

Subdivision Data

GROSS ACREAGE..... 0.8204 ACRES
 ZONE ATLAS PAGE NO..... K-09-Z
 NUMBER OF EXISTING TRACTS..... 1
 NUMBER OF TRACTS CREATED..... 2
 MILES OF FULL WIDTH STREETS..... 0.00
 MILES OF HALF WIDTH STREETS..... 0.00
 RIGHT-OF-WAY DEDICATION TO THE CITY OF ALBUQUERQUE..... 0 ACRES
 DATE OF SURVEY..... OCTOBER 2010

Free Consent & Dedication

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND HEREBY GRANT EASEMENTS AS SHOWN HEREON AND INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITIES EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICE FOR BURIED DISTRIBUTION LINES, CONDUITS AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

UNITED VENTURES, L.L.C.

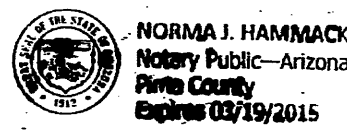
Laura E. Olguin
 LAURA E. OLGUIN, MANAGER

Acknowledgment

STATE OF AZ SS
 COUNTY OF Pima
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON May 6, 2011

BY: LAURA E. OLGUIN, MANAGER, UNITED VENTURES, L.L.C.

Norma J. Hammack 3/19/2015
 NOTARY PUBLIC MY COMMISSION EXPIRES



Indexing Information

Projected Section 21, Township 10 North, Range 2 East,
 N.M.P.M., TOWN OF ATRISCO GRANT
 Subdivision: TOWN OF ATRISCO GRANT
 Owner: UNITED VENTURES, LLC

Purpose of Plat

1. GRANT EASEMENTS AS SHOWN HEREON.
2. CREATE 2 NEW TRACTS.
3. VACATE EASEMENTS AS SHOWN HEREON.

Notes

1. FIELD SURVEY PERFORMED IN OCTOBER 2010 AND APRIL 2011.
2. ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
3. THE BASIS OF BEARINGS REFERENCES THE NEW MEXICO STATE PLANE COORDINATES (NAD 83-GRID).

Documents

1. BOUNDARY SURVEY MAP OF A NORTHERLY PORTION OF TRACT 2, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON OCTOBER 24, 1997, IN VOL. 975, FOLIO 165.
2. PLAT OF TRACT 1-A & 1-B, UNIT A, ROW 2, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MARCH 12, 2002, BOOK 2002C, PAGE 83.
3. PLAT OF RECORD FILED MARCH 12, 2002 IN BOOK 2002C, PAGE 83.
4. BOUNDARY SURVEY PLAT FOR TRACTS 1 AND 2, ROW 2, UNIT A FILED ON APRIL 16, 2008 IN BOOK 2008S, PAGE 46. (SOUTHERN ADJOINER)

Legal

TRACT 1-B OF THE PLAT ENTITLED "TRACTS 1-A & 1-B, UNIT A, ROW 2 TOWN OF ATRISCO GRANT SITUATE WITHIN PROJECTED SECTION 21, T. 10 N., R. 2 E., N.M.P.M. CITY OF ALBUQUERQUE, NEW MEXICO" AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THERE OF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MARCH 12, 2002 IN BOOK 2002C, PAGE 83.

Public Utility Easements:

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

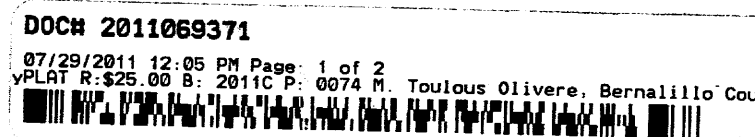
- A. Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- C. Qwest for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- D. Comcast for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

Disclaimer

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.



THIS IS TO CERTIFY THAT TAXES ARE PAID AND
 PAID ON LIPS # 100907101918230108
 PROPERTY OWNER OF RECORD
 LEE INVESTMENT
 BERNALILLO COUNTY TREASURER'S OFFICE
 7-29-11

Plat of
Tracts 1-B-1 and 1-B-2, Unit A Row 2
Town of Atrisco Grant

City of Albuquerque
Bernalillo County, New Mexico
 May 2011

Approved and Accepted by:

APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE ALBUQUERQUE SUBDIVISION ORDINANCE, CHAPTER 14 ARTICLE 14 OF THE REVISED ORDINANCES OF ALBUQUERQUE, NEW MEXICO, 1994.

Project Number 1000870

Application Number _____

Plat approvals:

<i>Fernando Vigil</i> PNM Electric Services	<u>5-18-2011</u> Date
<i>[Signature]</i> New Mexico Gas Company	<u>5-18-2011</u> Date
<i>Antaluk Ramirez</i> Qwest	<u>05-18-11</u> Date
<i>[Signature]</i> Comcast	<u>05-19-11</u> Date

City approvals:

<i>[Signature]</i> City Surveyor	<u>5-9-11</u> Date
<i>[Signature]</i> Traffic Engineer	<u>07/27/11</u> Date
<i>Allen Peter</i> ABCWUA	<u>02/27/11</u> Date
<i>[Signature]</i> Parks and Recreation Department	<u>7/27/11</u> Date
<i>[Signature]</i> AMAFCA	<u>7-27-11</u> Date
<i>[Signature]</i> City Engineer	<u>07-27-11</u> Date
<i>[Signature]</i> DRB Chairperson, Planning Department	<u>7-29-11</u> Date

Surveyor's Certificate

"I, WILL PLOTNER JR., A DULY QUALIFIED REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, THE UTILITY COMPANIES OR OTHER INTERESTED PARTIES AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF."

