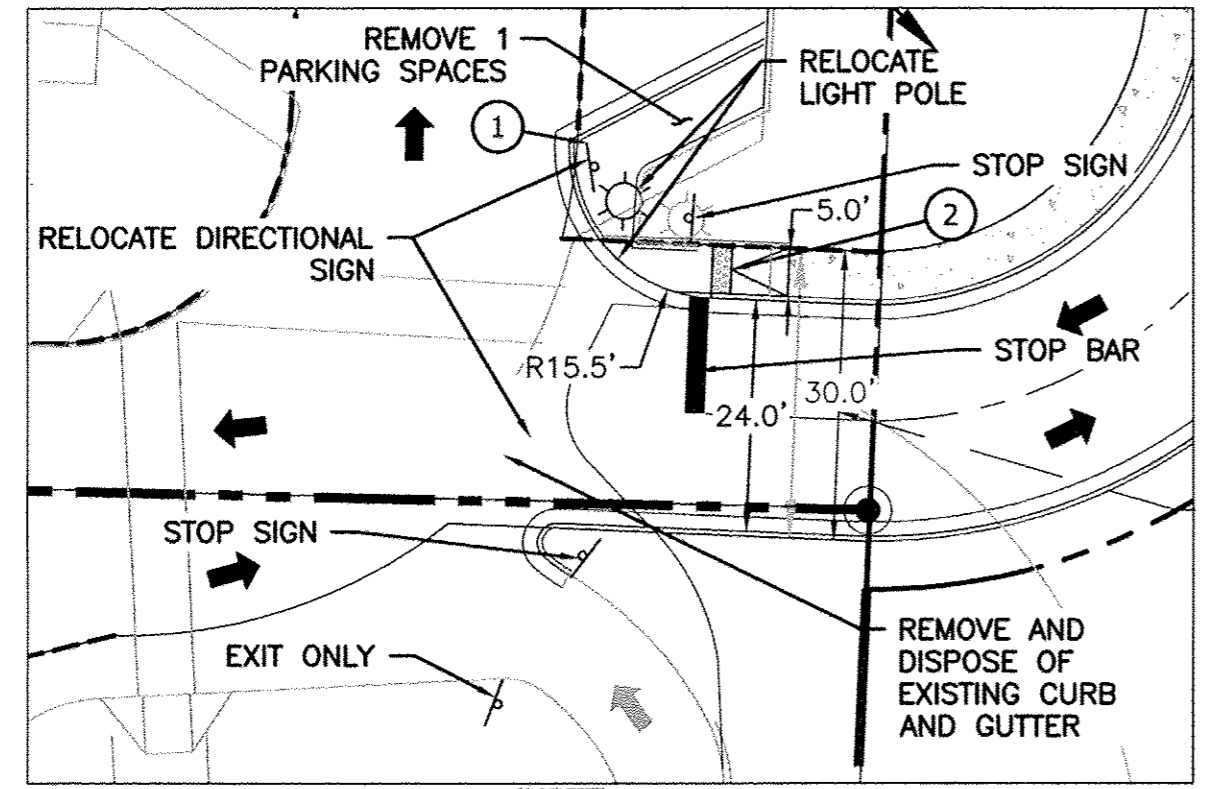


LEGEND

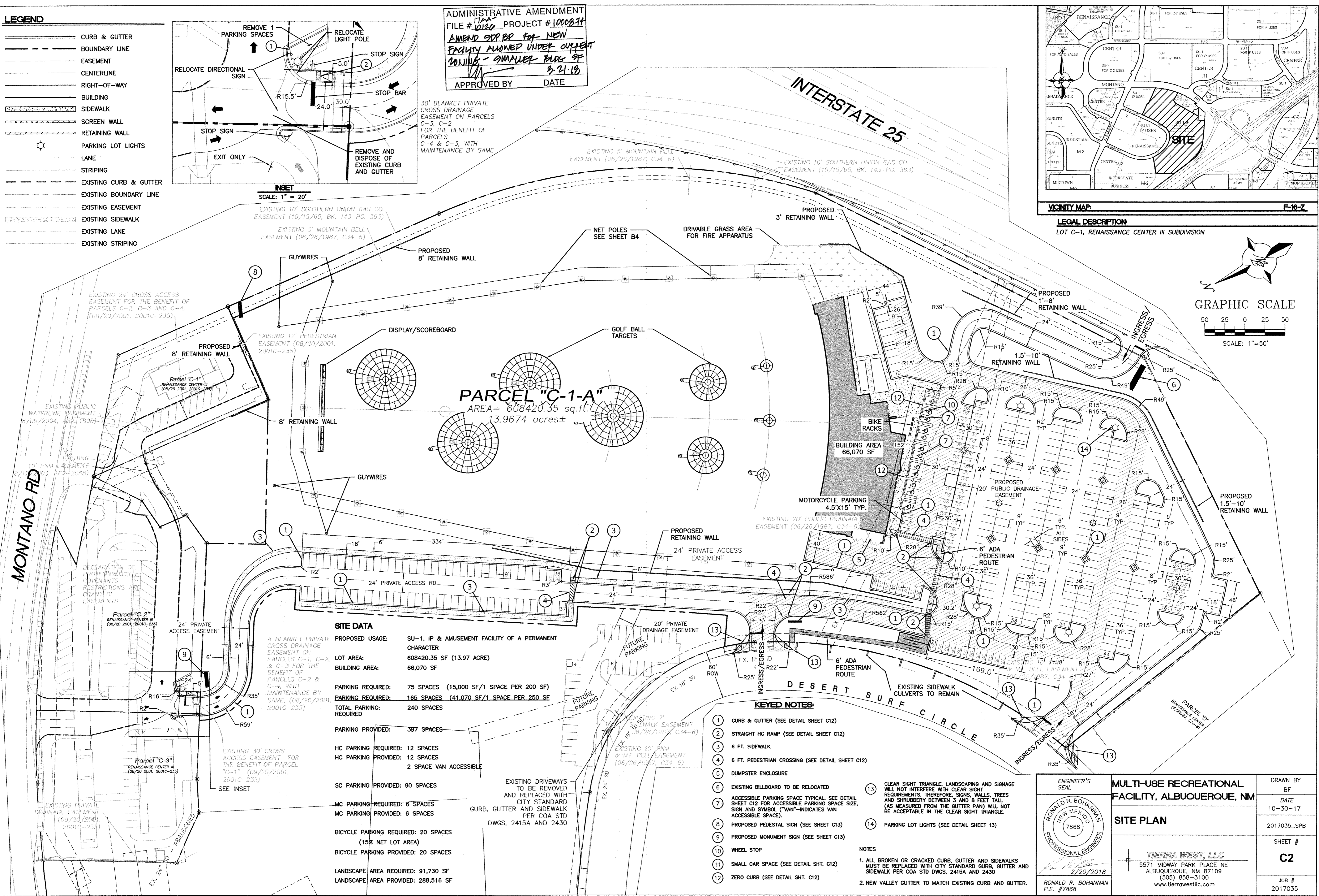
- CURB & GUTTER
- - - BOUNDARY LINE
- - - EASEMENT
- - - CENTERLINE
- - - RIGHT-OF-WAY
- ▬ BUILDING
- ▬ SIDEWALK
- ▬ SCREEN WALL
- ▬ RETAINING WALL
- ☀ PARKING LOT LIGHTS
- - - LANE
- - - STRIPING
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- - - EXISTING EASEMENT
- - - EXISTING SIDEWALK
- - - EXISTING LANE
- - - EXISTING STRIPING



INSET
SCALE: 1" = 20'

ADMINISTRATIVE AMENDMENT
FILE # ^{TIA}10126 PROJECT # 1000871
AMEND 07/20/18 FOR NEW FACILITY ALLOWED UNDER CURRENT ZONING - SMALLER BLDG FT
APPROVED BY _____ DATE 3.21.18

30' BLANKET PRIVATE CROSS DRAINAGE EASEMENT ON PARCELS C-3, C-2 FOR THE BENEFIT OF PARCELS C-4 & C-3, WITH MAINTENANCE BY SAME



