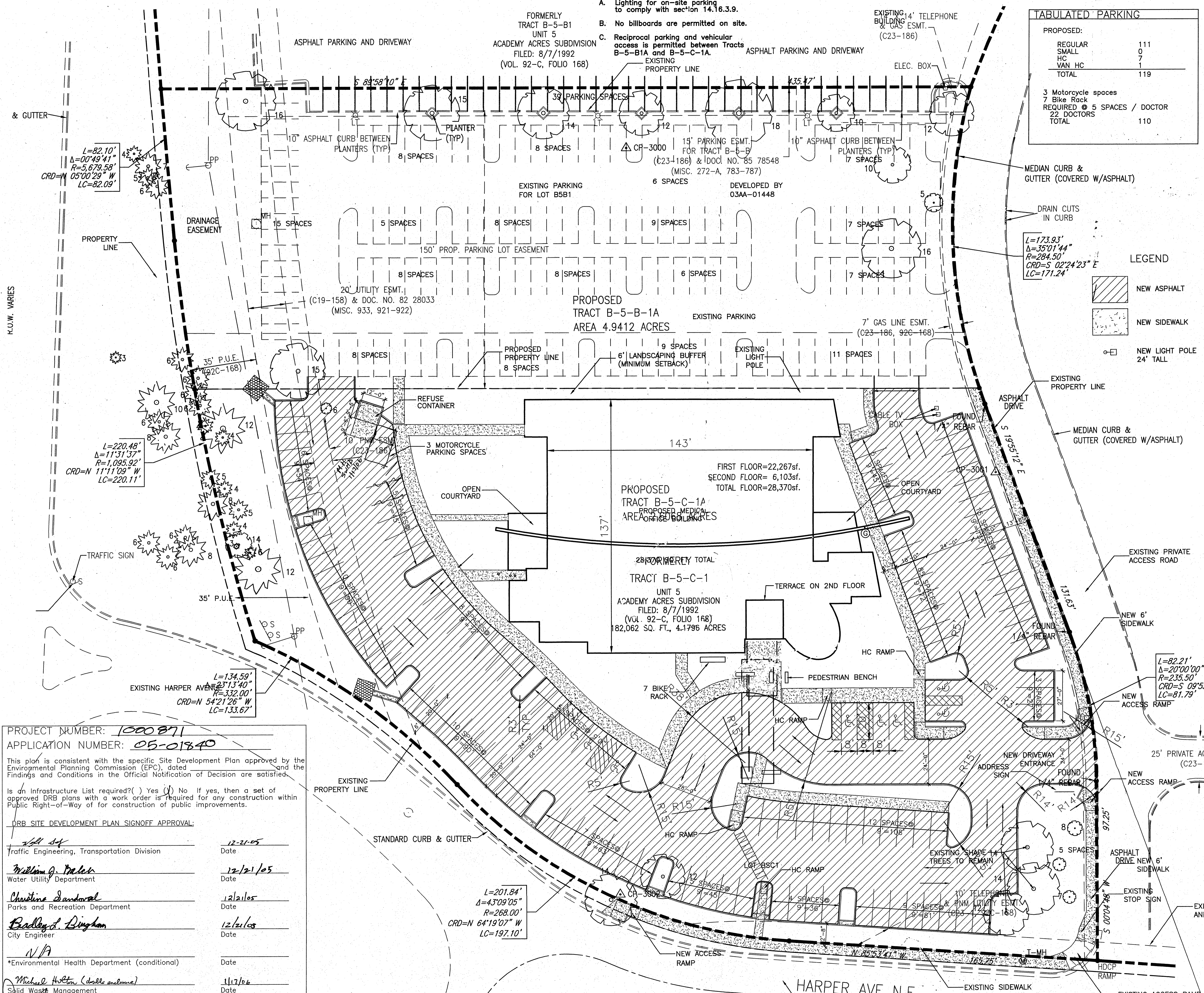


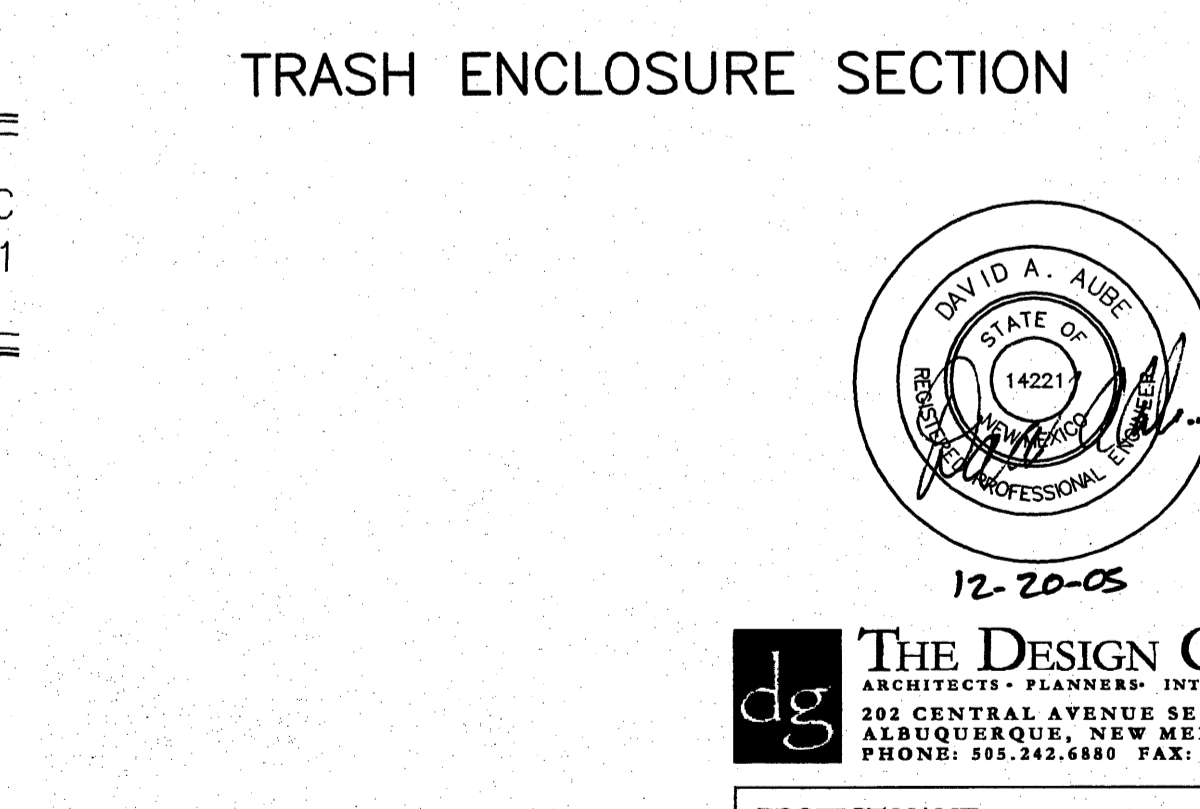
