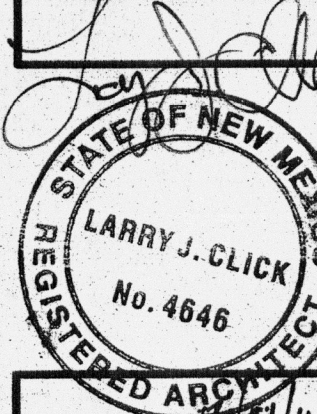


DATES  
 RELEASE: FEBRUARY 24, 2011

REVISIONS  
 ▲ CLOUDED AREAS  
 INDICATE MAY  
 2011 MODIFICATIONS  
 REQUIRED TO ADDRESS  
 EPC CONDITIONS  
 OF APPROVAL

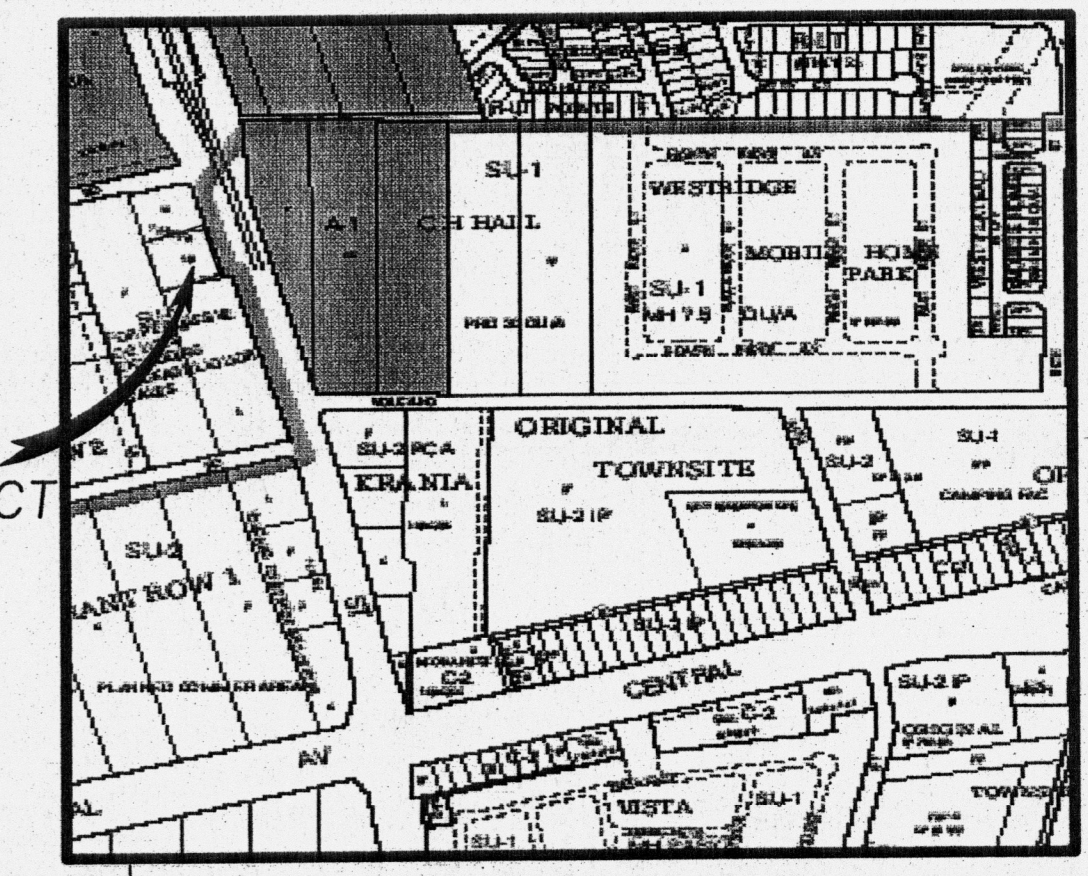
FAST FOOD RESTAURANT  
 DEVELOPMENT  
 AYALON & 98th ST.  
 ALBUQUERQUE, NEW MEXICO

LARRY J. CLICK & ASSOCIATES  
 5444 N. Canyon Blvd, Suite # 108  
 Tucson, Arizona 85716  
 (520) 527-6670 / 527-5616

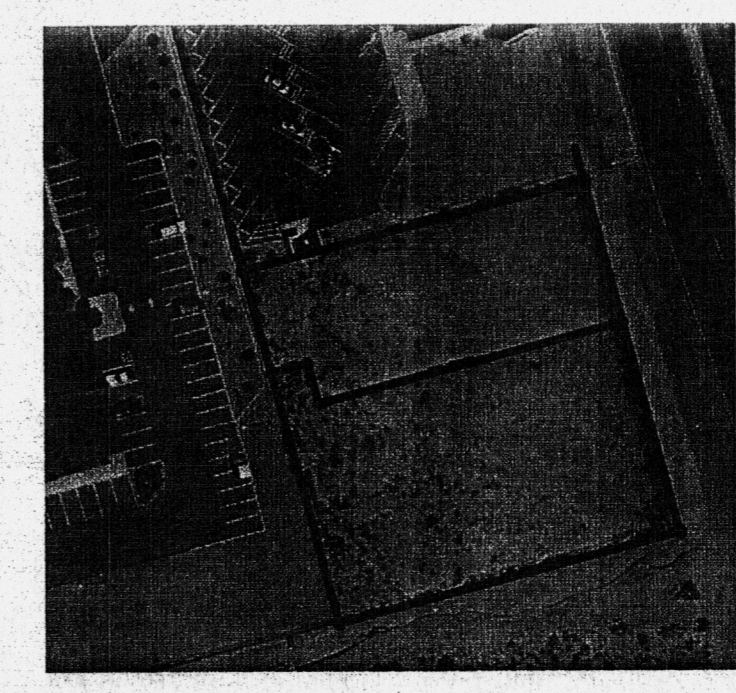

  
 REGISTERED ARCHITECT

DRAWN BY: LUCA  
 SCALE: AS NOTED

**SITE PLAN  
 FOR  
 BUILDING PERMIT  
 SD1.0**



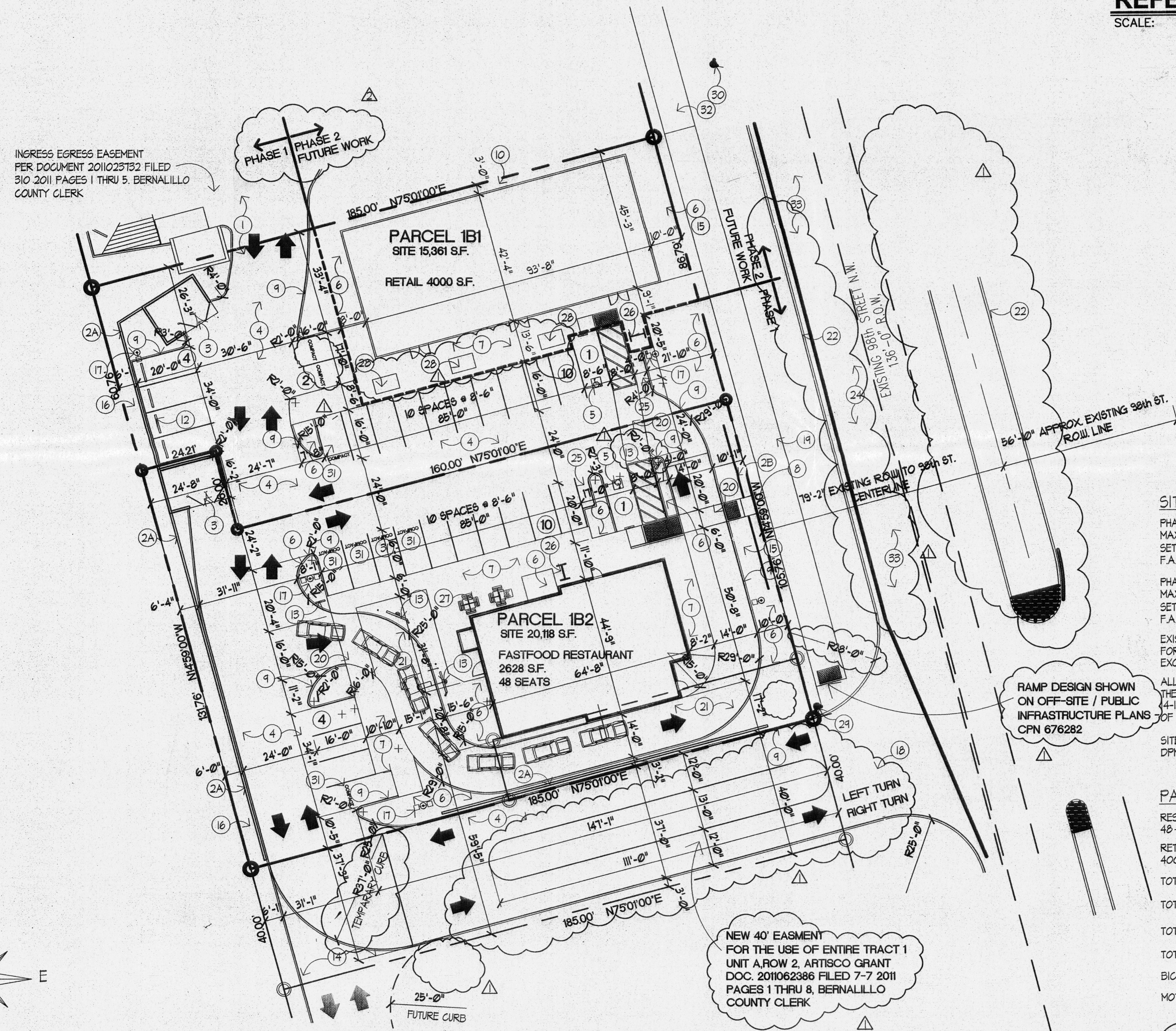
**VICINITY MAP**  
 A PORTION OF ZONE ATLAS  
 PAGE: K-09-Z  
 CITY OF ALBUQUERQUE, NEW MEXICO  
 SCALE: 1" = 750'



**REFERENCE SITE PLAN**  
 SCALE: 1" = 100'

**NOTE:**  
 DELIVERY TRUCKS ARE PROHIBITED DURING ALL  
 PEAK HOURS THESE HOURS ARE FROM 6-8 AM,  
 11 AM-1 PM, AND 4-6 PM, MONDAY THRU FRIDAY

INGRESS EGRESS EASEMENT  
 PER DOCUMENT 2011023732 FILED  
 3/10/2011 PAGES 1 THRU 5, BERNALILLO  
 COUNTY CLERK



**SITE DATA**

**PHASE 1- FAST FOOD RESTAURANT LOT**  
 MAXIMUM BLDG HGT- 22'-0"  
 SETBACKS 5'-0" FRONT, 0'-0" SIDE/REAR  
 F.A.R.- 2628 ÷ 15361 = 131

**PHASE 2- RETAIL LOT**  
 MAXIMUM BLDG HGT- 26'-0"  
 SETBACKS 5'-0" FRONT, 0'-0" SIDE/REAR  
 F.A.R.- 4,000 ÷ 15361 = 261

EXISTING SITE ZONING: SU-1  
 FOR PERMISSIVE C-2 USES  
 EXCLUDING PACKAGE LIQUOR SALES

ALL LIGHTING SHALL COMPLY WITH  
 THE STANDARDS OF PARAGRAPH  
 4-16-3-4, AREA LIGHTING REGULATIONS,  
 OF THE ZONING CODE

SITE PLAN SHALL BE DESIGNED PER  
 DPM STANDARDS

**PARKING CALCULATION**

RESTAURANT- 2628 SF. @ 48 SEATS  
 48 ÷ 4 = 12 SPACES

RETAIL- 4,000 SF.  
 4000 ÷ 200 = 20 SPACES

TOTAL SPACES REQUIRED= 32 SPACES  
 TOTAL SPACES PROVIDED= 32 SPACES

TOTAL ADA SPACES REQUIRED= 2 SPACES  
 TOTAL ADA SPACES PROVIDED= 2 SPACES

BICYCLE PARKING= 4 SPACES PROVIDED  
 MOTORCYCLE PARKING= 2 SPACES PROVIDED

**GENERAL NOTES:**

1. A SINGLE MONUMENT SIGN IS PERMITTED FOR TRACT 1-B.  
 THE SIGN SHALL BE A MONUMENT SIGN WHICH IS ARCHITECTURALLY INTEGRATED  
 WITH BUILDING COLORS AND MATERIALS. THE HEIGHT OF THE MONUMENT SIGN IS LIMITED  
 TO 8'-0" HIGH WITH TWO SIGN FACES WITH A MAXIMUM FACE AREA OF 50 SQ. FT. EACH

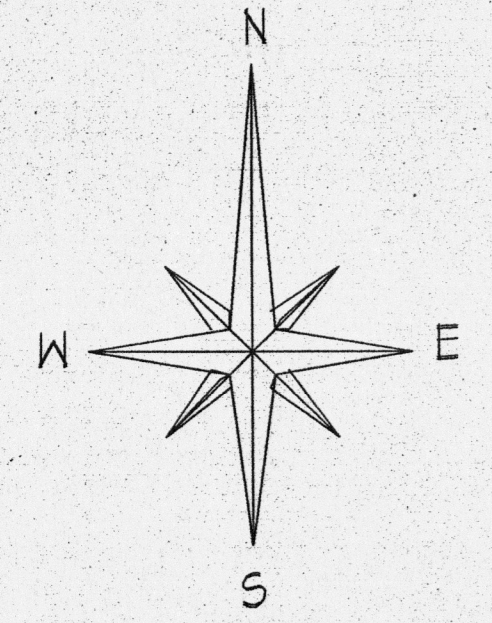
2. FUTURE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT REQUESTS SHALL BE DELEGATED  
 TO THE DRB AND MUST CONFORM TO THE DESIGN GUIDELINES LISTED ON SHEET A-2 OF  
 THE SITE DEVELOPMENT PLAN FOR SUBDIVISION

