

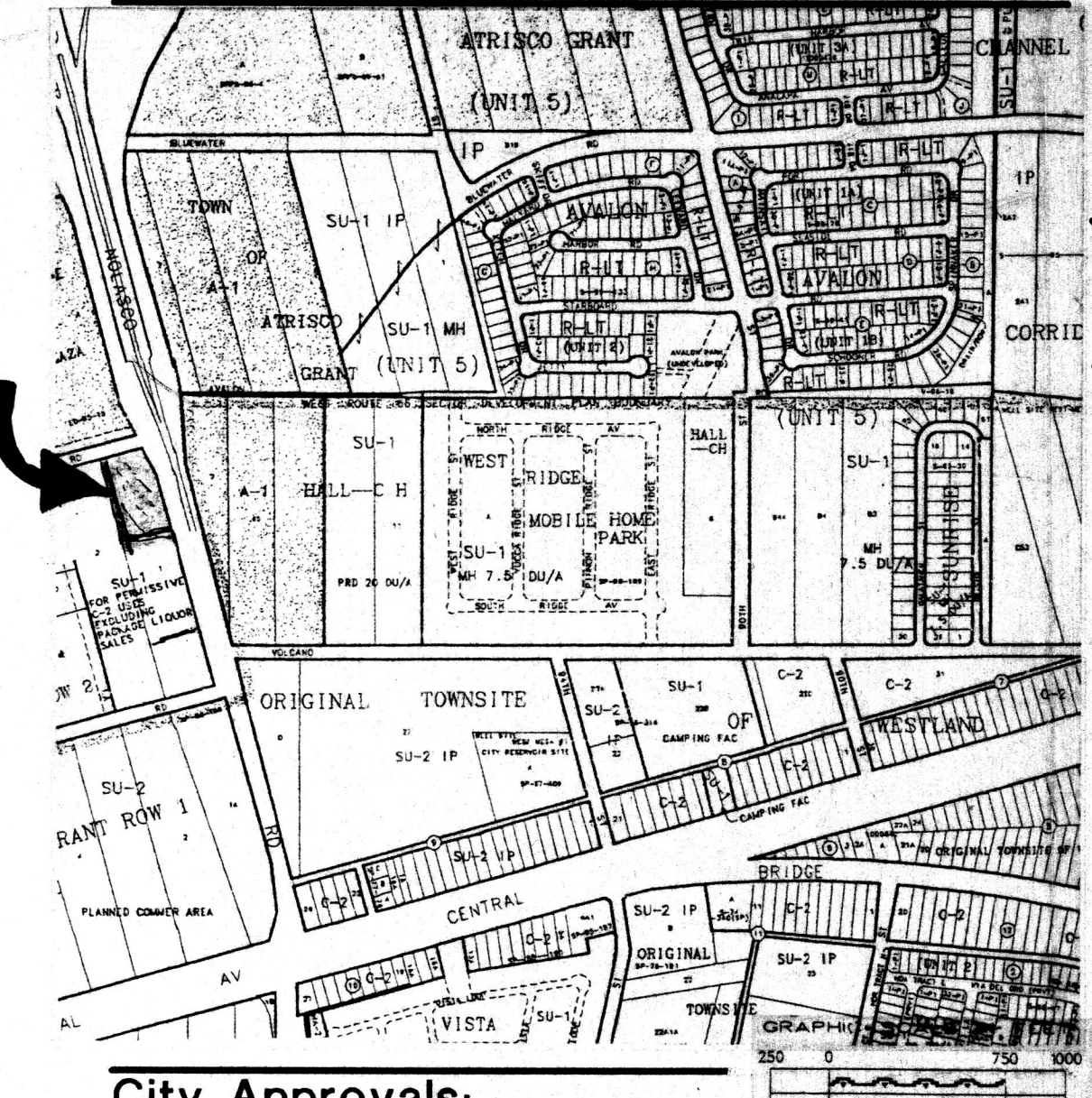
AVALON ROAD NW
 (60' PUBLICLY DEDICATED RIGHT OF WAY)
 (49'-0"± PAVEMENT WIDTH F.L. TO F.L.)

SEWER/WATER CONNECTIONS
 SEE CONCEPTUAL UTILITY LAYOUT PLAN, SHEET DRB-2

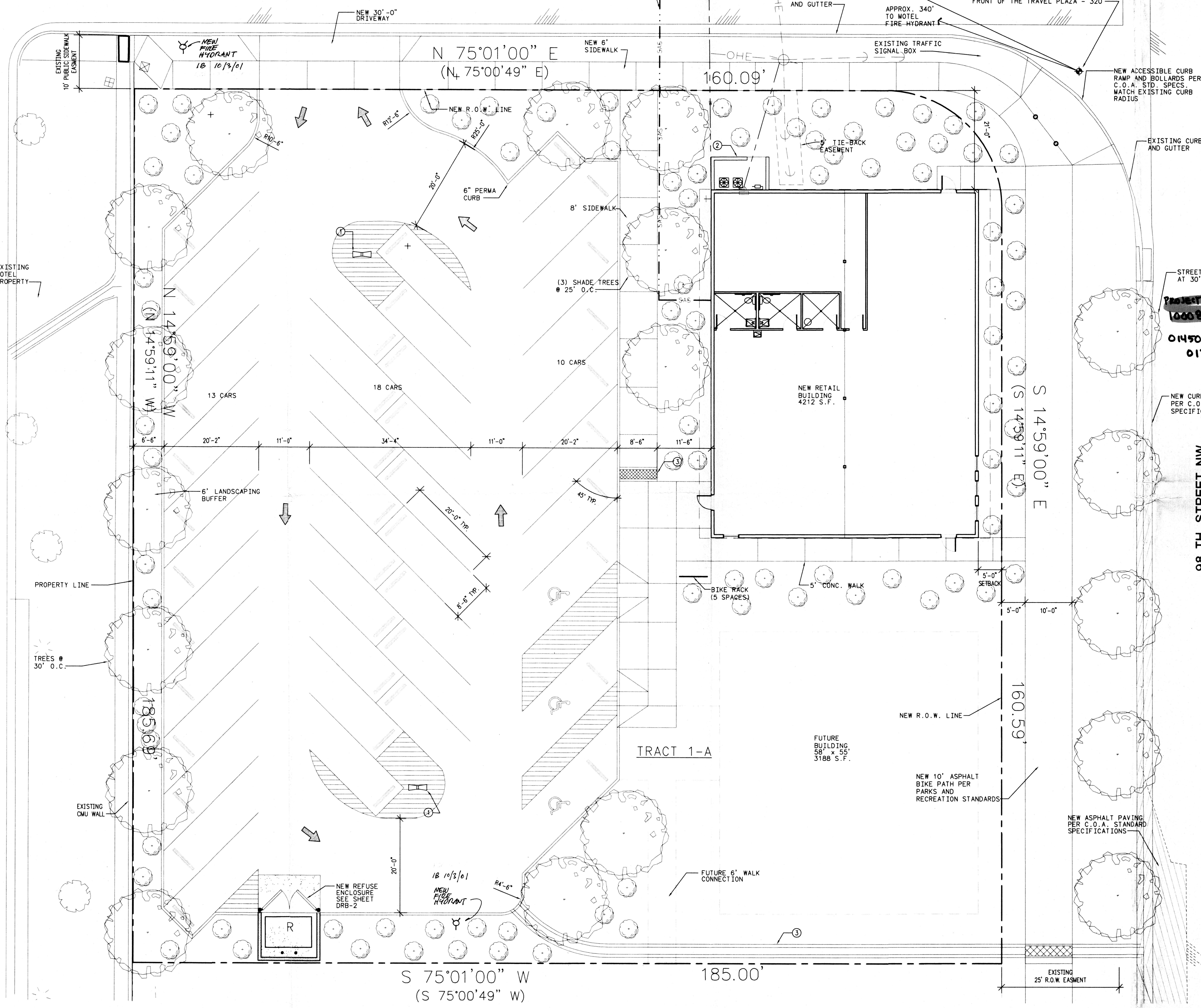
APPROX. 325' TO TRAVEL PLAZA FIRE HYDRANT