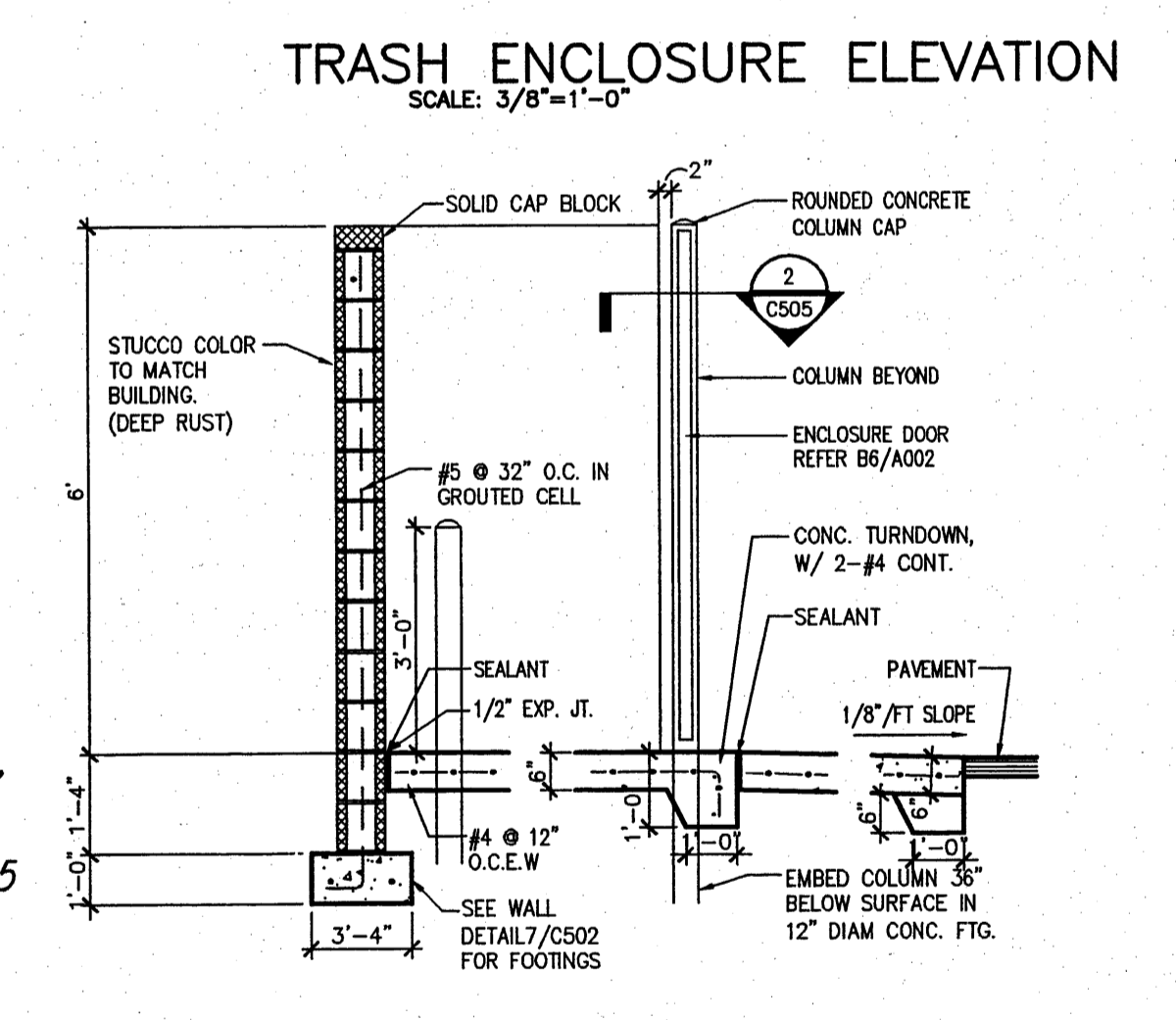
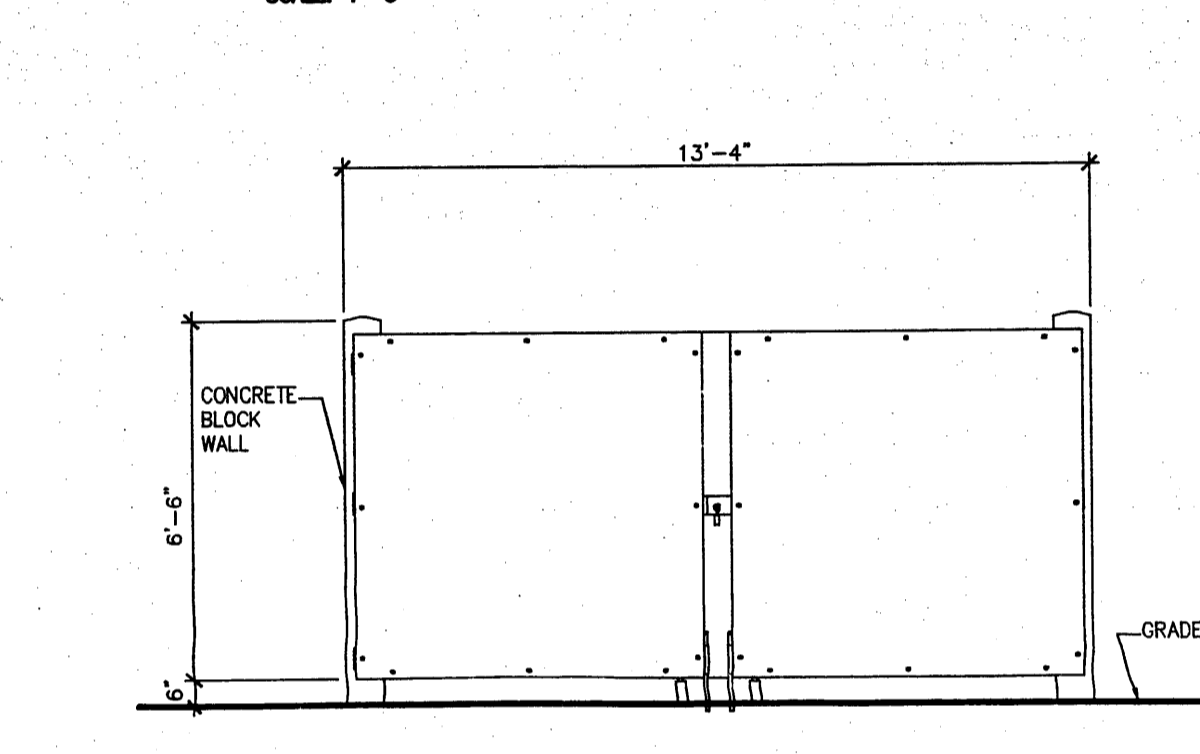