PARCEL "C-1-A"
AREA = 608420.35 sq.ft.
13.9674 acres ±

SITE DATA

PROPOSED USAGE:	SU-1, IP & AMUSEMENT FACILITY OF A PERMANENT CHARACTER
LOT AREA:	608420.35 SF (13.97 ACRE)
BUILDING AREA:	66,070 SF
PARKING REQUIRED:	75 SPACES (15,000 SF/1 SPACE PER 200 SF)
PARKING PROVIDED:	165 SPACES (41,070 SF/1 SPACE PER 250 SF)
TOTAL PARKING REQUIRED:	240 SPACES
TOTAL PARKING PROVIDED:	397 SPACES
HC PARKING REQUIRED:	12 SPACES
HC PARKING PROVIDED:	12 SPACES
	2 SPACE VAN ACCESSIBLE
SC PARKING PROVIDED:	90 SPACES
MC PARKING REQUIRED:	6 SPACES
MC PARKING PROVIDED:	6 SPACES
BICYCLE PARKING REQUIRED:	20 SPACES (15% NET LOT AREA)
BICYCLE PARKING PROVIDED:	20 SPACES
LANDSCAPE AREA REQUIRED:	91,730 SF
LANDSCAPE AREA PROVIDED:	288,516 SF

KEYED NOTES:

- 1 CURB & GUTTER (SEE DETAIL SHEET C12)
 - 2 STRAIGHT HC RAMP (SEE DETAIL SHEET C12)
 - 3 6 FT. SIDEWALK
 - 4 6 FT. PEDESTRIAN CROSSING (SEE DETAIL SHEET C12)
 - 5 DUMPSTER ENCLOSURE
 - 6 EXISTING BILLBOARD TO BE RELOCATED
 - 7 ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET C12 FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL. ("VAN" INDICATES VAN ACCESSIBLE SPACE).
 - 8 PROPOSED PEDESTAL SIGN (SEE SHEET C13)
 - 9 PROPOSED MONUMENT SIGN (SEE SHEET C13)
 - 10 WHEEL STOP
 - 11 SMALL CAR SPACE (SEE DETAIL SHT. C12)
 - 12 ZERO CURB (SEE DETAIL SHT. C12)
 - 13 CLEAR SIGHT TRIANGLE. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
 - 14 PARKING LOT LIGHTS (SEE DETAIL SHEET 13)
- NOTES**
1. ALL BROKEN OR CRACKED CURB, GUTTER AND SIDEWALKS MUST BE REPLACED WITH CITY STANDARD CURB, GUTTER AND SIDEWALK PER COA STD DWGS, 2415A AND 2430
 2. NEW VALLEY GUTTER TO MATCH EXISTING CURB AND GUTTER.

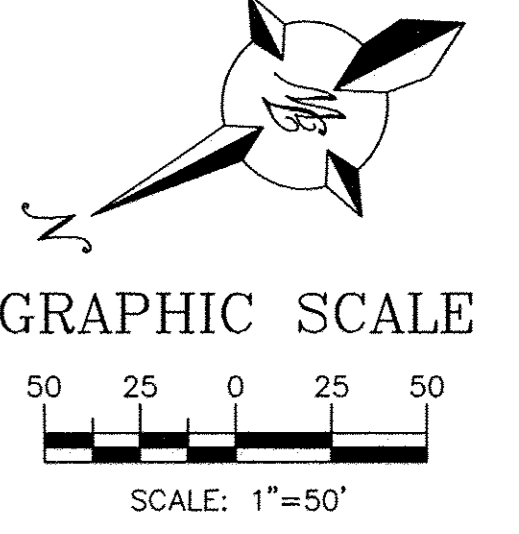
ENGINEER'S SEAL
RONALD R. BOHANNAN
NEW MEXICO
7868
PROFESSIONAL ENGINEER
2/20/2018
RONALD R. BOHANNAN
P.E. #7868

MULTI-USE RECREATIONAL FACILITY, ALBUQUERQUE, NM

SITE PLAN

TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505) 858-3100
www.tierrawestllc.com

DRAWN BY: BF
DATE: 10-30-17
2017035_SPB
SHEET #: C2
JOB #: 2017035



VICINITY MAP: F-16-Z

LEGAL DESCRIPTION:
LOT C-1, RENAISSANCE CENTER III SUBDIVISION

LEGEND

- EXISTING FENCE
- EXISTING RETAINING/PRIVACY WALLS
- PROPOSED NEW STRUCTURES
- EXISTING SHADED AREAS
- EXISTING BUILDINGS
- EXISTING STRUCTURES TO BE REMOVED
- PAVING LIMITS
- 6" RECYCLED CRUSHED AGGREGATE