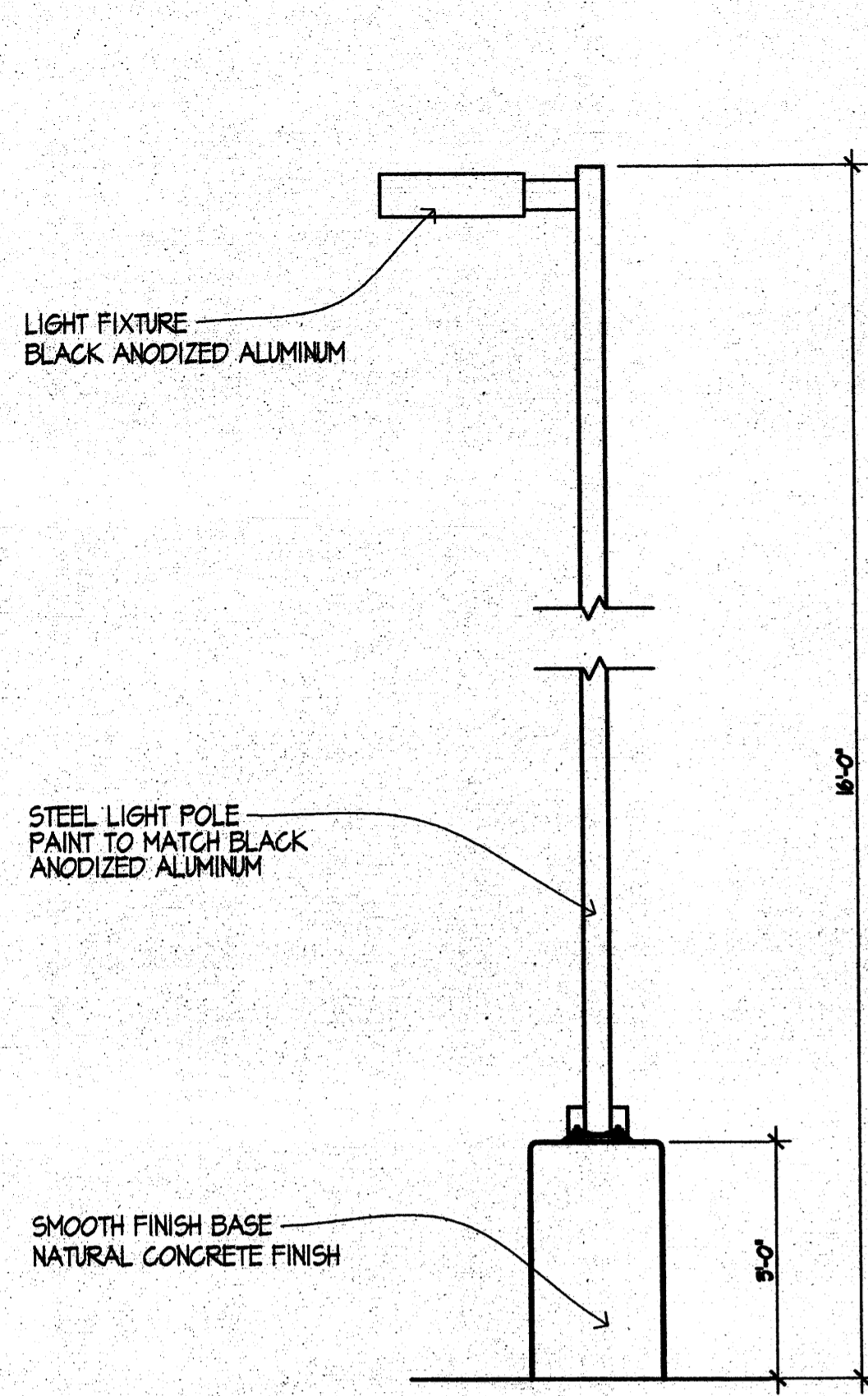
**SITE PLAN KEY NOTES**

- ① EXISTING DRIVE AISLE & NEW DRIVEWAY ACCESS
- ②A RETAINING WALL 4'-0" MAXIMUM HEIGHT
- ②B SCREENING DEVICE 3'-0" HEIGHT
- ③ DUMPSTER ENCLOSURE 6'-0" HIGH O.M.V FINISH & COLOR TO MATCH BUILDING. SEE DETAIL NEXT SHEET
- ④ ASPHALT PAVING
- ⑤ CONCRETE ADA PARKING SPACE. SEE DETAIL SHEET SD.1
- ⑥ LANDSCAPE AREA
- ⑦ CONCRETE SIDEWALK MIN. 6'-0" WIDE
- ⑧ PEDESTRIAN PATH
- ⑨ CONCRETE CURB
- ⑩ FUTURE BUILDING AREA
- ⑪ CONCRETE DRAINAGE CHANNEL
- ⑫ CONCRETE WHEEL STOP
- ⑬ SIGN MENU BOARD
- ⑭ FUTURE DRIVEWAY ACCESS TO ADJACENT PROPERTY SOUTH
- ⑮ 10'-0" WIDE LANDSCAPE BUFFER
- ⑯ 6'-0" WIDE MINIMUM LANDSCAPE BUFFER
- ⑰ SITE LIGHT STANDARD SEE DETAIL NEXT SHEET
- ⑱ NEW DRIVEWAY ACCESS
- ⑲ NEW 10'-0" WIDE ASPHALT TRAIL TO BE CONSTRUCTED THIS LOCATION
- ⑳ COLORED CONCRETE PEDESTRIAN PATH
- ㉑ CONCRETE DRIVE-THRU
- ㉒ NEW ROADWAY CURB
- ㉓ EXISTING ROADWAY CURB
- ㉔ EXISTING ROADWAY
- ㉕ MOTORCYCLE PARKING
- ㉖ BICYCLE PARKING
- ㉗ OUTDOOR SEATING
- ㉘ MINIMUM 36 SQ. FT. PLANTER
- ㉙ NEW FIRE HYDRANT
- ㉚ EXISTING FIRE HYDRANT
- ㉛ COMPACT PARKING STALL
- ㉜ CONNECT TO EXISTING 10'-0" TRAIL AT NORTH PROPERTY LINE
- ㉝ RIGHT TURN LANE ONLY

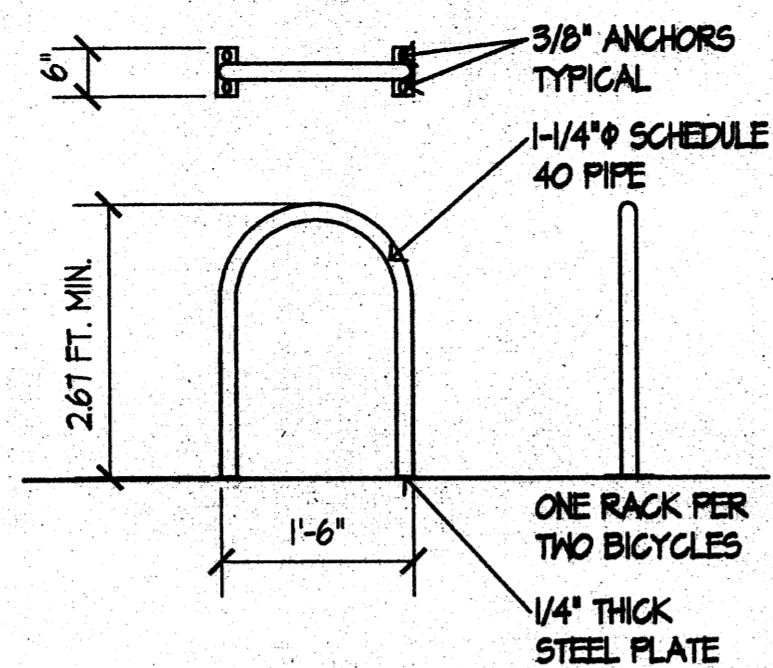
**SITE PLAN FOR BUILDING PERMIT**

SCALE: 1" = 20'  
 GRAPHIC SCALE: 1 INCH = 20 FEET

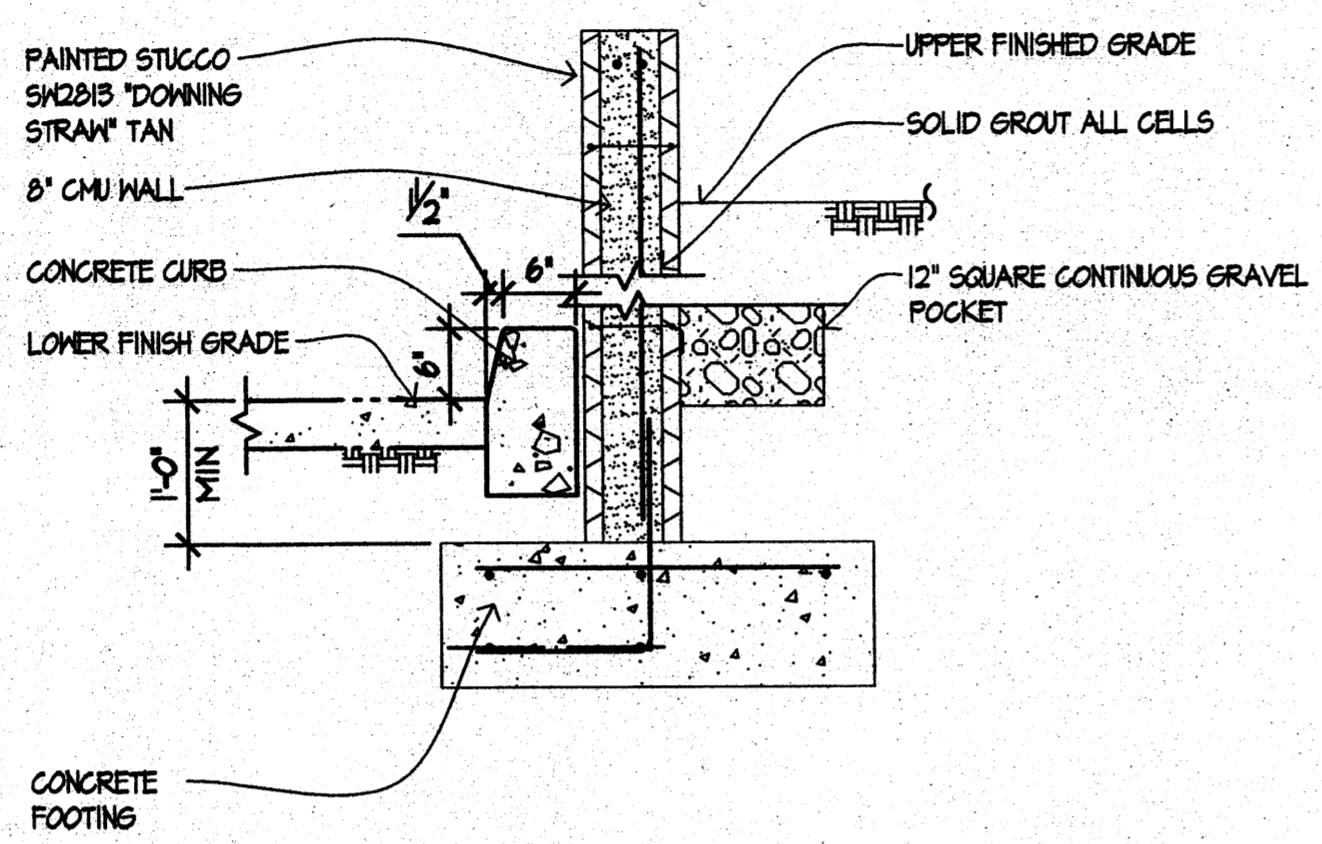




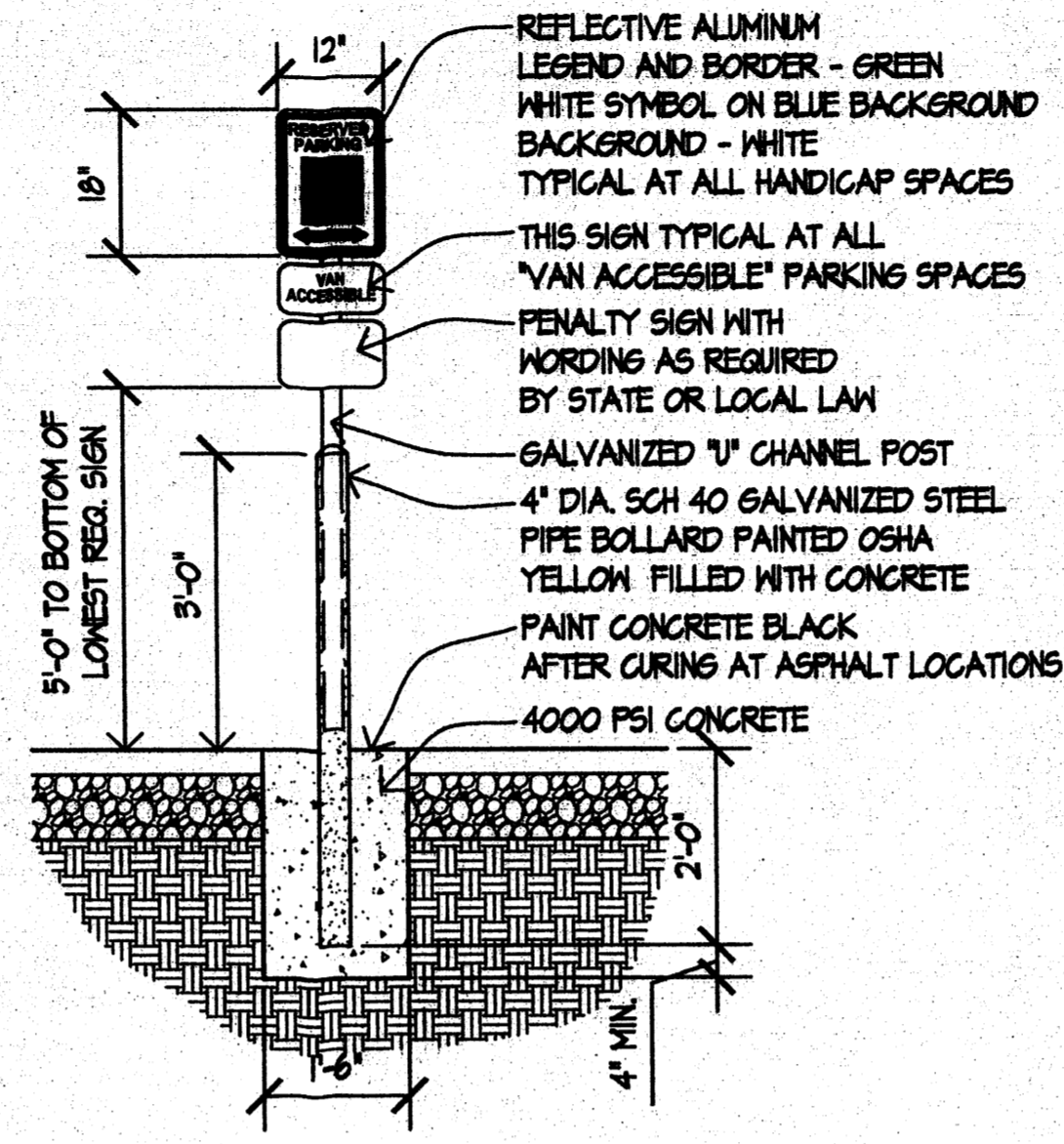
**PARKING LOT LIGHT STANDARD**  
SCALE: 1/2" = 1'-0"



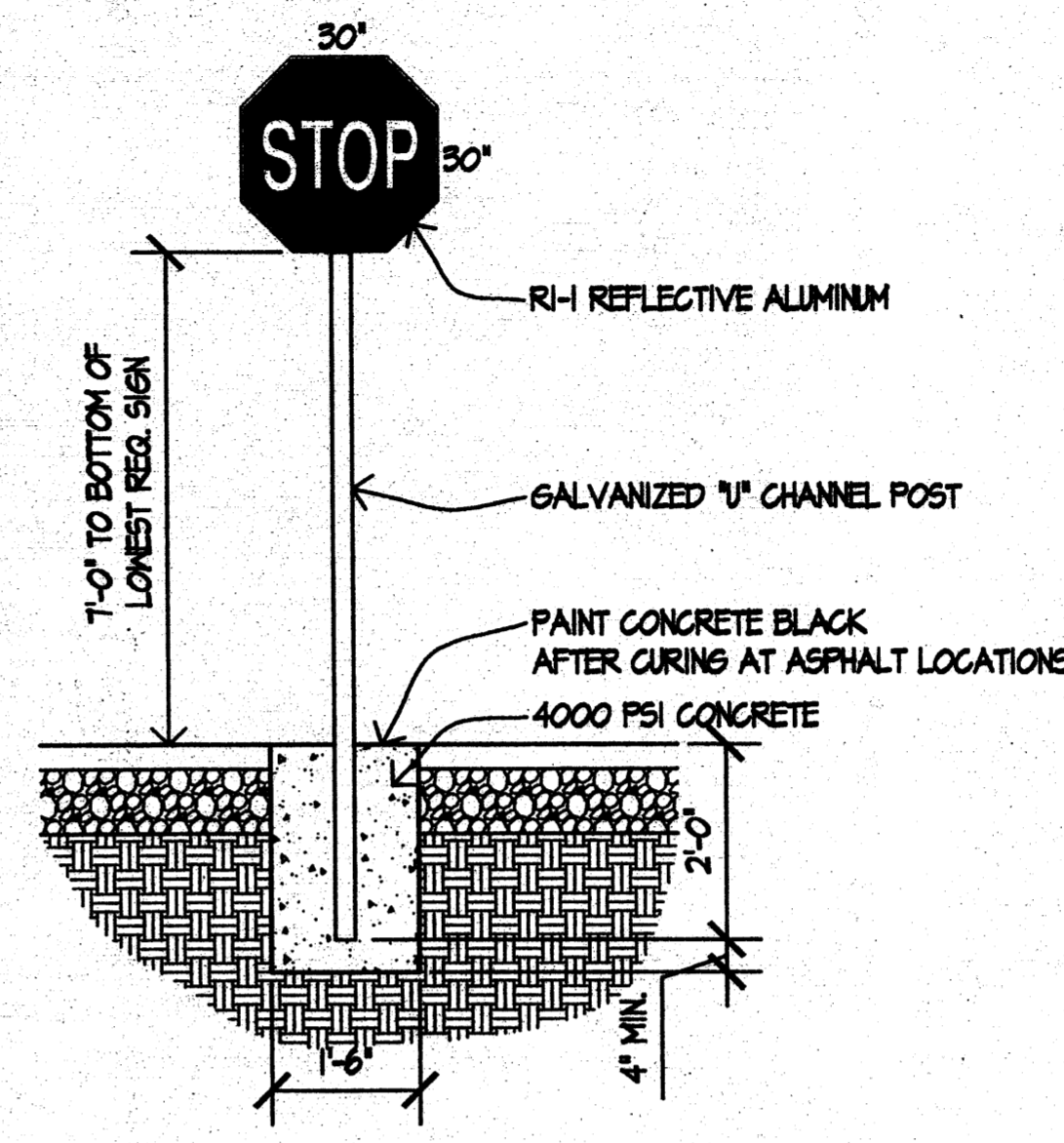
**STANDARD BICYCLE PARKING DETAIL**  
SCALE: 1'-0" = 1'-0"



