

SITE PLAN LEGEND:

- NEW STEEL DRAIN COVER
- NEW ASPHALT
- NEW CONCRETE
- NEW LANDSCAPING AREA. SEE LANDSCAPE PLAN FOR INFORMATION.
- PROPERTY LINE
- LINE TO DISTINGUISH BETWEEN AREA TO BE ALTERED (PHASE II) AND AREA AS APPROVED UNDER EPC #1000870 (PHASE I).
- EASEMENT

PROJECT DESCRIPTION
 PHYSICAL ADDRESS
 301 98TH STREET NW
 ALBUQUERQUE, NM 87121

PARCEL INFORMATION -
 PARCEL: 1B1
 BLOCK: 0000
 SUBDIVISION: TOWN OF ATRISCO GRANT, UNIT A, ROW2
 ZONING: S11 FOR C-2 PERMISSIVE USES
 SECTOR PLAN: NONE
 AREA PLAN: WESTSIDE STRATEGIC PLAN
 COMPREHENSIVE PLAN: DEVELOPING URBAN
 ZONE ATLAS PAGE: K-9
 BUILDING S.F.: 3,930 S.F. (GROSS)
 SITE SQUARE FOOTAGE: 15,361 S.F.

CITY ZONING CODE OFF-STREET PARKING REGULATIONS (14-16-3-1)

RETAIL SPACE (1 PER 200 S.F.)	= 1,930 S.F. / 200 = 7
RESTAURANT (1 PER 4 SEATS)	= 52 SEATS / 4 = 13
TOTAL SPACES REQUIRED	= 20 SPACES
TOTAL SPACES PROVIDED	= 20 SPACES
HANDICAPPED PARKING FACILITIES (14-16-3-1-F) (1 VAN ACCESSIBLE SPACE)	= 1 SPACE
PROVIDED H.C. SPACES	= 1 SPACE
BICYCLE PARKING FACILITIES (14-16-3-1-B) REQUIRED (1 SPACE / 20 PARKING SPACES) PROVIDED	= 1 SPACE
MOTORCYCLE PARKING FACILITIES (14-16-3-1-C) REQUIRED SPACES PROVIDED	= 1 SPACE

SITE PLAN GENERAL NOTES:
 - THE MAJORITY OF THE SITE IS EXISTING AS APPROVED BY THE PLANNING DEPARTMENT AND CONSTRUCTED UNDER THE PARCEL 1B2 BUILDING PERMIT.
 - CONTRACTOR TO VERIFY EXISTING LIGHT POLES DO NOT EXCEED 20'.

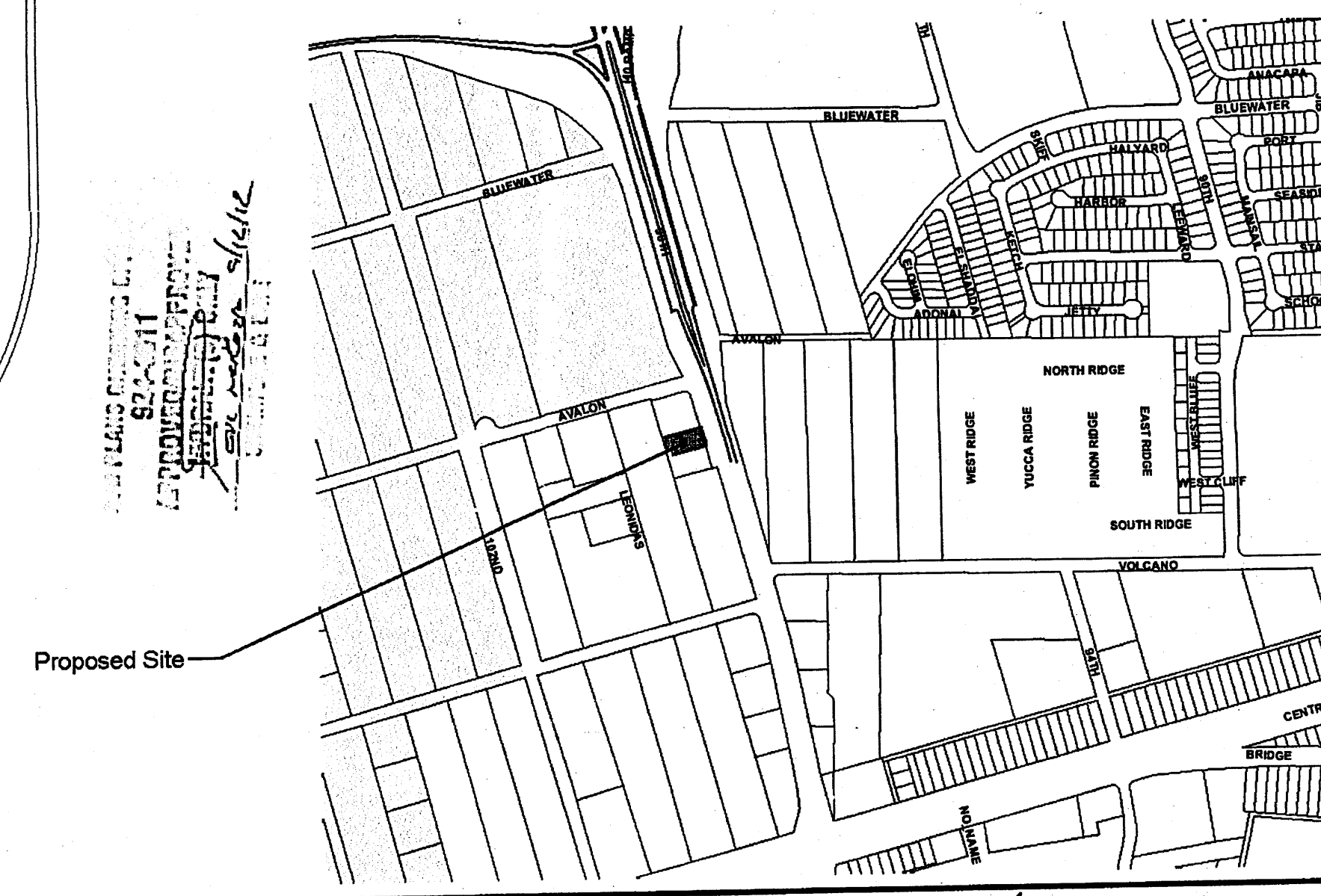
- SITE PLAN KEYED NOTES:**
- EXISTING PARKING AS CONSTRUCTED UNDER BUILDING PERMIT FOR PARCEL 1B2.
 - EXISTING ACCESSIBLE PARKING SIGN AS CONSTRUCTED UNDER BUILDING PERMIT FOR PARCEL 1B2.
 - BIKE RACK, TO PROVIDE BICYCLE PARKING FOR 1 BICYCLE MIN.
 - EXISTING LANDSCAPE AREA AS APPROVED PER EPC #1000870 TO REMAIN.
 - NEW LANDSCAPE AREA, CONTRACTOR IS TO COORDINATE PLANTS ARE PER CITY ORDINANCES.
 - EXISTING NON-PARKING AREA FOR ACCESSIBLE AISLE SERVING PARKING SPACE AS CONSTRUCTED UNDER BUILDING PERMIT FOR PARCEL 1B2.
 - EXISTING ACCESSIBLE PARKING SYMBOL AS CONSTRUCTED UNDER BUILDING PERMIT FOR PARCEL 1B2.
 - EXISTING PUBLIC ASPHALT TRAIL ON PUBLIC RIGHT-OF-WAY.
 - MOTORCYCLE PARKING AND PARKING SIGN AS CONSTRUCTED UNDER BUILDING PERMIT FOR PARCEL 1B2.
 - EXISTING STAIRS AS CONSTRUCTED UNDER BUILDING PERMIT FOR PARCEL 1B2.
 - EXISTING MONUMENT SIGN AS CONSTRUCTED UNDER BUILDING PERMIT FOR PARCEL 1B2.
 - EXISTING CONCRETE CURBING AS CONSTRUCTED UNDER BUILDING PERMIT FOR PARCEL 1B2.
 - EXISTING SITE LIGHTING AS CONSTRUCTED UNDER BUILDING PERMIT FOR PARCEL 1B2.
 - NEW PEDESTRIAN CONCRETE PLAZA ALONG BUILDING FASCIA.
 - EXISTING REFUSE CONTAINER ENCLOSURE AS CONSTRUCTED UNDER BUILDING PERMIT FOR PARCEL 1B2.
 - NEW CONCRETE PEDESTRIAN SIDEWALK, PROVIDES REQUIRED ACCESSIBLE CONNECTION FROM EXISTING PUBLIC SIDEWALK TO NEW BUILDING.
 - REMOVE AND REPLACE EXISTING CURBING TO ALLOW 18" PARKING SPACE.
 - EXISTING FIRE HYDRANT TO REMAIN.
 - PROPOSED 4"x4" TREE WELL DESIGNED TO MEET GUIDELINES SET BY THE EPC APPROVAL (EPC #1000870).
 - PROPOSED CONCRETE CURB ALONG FACE OF EXISTING / ALTERED ASPHALT.
 - PROPOSED STEEL PLATE OVER EXISTING SIDEWALK DRAIN. COORDINATE PER CITY STANDARDS APPROPRIATE FOR EVEN WALKING SURFACE.
 - NEW CONCRETE SIDEWALK FROM PARKING TO BUILDING ENTRY PLAZA.
 - EXPAND EXISTING PARKING STALLS 2'-0" TO PROVIDE 18'-0" PARKING STALLS, TYP. ALONG SOUTH SIDE OF BUILDING.
 - EXPAND EXISTING PARKING STALLS TO PROVIDE MAXIMUM LENGTH WHILE LEAVING A MIN. 6'-6" SIDEWALK ALONG BUILDING AS DIMENSIONED.
 - NEW ACCESSIBLE RAMP, COORDINATE PER CITY STANDARDS.

