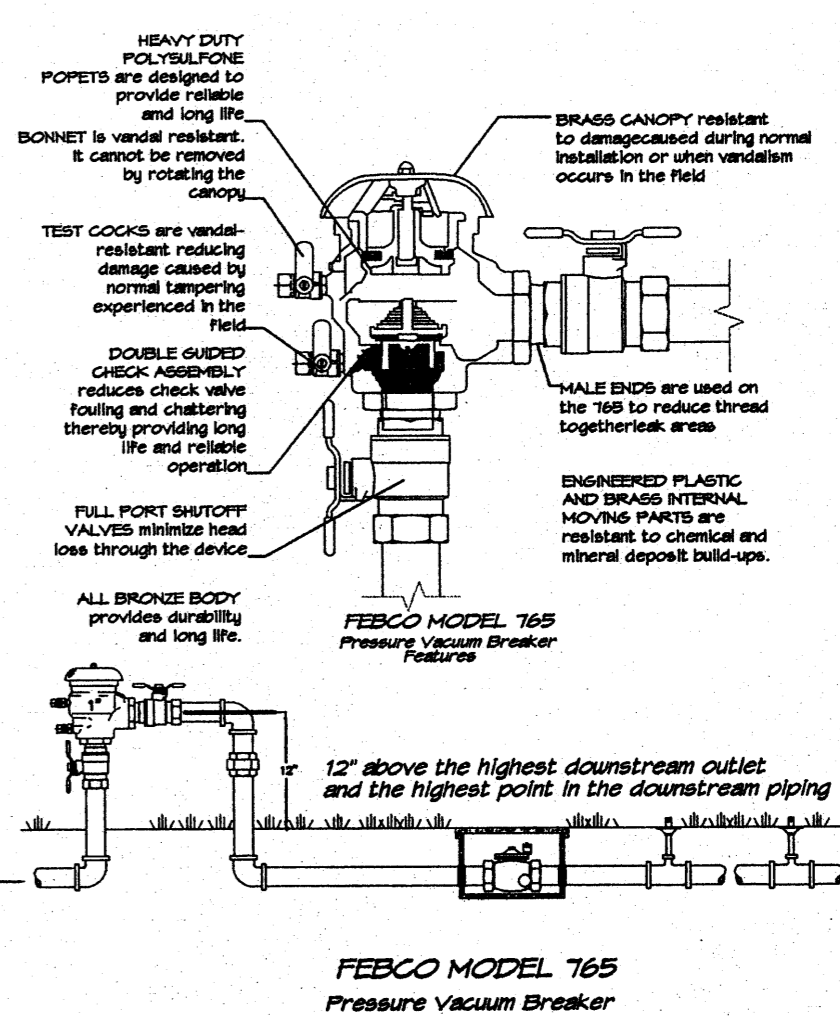
LARRY J. CLARK & ASSOCIATES  
 ARCHITECTS  
 3444 N. Country Club, Suite # 105  
 (505) 327-6970/327-8816



**SITE INFORMATION**

MK TYPE: 9A\_LG  
 JOB #: XXXX F  
 ADDRESS: \_\_\_\_\_

DRAWN BY: LJCA  
 SCALE: \_\_\_\_\_  
 LANDSCAPE PLAN  
 L1.0







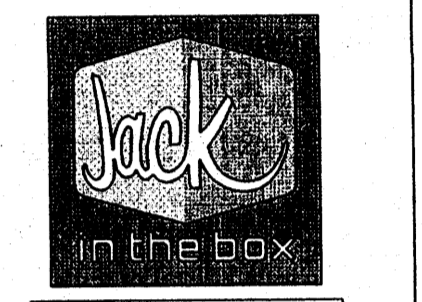
9330 BALBOA AVENUE  
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REVISIONS

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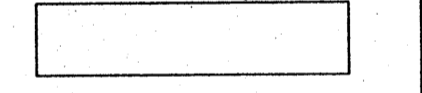
JACK IN THE BOX