APPROXIMATE FIRE HYDRANT LOCATIONS FROM THIS POINT TO (1) IN FRONT OF THE MOTEL PROPERTY - 340' (2) IN FRONT OF THE TRAVEL PLAZA - 320'

VICINITY MAP



PROJ 10008770



SITE PLAN

City Approvals:

N/A (X)	City Survey	Date
<i>John P. Donte</i>	Traffic Engineering	10-17-01
<i>William E. Cardella</i>	Parks Recreation	10-17-01
<i>Roger A. Shran</i>	Utility Development Division	10-17-01
N/A (X)	A.M.A.P.C.A.	Date
<i>Bradley D. Bixler</i>	City Engineer	1-25-02
<i>James E. ...</i>	City Planner, Albuquerque Planning Division	2/5/02
<i>...</i>	Solid Waste	10-3-01

Keyed Notes

- PARKING LOT LIGHT STANDARD ON CONCRETE BASE (SHIELDED LIGHT FIXTURES), 16' FEET HIGH MAXIMUM, MEDIUM INTENSITY LIGHT.
- SCREEN WALL-SEE ELEVATIONS.
- DRAINAGE STRUCTURE-SEE DRAINAGE & GRADING PLAN.

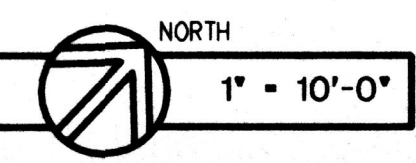
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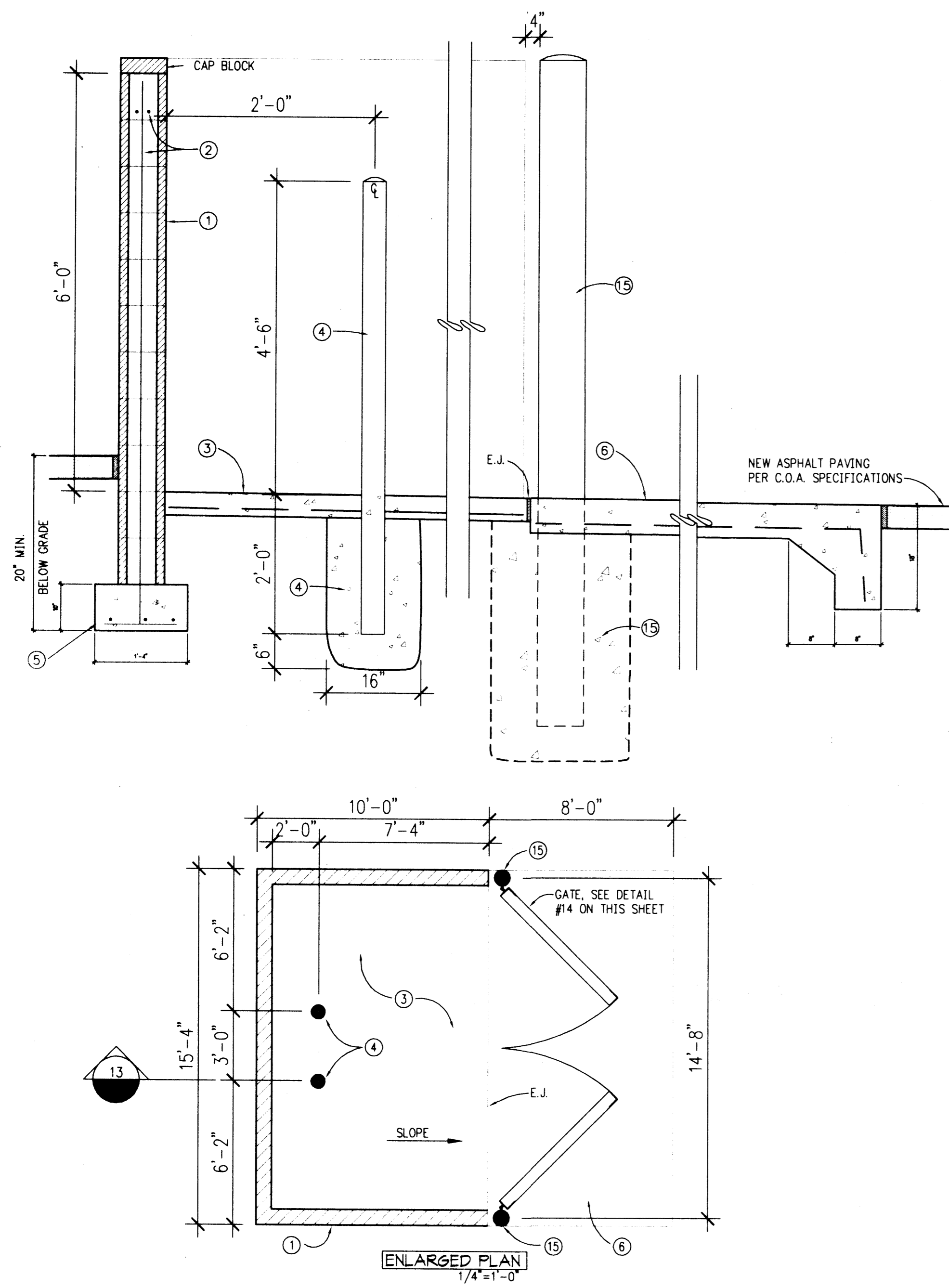
PROJECT DESCRIPTION: NEW RETAIL COMMERCIAL - (DISCOUNT BOOT STORE)
 ADDRESS: SEE LEGAL DESCRIPTION AND SURVEY
 LEGAL DESCRIPTION: PART OF A CERTAIN TRACT OF LAND BEING CREATED BY WARRANTY DEED FILED APRIL 3, 1970 IN VOLUME DB75, PAGES 99-1000 BEING THE NORTHERLY 389.00 FEET OF TRACT 1, UNIT "A" ROW 2 OF THE ATRISCO GRANT LOCATED IN PROJECTED SECTION 21, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M., BERNALILLO COUNTY, NEW MEXICO, LESS AND EXCEPTING THEREFROM THAT PORTION IN THE NORTHEAST CORNER TAKEN FOR RIGHT-OF-WAY BY THE NEW MEXICO STATE HIGHWAY AND TRANSPORTATION DEPARTMENT BY CONDEMNATION SUIT FILED IN DISTRICT COURT AS NO. A-38244 ON JANUARY 20, 1968.
 ZONING: SU-1 FOR PERMISSIVE C-2 USES EXCLUDING PACKAGE LIQUOR SALES
 MAXIMUM BUILDING HEIGHT: 26 FT. PER ZONING CODE 14-16-2-17-(C).
 MINIMUM BUILDING SETBACK: FRONT AND CORNER SIDE YARD SETBACK OF NOT LESS THAN FIVE FEET (5') AND A SETBACK OF ELEVEN FEET (11') FROM THE JUNCTION OF A DRIVE PAD OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION. PER ZONING CODE 14-16-2-17-(E).
 LOT AREA: 34217 SQ. FT.
 FLOOR AREA RATIO: 4212/34217 = .12
 PARKING FACILITIES CALCULATION
 NEW AND FUTURE BUILDINGS: 7400 SQ. FT. = 37 CARS SPACES PROVIDED
 BICYCLE PARKING REQUIRED: 3
 BICYCLE PARKING PROVIDED: 5