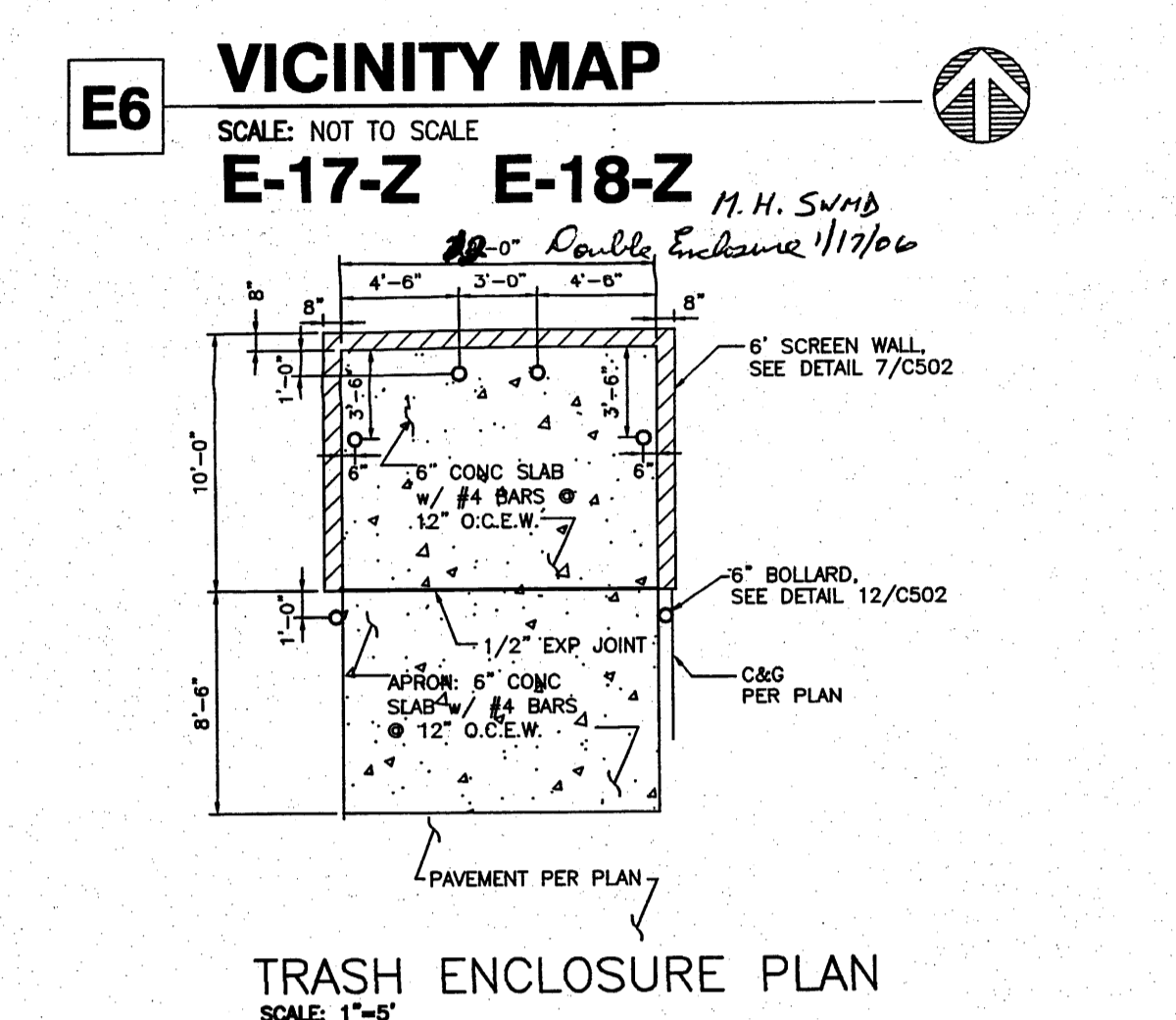
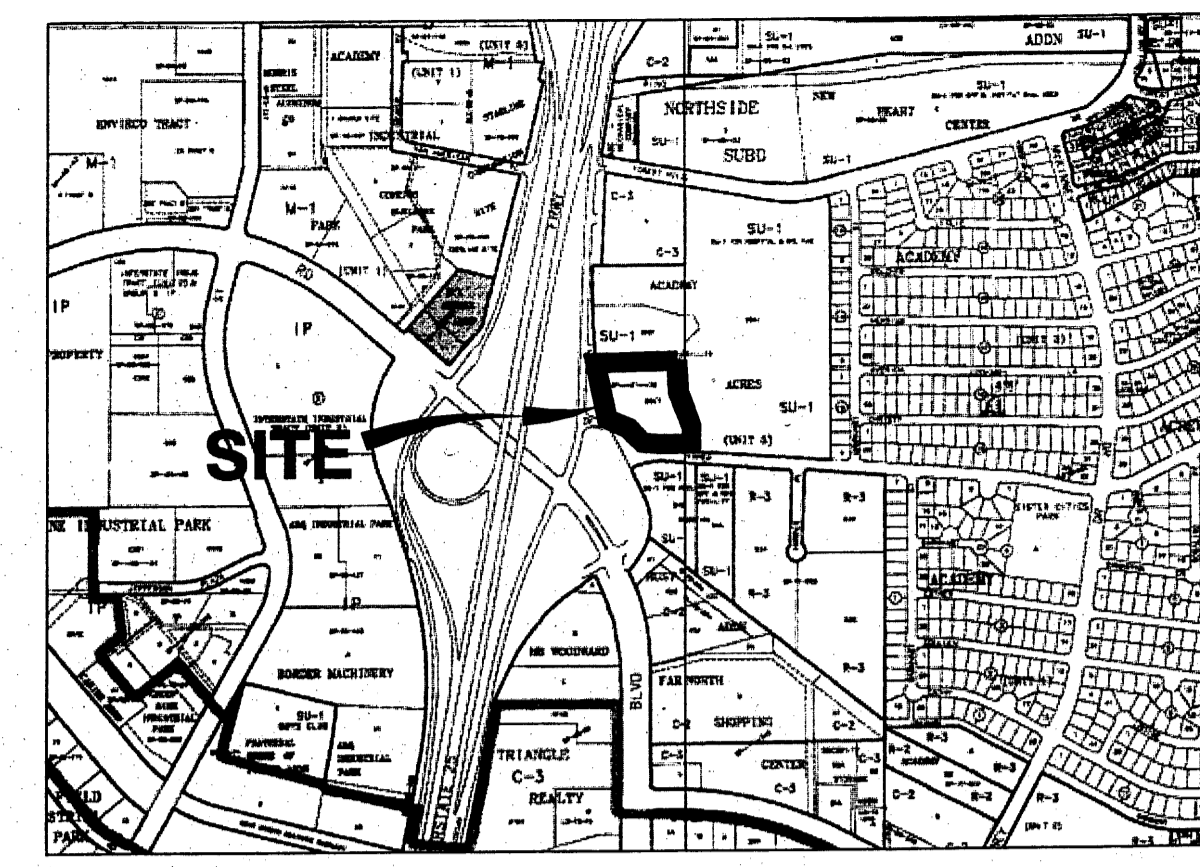
GENERAL NOTES:

- A. Lighting for on-site parking to comply with section 14.16.3.9.
- B. No billboards are permitted on site.
- C. Reciprocal parking and vehicular access is permitted between Tracts B-5-B1A and B-5-C-1A.



TABULATED PARKING

PROPOSED:	
REGULAR	111
SMALL	7
HC VAN HC	1
TOTAL	119
3 Motorcycle spaces	
7 Bike Rack	
REQUIRED @ 5 SPACES / DOCTOR	
22 DOCTORS	
TOTAL	110



PROJECT NUMBER: 1000871
APPLICATION NUMBER: 05-01840

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated [] and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes (X) No. If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i> Traffic Engineering, Transportation Division	12-21-05 Date
<i>William G. Baker</i> Water Utility Department	12/21/05 Date
<i>Christine Sandoval</i> Parks and Recreation Department	12/21/05 Date
<i>Bradley D. Dingham</i> City Engineer	12/21/05 Date
<i>NA</i> *Environmental Health Department (conditional)	Date
<i>Michael Holton (double envelope)</i> Solid Waste Management	11/17/06 Date
<i>[Signature]</i> DRB Chairperson, Planning Department	01/19/06 Date

A1 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
SCALE: 1"=20'

DAVID A. ALBRE
STATE OF NEW MEXICO
REGISTERED PROFESSIONAL ARCHITECT
14231
12-20-05

THE DESIGN GROUP
ARCHITECTS - PLANNERS - INTERIOR DESIGN
EYE ASSOCIATES
HARPER AVENUE N.E.
ALBUQUERQUE, NEW MEXICO 87102
PHONE: 505.242.6880 FAX: 505.242.6881

PROJECT NAME:
HARPER AVENUE N.E.
ALBUQUERQUE, NEW MEXICO 87102

REVISIONS

No.	DATE	DESCRIPTION
1	12.19.05	PLANNING COMMENTS

SHEET TITLE:
SITE DEVELOPMENT
PLAN FOR
BUILDING PERMIT

DESIGNED: DAA SCALE: 1"=30'
CHECKED: DAA JOB NO.: 2290
DATE: 11.22.05 COMP. FILE: 2290-C1.1

C1.1

118 0001

ASP-HLT PARKING AND DRIVEWAY

TRACT B-5-C-1
UNIT 5
ACADEMY ACRES SUBDIVISION
FILED: 8/7/1992
(VOL. 92-C, FOLIO 168)

ASP-HLT PARKING AND DRIVEWAY

SITE DATA

GROSS LOT AREA	+/- 114,000 SF
LESS BUILDING(S)	21,570 SF
NET LOT AREA	92,430 SF
REQUIRED LANDSCAPE	13,865 SF
15% OF NET LOT AREA	13,865 SF
PROPOSED LANDSCAPE	35,325 SF
PERCENT OF NET LOT AREA	38 %
HIGH WATER USE TURF	6927 SF
MAX. 20% OF LANDSCAPE AREA	6927 SF
PROPOSED HIGH WATER USE TURF	6025 SF
PERCENT OF LANDSCAPE AREA	20 %
REQUIRED STREET TREES	14
PROVIDED AT 30' O.C. SPACING ALONG STREET	14
REQUIRED PARKING LOT TREES	12
PROVIDED AT 1 PER 10 SPACES (118 SPACES/10)	12

NOTE

MAINTENANCE OF LANDSCAPE AND IRRIGATION PROVIDED BY OWNER
 PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE
 WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER
 THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE PLANTING RESTRICTIONS APPROACH
 IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY
 LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL
 MULCH AT 2"-3" DEPTH OVER FILTER FABRIC
 APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE
 TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS
 STREET TREES TO BE INSTALLED PER C.O.A. STREET TREE ORDINANCE
 NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE.

PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Size	Water Use
Trees				
3	⊗	Chilopsis linearis Desert Willow	15-Gal	Low +
15	⊗	Fraxinus velutina 'Modesto' Modesto Ash	2" B&B	Medium +
7	⊗	Platanus Sycamore	2" B&B	Medium
16	⊗	Pyrus calleryana Flowering Pear	15 GAL	Medium +
Shrubs/Groundcovers				
3	⊗	Caesalpinia gilliesii Yellow Bird of Paradise	5-Gal	Low
54	⊗	Caryopteris clandestinis Blue Mist	5-Gal	Medium
69	⊗	Cercocarpus ledifolius Curl-leaf Mtn. Mahogany	5-Gal	Low +
56	⊗	Cotoneaster apiculatus Cranberry Cotoneaster	5-Gal	Medium
41	⊗	Berberis Red Barberry	5-Gal	Medium
24	⊗	Hesperaloe parviflora Red Yucca	5-Gal	Low+
49	⊗	Juniperus sabinia 'Buffalo' Buffalo Juniper (female)	5-Gal	Low +
52	⊗	Perovskia atriplicifolia Russian Sage	1-Gal	Medium
17	⊗	Prunus besseyi Western Sand Cherry	5-Gal	Medium
67	⊗	Rhaphiolepis indica India Hawthorn	5-Gal	Medium
Ornamental Grasses				
27	⊗	Miscanthus sinensis 'Gracillimus' Maiden Grass	5-Gal	Medium
54	⊗	Muhlenbergia capillaris 'Regal Mist' Regal Mist	1-Gal	Medium

R.O.W. VARIES

EXISTING TREES TO REMAIN

SEED AREA WITH GRASS SEED TO MATCH EXISTING AND SPRAY IRRIGATE (6025 SF)

TRAFFIC SIGN

STEEL EDGE

STANDARD CURB & GUTTER

EXISTING SYCAMORE TO REMAIN

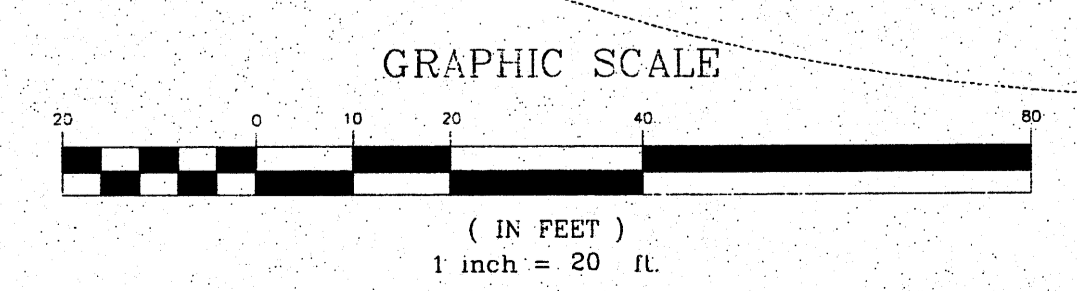
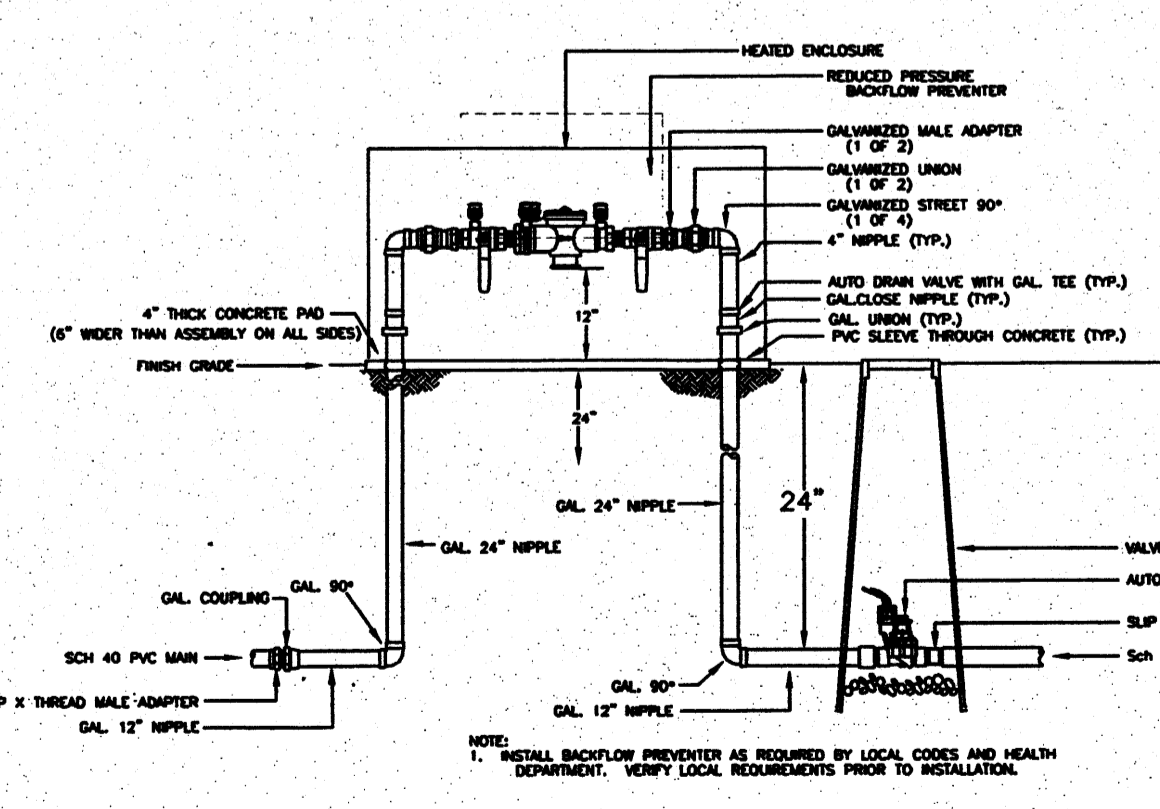
EXISTING TREES TO REMAIN