PROJECT NUMBER: 1000870
 APPLICATION NUMBER: 12-DRB-70251

SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
<i>Allen Pate</i>	09-25-12
ABQWA	DATE
<i>9-18-12</i>	09/19/12
PARKS & RECREATION DIVISION	DATE
<i>Ante C. Chen</i>	9/19/12
CITY ENGINEER	DATE
<i>NA</i>	9-19-12
* ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
<i>9.12.2012</i>	9.12.2012
SOLID WASTE MANAGEMENT	DATE
<i>10-11-12</i>	10-11-12
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

OK
 9-18-12
 ZONING ENFORCEMENT
 City of Albuquerque



CANNADY ARCHITECT STUDIO
 300 ADAMS STREET SE
 505.299.1111 Phone
 cannadystudio.com

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Parcel 1B1 Restaurant / Retail Building
 311 98th Street NW
 Albuquerque, NM 87121

Architectural Site Plan

STATE OF NEW MEXICO
 DEVIN B. CANNADY
 REGISTERED ARCHITECT
 09.24.12

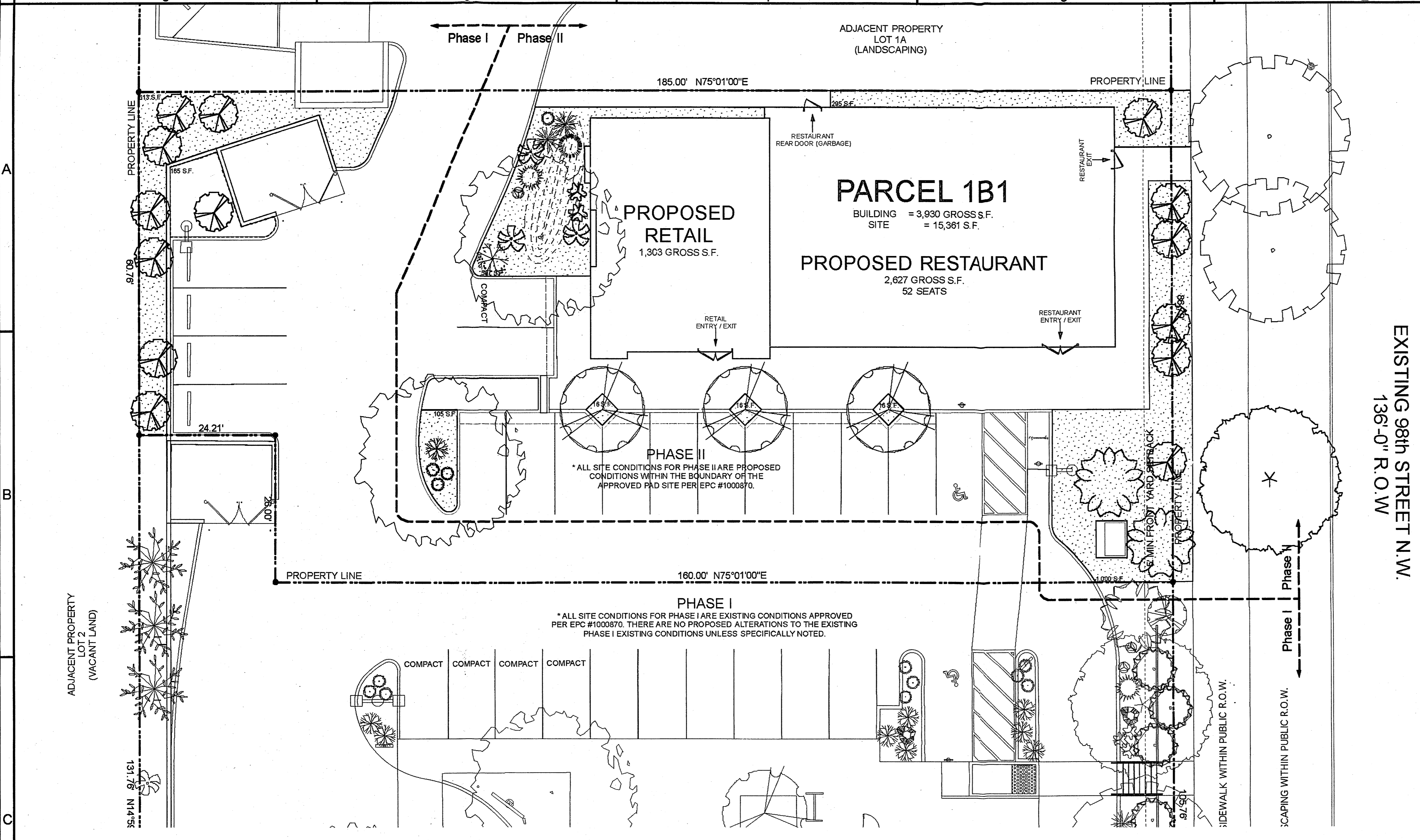
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Print Date: 09.24.12
 Job Number: 12.12
 Drawing No: DRB.01

- BLANKET EASEMENTS RECORDED ON CITY APPROVED SITE PLAN FOR SUBDIVISION (EPC #1000870)**
- A CROSS ACCESS AGREEMENT ALLOWING ACCESS FROM TRACTS 1-B-1 AND 1-B-2 ACROSS TRACT 1-A WAS EXECUTED BY THE OWNER OF TRACT 1-A ON MARCH 9, 2011 AND FILED WITH THE BERNALILLO COUNTY CLERK'S OFFICE ON MARCH 10, 2011 DOC. #2011023732.
 - A CROSS ACCESS EASEMENT FOR USE BY THE ENTIRE TRACT 1, UNIT A, ROW 2, ATRISCO GRANT ALLOWING ACCESS FROM TRACT 1-A ACROSS TRACTS 1-B-1, 1-B-2, AND THE REMAINDER OF TRACT 1, UNIT A WAS GRANTED VIA SUBDIVISION PLAT CREATING TRACTS 1-B-1 AND 1-B-2, EASEMENT J. DOCUMENT FILED WITH THE BERNALILLO COUNTY CLERK'S OFFICE ON JULY 7, 2011, DOCUMENT #2011082388.
 - A 24' PRIVATE RECIPROCAL CROSS CUT LOT DRAINAGE EASEMENT BENEFITING TRACTS 1-B-1 AND 1-B-2, CONFINED TO THE LIMITS AS DEFINED IN EASEMENT AND TO BE MAINTAINED BY SAID OWNER.