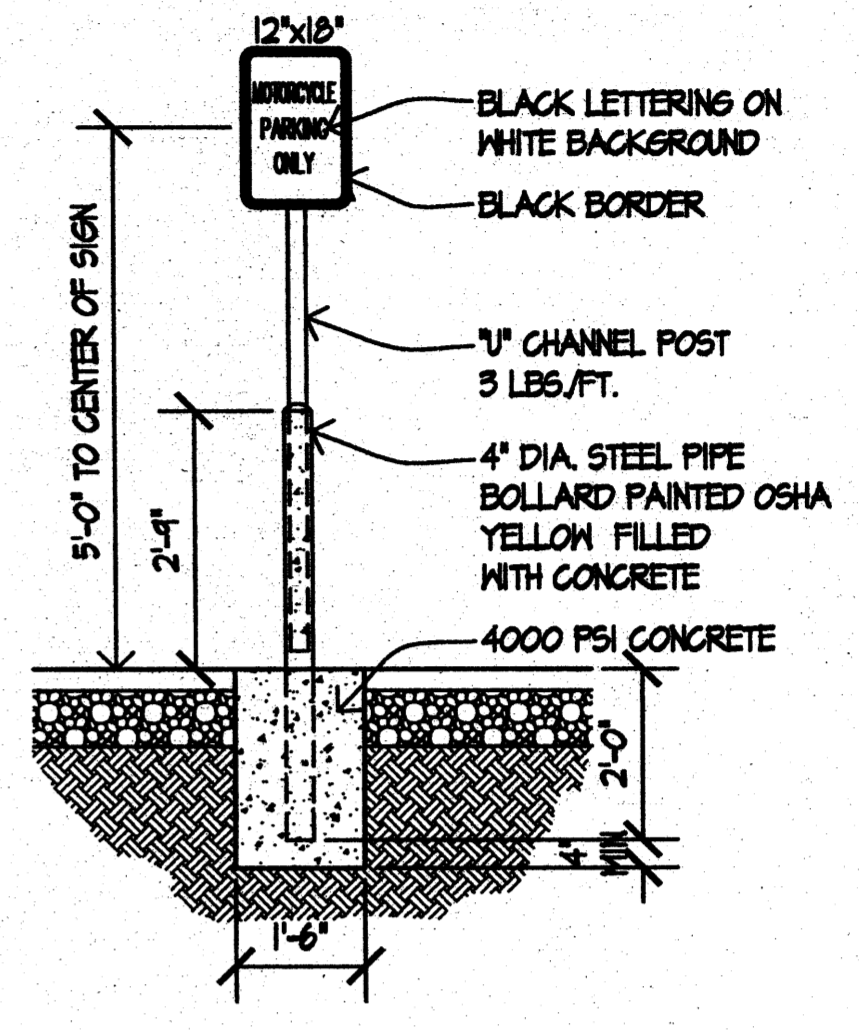
**STANDARD RETAINING WALL DETAIL**  
SCALE: 3/4" = 1'-0"



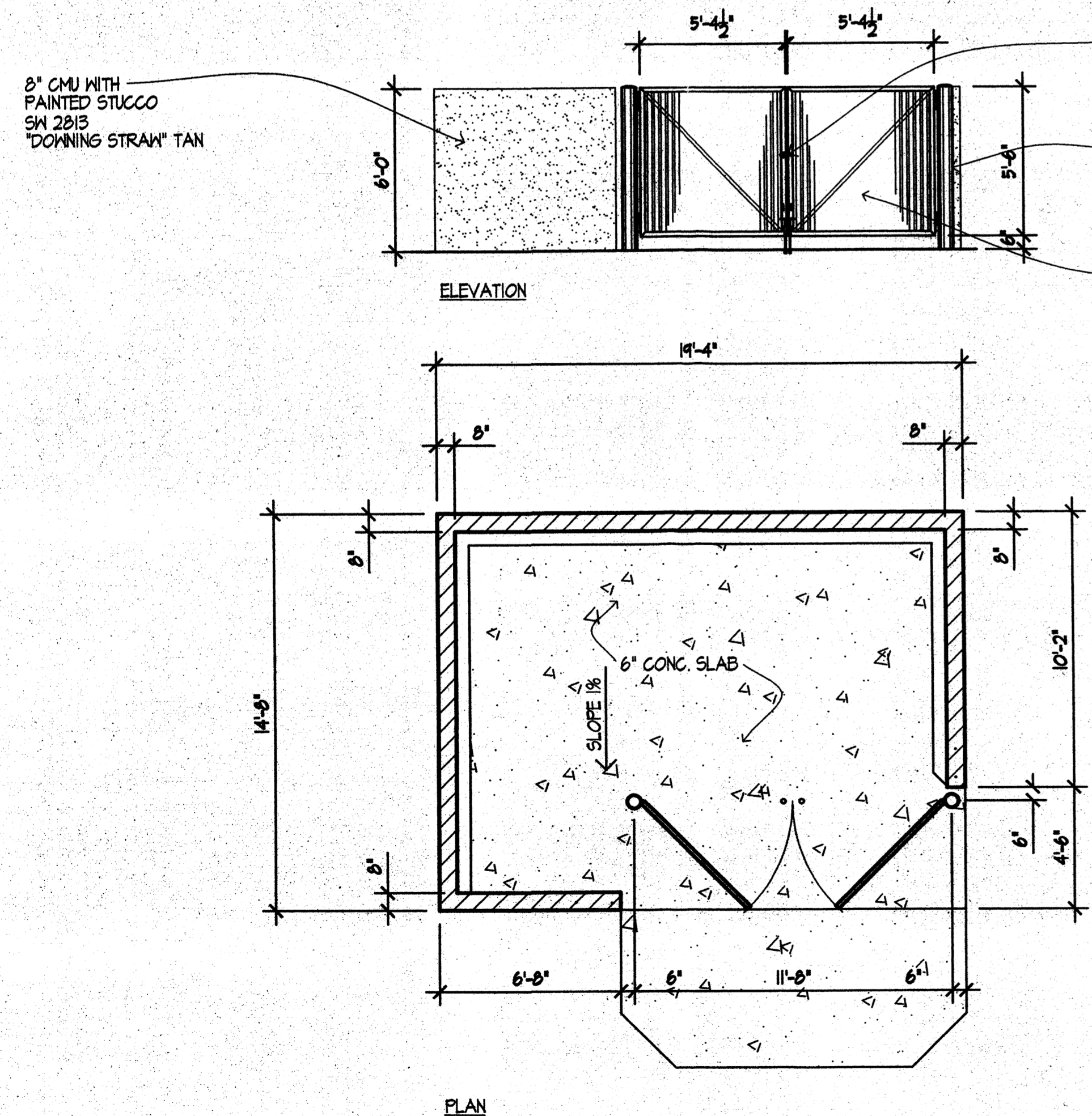
**STANDARD ADA SIGN DETAIL**  
SCALE: NTS



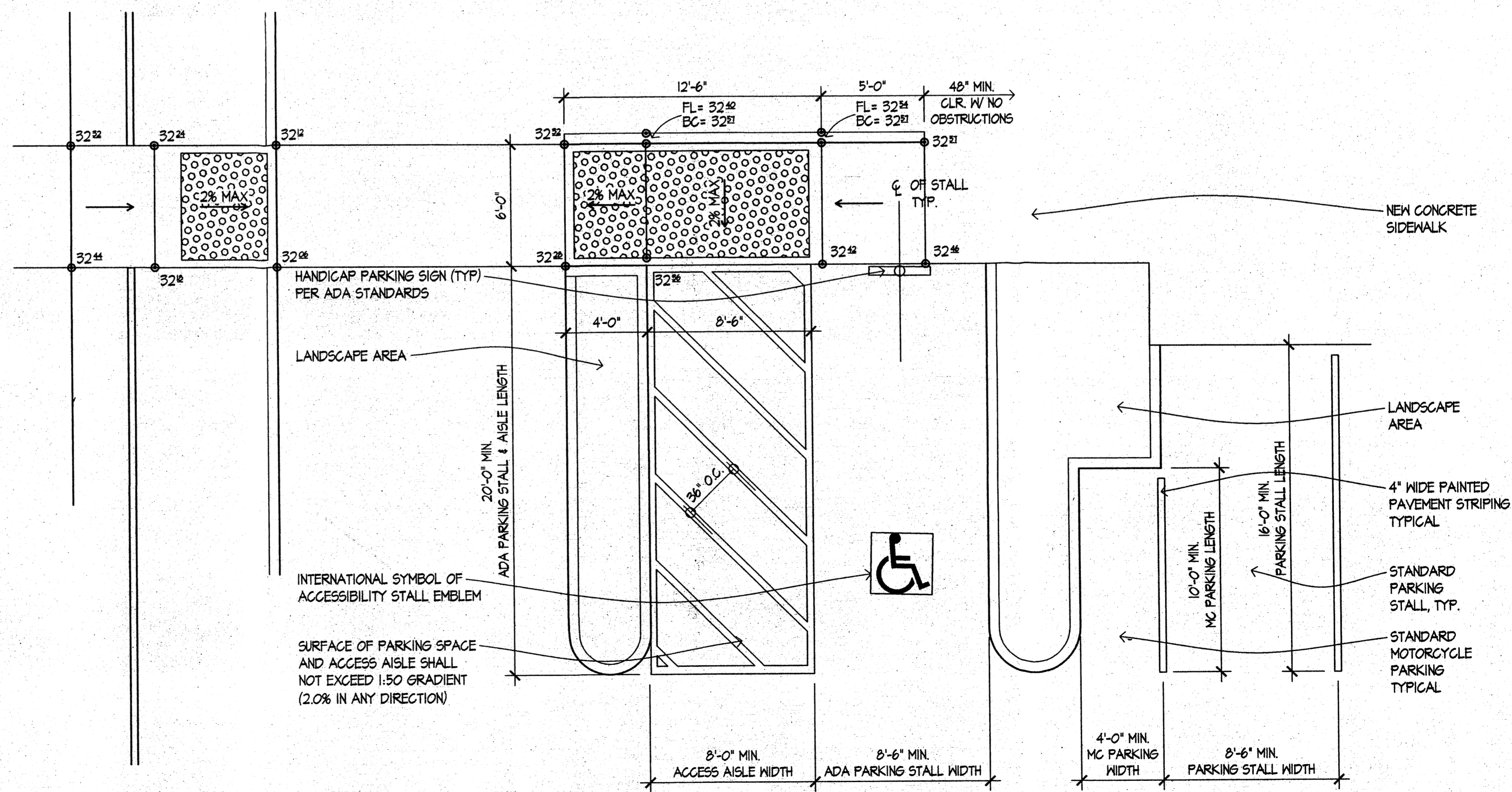
**STANDARD STOP SIGN DETAIL**  
SCALE: NTS



**STANDARD MC SIGN DETAIL**  
SCALE: NTS



**DUMPSTER ENCLOSURE**  
SCALE: 1/4" = 1'-0"



**ADA & STANDARD PARKING STALL DETAIL**  
SCALE: 1/4" = 1'-0"

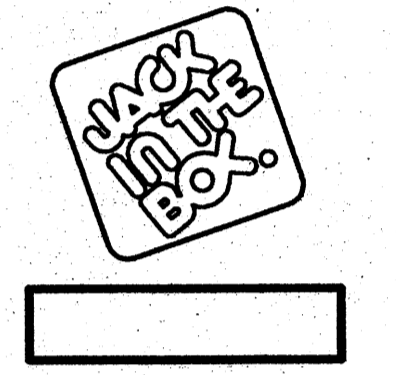
**DATES**

RELEASE:	MAY 18, 2011
P.M. UPDATES:	
PERMIT:	
BID:	
CONSTRUCTION:	

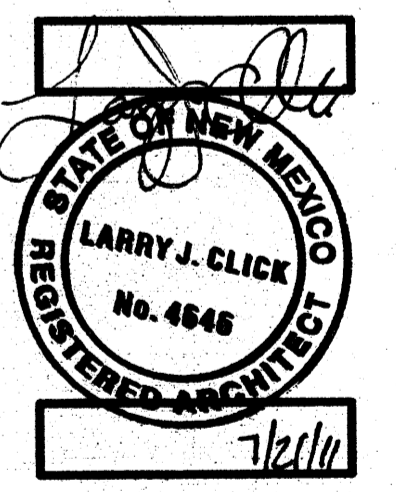
**REVISIONS**

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JACK IN THE BOX #1268 F  
98TH / AVALON  
ALBUQUERQUE, NEW MEXICO



LARRY J. CLICK & ASSOCIATES  
ARCHITECTS  
Tucson, Arizona 85718  
(520) 527-6870/527-6816



**SITE INFORMATION**

MK TYPE:	9A_LG2
JOB #:	1268 F
ADDRESS:	98TH / AVALON ALBUQUERQUE, NM
DRAWN BY:	LJCA
SCALE:	

**SITE DETAILS**

**SD1.1**



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 SAN DIEGO, CA 92123  
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**DATES**

RELEASE: MAY 18, 2011

P.M. UPDATES: \_\_\_\_\_

PERMIT: \_\_\_\_\_

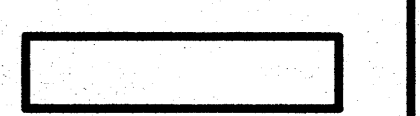
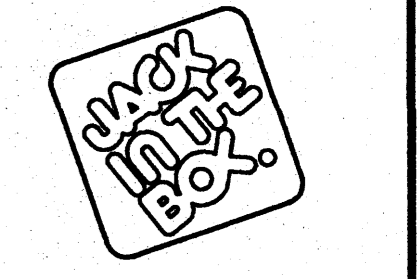
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CONSTRUCTION: \_\_\_\_\_

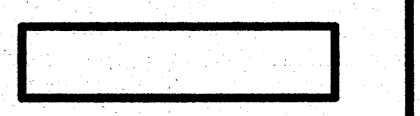
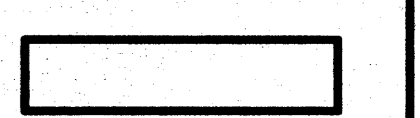
**REVISIONS**

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JACK IN THE BOX #1268 F  
 98TH / AVALON  
 ALBUQUERQUE, NEM MEXICO



LARRY J. GLICK & ASSOCIATES  
 ARCHITECTS  
 10000 RIVINGTON AVE. SUITE # 105  
 TUCSON, ARIZONA 85716  
 (520) 527-6670/527-6916