AFD PLANS CHECKING OFFICE
 924-3611
APPROVED/DISAPPROVED
Julio 10-3-01
 SIGNATURE & DATE

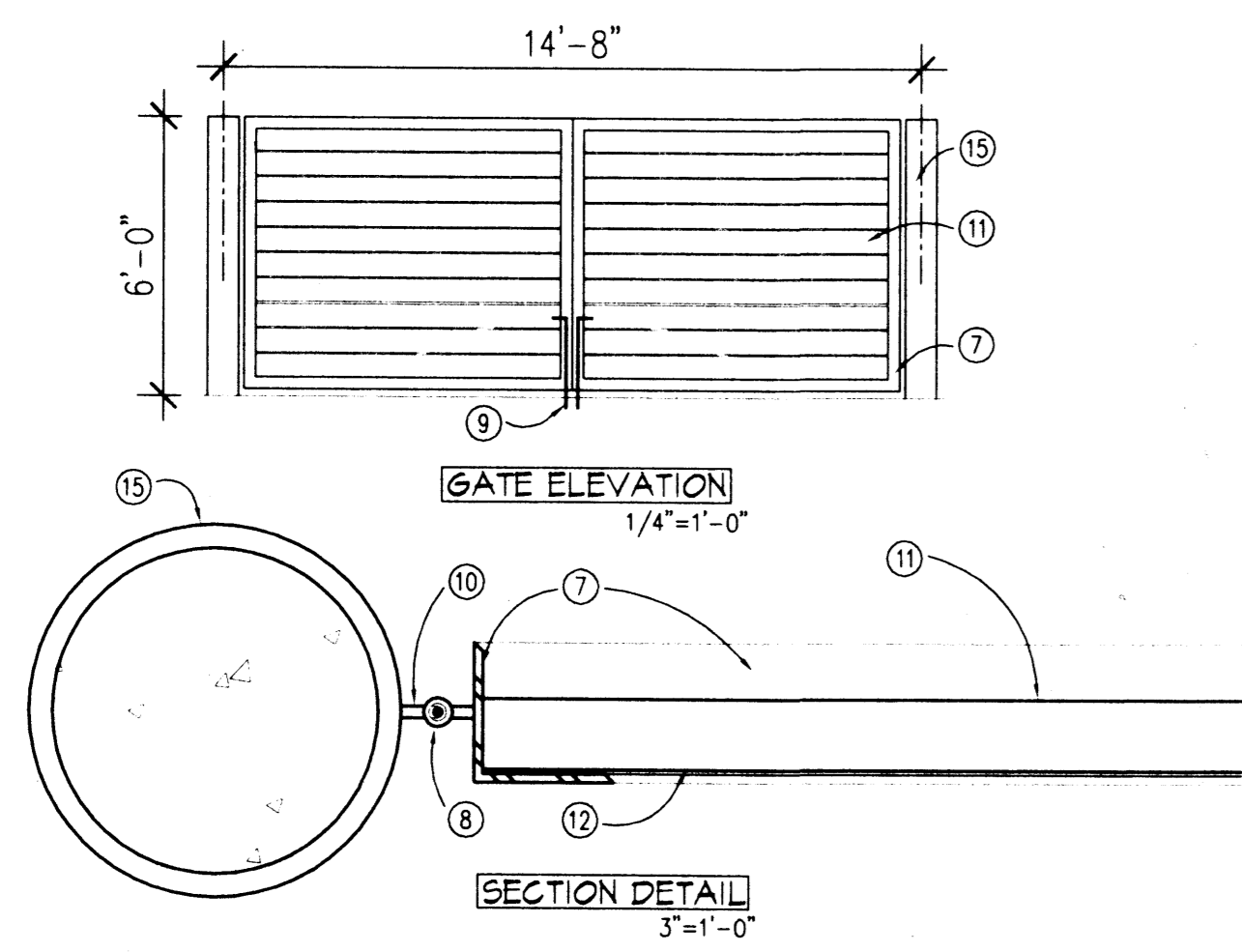
ISAAC BENTON & ASSOCIATES AIA
 624 Tijera Avenue NW
 Albuquerque, NM 87102
 TEL: 505-243-3499
 FAX: 505-243-3683
 E-MAIL: IBA@SWPC.COM