D4 Site Plan
 Scale: 1" = 10 ft

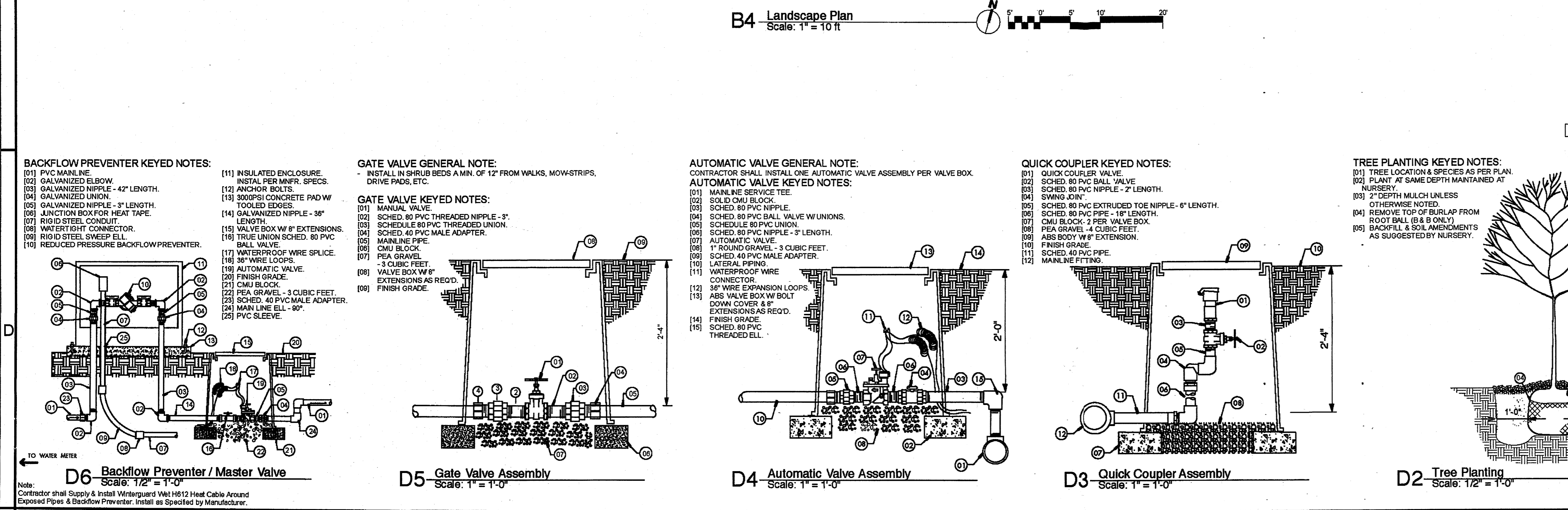
1000870



- LANDSCAPE NOTES:**
- LANDSCAPE AND IRRIGATION SYSTEM MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER. THE PROPERTY OWNER SHALL MAINTAIN STREET TREES IN A LIVING, HEALTHY, AND ATTRACTIVE CONDITION.
 - IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE PLANTING RESTRICTION APPROACH. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.
 - WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. ALL LANDSCAPING SHALL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE ZONING CODE, STREET TREE ORDINANCE, POLLEN ORDINANCE, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATIVE ENVIRONMENTAL SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.
 - PLANT BEDS SHALL ACHIEVE 75% LIVE GROUND COVER AT MATURITY.
 - LANDSCAPING SHALL BE IN COMPLIANCE WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION ORDINANCE (ARTICLE 8-1-1-1).
 - ALL LANDSCAPE AREAS SHALL BE COVERED IN 2-3\"/>
- IRRIGATION NOTES:**
- LANDSCAPE SHALL BE WATERED BY A COMPLETE UNDERGROUND IRRIGATION SYSTEM OPERATED BY AUTOMATIC TIMER. TREES SHALL HAVE BUBBLERS AND SHRUBS SHALL HAVE A MINIMUM OF 2 EMITTERS PER SHRUB. TREES AND SHRUBS SHALL BE ZONED SEPARATELY. POINT OF CONNECTION FOR IRRIGATION SYSTEM SHALL BE COORDINATED BETWEEN THE LANDSCAPE CONTRACTOR AND THE GENERAL CONTRACTOR OF THE PROJECT PRIOR TO CONSTRUCTION.
 - RUN TIME PER EACH SHRUB DRIP VALVE WILL BE APPROXIMATELY 15 MINUTES PER DAY. TREE DRIP VALVE SHALL RUN 1.5 HOURS, 3 TIMES PER WEEK. RUN TIME WILL BE ADJUSTED ACCORDING TO SEASON.
 - POINT OF CONNECTION FOR IRRIGATION SYSTEM IS UNKNOWN AT CURRENT TIME AND WILL BE COORDINATED IN THE FIELD. IRRIGATION WILL BE OPERATED BY AUTOMATIC CONTROLLER.
 - IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- LANDSCAPE KEYED NOTES:**
- [01] AREA FOR RETENTION POND AS REQUIRED.
 - [02] EXISTING SANTA FE BROWN GRAVEL TO REMAIN IN RIGHT-OF-WAY.
- LANDSCAPE CALCULATIONS:**
- PARCEL 1B1 TOTAL S.F. = 15,361 S.F.
 - TOTAL S.F. PROPOSED EPC #1000870 = 3,180 S.F.
 - TOTAL PROPOSED LANDSCAPE = 2,735 S.F.
- *THE LANDSCAPE S.F. HAS BEEN REDUCED BY 445 S.F. IN ORDER TO PROVIDE AN ACCESSIBLE CONNECTION TO THE PUBLIC SIDEWALK TO BE UTILIZED BY BOTH LOTS 1B1 & 1B2. ZONING ORDINANCE 14-16-3-18 (B)(3) ALLOWS SIDEWALKS TO BE ADDED TO LANDSCAPE CALCULATIONS.
- PARKING LOT TREE REQUIREMENTS:**
- SHADE TREES REQUIRED UNDER COA PARKING LOT TREE ORDINANCE
- 1 TREE PER 10 PARKING SPACES
 - TREES REQUIRED = 2
 - TREES PROVIDED = 5
- STREET TREE REQUIREMENTS:**
- STREET REQUIREMENTS UNDER COA STREET TREE ORDINANCE
- 1 TREE REQUIRED PER 30 FEET OF SPACING: 86.79 / 30 = 3 TREES
 - STREET TREES REQUIRED = 3
 - STREET TREES PROVIDED = 3
- LANDSCAPE LEGEND, PLANT INFORMATION:**
- Purple-Leaf Plum**
Prunus Cerasifera
1 1/2\"/>

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- Japanese Pagoda tree**
Sophora Japonica
2\"/>

Parcel 1B1 Restaurant / Retail Building
311 98th Street NW
Albuquerque, NM 87112

Landscape Site Plan

Documents Issued For:
Site Plan for Building Permit

STATE OF NEW MEXICO
DEVIN B. CANNADY
REGISTERED ARCHITECT
09.24.12

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Print Date: 09.24.12
Job Number: 12.12
Drawing No.

DRB.02

GRADING AND DRAINAGE NARRATIVE

I. INTRODUCTION
 THE PURPOSE OF THIS SUBMITTAL IS TO PRESENT A GRADING AND DRAINAGE PLAN FOR A PROPOSED JACK-IN-THE-BOX DEVELOPMENT IN SW ALBUQUERQUE. THE SITE IS LOCATED AT THE SOUTHWEST CORNER OF THE 98TH AVENUE AND AVALON ROAD. THE PROJECT WILL INCLUDE A JACK-IN-THE-BOX RESTAURANT AND RETAIL BUILDING WITH PEDESTRIAN ACCESS, PARKING, AND LANDSCAPING ON APPROXIMATELY 0.99 ACRES.