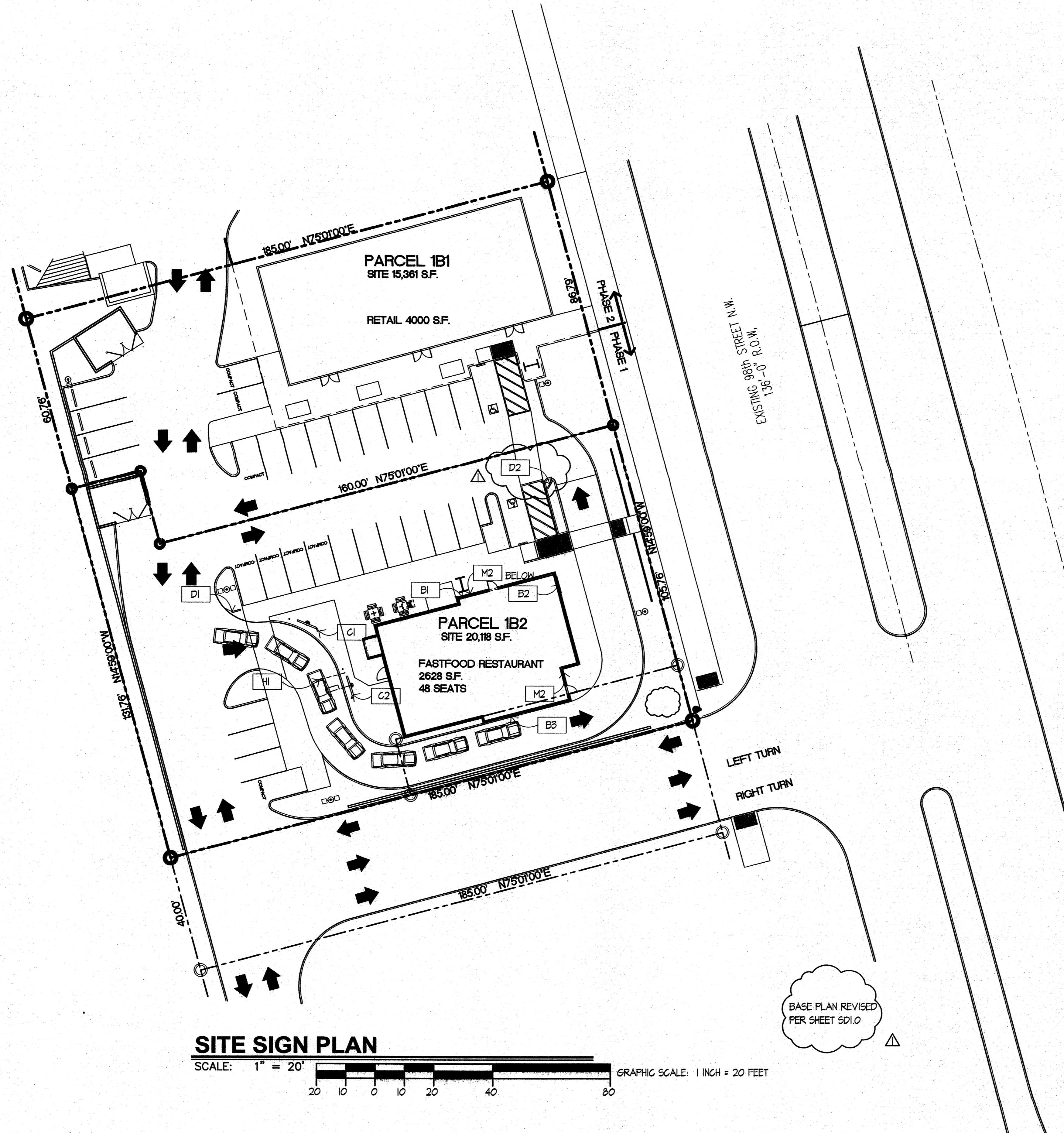


**SITE INFORMATION**

MK TYPE: 9A\_LG2  
 JIB #: 1268 F  
 ADDRESS:  
 98TH / AVALON  
 ALBUQUERQUE, NM  
 DRAWN BY: LJCA  
 SCALE: \_\_\_\_\_

**SITE SIGN PLAN**

**S1.0**



**SITE SIGN PLAN KEY NOTES**

- [B1] INTERNALLY ILLUMINATED BUILDING SIGN- NORTH
- [B2] INTERNALLY ILLUMINATED BUILDING SIGN- EAST
- [B3] INTERNALLY ILLUMINATED BUILDING SIGN- SOUTH
- [B4] INTERNALLY ILLUMINATED BUILDING SIGN- WEST
- [C1] INTERNALLY ILLUMINATED PREVIEW MENU BOARD
- [C2] INTERNALLY ILLUMINATED ORDER MENU BOARD
- [D1] INTERNALLY ILLUMINATED DIRECTIONAL SIGN- "DRIVE THRU"
- [D2] INTERNALLY ILLUMINATED DIRECTIONAL SIGN- "THANK YOU"
- [HI] HEIGHT DETECTOR
- [M2] NON ILLUMINATED MARGUEE PANEL

**SITE SIGN PLAN**

SCALE: 1" = 20'  
 GRAPHIC SCALE: 1 INCH = 20 FEET

BASE PLAN REVISED  
 PER SHEET SD1.0

**GRADING AND DRAINAGE NARRATIVE**

**I. INTRODUCTION**

THE PURPOSE OF THIS SUBMITTAL IS TO PRESENT A GRADING AND DRAINAGE PLAN FOR A PROPOSED JACK-IN-THE-BOX DEVELOPMENT IN SW ALBUQUERQUE. THE SITE IS LOCATED AT THE SOUTHWEST CORNER OF THE 98TH AVENUE AND AVALON ROAD. THE PROJECT WILL INCLUDE A JACK-IN-THE-BOX RESTAURANT AND RETAIL BUILDING WITH PEDESTRIAN ACCESS, PARKING, AND LANDSCAPING ON APPROXIMATELY 0.99 ACRES.

**II. SITE LOCATION**

THE SITE IS LOCATED WITHIN ZONE ATLAS MAP K-9-Z. THE PROJECT IS BOUNDED ALONG THE EAST BY 98TH AVENUE, ALONG THE WEST BY A DEVELOPED HOTEL SITE, ALONG THE NORTH BY A RETAIL BUILDING AND ALONG THE SOUTH BY UNDEVELOPED PROPERTY.

**III. EXISTING HYDROLOGIC CONDITIONS**

THE SITE ENCOMPASSES APPROXIMATELY 0.99 ACRES AND IS UNDEVELOPED. SLOPES FOR THE SITE RANGE BETWEEN 3% TO 4% TO THE SOUTHEAST AND THERE IS LIMITED VEGETATION COVER. CURRENTLY, THE SITE DRAINS VIA SURFACE FLOW TOWARD A SWALE ON THE WEST SIDE OF 98TH AVENUE. THE RUNOFF, 1.63 CFS, FLOWS SOUTH ALONG 98TH AVENUE, ENTERING THE EXISTING INLET AT THE NORTHWEST CORNER OF VOLCANO ROAD AND 98TH AVENUE.

**IV. OFFSITE DRAINAGE**

THERE IS LIMITED OFFSITE FLOW ENTERING THE SITE. THE HOTEL SITE TO THE WEST CONTAINS ITS FLOWS ON SITE, DRAINING NORTH TO AVALON AVENUE. FLOW FROM THE PROPERTY TO THE NORTH IS INTERCEPTED BY A CONCRETE SWALE AT THE PROPERTY LINE, DRAINING TO 98TH STREET. THE JACK-IN-THE-BOX SITE IS HIGHER THAN THE 98TH AVENUE RIGHT-OF-WAY AND THE UNDEVELOPED PROPERTY TO THE SOUTH.

**V. PROPOSED HYDROLOGIC CONDITIONS**

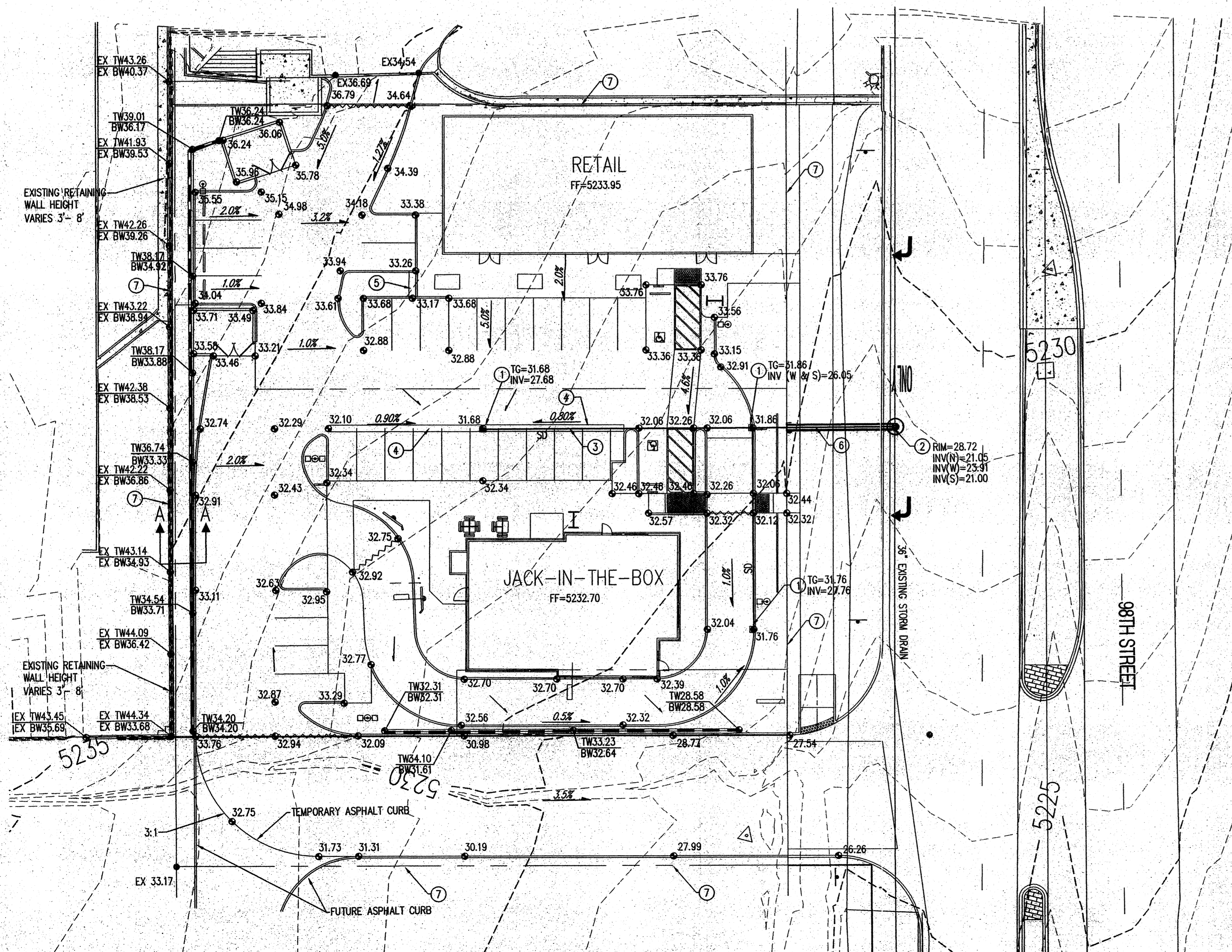
THE PROPOSED SITE RUNOFF, 4.14 CFS, DRAINS WITH A PORTION OF THE SITE ENTERING INLETS IN THE PARKING AREA AND AN INLET IN THE DRIVE-THRU. THE REMAINING PORTION DISCHARGING OFFSITE VIA PROPOSED CURB & GUTTER. THE ON-SITE STORM DRAIN SYSTEM WILL DISCHARGE TO THE EXISTING STORM DRAIN IN 98TH AVENUE. THE SURFACE RUNOFF DISCHARGING OFFSITE WILL FLOW EXISTING HYDROLOGIC CONDITIONS AND BE CONVEYED BY THE EXISTING SWALE ON THE WEST SIDE OF 98TH AVENUE AND ENTER THE EXISTING INLET AT THE NORTHWEST CORNER OF VOLCANO ROAD AND 98TH AVENUE.

**VI. CONCLUSION**

THE GRADING AND DRAINAGE PLAN FOR THE JACK-IN-THE-BOX SITE IS CONSISTENT WITH THE APPROVED DRAINAGE MANAGEMENT PLAN. THE PLAN IS CAPABLE OF SAFELY PASSING THE 100 YEAR STORM AND MEETS CITY REQUIREMENTS. ALL ANALYSIS WAS COMPLETED IN ACCORDANCE WITH SECTION 22.2 OF THE DEVELOPMENT PROCESS MANUAL.

DRAINAGE BASIN CALCULATIONS FOR JIB @ 98th AND AVALON							
BASIN I.D.	AREA (AC)	% LAND TREATMENT				DISCHARGE (CFS)	
		A	B	C	D	10 YR	100YR
HYDROLOGICAL VOLUMETRIC & DISCHARGE DATA (EXISTING CALCULATED)							
EXISTING BASIN	0.99	50.0%	50.0%	0.0%	0.0%	0.50	1.63
<b>TOTAL</b>	<b>0.99</b>					<b>0.50</b>	<b>1.63</b>
DEVELOPED							
DEVELOPED BASIN	0.99	0.0%	5.0%	5.0%	90.0%	2.68	4.14
<b>TOTAL</b>	<b>0.99</b>					<b>2.68</b>	<b>4.14</b>

\*NOTE: Peak Discharge calculated from Chapter 22 Section 2 of the COA DPM.



**GENERAL NOTES**

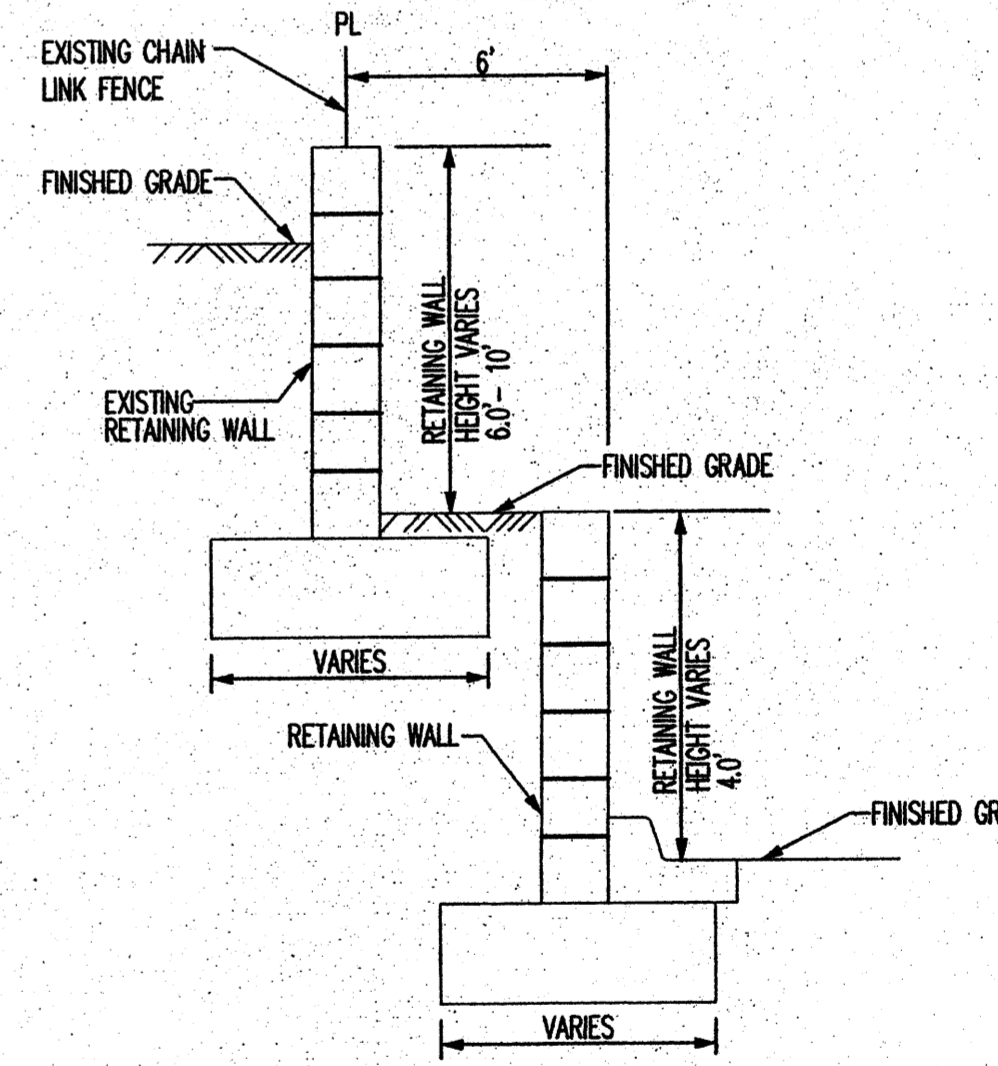
- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE. CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS ALSO RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E. BARRICADES, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADES AT THE END AND BEGINNING OF EACH DAY.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR SWPPP COMPLIANCE AND IMPLEMENTATION.
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.