A.V.E. INC.
 Albuquerque, New Mexico
 PROJECT ARCHITECT: ISAAC BENTON, AIA
 DESIGN REVIEW BOARD SUBMITTAL
 SITE DEVELOPMENT PLAN for BUILDING PERMIT - TRACT 1-A
 Project #: IBA-00-09P
 Date: SEPTEMBER 20, 2001
 Revision: 10-3-01
 By: JAM
 File: SitePlanforBuildpermit.dwg
 Sheet 1 of 6
DRB-1

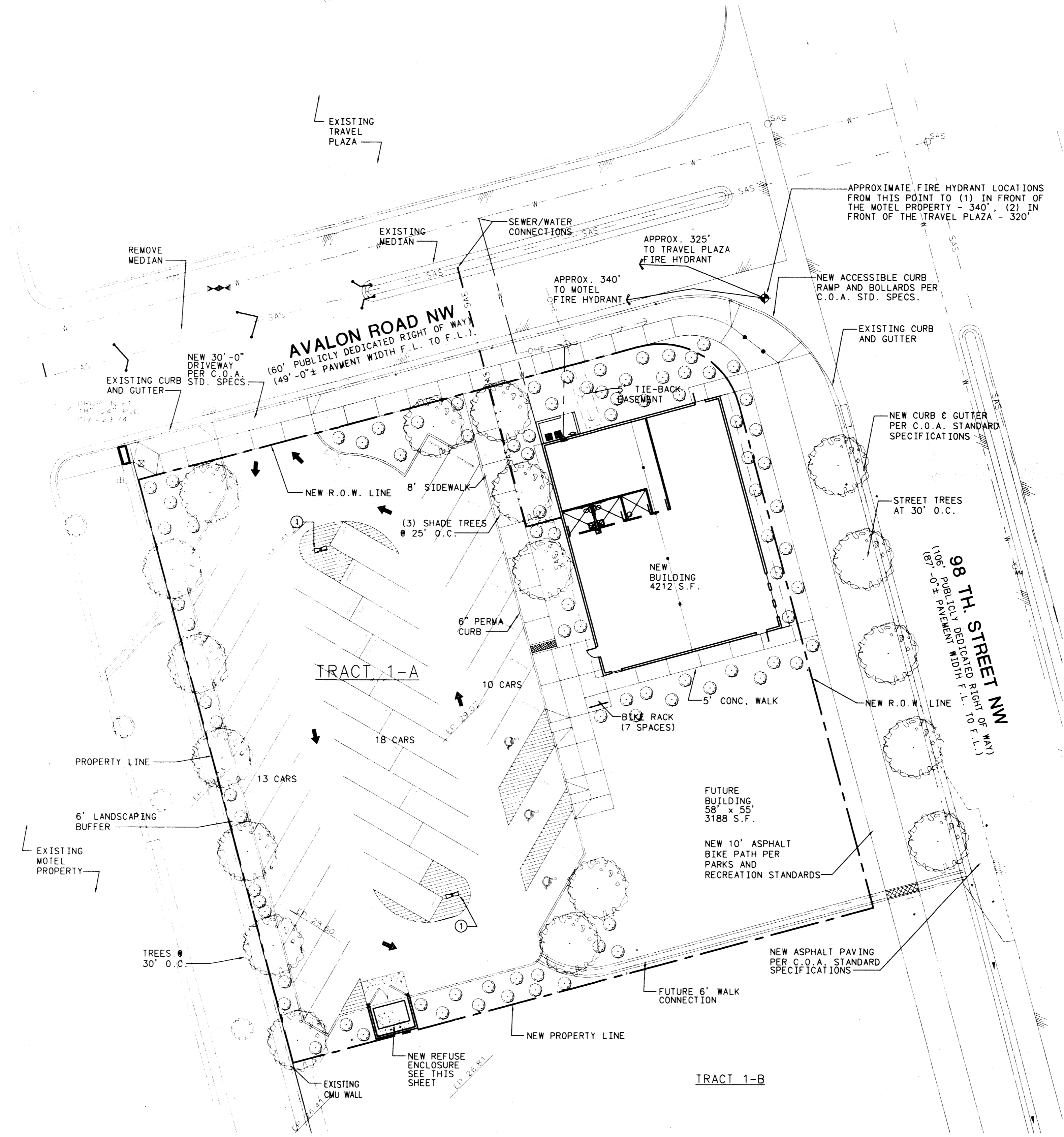




REFUSE ENCLOSURE (SECTION/PLAN) 13 3/4" x 1'-0"



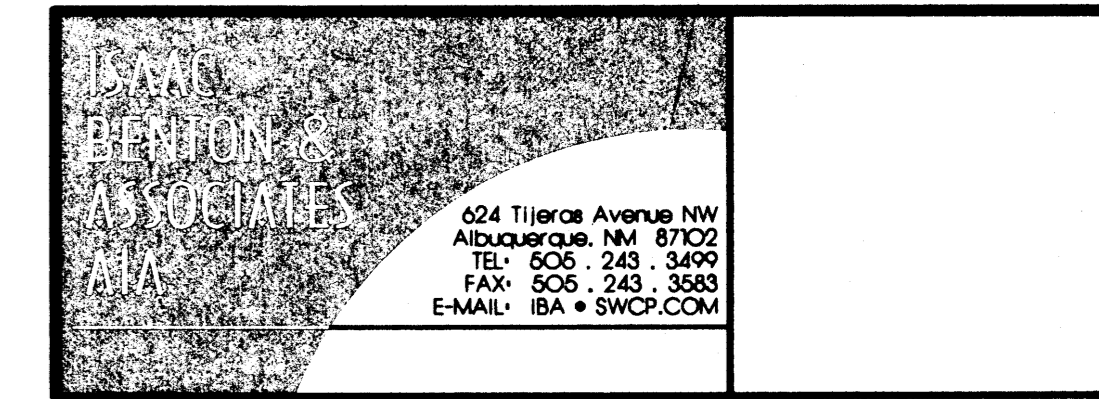
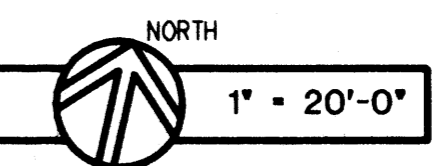
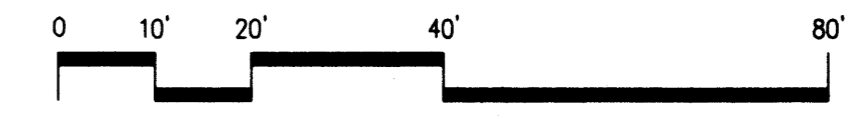
STEEL FRAME GATE 2 AS SHOWN