II. SITE LOCATION
 THE SITE IS LOCATED WITHIN ZONE ATLAS MAP K-9-Z. THE PROJECT IS BOUNDED ALONG THE EAST BY 98TH AVENUE, ALONG THE WEST BY A DEVELOPED HOTEL SITE, ALONG THE NORTH BY A RETAIL BUILDING AND ALONG THE SOUTH BY UNDEVELOPED PROPERTY.

III. EXISTING HYDROLOGIC CONDITIONS
 THERE IS LIMITED OFFSITE FLOW ENTERING THE SITE. THE HOTEL SITE TO THE WEST CONTAINS ITS FLOWS ON SITE, DRAINING NORTH TO AVALON AVENUE. FLOW FROM THE PROPERTY TO THE NORTH IS INTERCEPTED BY A CONCRETE SWALE AT THE PROPERTY LINE, DRAINING TO 98TH STREET. THE JACK-IN-THE-BOX SITE IS HIGHER THAN THE 98TH AVENUE RIGHT-OF-WAY AND THE UNDEVELOPED PROPERTY TO THE SOUTH.

IV. PROPOSED HYDROLOGIC CONDITIONS
 THE PROPOSED SITE RUNOFF, 4.14 CFS, DRAINS WITH A PORTION OF THE SITE ENTERING INLETS IN THE PARKING AREA AND AN INLET IN THE DRIVE-THRU. THE REMAINING PORTION DISCHARGING OFFSITE VIA PROPOSED CURB & GUTTER. THE ON-SITE STORM DRAIN SYSTEM WILL DISCHARGE TO THE EXISTING STORM DRAIN IN 98TH AVENUE. THE SURFACE RUNOFF DISCHARGING OFFSITE WILL FLOW EXISTING HYDROLOGIC CONDITIONS AND BE CONVEYED BY THE EXISTING SWALE ON THE WEST SIDE OF 98TH AVENUE AND ENTER THE EXISTING INLET AT THE NORTHWEST CORNER OF VOLCANO ROAD AND 98TH AVENUE.

V. CONCLUSION
 THE GRADING AND DRAINAGE PLAN FOR THE JACK-IN-THE-BOX SITE IS CONSISTENT WITH THE APPROVED DRAINAGE MANAGEMENT PLAN. THE PLAN IS CAPABLE OF SAFELY PASSING THE 100 YEAR STORM AND MEETS CITY REQUIREMENTS. ALL ANALYSIS WAS COMPLETED IN ACCORDANCE WITH SECTION 22.2 OF THE DEVELOPMENT PROCESS MANUAL.

DRAINAGE BASIN CALCULATIONS FOR JIB @ 98th AND AVALON							
BASIN I.D.	AREA (AC)	% LAND TREATMENT				DISCHARGE (CFS)	
		A	B	C	D	10 YR*	100YR*
HYDROLOGICAL VOLUMETRIC & DISCHARGE DATA (EXISTING CALCULATED)							
EXISTING BASIN	0.99	50.0%	50.0%	0.0%	0.0%	0.50	1.63
TOTAL	0.99					0.50	1.63
DEVELOPED							
DEVELOPED BASIN	0.99	0.0%	5.0%	5.0%	90.0%	2.68	4.14
TOTAL	0.99					2.68	4.14

*NOTE: Peak Discharge calculated from Chapter 22 Section 2 of the COA DPM.

GENERAL NOTES

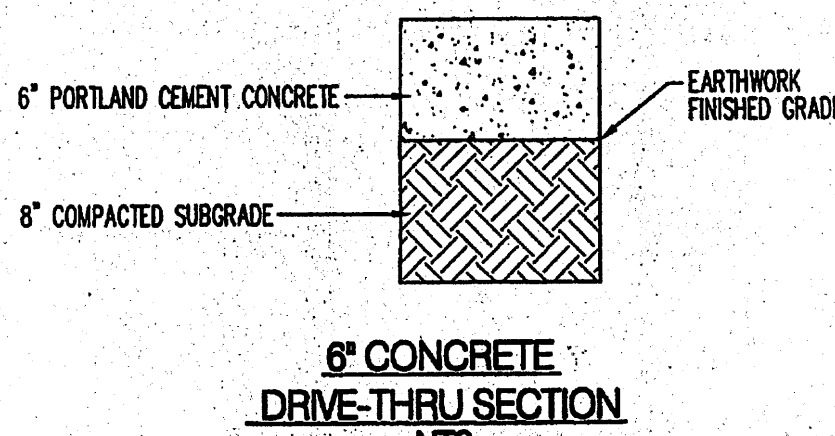
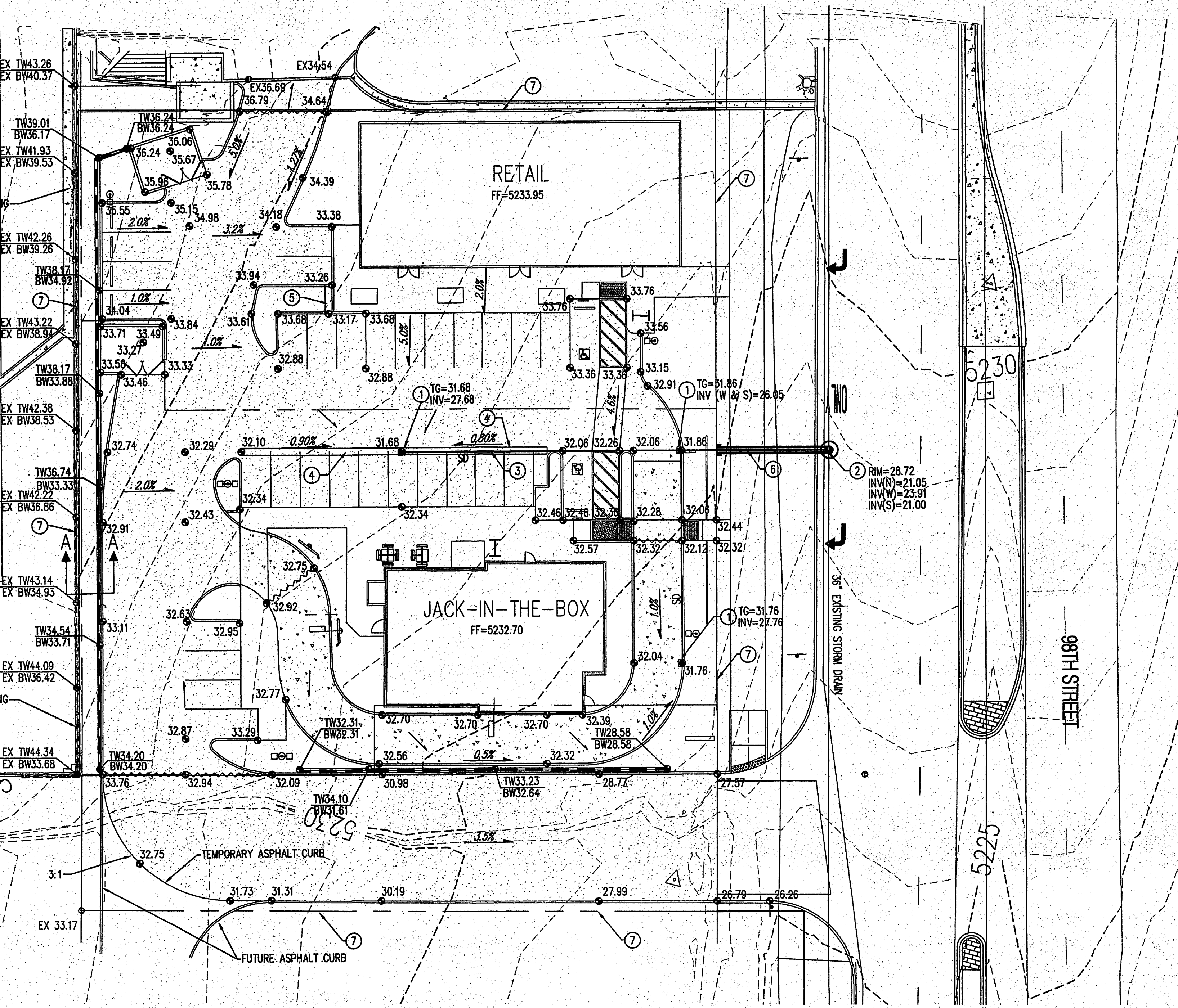
- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE. CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS ALSO RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR SWPPP COMPLIANCE AND IMPLEMENTATION.
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.