**GRADING NOTES**

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "SPECIAL INVESTIGATION" AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS.
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERM OR SET FENCE AT THE PROPERTY LINES AND WEEDING THE SOIL TO PROTECT IT FROM WIND EROSION. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.
- ALL ELEVATIONS ARE TAKEN AT THE TOP OF ASPHALT UNLESS OTHERWISE NOTED.
- ALL CURB IS 6" MEDIAN CURB UNLESS OTHERWISE NOTED. ALL ELEVATIONS SHOWN ALONG MEDIAN CURB ARE AT FLOWLINE UNLESS OTHERWISE INDICATED.
- PAVING AND ROADWAY GRADES SHALL BE +/- .01' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- .005' FROM BUILDING PLAN ELEVATION.

**KEYED NOTES**

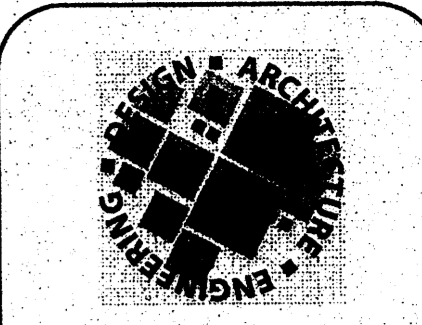
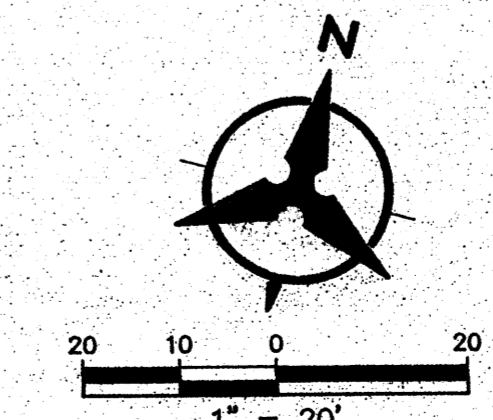
- INSTALL 24" NYLOPLAST CURB INLET STRUCTURE WITH 2"x2" STEEL BAR RECTANGULAR GRATE H=20" RATED (OR APPROVED EQUAL)
- CONNECT TO EXISTING STORM DRAIN WITH NEW 4" MANHOLE, TYPE C OR E
- INSTALL 12" HDPE (N=12WT OR APPROVED EQUAL) STORM DRAIN
- INSTALL 2" WIDE CONCRETE VALLEY GUTTER PER COA STD. DWG. 2420.
- INSTALL 2" WIDE SIDEWALK CULVERT PER COA STD. DWG. 2236.
- INSTALL 18" RCP STORM DRAIN.
- PROPERTY LINE



SECTION A-A  
RETAINING WALL DETAIL  
NOT TO SCALE  
(RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN FINISHED GRADES.)