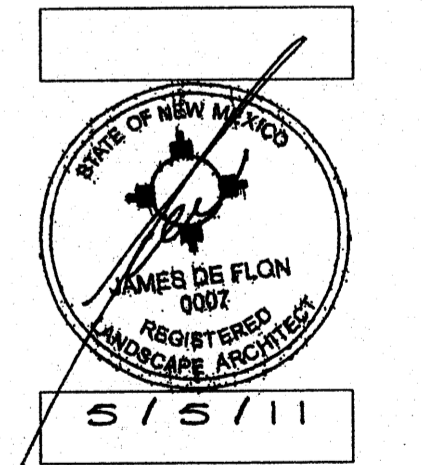
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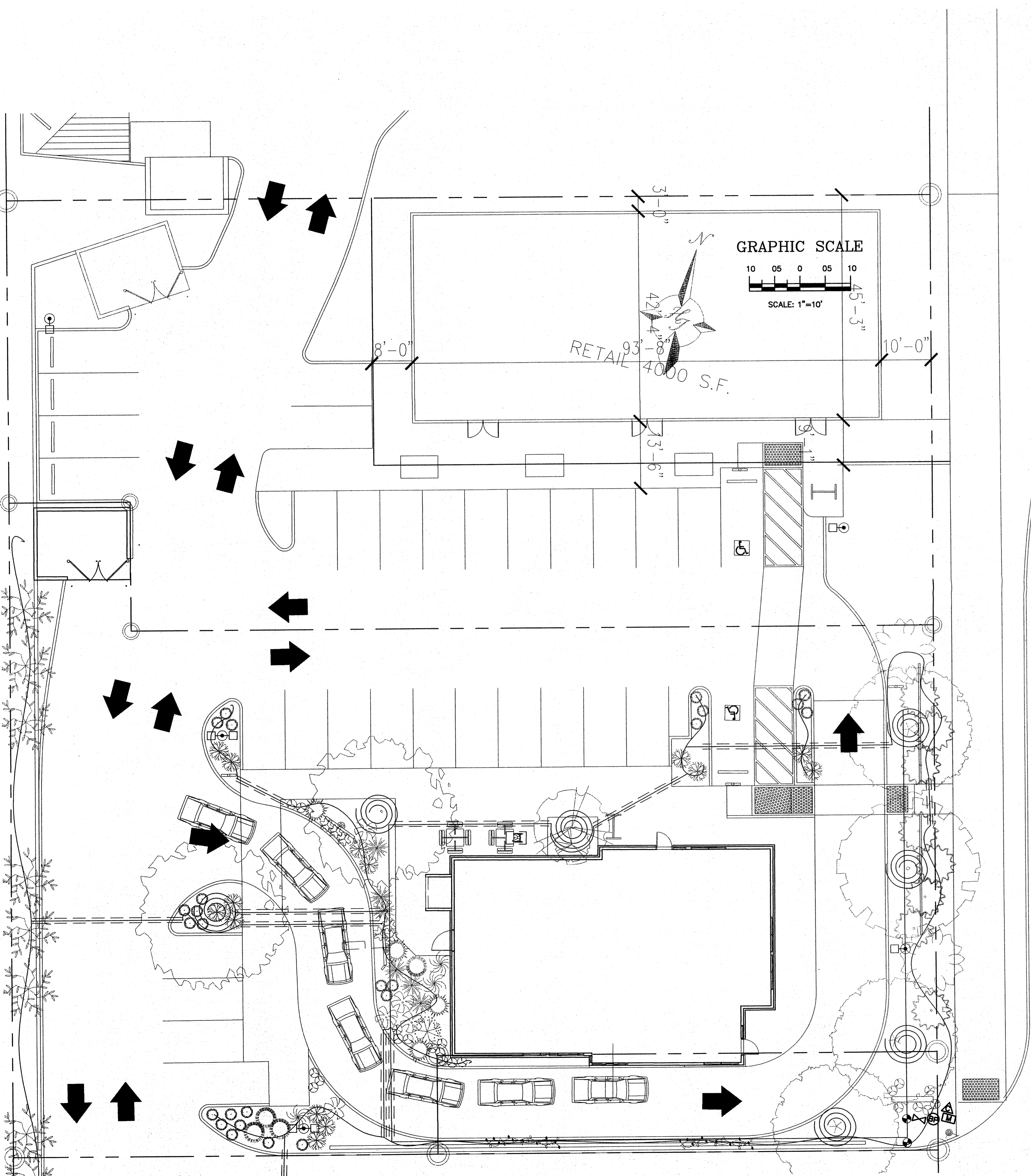
LARRY A. CLUCK & ASSOCIATES  
ARCHITECTS  
3444 N. Country Club, Suite # 105  
Scottsdale, Arizona 85267-8816  
(602) 327-8877