PROJECT DATA

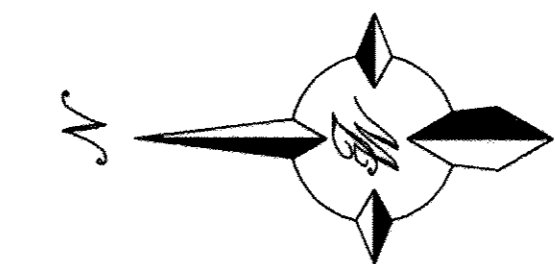
- LEGAL DESCRIPTION: TRACTS "B" & "C" OF RENAISSANCE III, REPLAT OF LOTS 3 AND 4, BLOCK 4, AND TRACT 6-A OF SUNDT'S INDUSTRIAL CENTER.
- CURRENT ZONING IS SU-1 IP. FOR WATER PARK AND RELATED FACILITIES.
- PROPOSED USES: WATER AMUSEMENT PARK.
- EXISTING BUILDING INFORMATION:

BUILDING NUMBER	DESCRIPTION	FLOOR AREA
1	ENTRY/ADMIN. OFFICES VIDEO ARCADE	4,817 SQ. FT.
2	CONCESSION STAND	1,102 SQ. FT.
3	DRESSING ROOMS AND FIRST AID STATION	3,222 SQ. FT.
4	CONCESSION STAND AND RESTROOMS	1,590 SQ. FT.
5	CONCESSION STAND	463 SQ. FT.
6	PUMP AND FILTER HOUSES	666 SQ. FT.
7	GENERAL MAINTENANCE BUILDING	2,034 SQ. FT.
8	MECHANICAL AND PUMP BUILDING FOR WAVE POOL	2,125 SQ. FT.

5. PROPOSED BUILDING INFORMATION:

PHASE	DESCRIPTION	FLOOR AREA
I	3 WATER SLIDES "THE KAMAKAZE"	
I	TWO STORY STORAGE BUILDING & CARETAKER UNIT	1,800 SQ. FT.
I	TUBE RENTAL/STORAGE BUILDING	480 SQ. FT.
II	COVERED PICNIC AREA	14,389 SQ. FT.
III	COVERED BAND STAND W/ 4 COVERED SHELTERS	21,231 SQ. FT.
I, II	OTHER COVERED AREAS	2,400 SQ. FT.
TOTAL SQUARE FOOTAGE EXISTING		16,019
TOTAL SQUARE FOOTAGE PROPOSED		40,300
TOTAL SQUARE FOOTAGE OVERALL		56,319

- PARKING DATA:
 - PARKING REQUIRED: 78
 - PARKING PROVIDED: 576 AND 5 BUS SPACES
 - HANDICAP PARKING REQUIRED: 4
 - HANDICAP PARKING PROVIDED: 11
 - TOTAL PARKING SPACES PROVIDED: 591
- LIGHTING: EXISTING LIGHTING IS METAL HALIDE MULTI-VAPOR LAMPS ON 15' TO 35' HIGH POLES.
- TRASH REFUSE CONTAINERS ARE LOCATED ON THE SOUTHEAST CORNER OF THE PROPERTY CONTAINING TWO STANDARD DUMPSTERS.
- BUILDINGS: BUILDINGS WILL BE TRADITIONAL OR SOUTHWEST STYLE WITH EITHER FLAT OR TILED PITCHED ROOFS. BUILDINGS WILL BE EITHER STUCCO, BRICK, SIDING, OR ANY COMBINATION. COLORS WILL BE EARTHTONE WITH ACCENTS.
- LANDSCAPING: ANY CHANGES FROM WHAT IS APPROVED ON THE SITE DEVELOPMENT PLAN FOR THE SUBDIVISION PURPOSES WILL REQUIRE AN AMENDMENT TO THE PLAN AND THAT SITE DEVELOPMENT PLAN FOR BUILDING PURPOSES WILL BE REQUIRED FOR THE PROPOSED PARCEL "C" THROUGH A PUBLIC HEARING AT THE DEVELOPMENT REVIEW BOARD. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.