GRADING NOTES

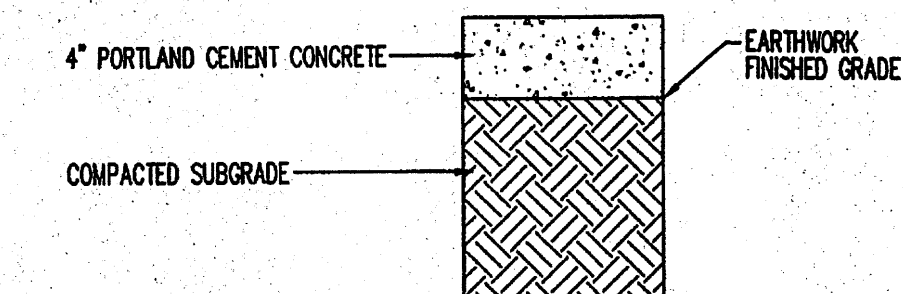
- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS.
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND NETTING THE SOIL TO PREVENT IT FROM WIND EROSION. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.
- ALL ELEVATIONS ARE TAKEN AT THE TOP OF ASPHALT UNLESS OTHERWISE NOTED.
- ALL CURB IS 6" MEDIAN CURB UNLESS OTHERWISE NOTED. ALL ELEVATIONS SHOWN ALONG MEDIAN CURB ARE AT FLOWLINE UNLESS OTHERWISE INDICATED.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.

KEYED NOTES

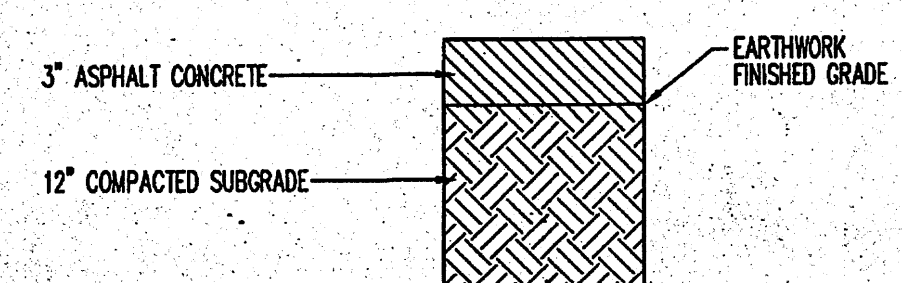
- INSTALL 24" NYLOPLAST CURB INLET STRUCTURE WITH 2'x2' STEEL BAR RECTANGULAR GRATE H-20 RATED (OR APPROVED EQUAL)
- CONNECT TO EXISTING STORM DRAIN WITH NEW 4" MANHOLE, TYPE C OR E TO BE COMPLETED BY WORK ORDER.
- INSTALL 12" HDPE (N-12WT OR APPROVED EQUAL) STORM DRAIN
- INSTALL 2" WIDE CONCRETE VALLEY GUTTER PER COA STD. DWG 2420.
- INSTALL 2" WIDE SIDEWALK CULVERT PER COA STD. DWG 2236.
- INSTALL 18" RCP STORM DRAIN.
- PROPERTY LINE



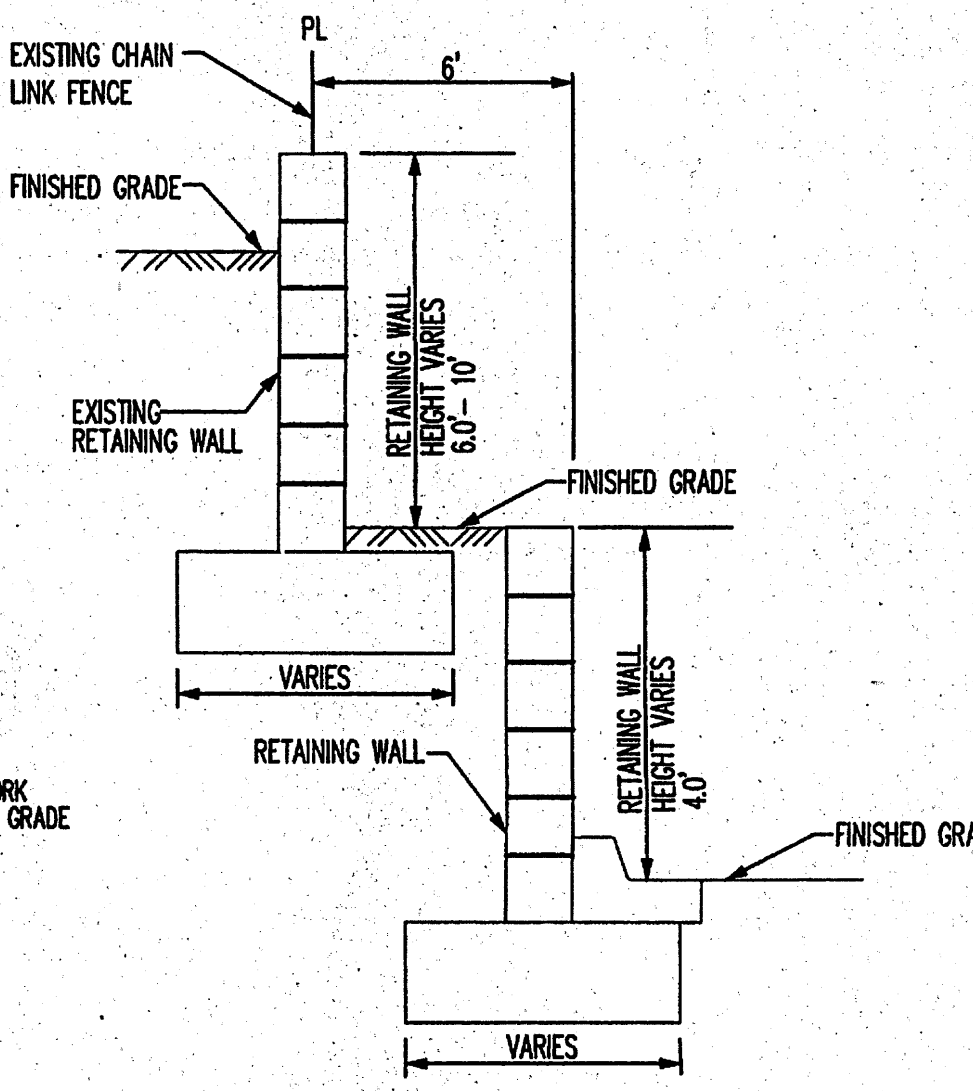
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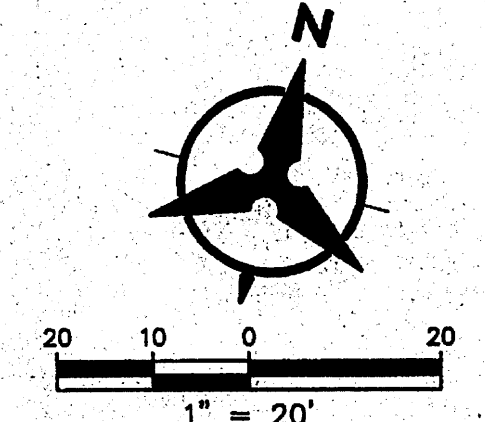
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**SECTION A-A
 RETAINING WALL DETAIL
 NOT TO SCALE
 (RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN FINISHED GRADES.)**

LEGEND

- PROPERTY LINE
- EXISTING CONTOURS
- EXISTING GROUND SPOT ELEVATION
- ALL SPOT ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE STATED.
- PROPOSED DIRECTION OF FLOW
- WATER BLOCK
- PROPOSED CURB
- EASEMENT
- PROPOSED STORM DRAIN INLET
- PROPOSED RETAINING WALL