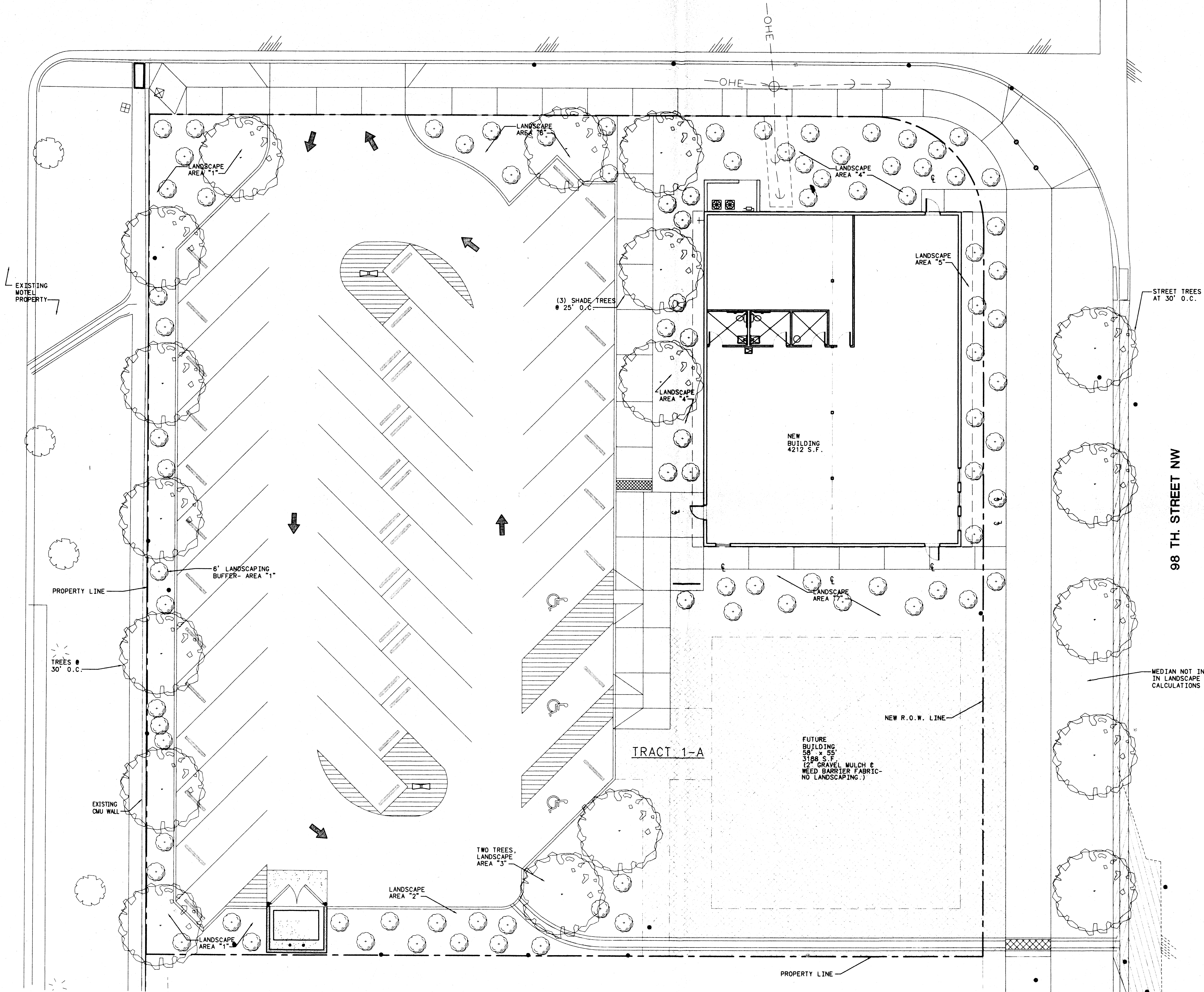
CONCEPTUAL UTILITY LAYOUT PLAN

Keyed Notes

1. 8" C.M.U. ENCLOSURE. STUCCO TO MATCH BUILDING.
2. (2) #5 BARS AT TOP KNOCK-OUT BLOCK BOND BEAM, CONTINUOUS; #5 BARS AT 32" O.C. VERTICAL. GROUT REINFORCED CELLS, DURAWALL AT 16" O.C. HORIZONTAL.
3. 4" CONCRETE SLAB, WITH 6x6 - 10x10 W.W. MINIMUM SLOPE = 1/8" PER FOOT TO DRAIN.
4. 4" DIA. CONCRETE FILLED PIPE IN 16" DIA. x 2'-6" DEEP CONCRETE FOOTING.
5. (2) #4 BARS CONT. AT BOTTOM OF FOOTING; #5 AT 32" O.C., TRANSVERSE BARS.
6. 6" CONCRETE APRON. 3,000 PSI 3/4" AGGREGATE WITH 6x6 - 10x10 W.W. WITH TURNED DOWN EDGE. SLOPE TO DRAIN TO EXISTING TO EXISTING PAVING.
7. 3"x3"x1/4" STEEL ANGLE FRAME AT TOP, BOTTOM AND SIDES.
8. 1/2" INSIDE DIA. STEEL EYE BOLT, TIP OF (4).
9. STANLEY OR APPROVED EQUAL HEAVY-DUTY SURFACE BOLT, (1) PER LEAF, WITH RECEIVERS IN CONCRETE SLAB FOR OPEN AND CLOSED POSITIONS, 3/4"x4" GALVANIZED STEEL PIPE FOR RECEIVER.
10. 1/2" DIA. STEEL 'L' PEG WELDED TO STEEL PIPE, TYPICAL OF (4). WELD 3/4" CAP TO PREVENT REMOVAL.
11. 2x6 CEDAR WOOD SLATS.
12. 5/8" TUBE STEEL, BENT @ 7'-0" RADIUS. WELD TO STEEL PLATE AND FRAME.
13. NOT USED.
14. NOT USED.
15. 8" DIA. CONCRETE FILLED PIPE IN 24" DIA. x 3'-8" DEEP CONCRETE FOOTING. 16. 1-1/2" x 11-1/2" x 1/8" STEEL ANGLE, CONTINUOUS.