ASPHALT DRIVE

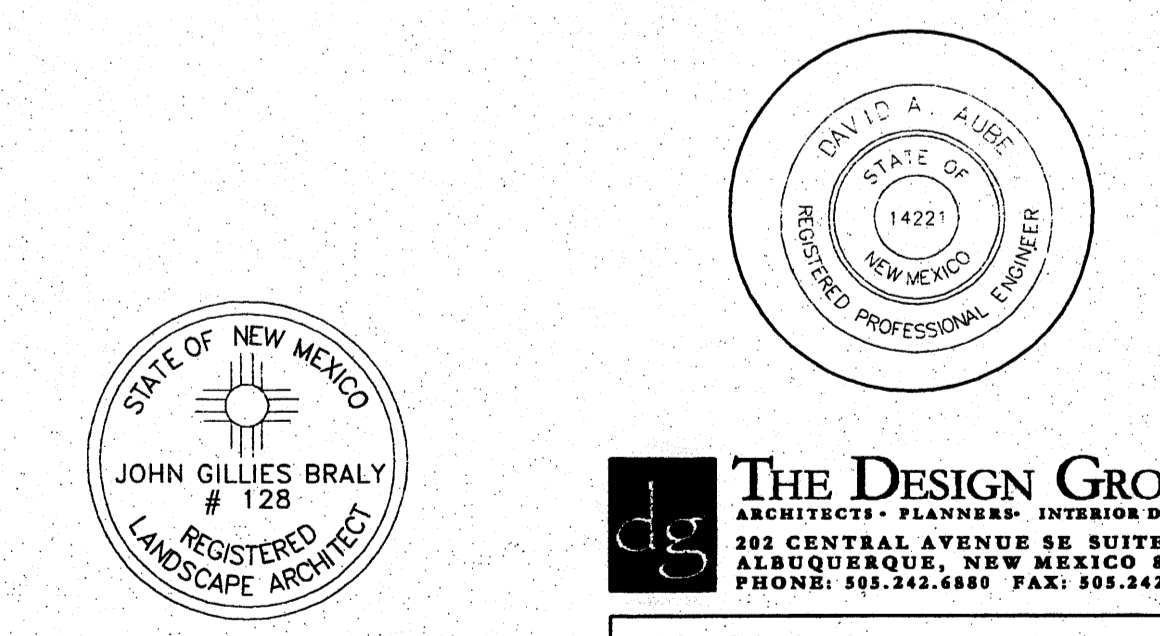
HDCP RAMP

HARPER AVE N.E.
64' R.O.W.

TRACT B-5-C-1
UNIT 5
ACADEMY ACRES SUBDIVISION
FILED: 8/7/1992
(VOL. 92-C, FOLIO 168)
182,062 SQ. FT., 4.1796 ACRES



L1 LANDSCAPE PLAN FOR BUILDING PERMIT
SCALE: 1"=20'



Growing Better Up Heads
LANDSCAPE CONTRACTORS
www.headsuplandscapes.com
P.O. BOX 10597
ALBUQUERQUE, NM 87114
505.898.9815
505.898.2105 (fax)
design@hulc.com

THE DESIGN GROUP
ARCHITECTS PLANNERS INTERIOR DESIGN
202 CENTRAL AVENUE SUITE 200
ALBUQUERQUE, NEW MEXICO 87102
PHONE: 505.242.6400 FAX: 505.242.6881