Will Plotner Jr. 5/5/11
 WILL PLOTNER JR. DATE
 N.M.R.P.S. No. 14271



CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505) 891-0244

Plat of

Tracts 1-B-1 and 1-B-2, Unit A Row 2
Town of Atrisco Grant

City of Albuquerque
Bernalillo County, New Mexico
May 2011

Legend

N 90°00'00" E	MEASURED BEARING AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES
●	FOUND MONUMENT AS INDICATED
○	SET BATHEY MARKER "LS 14271"

ACS Monument "8_K9"
NAD 1983 CENTRAL ZONE
X=1492463.769
Y=1484994.639
Z=5250.166 (NAVD 1988)
G-G=0.999677891
Mapping Angle=-0°17'03.21"

ACS Monument "1_40_23"
NAD 1983 CENTRAL ZONE
X=1489913.599
Y=1485519.844
Z=5341.357 (NAVD 1988)
G-G=0.999674412
Mapping Angle=-0°17'20.90"

Northerly Portion of Tract 2,
Unit A, Row 2
Town of Atrisco Grant
Warranty Deed
Boundary Survey
(05/09/96, Bk. 96-13, Pg. 3290)
(Filed 97S-165)

Portions of Tracts 1 & 2,
Unit A, Row 2
Original Townsite of Westland
(04/16/08, 08S-45)

Easement Notes

- EXISTING 20 FOOT BY 100 FOOT PRIVATE ACCESS EASEMENT FOR THE BENEFIT OF AND USE BY THE OWNERS OF TRACT 1-B AND ADJOINER IMMEDIATELY SOUTH OF THE SUBJECT PROPERTY, TO BE MAINTAINED BY THE OWNER OF TRACT 1-B; FILED 3/12/02, 2002C-83. VACATED WITH THE FILING OF THIS PLAT.
- 10 FOOT P.U.E. GRANTED WITH THE FILING OF THIS PLAT
- EXISTING EASEMENT FOR INGRESS/EGRESS ACROSS TRACT 1-A, BENEFITING TRACT 1-B FILED 3/10/11, AS DOCUMENT 2011023732
- A 24' PRIVATE RECIPROCAL CROSS LOT ACCESS EASEMENT IS GRANTED WITH THE FILING OF THIS PLAT FOR THE BENEFIT OF TRACTS 1-A, 1-B-1, 1-B-2 AND THE REMAINING PORTIONS OF TRACTS 1 AND 2, UNIT A, ROW 2 IMMEDIATELY SOUTH OF THE SUBJECT PROPERTY, TO BE MAINTAINED BY SAID OWNERS.
- A PRIVATE RECIPROCAL ACCESS EASEMENT FOR THE BENEFIT OF TRACTS 1-A, 1-B-1 AND 1-B-2 AND THE REMAINING PORTIONS OF TRACTS 1 AND 2, UNIT A, ROW 2 IMMEDIATELY SOUTH OF THE SUBJECT PROPERTY FILED ON 7/7/11 AS DOCUMENT 2011062385.
- A 24' PRIVATE RECIPROCAL CROSS LOT DRAINAGE EASEMENT, BENEFITING TRACTS 1-B-1 AND 1-B-2, CONFINED TO THE LIMITS AS DEFINED IN EASEMENT NOTED [4] AND TO BE MAINTAINED BY SAID OWNERS.

DOCH 2011069371

07/29/2011 12:05 PM Page: 2 of 2
PLAT R: \$25.00 B: 2011C P: 0074 R. Toulous Olivere, Bernalillo Cour

LINE	LENGTH	BEARING
L1	25.02' (25.00')	N 75°01'30" E
L2	2.09'	S 09°59'11" W
L3	40.45'	N 14°52'03" W
L4	15.35'	N 14°52'03" W
L5	127.93'	N 75°07'57" E
L6	110.89'	N 75°07'57" E
L7	13.00'	S 14°52'03" E
L8	11.00'	S 14°52'03" E
L9	24.94'	N 75°07'57" E
L10	26.00'	N 14°52'15" W

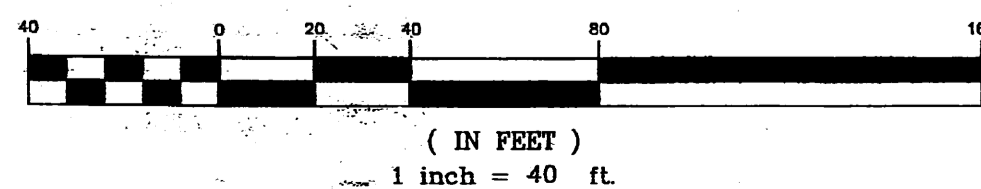
CURVE	LENGTH	RADIUS	DELTA	CHORD	BEARING
C1	25.71'	116.58'	12°38'15"	25.66'	N 09°58'23" E
C2	43.50'	72.00'	34°37'00"	42.84'	S 01°00'59" E
C3	23.72'	48.00'	28°18'40"	23.48'	N 04°10'09" W
C4	65.07'	150.00'	24°51'14"	64.56'	S 02°26'26" E
C5	39.32'	25.00'	90°06'27"	35.39'	S 59°55'17" E
C6	49.43'	126.00'	22°28'32"	49.11'	S 03°37'47" E
C7	9.43'	8.00'	67°31'28"	8.89'	S 41°22'13" W
C8	23.45'	15.00'	89°34'28"	21.13'	S 60°04'49" E
C9	26.46'	48.00'	31°35'06"	26.13'	S 00°29'58" W
C10	38.98'	140.58'	15°53'08"	38.85'	N 08°20'57" E

Solar Collection Note

PER SECTION 14-14-4-7 OF THE SUBDIVISION ORDINANCE:

NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT, THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.

GRAPHIC SCALE



CARTESIAN SURVEYS INC.

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