**LEGEND**

---	PROPERTY LINE
- - - - -	EXISTING CONTOURS
X EX5301.15	EXISTING GROUND SPOT ELEVATION
● 96.25	ALL SPOT ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE STATED.
S=2.0%	PROPOSED DIRECTION OF FLOW
~~~~~	WATER BLOCK
---	PROPOSED CURB
- - - - -	EASEMENT
■	PROPOSED STORM DRAIN INLET
---	PROPOSED RETAINING WALL



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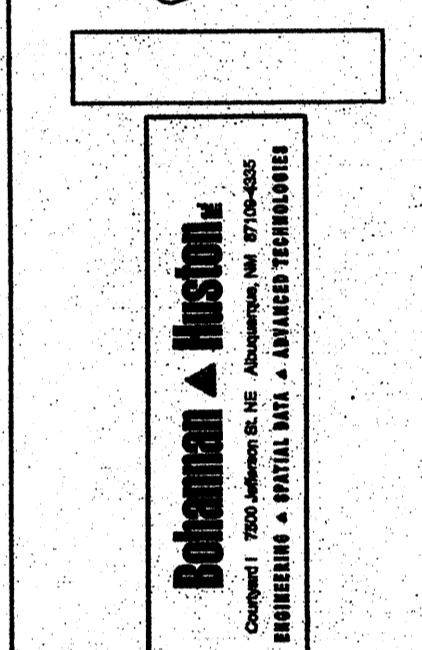
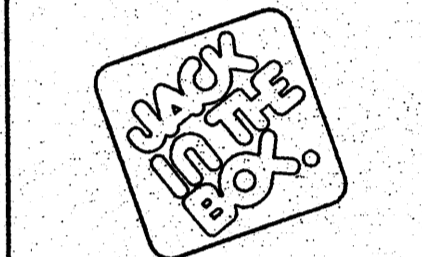
**DATES**

RELEASE: MAY 18, 2011  
P.M. UPDATES:  
PERMIT:  
BID:  
CONSTRUCTION:

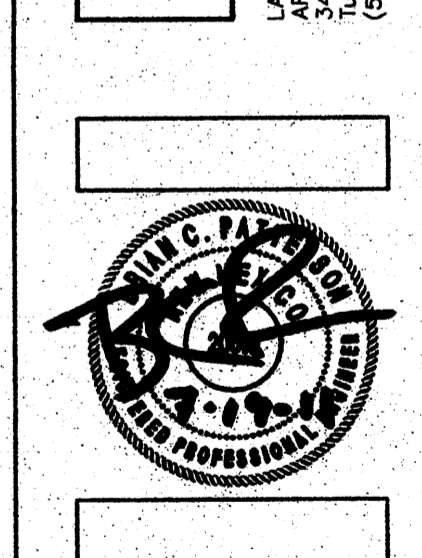
**REVISIONS**

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- △
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JACK IN THE BOX #1268 F  
98TH / AVALON  
ALBUQUERQUE, NEW MEXICO



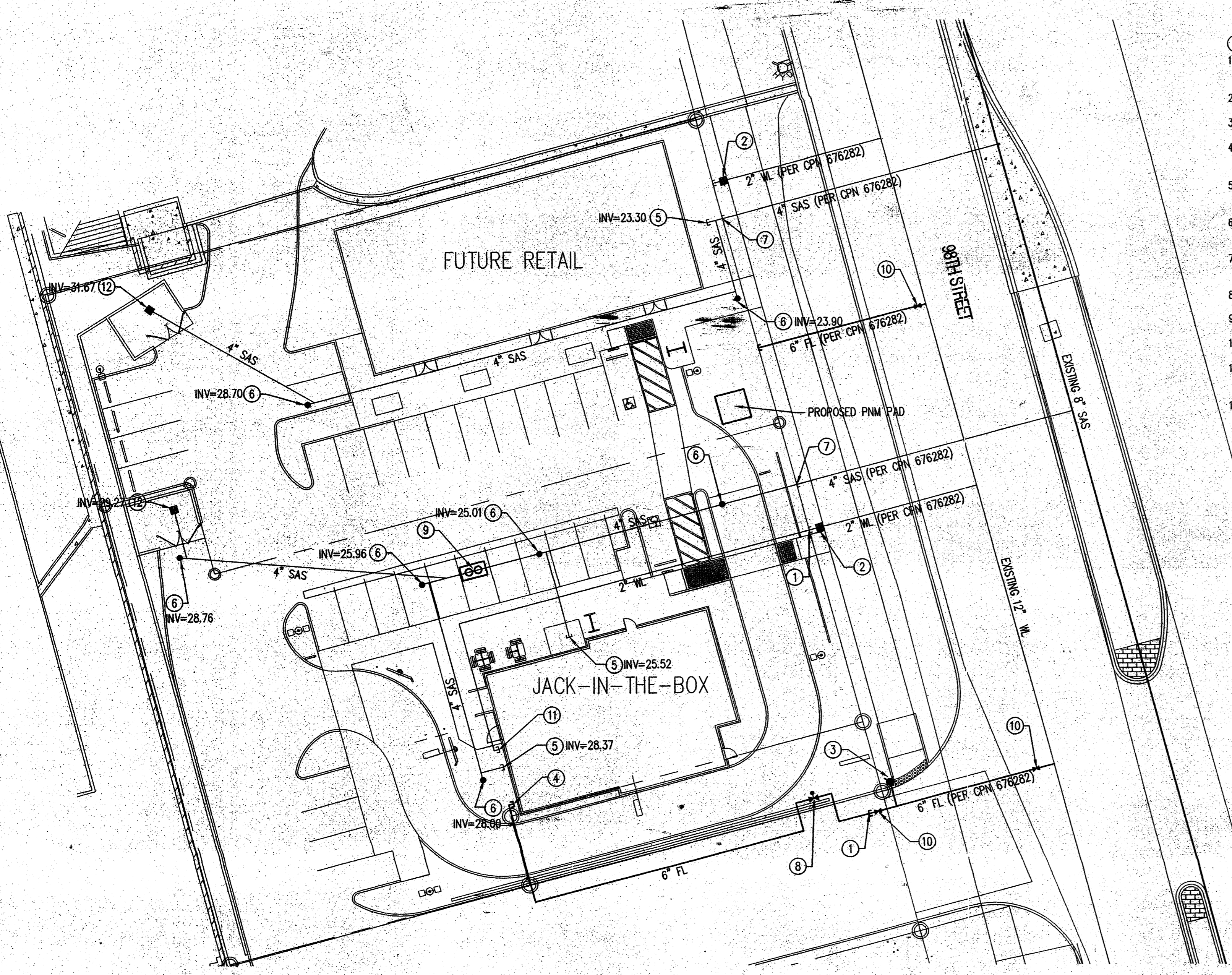
L. J. JACK & ASSOCIATES  
ARCHITECTS, INC.  
1000 Johnson Ave. NE  
3444 N. Country Club, Suite # 105  
Albuquerque, NM 87110  
(505) 337-6617 / 337-6616



**SITE INFORMATION**

MK TYPE: 9A\_LG2  
JOB #: 1268 F  
ADDRESS: 98TH / AVALON  
ALBUQUERQUE, NM  
DRAWN BY: LJCA  
SCALE:

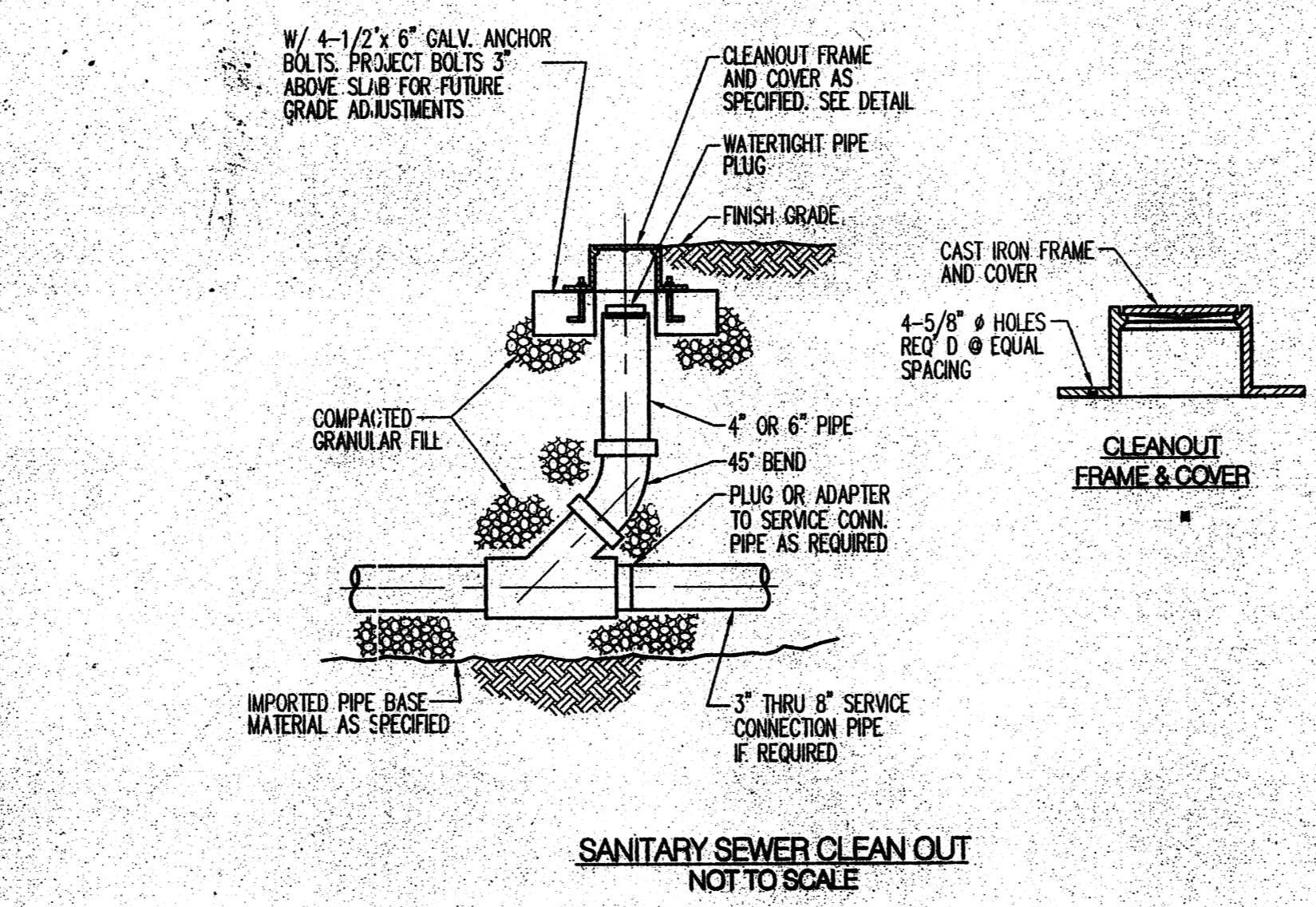
**GRADING PLAN  
C1.1**



- UTILITY KEYED NOTES:**
1. CONNECT WATER/FIRE SERVICE TO EXISTING WATER STUBOUTS PER CPN 676282.
  2. 2" DOMESTIC WATER METER AND BOX PER CPN 676282.
  3. PROPOSED PUBLIC FIRE HYDRANT PER CPN 676282.
  4. STUB 6" FIRE LINE TO WITHIN 5' OF BUILDING. SEE FIRE PROTECTION PLANS FOR CONTINUATION.
  5. STUB 4" SANITARY SEWER TO WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
  6. INSTALL SANITARY SEWER CLEAN OUT, SEE DETAIL THIS SHEET.
  7. CONNECT SEWER SERVICE TO EXISTING STUB OUT PER CPN 676282.
  8. INSTALL POST INDICATOR VALVE PER DETAIL THIS SHEET.
  9. GREASE TRAP - BY OTHERS
  10. 6" GATE VALVE PER CPN 676282
  11. STUB 2" WATER SERVICE TO WITHIN 5' OF BUILDING. SEE PLUMBING PLAN FOR CONTINUATION.
  12. INSTALL 12"x12" TRAFFIC RATED INLET TO SAS PER DETAIL THIS SHEET.

- GENERAL NOTES**
1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
  2. ALL CURVE DATA AND DIMENSIONS ARE CALCULATED FROM CENTERLINE OF PIPE OR MANHOLE. ALL SAS SLOPES ARE CALCULATED TO TRUE PIPE.
  3. GRADE ELEVATIONS, WHERE NOTED, ARE FOR FLOWLINE OF CURB UNLESS OTHERWISE SPECIFIED.
  4. CONTRACTOR IS TO INSTALL A 4" X 4" X 5' POST AND END AT THE END OF EACH SANITARY SEWER SERVICE.
  5. CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ALL UTILITY CONDUITS AND EXISTING LINES.
  6. CONTRACTOR SHALL PROVIDE THE INSPECTORS WITH THE PROPOSED TESTING PLAN. THE PLAN MUST BE APPROVED BEFORE TESTING OPERATIONS BEGIN.
  7. CONTRACTOR SHALL PARK EQUIPMENT AND VEHICLES AS NOT TO INTERFERE WITH NORMAL ACTIVITIES OF RESIDENTS OR OTHER CONTRACTORS ON SITE.
  8. ANY DAMAGE TO THE EXISTING FACILITIES (CURB & GUTTER, PAVEMENT, CONDUITS, LANDSCAPING, UTILITY LINES, ETC.) DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
  9. MH RIMS & CATCH BASIN INLET ELEVATIONS, VALVE BOXES, ARV, FIRE HYDRANT & FLANGE ELEVATIONS ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY AND ADJUST TO FINAL PAVEMENT GRADES.
  10. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.850 SUBPART P.
  11. NO TREES MAY BE LOCATED WITHIN 10' OF A SEWER OR WATER LINE.
  12. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR ANY WORK PERFORMED WITHIN THE CITY OF ALBUQUERQUE RIGHT OF WAY OR WATER AUTHORITY EASEMENTS.

- UTILITY NOTES**
1. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
  2. MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES, 48" FOR SEWER AND 18" FOR SERVICE LINES.
  3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED OF HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE UPMO UNIFORM PLUMBING CODE, LATEST EDITION.
  4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
  5. ROUGH GRADING OF SITE (±0.5) SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
  6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
  7. ALL WATERLINE FITTINGS, VALVES, BENDS, TEES & CROSSES SHALL BE RESTRAINED USING MECHANICAL RESTRAINED JOINTS UNLESS OTHERWISE NOTED ON PLANS.
  8. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
  9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
  10. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.



**SMITH MFG. CO.**  
DIVISION OF SMITH INDUSTRIES, INC.  
1001 OFFICE BOX 3237  
MONTGOMERY, ALABAMA 36109-0237 (USA)  
TEL: 334-477-9620 TELEX: 762206 FAX: 334-477-3266

**LOCATION**

## TRAFFIC FLOOR DRAINS

### SQUARE TOP WITH SOLID GASKETED HINGED COVER AND FREE STANDING SEDIMENT BUCKET

**FUNCTION:** Used in boiler rooms, industrial plants, and other applicable areas where waste water contains debris or salvageable materials which must be intercepted. Large hinged gasketed locking solid cover prevents hazardous or salvageable materials from entering the waste system yet allows wash-down when required by opening and lifting the cover. Sediment bucket prevents debris from entering the waste system during wash-down periods.

**REGULARLY FURNISHED:**  
Ducto Cast Iron Body with Hinged Gasketed Solid Scoriated Cover with screwdriver Lifting Notch, Locking Device and Sediment Bucket with Lift Handle.