PROJECT NAME:
EYE ASSOCIATES
HARPER AVENUE N.E.
ALBUQUERQUE, NEW MEXICO 87110

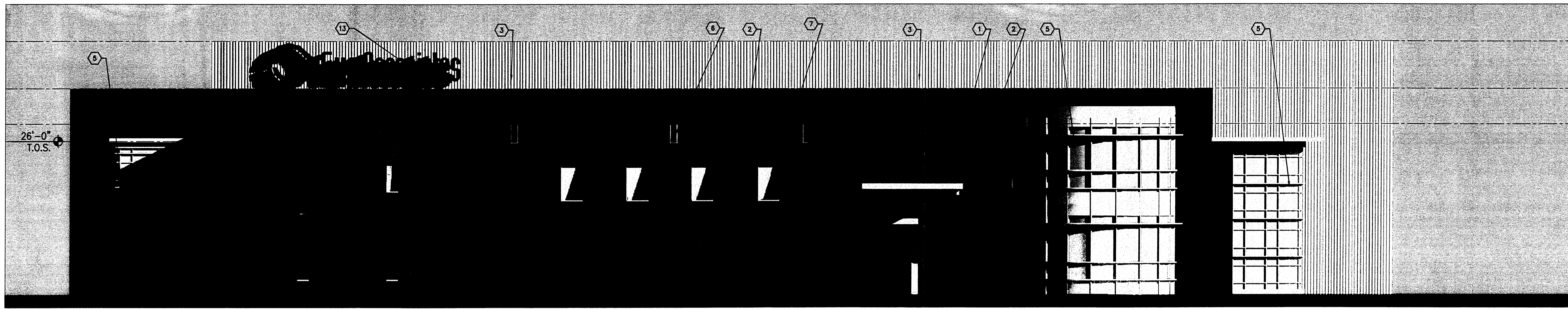
REVISIONS

No.	DATE	DESCRIPTION

SHEET TITLE:
OVERALL LANDSCAPE PLAN

DESIGNED: JC	SCALE: 1"=30'
CHECKED: EP	SIB NO. 2200
DATE: 11.22.05	COMP. FILE: 2200-C1.1

L1.1

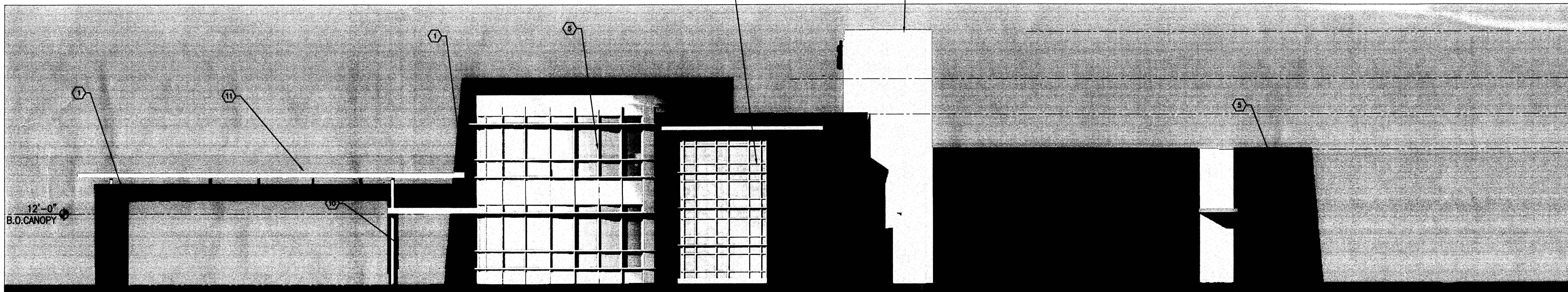


F1 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

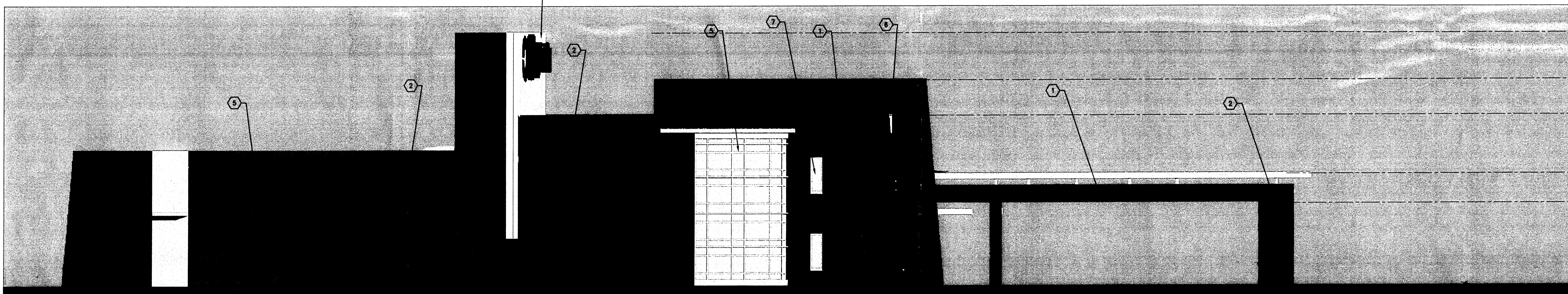
KEYED NOTES

1. STUCCO - DEEP RUST RED.
2. STUCCO - RUST RED.
3. GALVALUME FINISHED CORRUGATED METAL PANEL.
4. CLEAR ANODIZED ALUMINUM SUN SHADE.
5. CLEAR ANODIZED ALUM. STOREFRONT W/GREEN TINTED GLASS, TYPICAL.
6. ALUMINUM CANALE, TYPICAL.
7. CLEAR ANODIZED ALUMINUM WINDOWS, W/GREEN TINTED GLASS, TYPICAL.
10. CLEAR ANODIZED ALUM. COLUMNS.
11. COVERED CANOPY WITH CLEAR ANODIZED ALUM. CANOPY EDGE.
12. SPANDREL GREEN GLASS PANEL WITH 20" HIGH DARK GREY LETTERS.
13. 4" HIGH DARK RED METAL LETTERS.
14. PRECAST CONCRETE SILL.



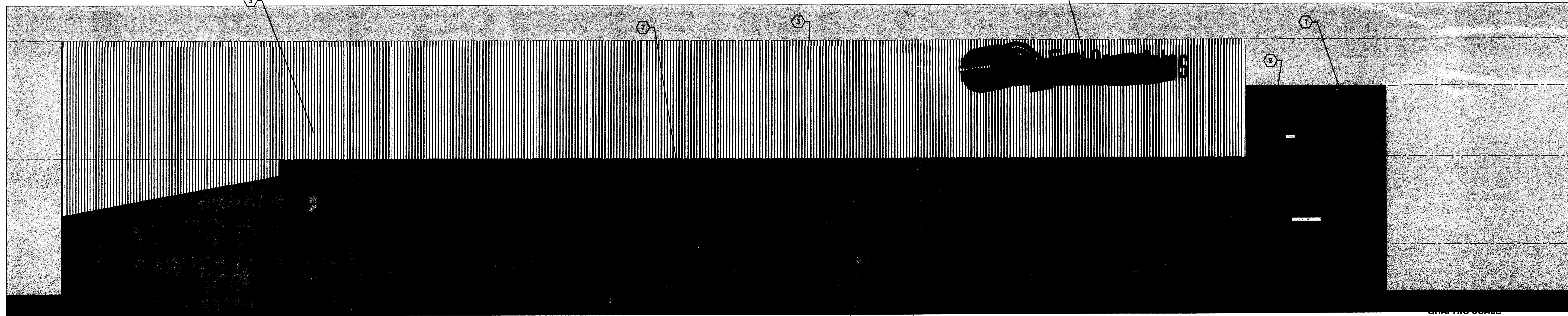
D1 EAST ELEVATION

SCALE: 1/8" = 1'-0"



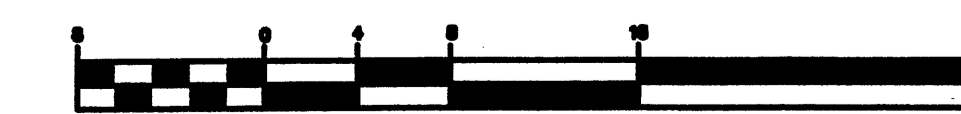
C1 WEST ELEVATION

SCALE: 1/8" = 1'-0"



A1 NORTH ELEVATION

SCALE: 1/8" = 1'-0"



THE DESIGN GROUP
ARCHITECTURE PLANNING INTERIOR DESIGN
203 CENTRAL AVENUE SE SUITE 200
ALBUQUERQUE, NEW MEXICO 87102
PHONE: 505.342.4888 FAX: 505.342.4881