GRADING & DRAINAGE PLAN FOR REFERENCE ONLY. SUBMITTED TO SHOW EXISTING CONDITIONS

CANNADY
 ARCHITECT STUDIO
 300 ADAMS STREET SE
 505.299.1111 Phone
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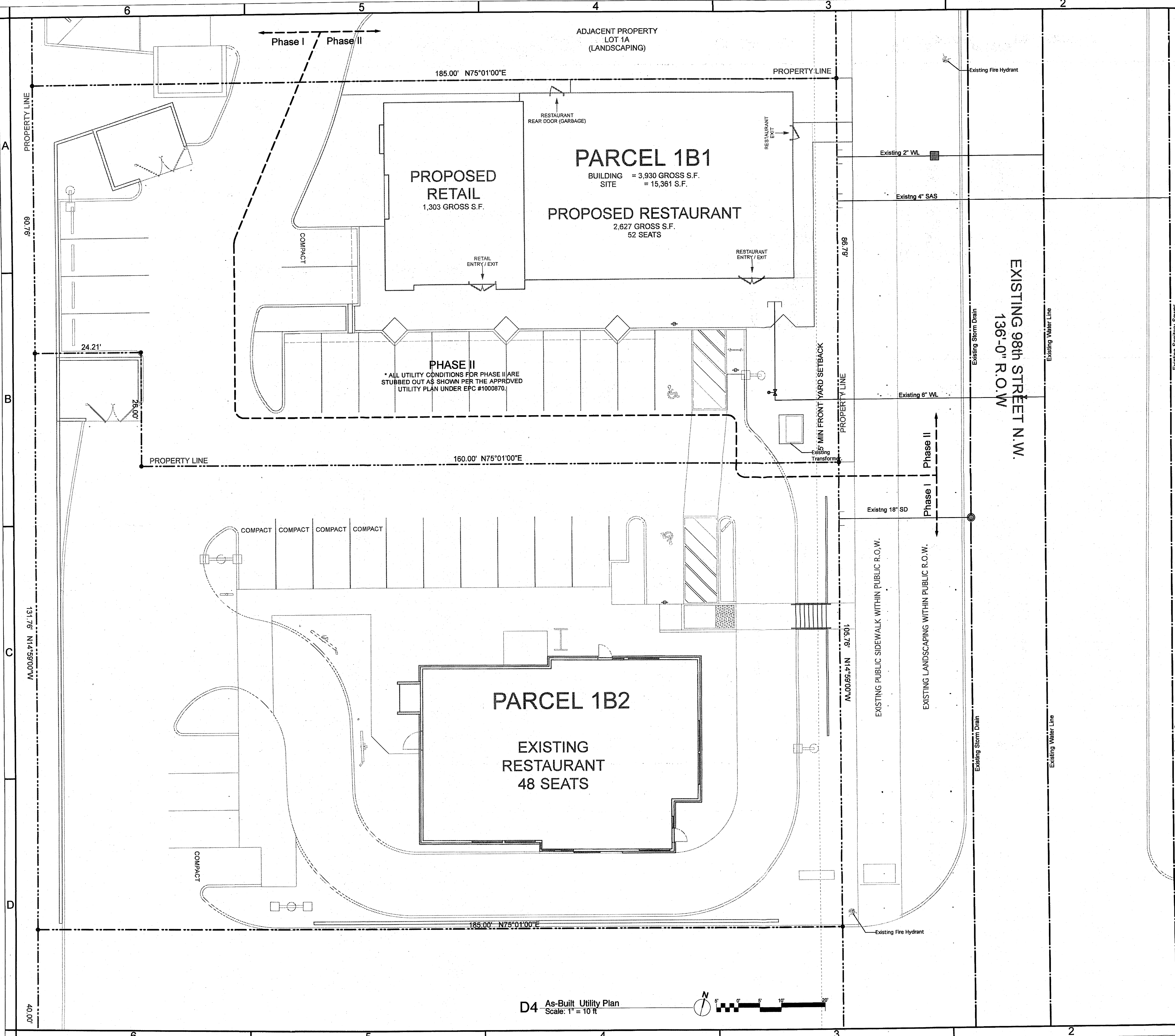
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Parcel 1B1 Restaurant / Retail Building
 311 98th Street NW
 Albuquerque, NM 87121
 Conceptual Grading & Drainage Site Plan

Documents Issued For:
 Site Plan for Building Permit

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED

Plot Date: 09.12.12 Job Number: 12.12
 Drawing No. DRB.03



SITE PLAN GENERAL NOTES:
 UTILITIES SHOWN ARE EXISTING AS CONSTRUCTED UNDER THE PARCEL 1B2 BUILDING PERMIT. NO ALTERATIONS TO EXISTING RUNS ARE PROPOSED.

UTILITY PLAN GENERAL NOTES:
 THE INTENT OF THIS DRAWING IS TO INDICATE THE GENERAL EXTENT OF WORK REQUIRED FOR THIS PROJECT. THE DRAWING SHALL NOT BE SCALED FOR EXACT MEASUREMENTS.
 THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
 ALL CURVE DATA AND DIMENSIONS ARE CALCULATED FROM CENTERLINE OF PIPE OR MANHOLE. ALL SAS AND SD SLOPES ARE CALCULATED TO TRUE PIPE DIMENSIONS FROM INVERT TO INVERT. (RAY TEAMS ARE SHOWN IN PARENTHESES).
 GRADE ELEVATIONS, WHERE NOTED, ARE FOR FLOWLINE OF CURB UNLESS OTHERWISE SPECIFIED.
 CONTRACTOR IS TO INSTALL A 4" X 4" X 5' POST AND EMD AT THE END OF EACH SANITARY SEWER SERVICE.
 CONTRACTOR IS RESPONSIBLE FOR REPAIR AND / OR REPLACEMENT OF ALL UTILITY CONDUITS AND EXISTING LINES.
 CONTRACTOR SHALL PROVIDE THE INSPECTORS WITH THE PROPOSED TESTING PLAN. THE PLAN MUST BE APPROVED BEFORE TESTING OPERATIONS BEGIN.
 CONTRACTOR SHALL PARK EQUIPMENT AND VEHICLES AS NOT TO INTERFERE WITH NORMAL ACTIVITIES OF RESIDENTS OR OTHER CONTRACTORS ON SITE.
 ANY DAMAGE TO THE EXISTING FACILITIES (CURB & GUTTER, PAVEMENT, CONDUITS, LANDSCAPING, UTILITY LINES, ETC.) DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
 MH RIMS & CATCH BASIN INLET ELEVATIONS, VALVE BOXES, ARV, FIRE HYDRANT & FLANGE ELEVATIONS ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY AND ADJUST TO FINAL PAVEMENT GRADES.
 SAS STATIONING FOLLOWS SAS CL ALIGNMENT UNLESS OTHERWISE NOTED.
 FLOWLINE ELEVATIONS FOR DROP INLETS ARE PROJECTED FROM FLOWLINE OF STANDARD CURB TO MIDDLE OF DOWNHILL GRATE.
 ROP SHALL BE INSTALLED SO THAT THE JOINT GAP AT THE HOME POSITION SHALL CONFORM TO THE APPROVED MANUFACTURER'S RECOMMENDATIONS.
 MANUFACTURER'S RECOMMENDED JOINT GAP TOLERANCES FOR EACH PIPE SIZE AND TYPE SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO PLACEMENT OF PIPE. RCP JOINTS SHALL BE GROUTED UNLESS DIRECTED BY THE ENGINEER AFTER CITY APPROVAL.
 ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART F.