Albuquerque, New Mexico	
PROJECT ARCHITECT: ISAAC BENTON, AIA	Project # IBA-00-09P Date: SEPTEMBER 20, 2001
DESIGN REVIEW BOARD SUBMITTAL SITE DEVELOPMENT PLAN for BUILDING PERMIT - TRACT 1-A	
By: JAM	Sheet of
File: SitePlanforBuildpermit.dwg	DRB-2



General Notes

- A. TYPICAL ALL LANDSCAPE AREAS AND FUTURE BUILDING PAD, PAD AREA IS NOT PART OF "LANDSCAPE TOTAL PROVIDED AREA" CALCULATION.
- B. 2" SITE BROWN GRAVEL MULCH OVER WEED BARRIER FABRIC.
- C. PLANT MATERIAL SHALL COVER 75% OF PLANTER AREA WHEN MATURE.
- D. ALL PLANT MATERIAL WATERED BY AUTOMATIC DRIP IRRIGATION SYSTEM.
- E. THE OWNER TAKES RESPONSIBILITY FOR MAINTENANCE OF LANDSCAPING.
- F. THE SITE SHALL COMPLY WITH THE STREET TREE ORDINANCE.
- G. THE OFF STREET PARKING AREAS SHALL HAVE ONE TREE FOR EACH TEN (10) PARKING SPACES.
- H. NO CHAIN LINK, RAZOR WIRE OR PLASTIC/VINYL FENCING PERMITTED.
- I. MAXIMUM HEIGHT FOR SITE LIGHTING SHALL BE 15'-0" HIGH.
- J. REQUIRED VEGETATIVE GROUND COVER. ALL REQUIRED LANDSCAPE AREAS 36 SQ. FT. IN SIZE OR LARGER SHALL BE COVERED WITH LIVING, VEGETATIVE MATERIALS, SUCH AS GRASSES, VINES, SPREADING SHRUBS, OR FLOWERS, OVER AT LEAST 75% OF THE REQUIRED LANDSCAPE AREA. COVERAGE WILL BE CALCULATED FROM THE MATURE SPREAD OF THE PLANTS. TO MINIMIZE WATER CONSUMPTION, THE USE OF VEGETATIVE GROUND COVER OTHER THAN TURF GRASS IS USED.
- K. THE SITE SHALL COMPLY WITH THE CITY OF ALBUQUERQUE'S WATER CONSERVATION ORDINANCE.

Code Data

PROJECT DESCRIPTION: NEW RETAIL COMMERCIAL - (DISCOUNT BOOT STORE)

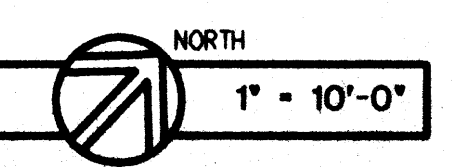
LANDSCAPE AREA

LANDSCAPE AREA:	NET LOT AREA x 15% = REQUIRED LANDSCAPE AREA
REQUIRED AREA:	14056 x 15% = 2108.4 SQ. FT.
PROVIDED AREA:	
1 =	1692 SQ. FT.
2 =	501 SQ. FT.
3 =	670 SQ. FT.
4 =	1979 SQ. FT.
5 =	369 SQ. FT.
6 =	555 SQ. FT.
7 =	881 SQ. FT.
TOTAL PROVIDED AREA	= 6647 SQ. FT.

Legend

- ONE GALLON NATIVE SHRUB; MIX OF:
CHAMISA
RUSSIAN SAGE
APACHE PLUM
- STREET / BUFFER TREE
2" CALIPER BLACK LOCUST

LANDSCAPE PLAN



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A.V.E. INC.

Albuquerque, New Mexico

PROJECT ARCHITECT:	ISAAC BENTON, AIA	Project #:	IBA-00-06P
DESIGN REVIEW BOARD SUBMITTAL	SITE DEVELOPMENT PLAN for BUILDING PERMIT - TRACT 1-A	Date:	SEPTEMBER 20, 2001
By:	JAM	Sheet of	
File:	SitePlanforBuildperm.dwg		DRB-3

EPC CONDITIONS

- The submittal of this site plan to the DRB shall meet all EPC conditions; a letter shall accompany the submittal, indicating all modifications that have been made to the site plan since the EPC submittal, including how the site plan has been modified to meet each of the EPC conditions.
- A reprint of the property is required prior to final DRB approval.
- Access to 98th Street is needed via the proposed Avalon connection to support the proposed level of development.
- Prior to development an approved Grading and Drainage Plan adhering to MA/ACA's Amlie-Hubbell DWP will be required.
- The following conditions of approval by Public Works Department shall be met:
 - Dedication of rights of way for 98th Street and Avalon Road
 - Construction of street improvements to include pavement, curb and gutter, and sidewalks and recreation trail.
- Future subdivision and development of the site must address any access limitations.
- Design of the 8' asphalt trail shall be coordinated with Parks and Recreation, Planning and Design.
- The off street parking areas shall have one tree for each ten (10) parking spaces.
- No chain link, razor wire or plastic/vinyl fencing is permitted.
- The design guidelines specified on the site plan for building permit shall be submitted as design guidelines for the site plan for subdivision.
- All "should" shall be changed to "shalls".
- The site shall comply with the Street Tree Ordinance.
- Bicycle parking calculations shall be shown on the site plan reflecting the Zoning Code requirements.
- All utilities shall be underground.
- Maximum height for site lighting shall be 16 feet.
- Conditions of approval for the proposed site plan for building purposes request should include:
 - The proposed access point, internal circulation, and parking lot layout must be designed to the satisfaction of the Traffic Engineer.
 - Provision of cross-access and reciprocal parking easements between this site and the remaining portion of Tract 1 to the south.
 - Location and dimension of proposed fire lanes must meet Fire Code requirements as per the access.
 - Coordination with the Transit Department with regard to location of required bus facilities, with direct bicycle and pedestrian access, on the adjacent streets.
- More facade articulation shall be added to the building elevations.
- The site plan for building permit may be submitted to the DRB.

Design Guidelines

General

The submittal of this site development plan to the DRB shall meet all EPC conditions; a letter shall accompany the submittal which indicates how the site plan has been modified to meet each condition.

Parking / Circulation

The allowed parking shall be equal to the required parking plus 10%. ADA-compliant parking shall be located adjacent to the main building entry.

Pedestrian Amenities

Pedestrian paths that are perpendicular to parking shall be protected from overlapping parked cars by permanently anchored tire stops, bollards or raising the walk to provide for a 6 foot wide clear pedestrian area (assume a 2' overhang for cars).