SITE INFORMATION  
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JIB #: **XXXX F**  
ADDRESS: \_\_\_\_\_

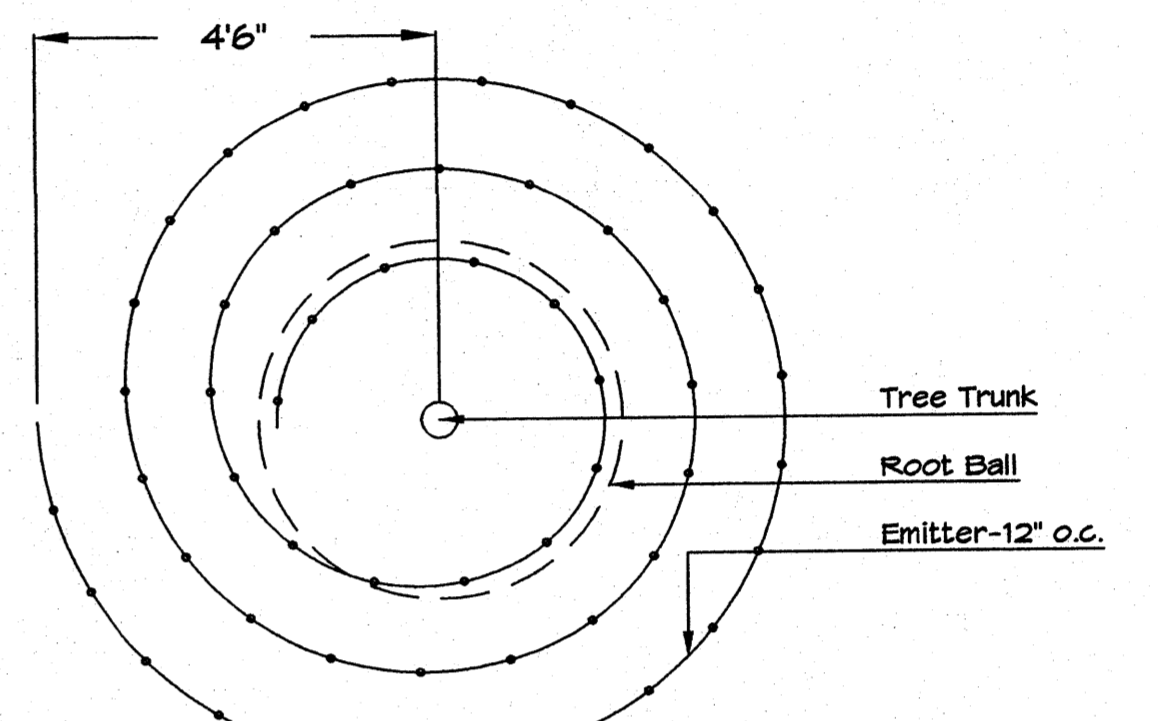
DRAWN BY: **LJCA**  
SCALE: \_\_\_\_\_

**LANDSCAPE DETAILS**  
**L1.1**



**IRRIGATION LEGEND**

- ⊙ BACKFLOW PREVENTOR
- △ CONTROLLER
- ⊞ WATER METER- 1" By Others
- ⊗ MASTER VALVE
- ⊕ PGA VALVE
- LATERAL, SIZE PER PLAN (UNSIZE PIPE TO BE 3/4")
- ~ DRIP LINE, SIZE PER PLAN (UNSIZE DRIP LINE TO BE 1/2")
- SLEEVE, 2X PIPE TO BE SLEEVED.
- ⊙ NETAFIM SPIRAL