**VARIATIONS:**  
 Flashing Clamp -C (Fig. 2415 only)  
 Less Locking Device -LLD  
 Cylinder Type Locking Device -CL  
 Vandal Proof Grate -U Locking Device and Lift Handle -SGC-LK-LH

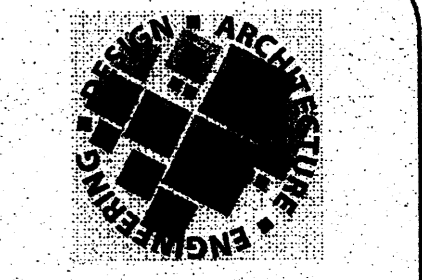
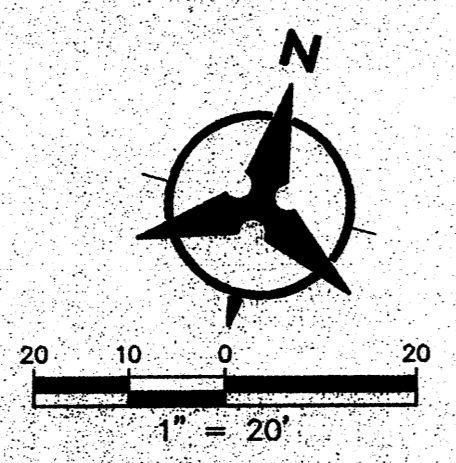
**OPTIONAL MATERIALS:**  
 Ductile Iron Solid Scoriated Hinged Gasketed Cover -M  
 Galvanized Cast Iron -G  
 Nickel Bronze Top -NB  
 Polished Bronze Top -PB

**FIGURE NUMBER**  
2410-SGC  
2415-SGC

REV.	DATE	DESCRIPTION	BY	CHK. BY
A	08-04-2008	Added Screwdriver Notch and SGC-LK-LH	AM	CR

**MATERIALS:**  
SAS LINE: SDR-35 PVC  
WATER LINE: CS90-PVC

NOTE: CONTRACTOR SHALL VERIFY DEPTH AND LOCATIONS OF ALL EXISTING UTILITIES AND CONTACT ENGINEER IMMEDIATELY WITH ANY DISCREPANCIES.



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SAN DIEGO, CA 92123  
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**DATES**

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CONSTRUCTION: \_\_\_\_\_

**REVISIONS**

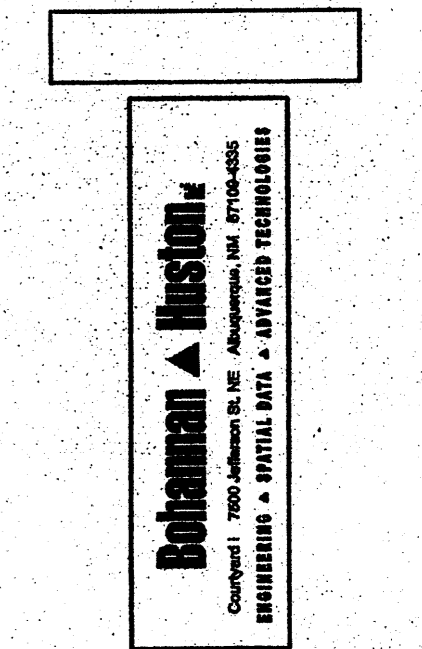
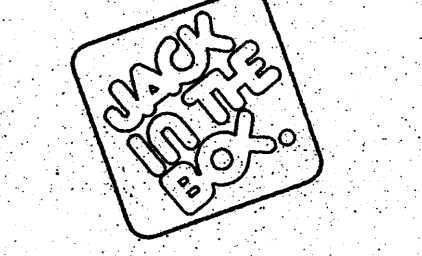
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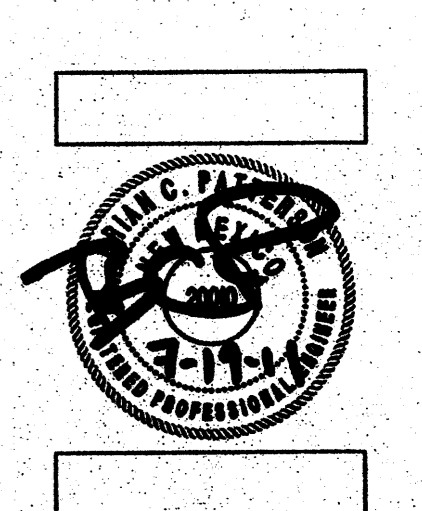
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JACK IN THE BOX #1268 F  
98TH / AVALON  
ALBUQUERQUE, NEW MEXICO



LARRY J. CLUCK & ASSOCIATES  
ARCHITECTS  
1001 N. 10th Street, Suite # 105  
Tucson, Arizona 85716  
(520) 327-8670/327-8816



**SITE INFORMATION**

MK TYPE: 9A\_LG2

JIB #: 1268 F

ADDRESS: 98TH / AVALON  
ALBUQUERQUE, NM

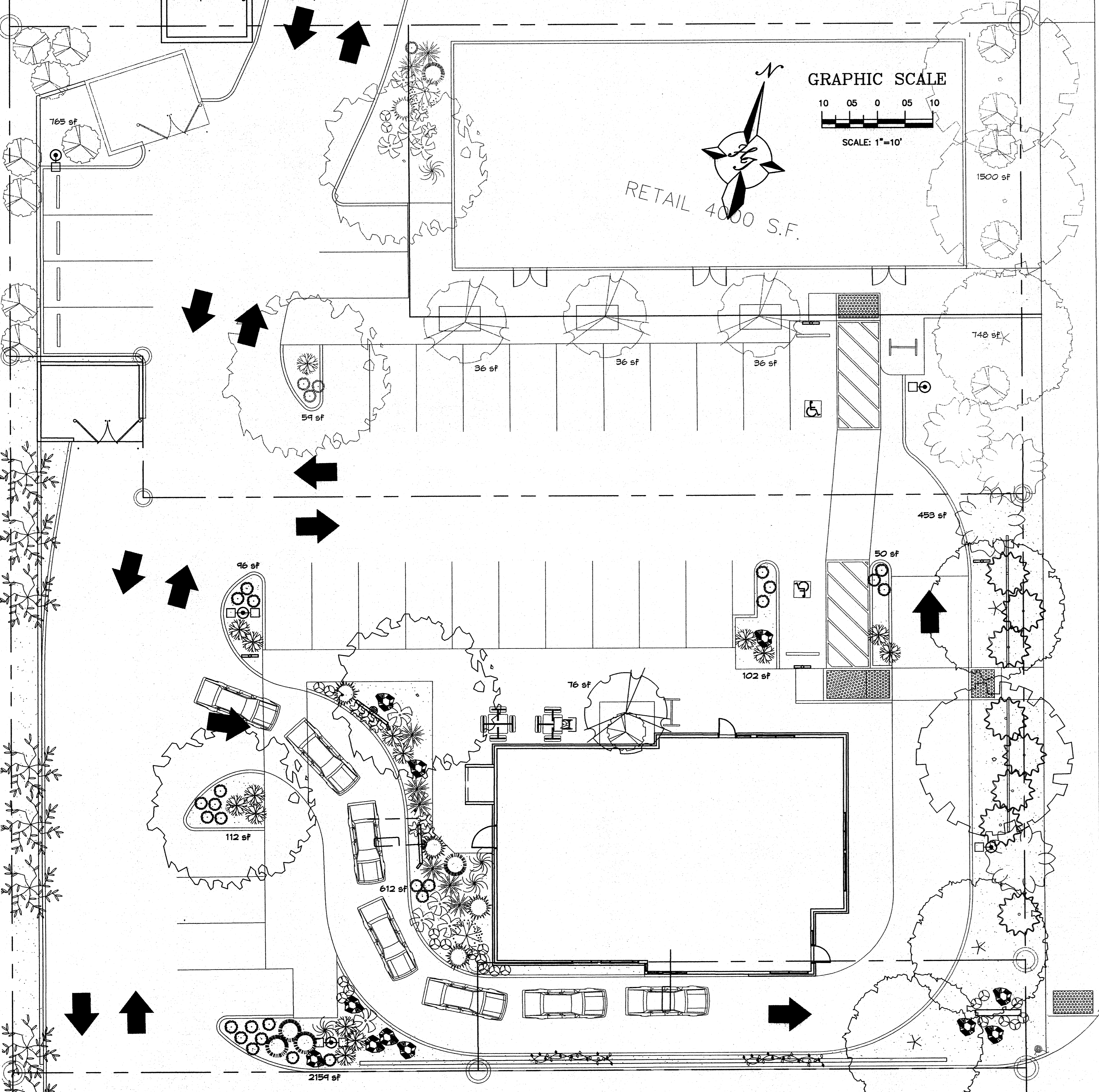
DRAWN BY: LJCA

SCALE: \_\_\_\_\_

**UTILITY PLAN**  
**C1.2**

**LANDSCAPE NOTES:**  
 -Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.  
 -It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.  
 -Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.  
 -Plant beds shall achieve 75% live ground cover at maturity.  
 -Santa Fe Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**  
 -Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of 6 gph. shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.  
 -Run time per each shrub area will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.  
 -Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.  
 -Location of controller to be field determined and power source for controller to be provided by others.  
 -Irrigation maintenance shall be the responsibility of the Property Owner.  
 -Water and Power source shall be the responsibility of the Developer/Builder.



**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA	35475	square feet
TOTAL BUILDINGS AREA	6642	square feet
NET LOT AREA	28783	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	4317	square feet
TOTAL BED PROVIDED	9396	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	7299	square feet
TOTAL GROUND COVER PROVIDED	8362 (84%)	square feet
TOTAL PONDING AREA	0	square feet
TOTAL SOD AREA (max. 20% of landscape required)	0	square feet
TOTAL NATIVE SEED AREA	0	square feet
TOTAL LANDSCAPE PROVIDED	9396 (32%)	square feet

**STREET TREE REQUIREMENTS**

Street trees required under the COA Street Tree Ordinance are as follows:  
 Name of Street: 98th  
 Required 7 Provided 7

**PARKING LOT TREE REQUIREMENTS**

Shade trees required under the COA Parking Lot Tree Ordinance are as follows:  
 Required 4 Provided 4

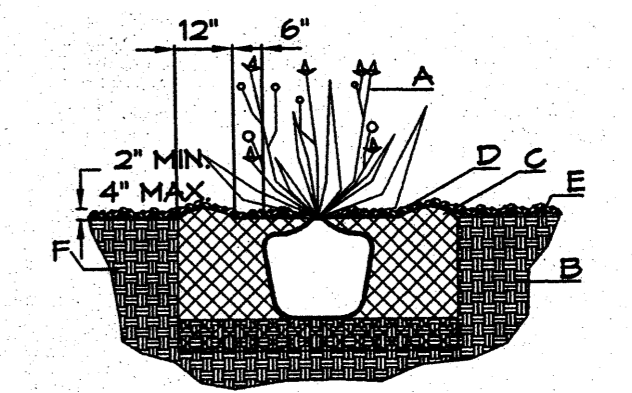
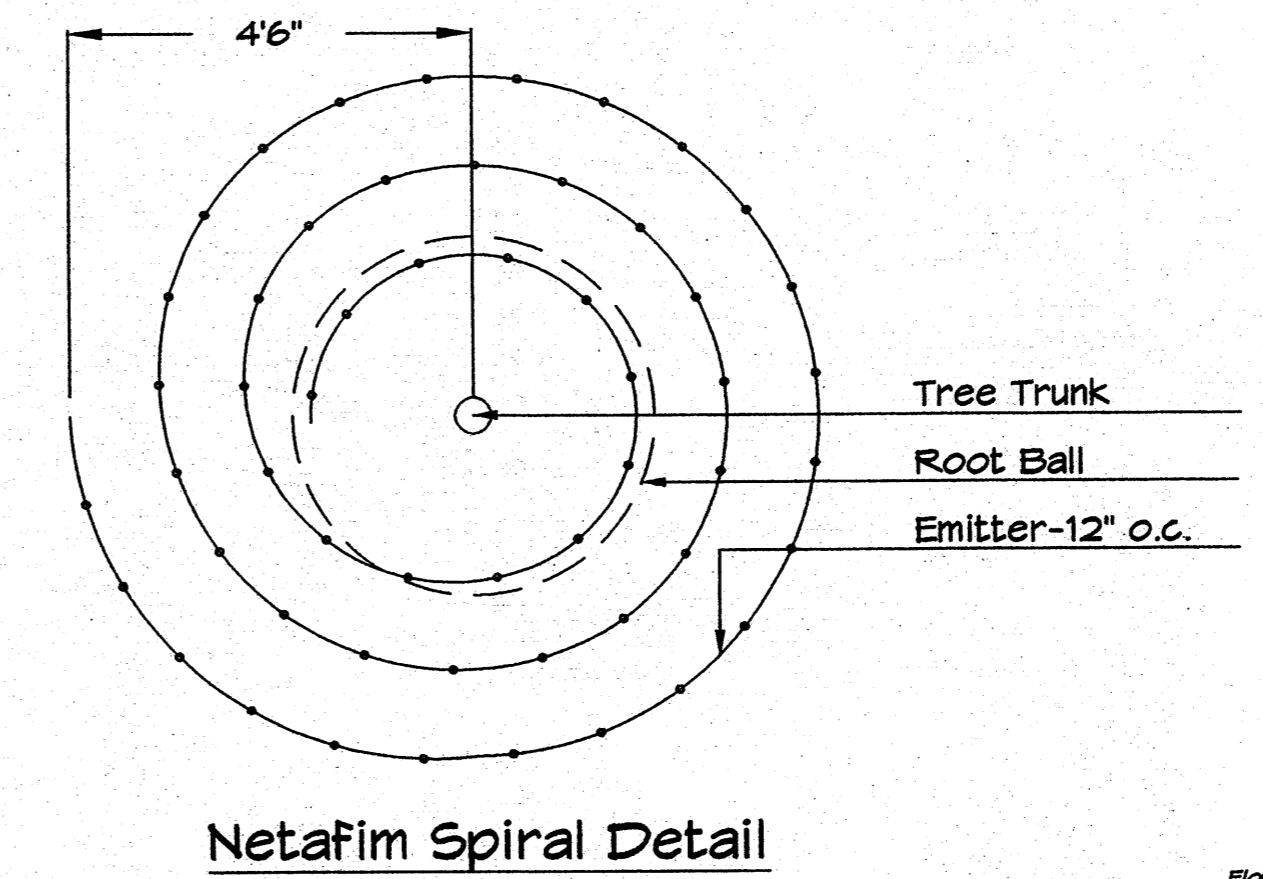
**NOTE TO CLIENT:**  
 Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received. The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

**PLANT LEGEND**

All plants shall be sized per American Standard for Nursery Stock

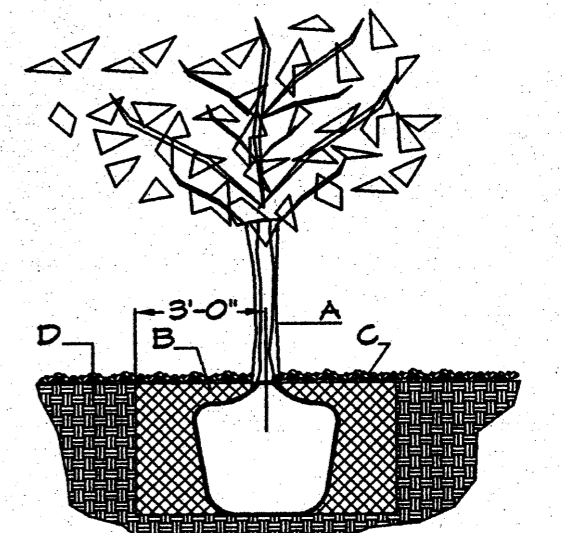
TREES: SHADE, ORNAMENTAL AND EVERGREEN

- COMMON HACKBERRY 2  
Celtis occidentalis  
2" Cal., 12-14" Inst./40' x 40' maturity  
Water (M) Allergy (L) 0sf
- JAPANESE PAGODA TREE 1  
Sophora japonica  
2" Cal., 12-14" Inst./35' x 35' maturity  
Water (M) Allergy (L) 0sf
- CHITALPA 3  
Chilopsis x Catalpa  
2" Cal., 12-14" Inst./30' x 30' maturity  
Water (M) Allergy (L) 0sf
- PURPLE-LEAF PLUM 1  
Prunus cerasifera  
1 1/2" Cal., 10-12" Inst./20' x 20x maturity  
Water (M) Allergy (L) 0sf
- WESTERN RED CEDAR 2  
Thuja plicata 'Green Giant'  
15 Gal., 4-10" Inst./40' x 15' maturity  
Water (M) Allergy (L) 225sf
- SHRUBS/ORNAMENTAL GRASSES
- PARNEY COTONEASTER 3  
Cotoneaster lacteus  
5 Gal., 144sf
- RED TIP PHOTINIA 8  
Photinia fraseri  
5 Gal., 64sf
- MAIDENGRASS (M) 3  
Miscanthus sinensis  
1 Gal. 16sf
- CATMINT (M) 25  
Nepeta mussini  
1 Gal. 4sf, 1' H x 2' W
- SCOTCH BROOM (M) 4  
Cytisus scoparius  