Shaded pedestrian access shall be provided, including a clear 6-foot-wide path with adjacent shade trees spaced 25-feet on center within planters that have a minimum interior dimension of 5 feet square. Such pedestrian pathways shall be located adjacent to the main entry facade of the buildings.

A sidewalk with a minimum clearance of 8 feet shall be provided along the front of the building.

Convenient pedestrian connections shall be provided from each building to the internal circulation system and to adjacent roadways. A minimum 6-foot clear pathway is required with shade trees spaced at 25 foot intervals (as practical) in planters with interior dimensions of 5 x 5 feet.

Bicycle Amenities

Bicycle racks shall be conveniently located near building entrances but not within pedestrian pathways or landscape areas.

Landscape & Buffering

A landscape buffer (with trees at least 8-feet high at the time of planting) is required according to requirements of the Comprehensive City Zoning Code. Trees shall be planted at a minimum interval of 25 feet; a mix of evergreens and deciduous trees shall be used in the buffer zone.

A mix of evergreen (coniferous) and deciduous trees shall be used within parking areas.

Buffer areas shall include a mix of evergreen (coniferous) and deciduous trees.

Landscape regulations require that 75% of landscape areas over 36 square feet in size must be covered with living, vegetative material. High water use turf must be limited in application to 20% of the landscaped area.

Perimeter walls shall comply with the Planning Department's Guidelines for perimeter walls.

No chain-link, razor wire (concertina) or plastic vinyl fencing is permitted.

Architecture

The top of all rooftop equipment shall be below the top of parapet and screened from view from the property lines of this site. Alternatively, rooftop equipment shall be screened by rooftop walls that are painted to match the predominant building color. Rooftop equipment and other penetrations shall be painted to match the roof color or the predominant building color. All ground mounted equipment shall be screened by screen walls with top of equipment below top of screen wall.

Paint all roof penetrations to match roof color or general building color.

The front facade of all buildings shall have canopies, portals or awnings along the entire facade length providing pedestrians with shade. In the absence of architectural shading, shade trees shall be planted in 5 x 5 foot planters at a distance of 25 feet on center along the front facade.

No generic franchise building elevations or canopies are permitted.

No plastic or vinyl building panels, awnings or canopies are permitted. Awnings and canopies shall be integrated with building architecture.

No freestanding cell towers or antenna shall be permitted, antenna shall be integrated into the building architecture.

ATM's shall be architecturally integrated with building design.

Loading docks shall be screened by walls and covers that are architecturally integrated with the building.

Architecture con't.

The refuse enclosure shall be compatible in design, color and material with building architecture. The gates shall be opaque; chain-link gates are not allowed.

Building fronts shall be a minimum of 12 feet from the face of the curb, providing for a sidewalk with a minimum clearance of 6 feet (accommodating 2 foot vehicle overhang) and a landscape planter adjacent to the building that is a minimum of 4 feet wide.

Drive through facilities shall be shaded with architecturally integrated canopies.

Signage

Monument signs which are integrated with building colors and materials are the only free standing signs allowed.

No illuminated plastic panel signs are allowed except logos.

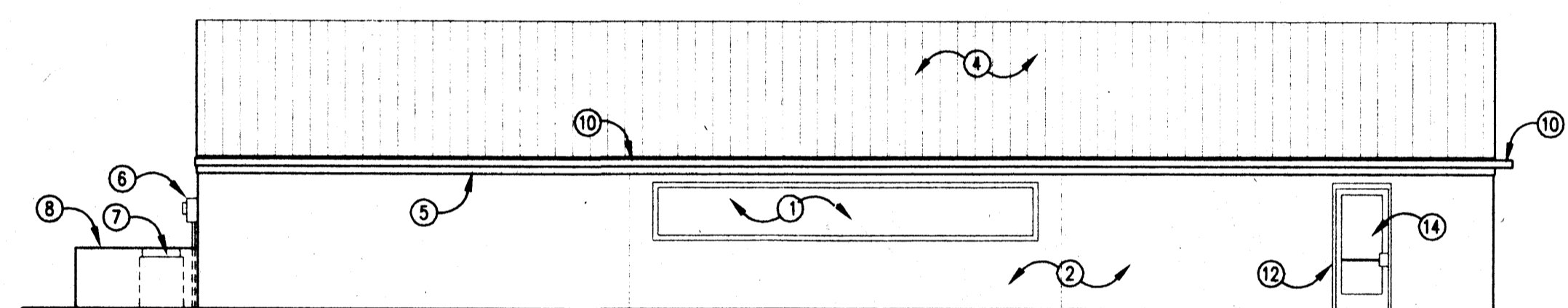
Maximum building mounted sign letters shall be 10 inches in height.

Lighting

The location of the light poles shall be included on the site plan. Light fixtures shall be a maximum of 16 feet high. The light fixtures shall be fully shielded horizontal lamps so that no fugitive light shall escape beyond the property line. All light fixtures shall be full-cutoff type to prevent fugitive light; no light source shall be visible from the site perimeter.