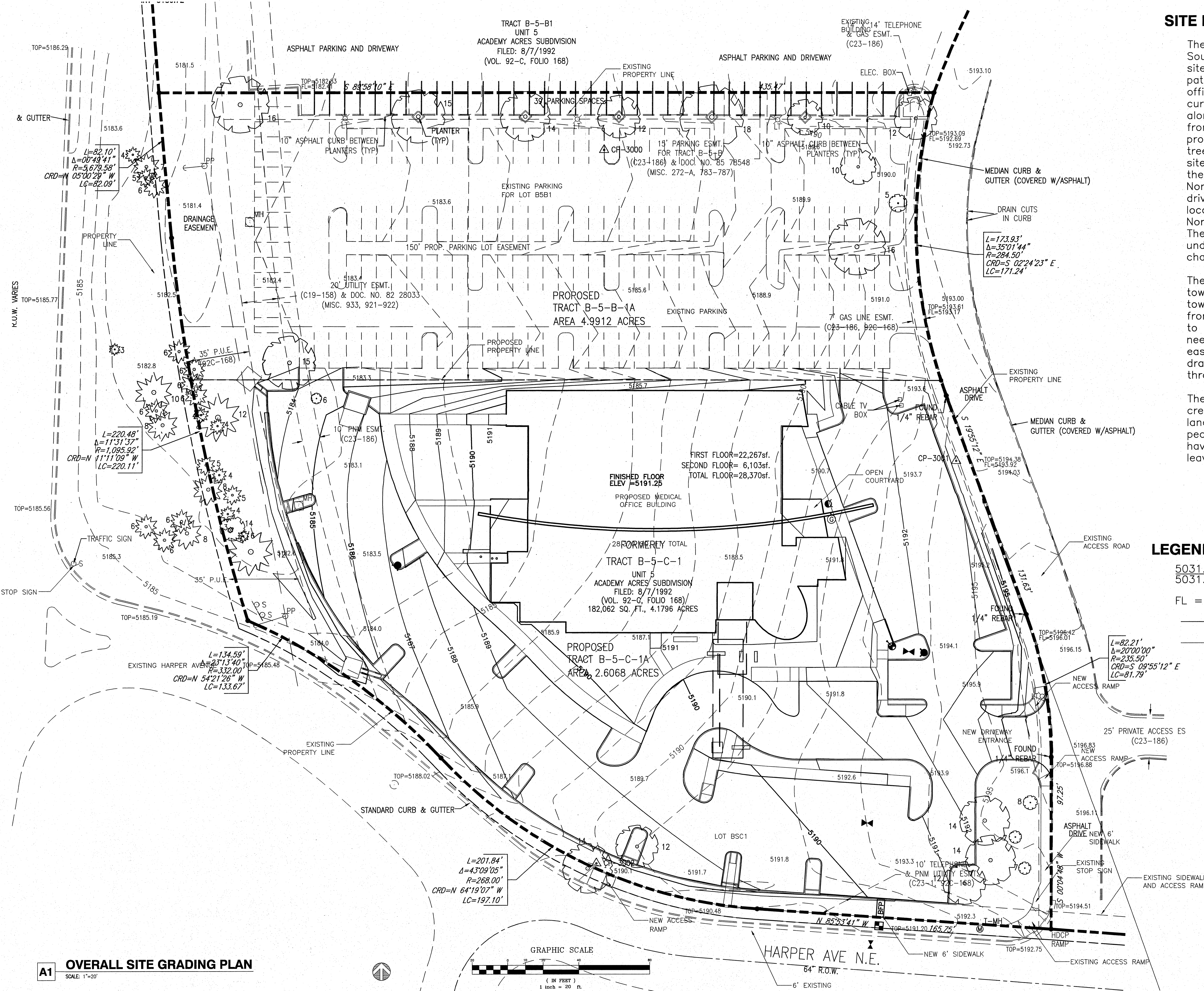
PROJECT NAME:
EYE ASSOCIATES
5757 HARPER DRIVE NE
ALBUQUERQUE, NEW MEXICO 87109

REVISIONS		
NO.	DATE	DESCRIPTION

SHEET TITLE:
EXTERIOR
BUILDING
ELEVATIONS

DESIGNED: _____ SCALE: 1/8" = 1'-0"
CHECKED: _____ JOB NO: 2290
DATE: 12.12.05 COMP FILE

A1.3



SITE HISTORY

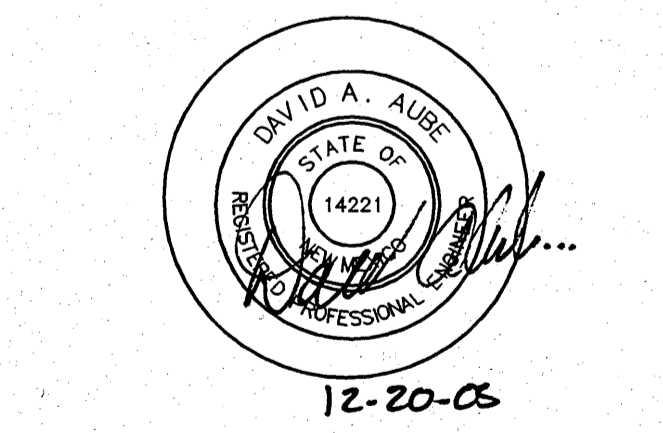
The property currently flows from Southeast to the Northwest. The site is currently used as a walking path for the heightboring medical office building staff. The site is currently irrigated turf with trees along the perimeter. The 125 frontage road along the west property line contains a grouping of trees and is a low point for the site. The site slopes gently from the trees at the frontage road North and drains under the driveway entrance for the building located on Lot B-5-B-1 to the North of the proposed project. The drainage is then conveyed under the Highway into a concrete channel that runs parallel to Osuna.

The proposed development will drain toward the south and then west toward the trees in the 125 frontage and along the same path to the north and west. There will need to be a new drainage easement created for the cross lot drainage from Lot B-5-C-1 through Lot B-5-B-1.

The proposed development will also create localized tree wells for new landscaping that will reduce the peak discharge and attempt to harvest the storm runoff before leaving the site.

LEGEND

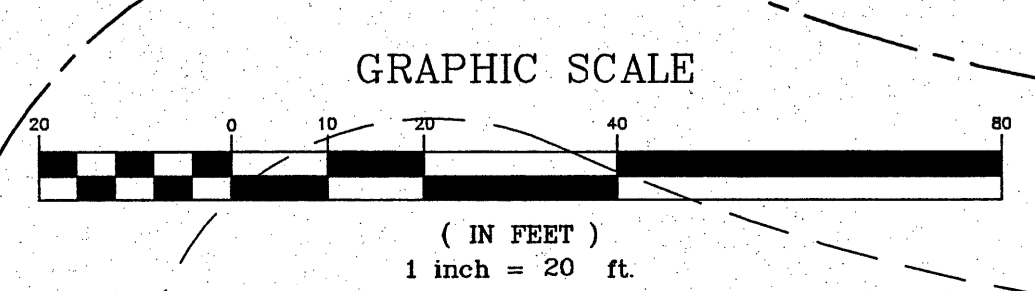
- 5031.05 FC PROPOSED SPOT ELEVAT
- 5031.55 TC
- FL = 5031.05 PROPOSED SPOT ELEVAT
- EXISTING CONTOURS
- PROPOSED CONTOURS