**Netafim Spiral Detail**

**IRRIGATION NOTES:**

Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

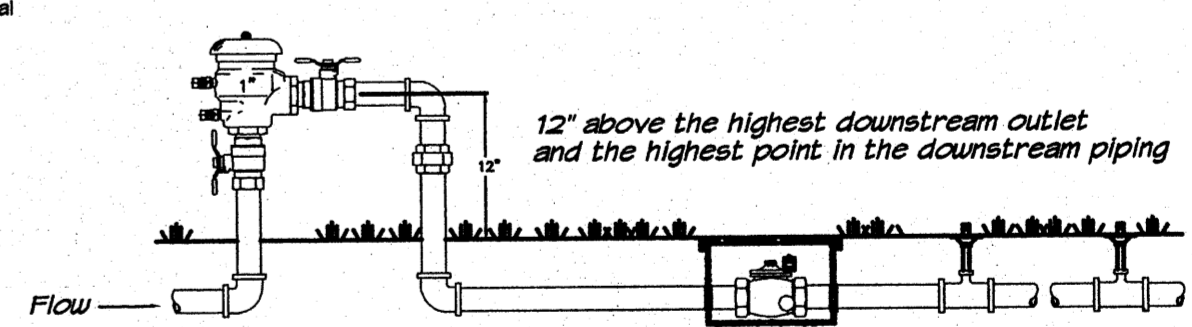
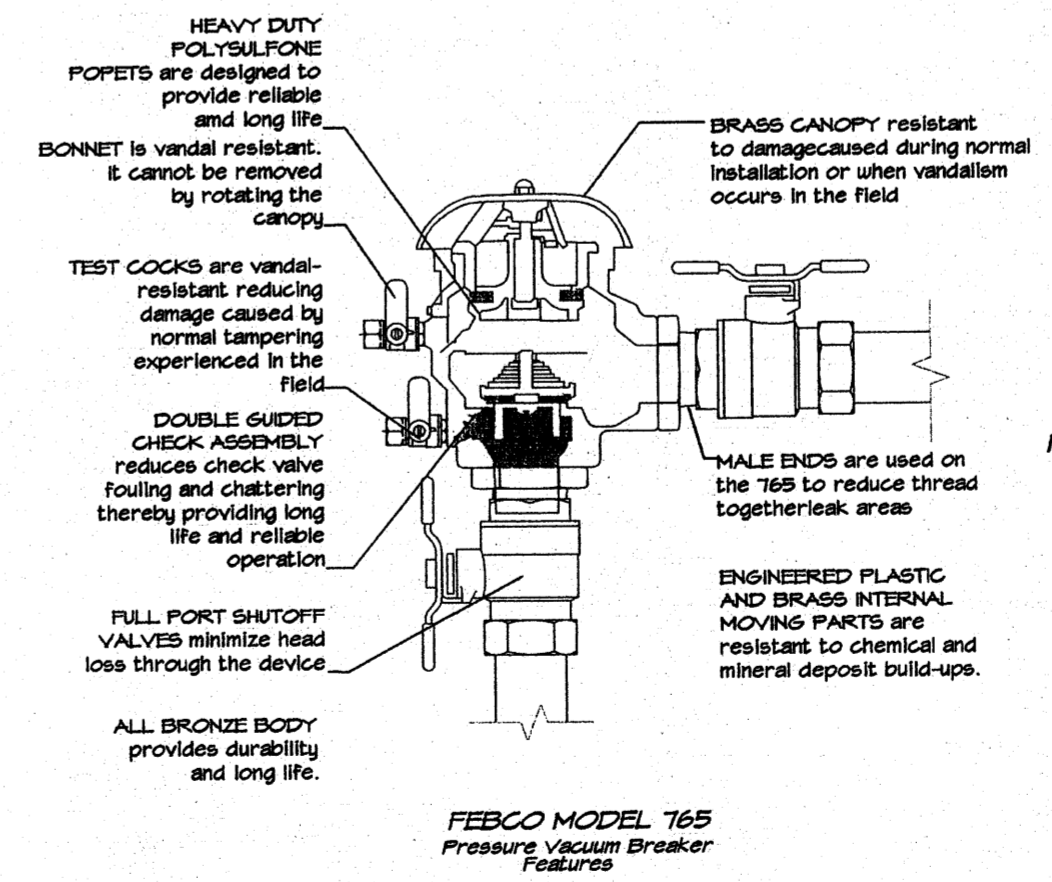
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.



**FEBCO MODEL 165**  
Pressure Vacuum Breaker  
Outside Installation