- UTILITY LEGEND:**
- EXISTING CAP
 - ⊗ EXISTING VALVE
 - EXISTING WATER METER
 - EXISTING STORM DRAIN

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Parcel 1B1 Restaurant / Retail Building
 301 98th Street NW
 Albuquerque, NM 87121

As-Built Utility Site Plan

Documents Issued For:
 Site Plan for Building Permit

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED

Print Date: 08.12.12
 Job Number: 12.12
 Drawing No.:

DRB.04

D4 As-Built Utility Plan
 Scale: 1" = 10' ft

6

5

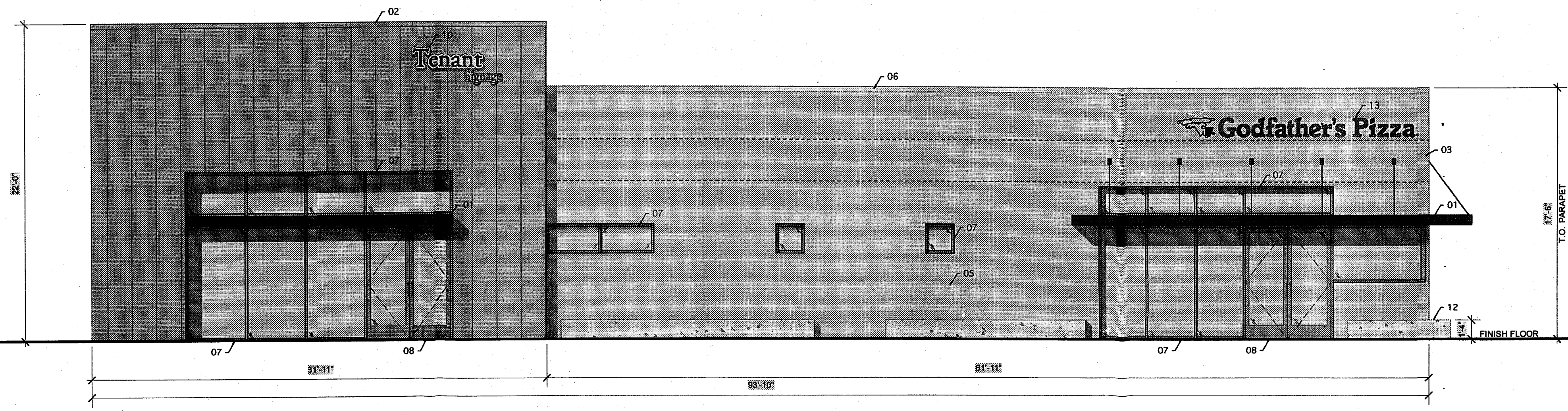
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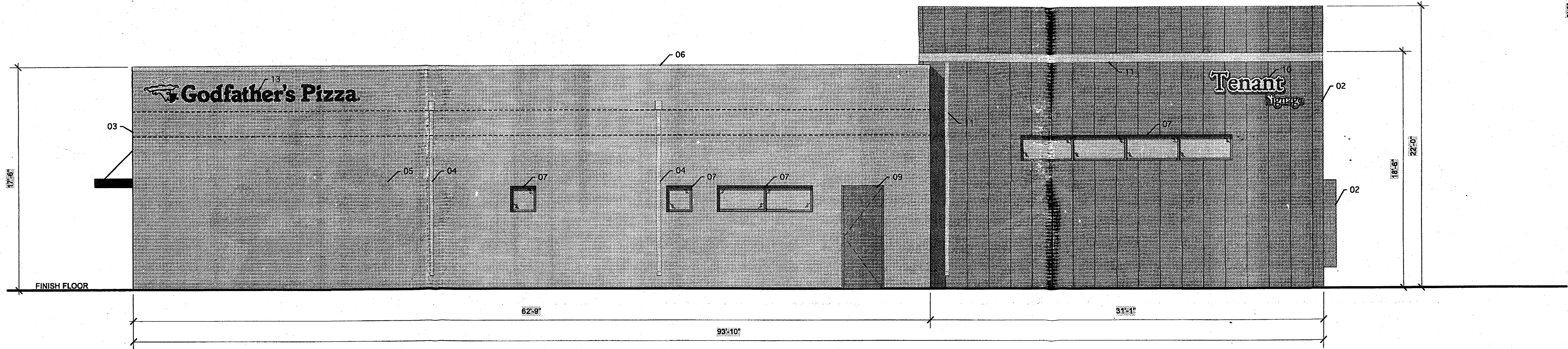
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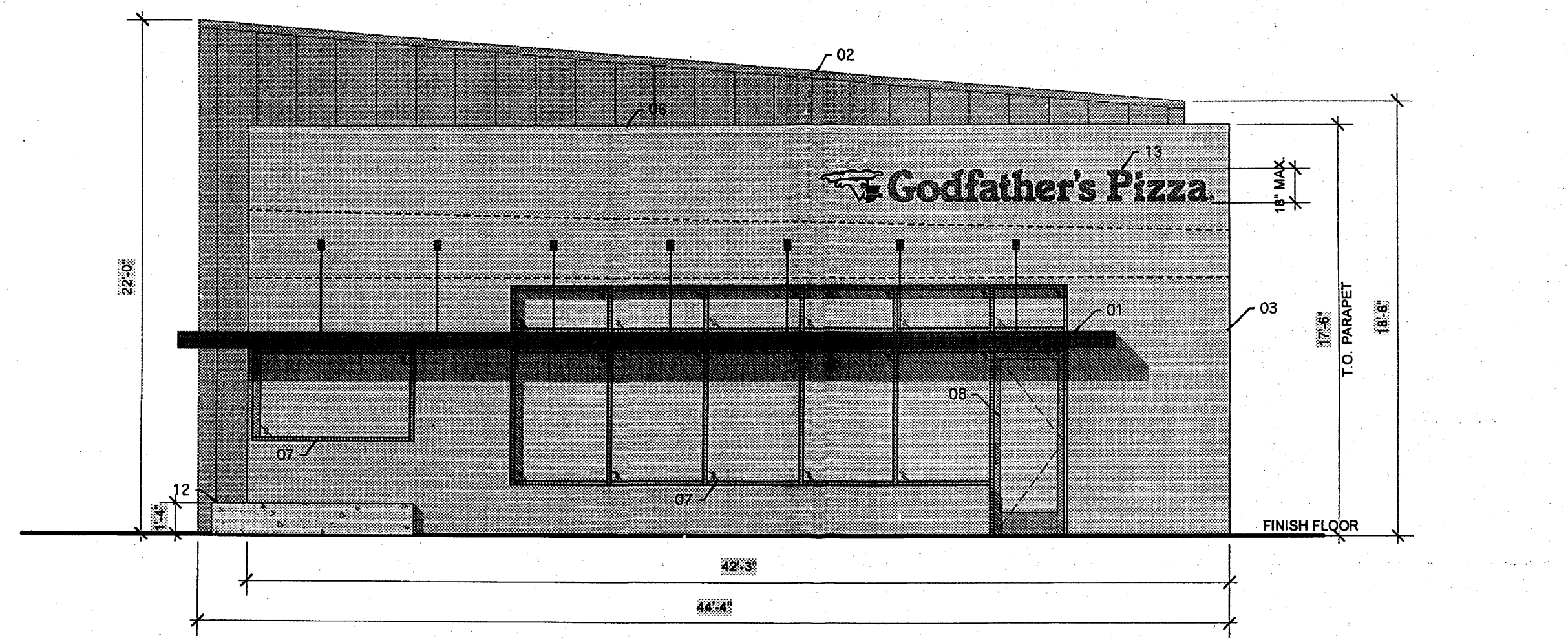
A5 South Elevation
Scale: 3/16" = 1'-0"