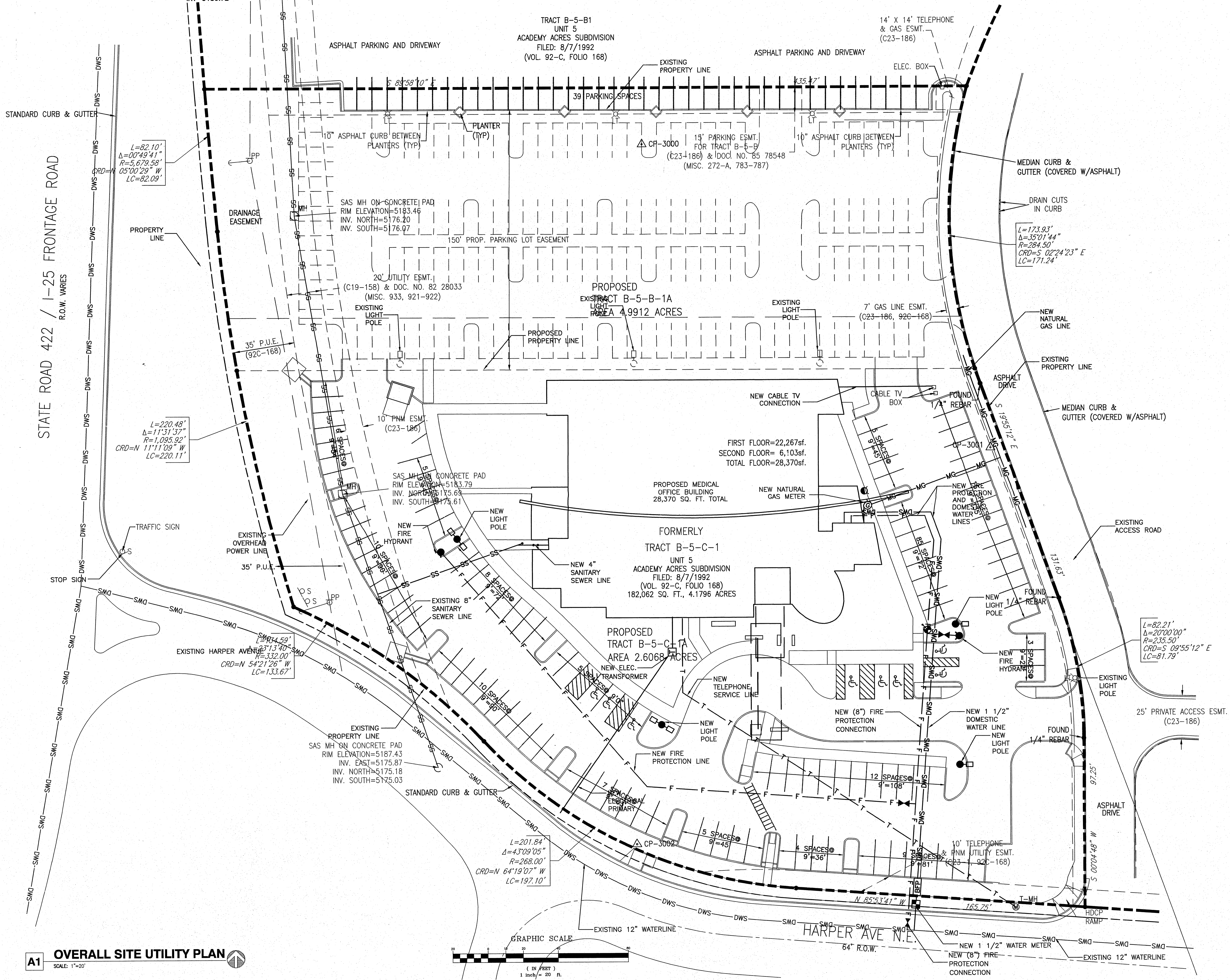
THE DESIGN GROUP
 ARCHITECTS • PLANNERS • INTERIOR DESIGN
 303 CENTRAL AVENUE SE SUITE 200
 ALBUQUERQUE, NEW MEXICO 87102
 PHONE: 505.262.4888 FAX: 505.262.4891

PROJECT NAME:		EYE ASSOCIATES HARPER AVENUE I.E. ALBUQUERQUE, NEW MEXICO 87104													
DESIGNED:		DAA													
CHECKED:		DAA													
DATE:		11.22.05													
SHEET TITLE:		OVERALL SITE GRADING PLAN													
SCALE:		1"=30'													
JOB NO.:		2250													
DATE:		11.22.05													
CONTRACT:		2250-01-1													
REVISIONS:		<table border="1"> <thead> <tr> <th>No.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>		No.	DATE	DESCRIPTION									
No.	DATE	DESCRIPTION													

A1 OVERALL SITE GRADING PLAN
 SCALE: 1"=20'



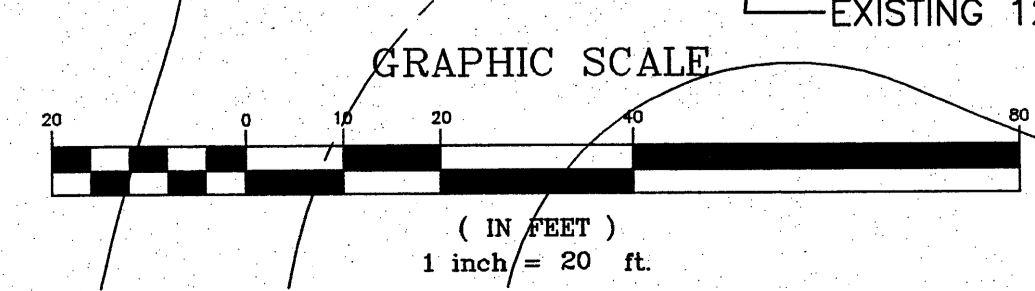
HARPER AVE N.E.
 64' R.O.W.
 6' EXISTING BIKE ROUTE



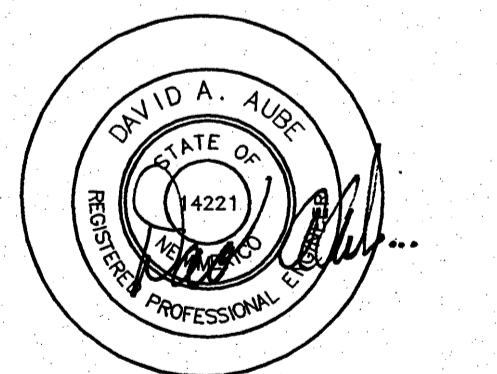
STATE ROAD 422 / I-25 FRONTAGE ROAD
R.O.W. VARIES

A1 OVERALL SITE UTILITY PLAN

SCALE: 1"=20'



NOTES:
ALL NEW LIGHT POLES TO BE LESS THAN 24' TALL WITH FULL CUT OFF SHIELDS TO COMPLY WITH NIGHT SKY ORDINANCE



12-20-05

THE DESIGN GROUP
ARCHITECTS • PLANNERS • INTERIOR DESIGN
300 CENTRAL AVENUE SUITE 300
ALBUQUERQUE, NEW MEXICO 87102
PHONE: 505.222.4400 FAX: 505.242.8841

PROJECT NAME:
EYE ASSOCIATES
HARPER AVENUE N.E.
ALBUQUERQUE, NEW MEXICO 87114

REVISIONS	
No.	DATE DESCRIPTION

SHEET TITLE:
OVERALL SITE UTILITY PLAN

DESIGNED: DAA SCALE: 1"=30'
CHECKED: DAA JOB NO: 2200
DATE: 11-22-05 COMP. FILE: 2200-C1.1

C3.1