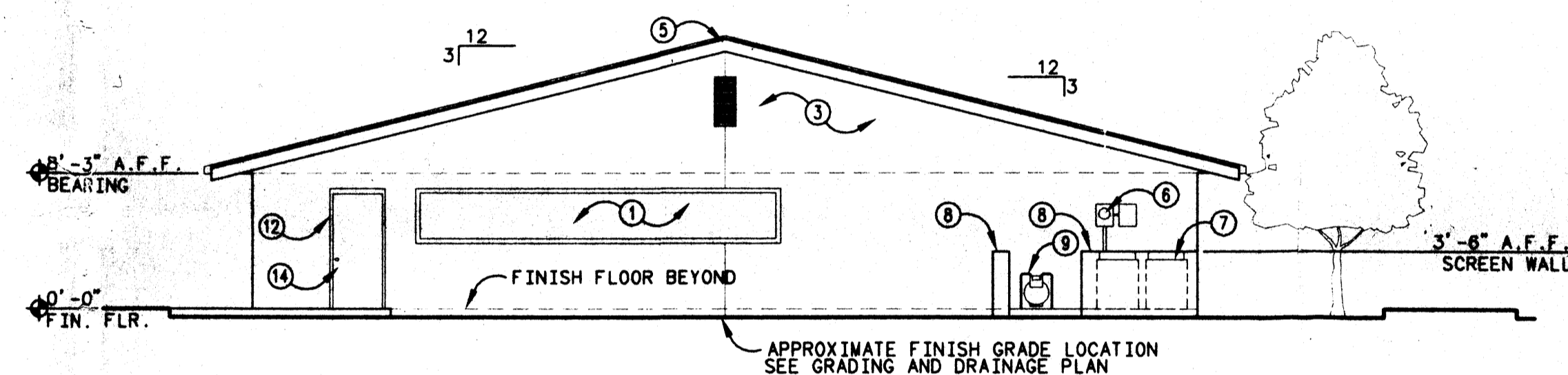
Keyed Notes

- SIGN - FLUSH MOUNTED 10" HIGH BRONZE COLOR LETTERS ON WHITE BACKGROUND LAP SIDING, 4" RED BORDER TO MATCH ROOF, 3'-4" x 22'-0", SIGN FACE AREA = 73.25 SQ. FT.
- TYPICAL EXTERIOR WALL: EL. RET. STUCCO #121 SANDALWOOD.
- GABLE WALL, SEE KEYED NOTE #2
- METAL ROOF PANELS WITH FACTORY PAINTED "BURN RED" FINISH.
- 1x12 FASCIA - PRIME AND PAINT TO MATCH ROOF PANELS.
- ELECTRICAL METER & DISCONNECT, UNDERGROUND SITE UTILITIES.
- A/C COMPRESSOR ON 4" CONCRETE PAD
- 36" HIGH CMU SCREEN WALL WITH STUCCO FINISH TO MATCH BLDG.
- GAS METER.
- CONTINUOUS 5" K-GUTTER CLOSURE AT NORTH ELEVATION. 1'-0" EXTENSION AT SOUTH ELEVATION.
- PARKING LOT LIGHT STANDARD ON CONCRETE BASE (SHIELDED LIGHT FIXTURES), 16' FEET HIGH MAXIMUM.
- HOLLOW METAL DOOR FRAMES: PAINT TO MATCH WINDOWS.
- WINDOWS: BRONZE ANODIZED ALUMINUM
- HOLLOW METAL DOOR: RED TO MATCH ROOF PANELS.



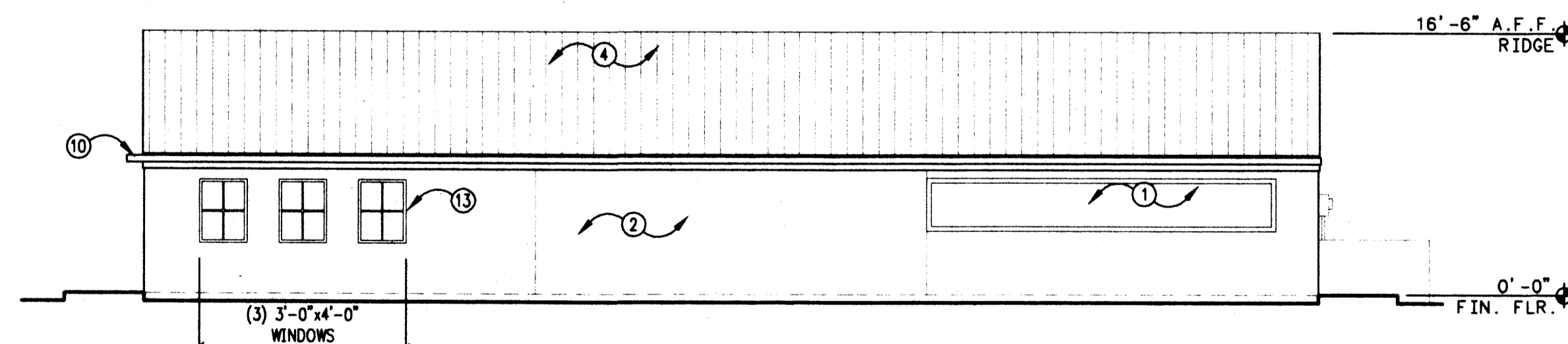
WEST ELEVATION (ENTRY SIDE)

1 1/8" = 1'-0"



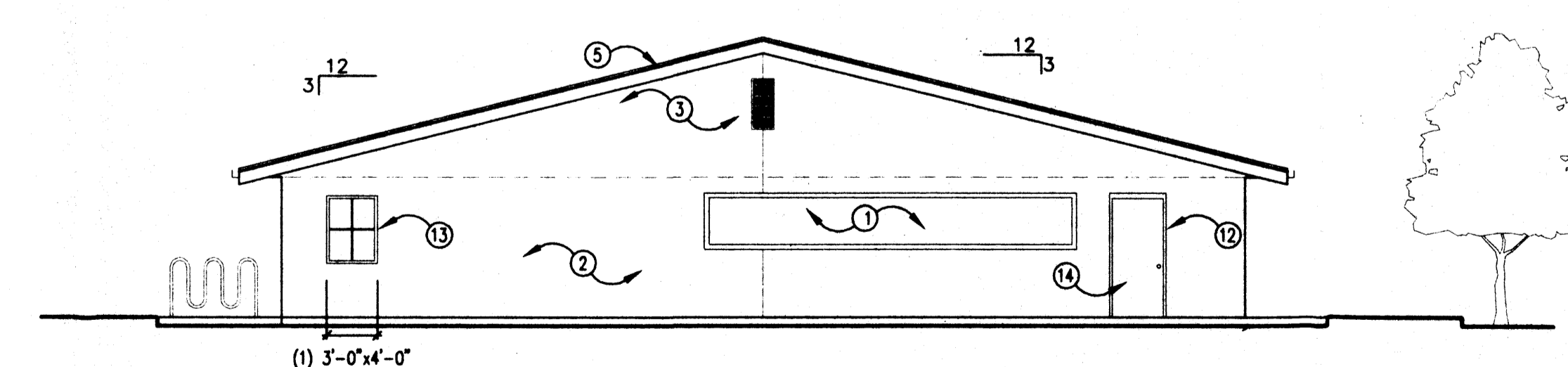
NORTH ELEVATION (AVALON ROAD)

2 1/8" = 1'-0"



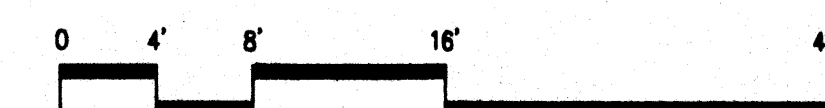
EAST ELEVATION (98th STREET)

3 1/8" = 1'-0"



SOUTH ELEVATION

4 1/8" = 1'-0"



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PROJECT ARCHITECT: ISAAC BENTON, AIA
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Date: SEPTEMBER 20, 2001

DESIGN REVIEW BOARD SUBMITTAL
SITE DEVELOPMENT PLAN for BUILDING PERMIT - TRACT 1-A

By: JAM
File: SitePlanforSubmittal.dwg
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DRB-6