B

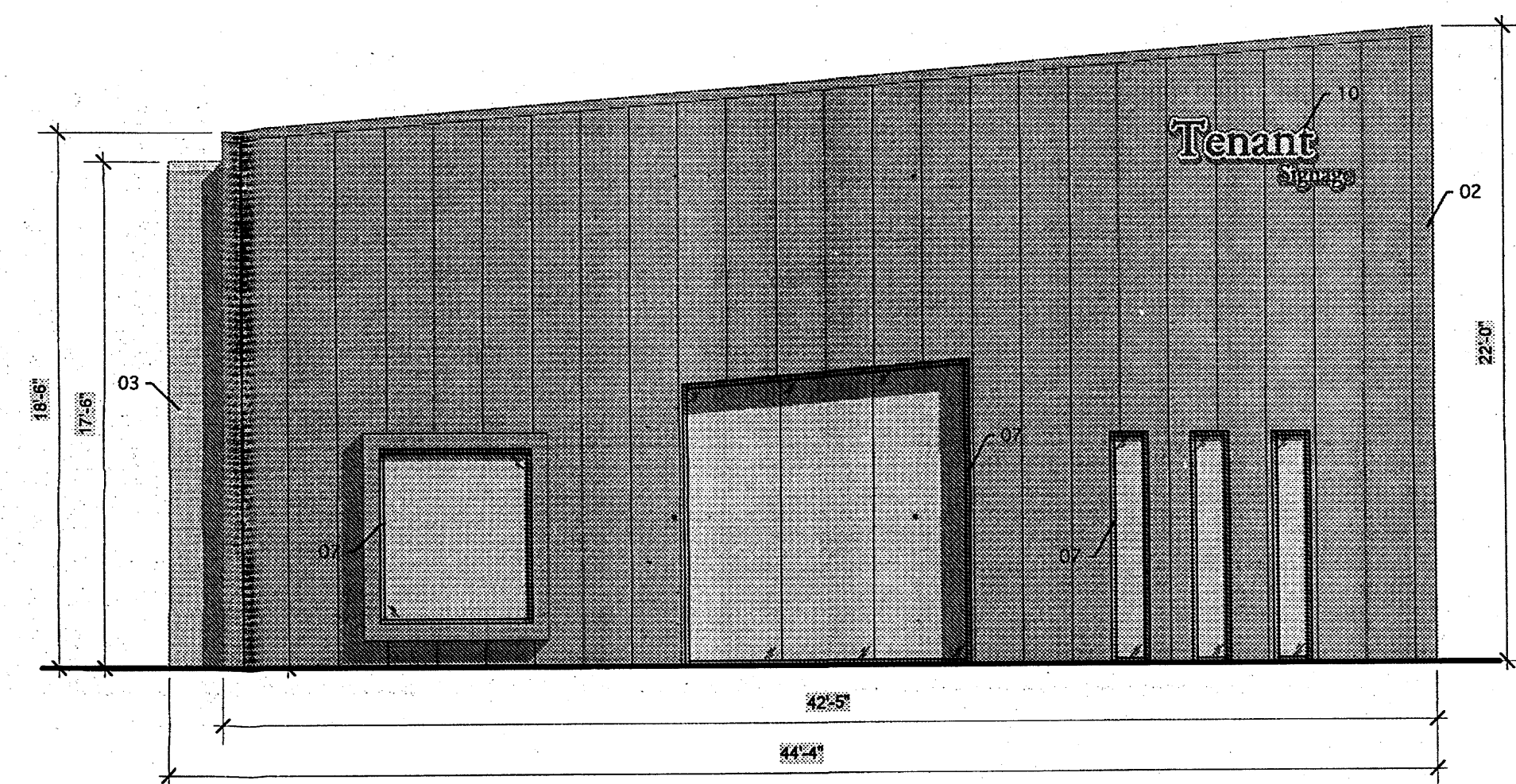


B5 North Elevation
Scale: 3/16" = 1'-0"

C



C5 East Elevation
Scale: 3/16" = 1'-0"

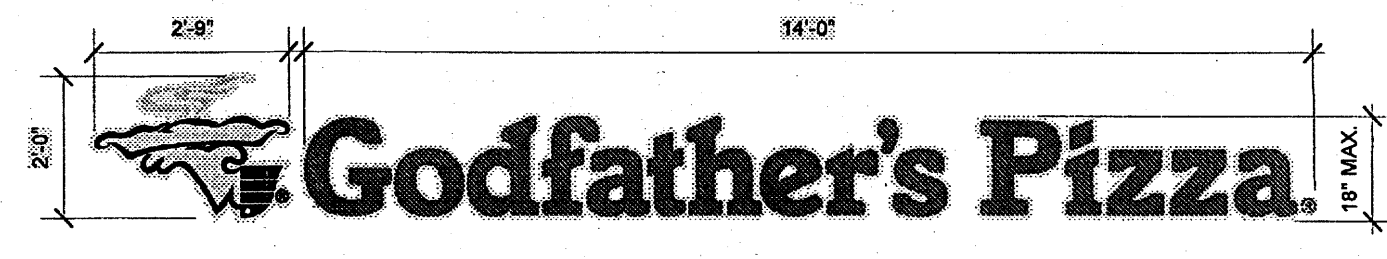


C3 West Elevation
Scale: 3/16" = 1'-0"

- BUILDING ELEVATIONS GENERAL NOTES:**
- DO NOT SCALE DRAWINGS. NOTIFY ARCHITECT OF ANY REQUIRED DIMENSIONS THAT ARE NOT SHOWN ON PLANS. CONTRACTOR ASSUMES THE RESPONSIBILITY FOR WORK NECESSARY TO MODIFY IMPROVEMENTS THAT ARE INCORRECTLY LOCATED.
 - ALL INSTALLATION, ERECTION & MATERIALS SHALL CONFORM TO APPLICABLE CODES & MUNICIPAL REGULATIONS. GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONFLICTS.
 - ALL DIMENSIONS, CLEARANCES & OTHER EXISTING CONDITIONS SHALL BE FIELD VERIFIED BY THE GENERAL CONTRACTOR & SUBCONTRACTORS PRIOR TO COMMENCING WORK. THE ARCHITECT SHALL BE NOTIFIED IN WRITING OF ANY CONDITIONS THAT VARY FROM THE CONSTRUCTION DOCUMENTS PRIOR TO COMMENCING WORK.
 - DIMENSIONS ARE TO BE FIELD VERIFIED AND ARE DIMENSIONED FROM TOP OF FINISH FLOOR, UNLESS NOTED OTHERWISE.
 - STUCCO CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ADEQUATE STUCCO CONTROL JOINTS AS REQUIRED - COORDINATE LOCATIONS WITH ARCHITECT.
- BUILDING ELEVATIONS KEYED NOTES:**
- (01) OVERHEAD SHADE CANOPY, ANODIZED BRONZE FINISH.
 - (02) METAL PANEL BUILDING SKIN, DOVE GRAY FINISH.
 - (03) EXTERIOR STUCCO SYSTEM, LIGHT GREEN COLOR.
 - (04) ROOF DOWNSPOUT, GALVANIZED FINISH.
 - (05) SHADOWED LOGO PAINTED ONTO THE FACE OF THE BUILDING, LIGHT GREY OR LIGHT GREEN ACCENT COLOR.
 - (06) PARAPET CAP, GALVANIZED ALUMINUM FINISH.
 - (07) STOREFRONT GLAZING SYSTEM, BRONZE ANODIZED FINISH WITH CLEAR GLASS, TYP.
 - (08) STOREFRONT ENTRY DOOR, BRONZE ANODIZED FINISH WITH CLEAR GLASS.
 - (09) HOLLOW METAL EXIT DOOR, PAINT TO MATCH DOVE GRAY FINISH OF METAL PANEL.
 - (10) SIGNAGE LOCATION, FUTURE TENANT SIGNAGE TO FOLLOW EXISTING SIGNAGE GUIDELINES OR BE APPROVED THROUGH ADMINISTRATIVE AMMENDMENT.
 - (11) ROOF GUTTER & DOWNSPOUT, GALVANIZED FINISH.
 - (12) EXTERIOR CONCRETE BENCH.
 - (13) SIGNAGE LOCATION FOR RESTAURANT, COORDINATE PER RESTAURANT SIGNAGE DETAIL.
- SIGNAGE GUIDELINES:**
- NO ILLUMINATED PLASTIC PANEL SIGNS ARE ALLOWED EXCEPT LOGOS.
 - MAXIMUM BUILDING SIGN LETTERS SHALL BE 18" IN HEIGHT OR AS APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION.
 - SIGN DESIGN GUIDELINES ARE TAKEN DIRECTLY FROM EPC APPROVAL #1000870.

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B1 Restaurant Signage
Scale: 3/8" = 1'-0"

Parcel 1B1 Restaurant / Retail Building
301 98th Street NW
Albuquerque, NM 87121

Building Elevations

STATE OF NEW MEXICO
DEVIN B. CANNADY
REGISTERED ARCHITECT
09.12.12

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Print Date: 09.12.12 Job Number: 12.12
Drawing No.

DRB.05