5 Gal. 16sf
- THREADGRASS (M) 6  
Stipa tenuisima  
1 Gal. 4sf
- REGAL MIST (M) 14  
Muhlenbergia capillaris  
5 Gal. 4sf
- WILDFLOWER 21  
1 Gal. 4sf
- GROUNDCOVERS/VINES
- LADY BANK'S ROSE (M) 2  
Rosa banksiae  
5 Gal. 400sf  
Unstaked Groundcover
- HONEYSUCKLE (M) 16  
Lonicera japonica  
1 Gal. 144sf  
Unstaked-Groundcover
- HARDSCAPES
- SANTA FE BROWN GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH
- OVERSIZED GRAVEL & BOULDERS
- DESERT ACCENTS
- PALM YUCCA (L) 0
- AGAVE (L) 5  
Agave spp. 16 sf
- MUGO PINE (M) 4  
Pinus mugo  
5 Gal. 4sf
- RED YUCCA (L) 6  
Hesperaloe parviflora  
5 Gal. 4sf
- OCOTILLO (L) 1  
Fouquieria splendens



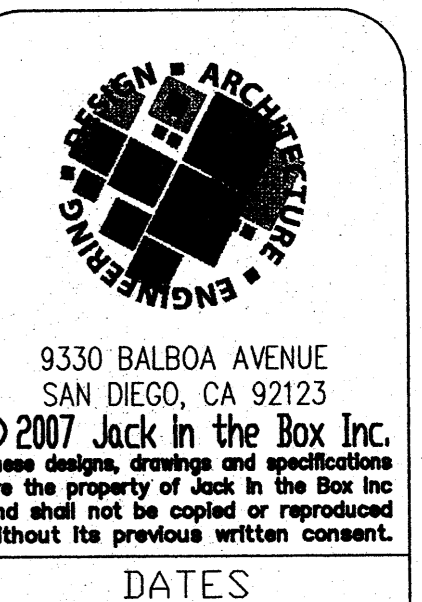
**SHRUB PLANTING DETAIL**

**GENERAL NOTES:**  
 1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.  
**CONSTRUCTION NOTES:**  
 A. SHRUB.  
 B. BACKFILL WITH EXISTING SOIL.  
 C. EARTH BERM AROUND WATER RETENTION BASIN.  
 D. 3" DEPTH OF GRAVEL MULCH.  
 E. FINISH GRADE.  
 F. UNDISTURBED SOIL.



**TREE PLANTING DETAIL**

**GENERAL NOTES:**  
 1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.  
 2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.  
 3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.  
 4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.  
**CONSTRUCTION NOTES:**  
 A. TREE  
 B. BACKFILL WITH EXISTING SOIL.  
 C. 3" DEPTH OF GRAVEL MULCH.  
 D. UNDISTURBED SOIL.



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**DATES**  
 RELEASE: OCTOBER 18, 2010  
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**REVISIONS**

- 5-5-11 cm1 COA comments
- 2-28-11 cm1
- 1-27-11 cm1
- 1-26-11 cm1 client comments
- 1-25-11 cm1 revised site plan

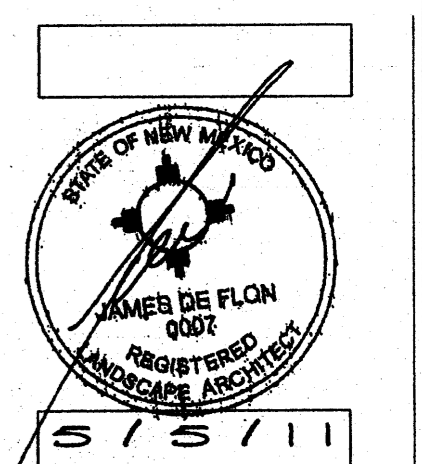
JACK IN THE BOX



**The Hilltop**

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 7909 Edith N.E.  
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 Ph. (505) 898-9690  
 Fax (505) 898-7737  
 cm@hilltoplandscaping.com

LIBBY L. DICK & ASSOCIATES  
 LANDSCAPE ARCHITECTS  
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 Tucson, AZ 85719  
 (520) 327-8870/327-8876



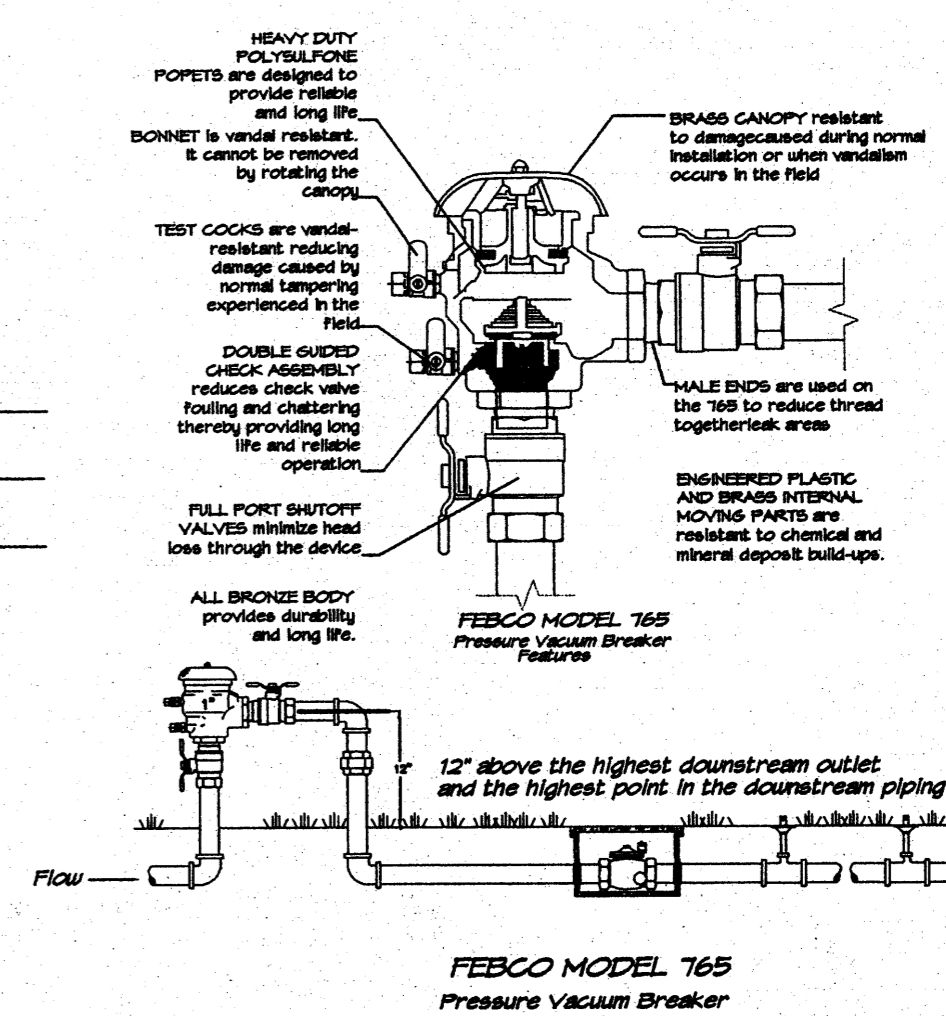
**SITE INFORMATION**

MK TYPE: 9A\_LG  
 JIB #: XXXX F  
 ADDRESS:

DRAWN BY: LJCA

SCALE:

LANDSCAPE PLAN  
 L1.0





9330 BALBOA AVENUE  
SAN DIEGO, CA 92123  
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REVISIONS

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JACK IN THE BOX

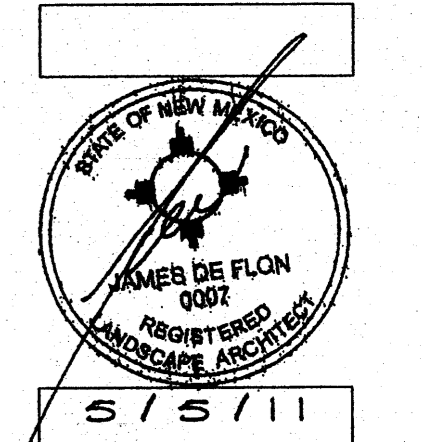


**The Hilltop**  
LANDSCAPE ARCHITECTS & CONTRACTORS

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Ph. (505) 898-9690  
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cmj@hilltoplandscaping.com

All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be released or copied unless applicable fees have been paid or job order placed. All plans shall be sized per American Standard for Nursery Stock.

LESLY J. JACK & ASSOCIATES  
LANDSCAPE ARCHITECTS  
3444 N. Country Club, Suite # 105  
Tucson, Arizona 85719  
(520) 327-0079/327-8816

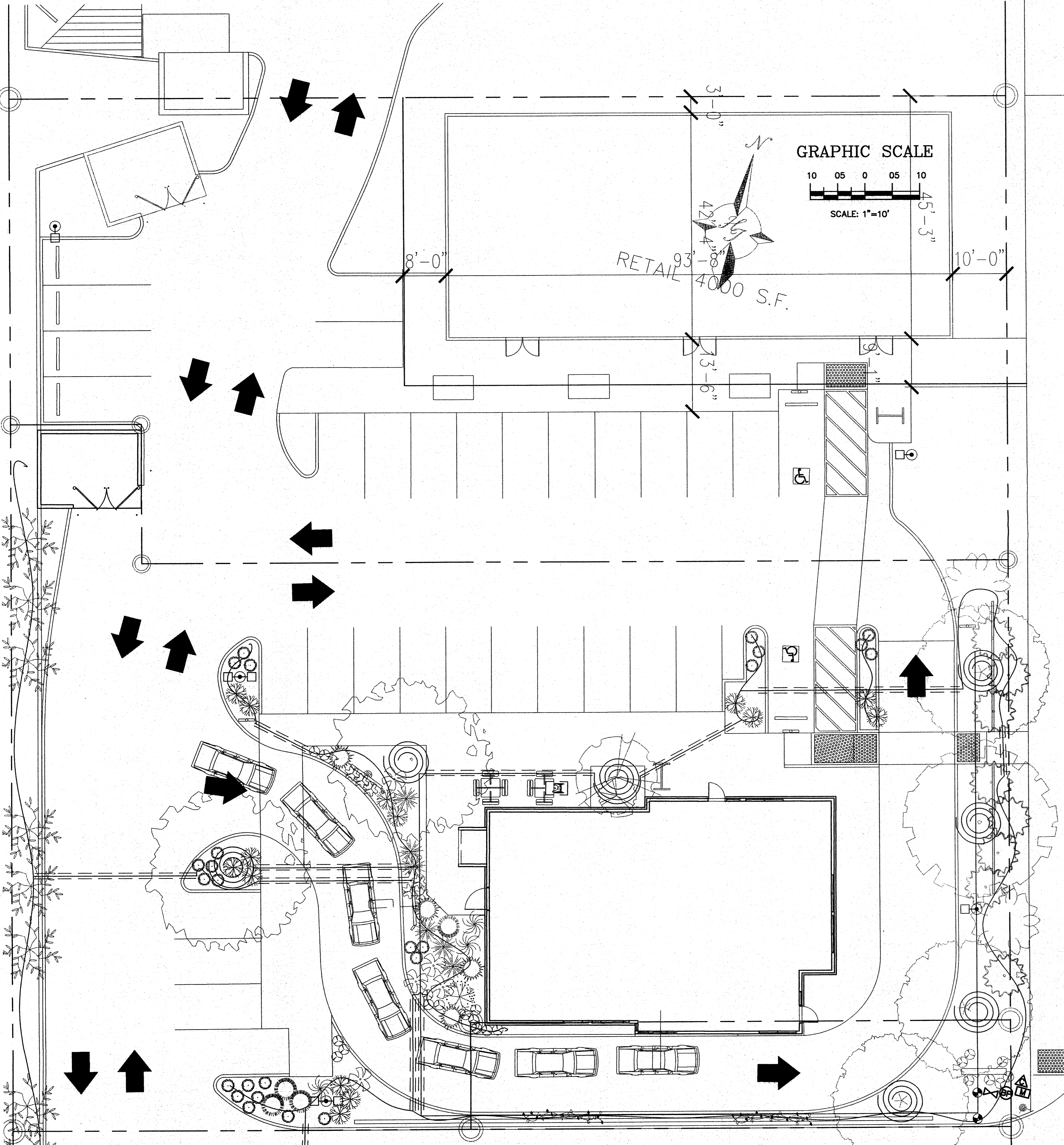


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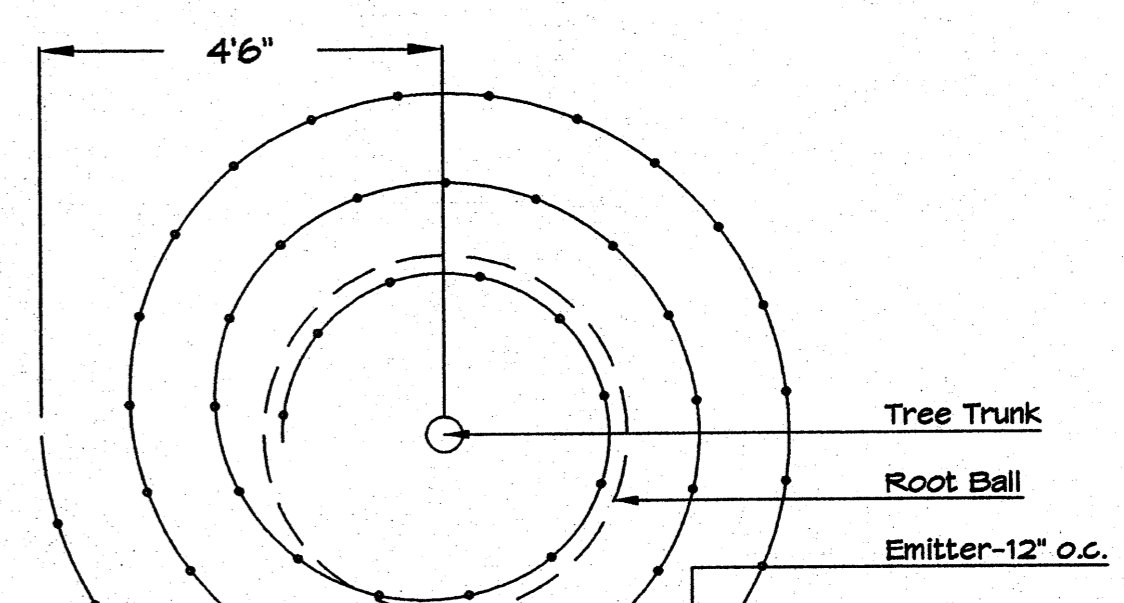
DRAWN BY: LJCA

SCALE:  
**LANDSCAPE DETAILS**  
**L1.1**



IRRIGATION LEGEND

- ⊕ BACKFLOW PREVENTOR
- △ CONTROLLER
- ⊠ WATER METER- 1" By Others
- ⊗ MASTER VALVE
- PGA VALVE
- LATERAL, SIZE PER PLAN (UNSIZED PIPE TO BE 3/4")
- ~ DRIP LINE, SIZE PER PLAN (UNSIZED DRIP LINE TO BE 1/2")
- == SLEEVE, 2X PIPE TO BE SLEEVED.
- ⊙ NETAFIM SPIRAL



Netafim Spiral Detail

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

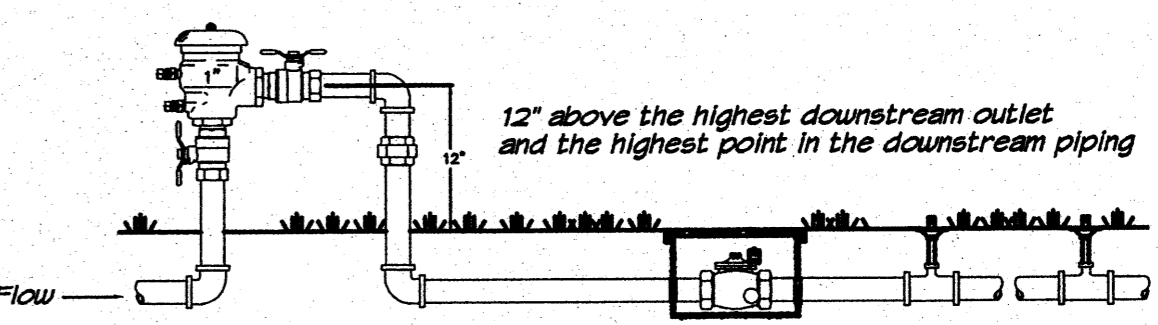
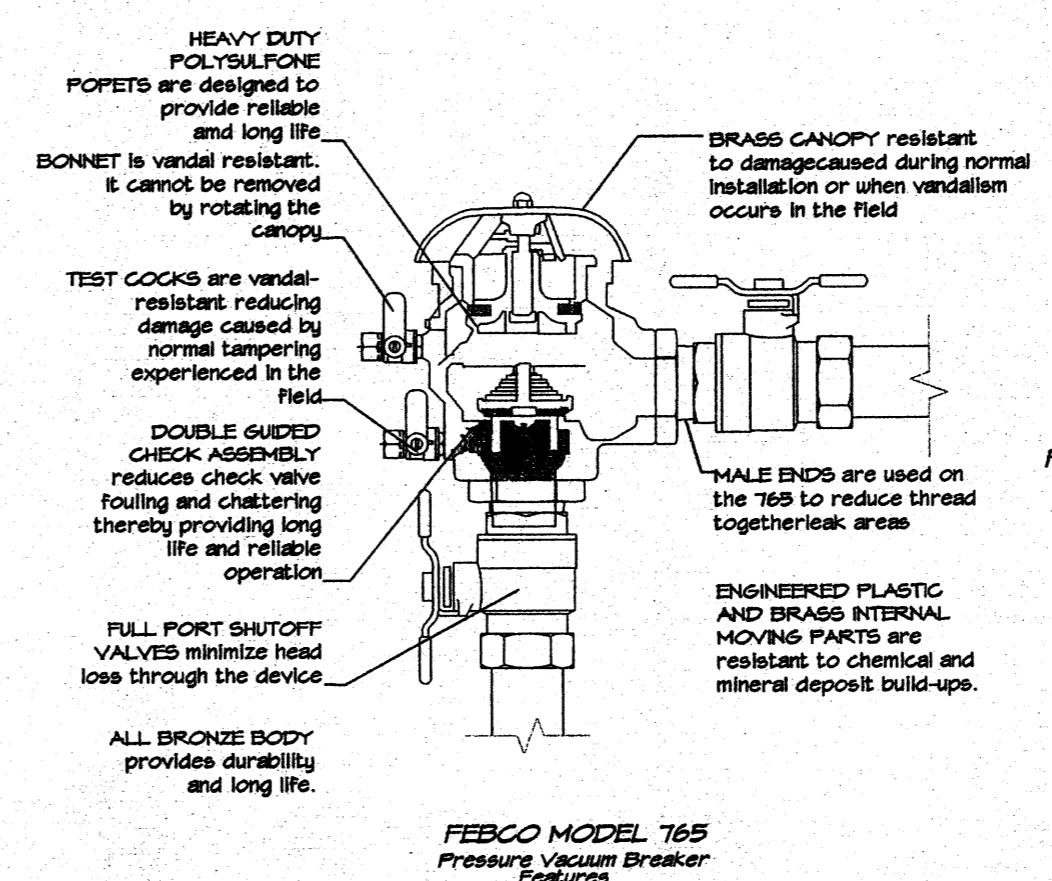
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for Irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

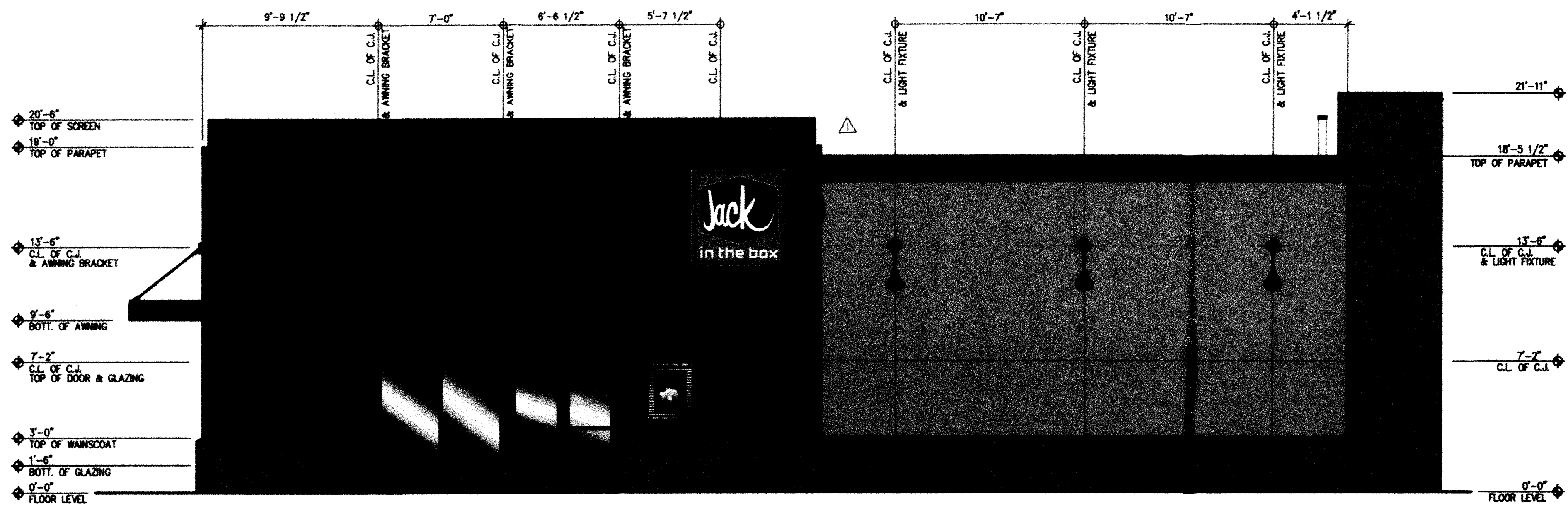
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.



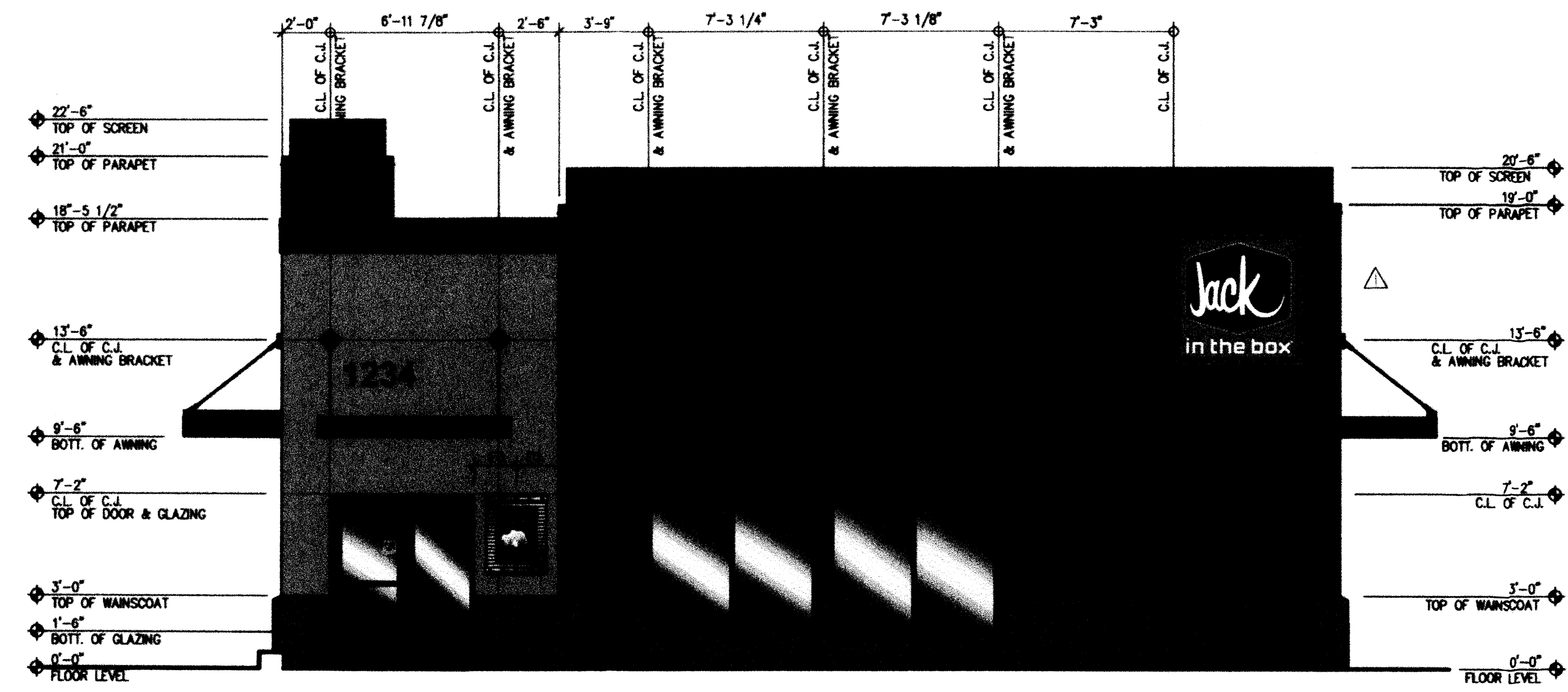
FEBCO MODEL 765 Pressure Vacuum Breaker Outside Installation



**NORTH ELEVATION**

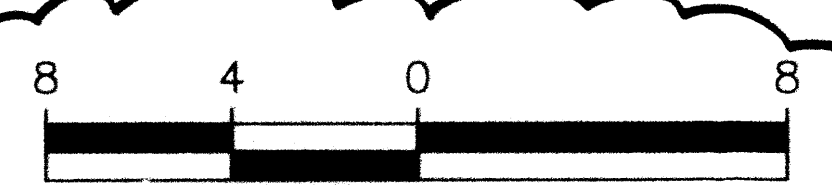
SCALE: 1/4" = 1'-0"

- 
 STUCCO  
 SHERWIN WILLIAMS  
 SW 7039 "VIRTUAL TAUPE" (BROWN)
- 
 STUCCO  
 SHERWIN WILLIAMS  
 SW 7037 "BALANCED BEIGE" (BROWN)
- 
 STUCCO  
 SHERWIN WILLIAMS  
 SW 6328 "FIREWEED" (RED)
- 
 METAL  
 SHERWIN WILLIAMS  
 SW 6990 "CAVIAR" (DARK GREY)
- 
 STUCCO  
 SHERWIN WILLIAMS  
 SW 7074 "SOFTWARE" (GREY)
- 
 STOREFRONT #33 BLACK ANODIZED
- 
 METAL SCREEN  
 DARK GREY GALVANIZED FINISH



**EAST ELEVATION**

SCALE: 1/4" = 1'-0"

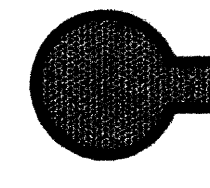


SCALE: 1/4" = 1'-0"

PRELIMINARY. NOT FOR CONSTRUCTION.

**FAST FOOD RESTAURANT  
DEVELOPMENT  
AVALON & 98TH STREET  
ALBUQUERQUE, NM**

▲ CLOUDED AREAS  
 INDICATE MAY  
 2011 MODIFICATIONS  
 REQUIRED TO ADDRESS  
 EPC CONDITIONS  
 OF APPROVAL



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