GRAPHIC SCALE



SCALE: 1"=50'

DRB 97-B

CASE NUMBER: Z-96-128

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on NOVEMBER 21, 1996, and that the findings and conditions in the Official Notice; Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

Robert W. Kane 1-07-97
 Traffic Engineer, Transportation Division Date

Edward R. King 1-7-97
 Design and Development, CIP Date

Robert W. Kane 1-7-97
 Public Works, Water Utilities Division Date

John J. Davis 1-7-97
 City Engineer, Engineering Division / AMAFCA Date

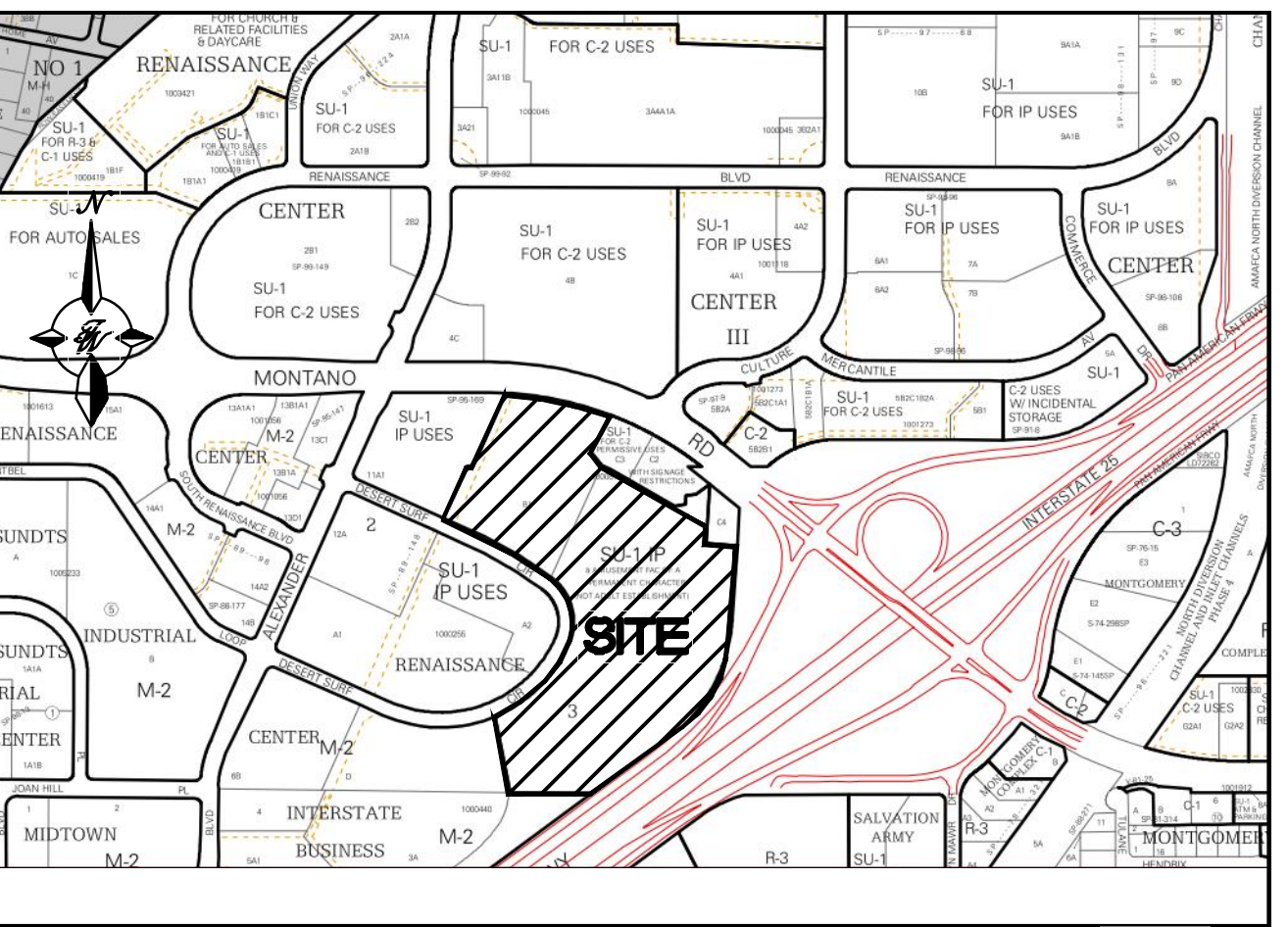
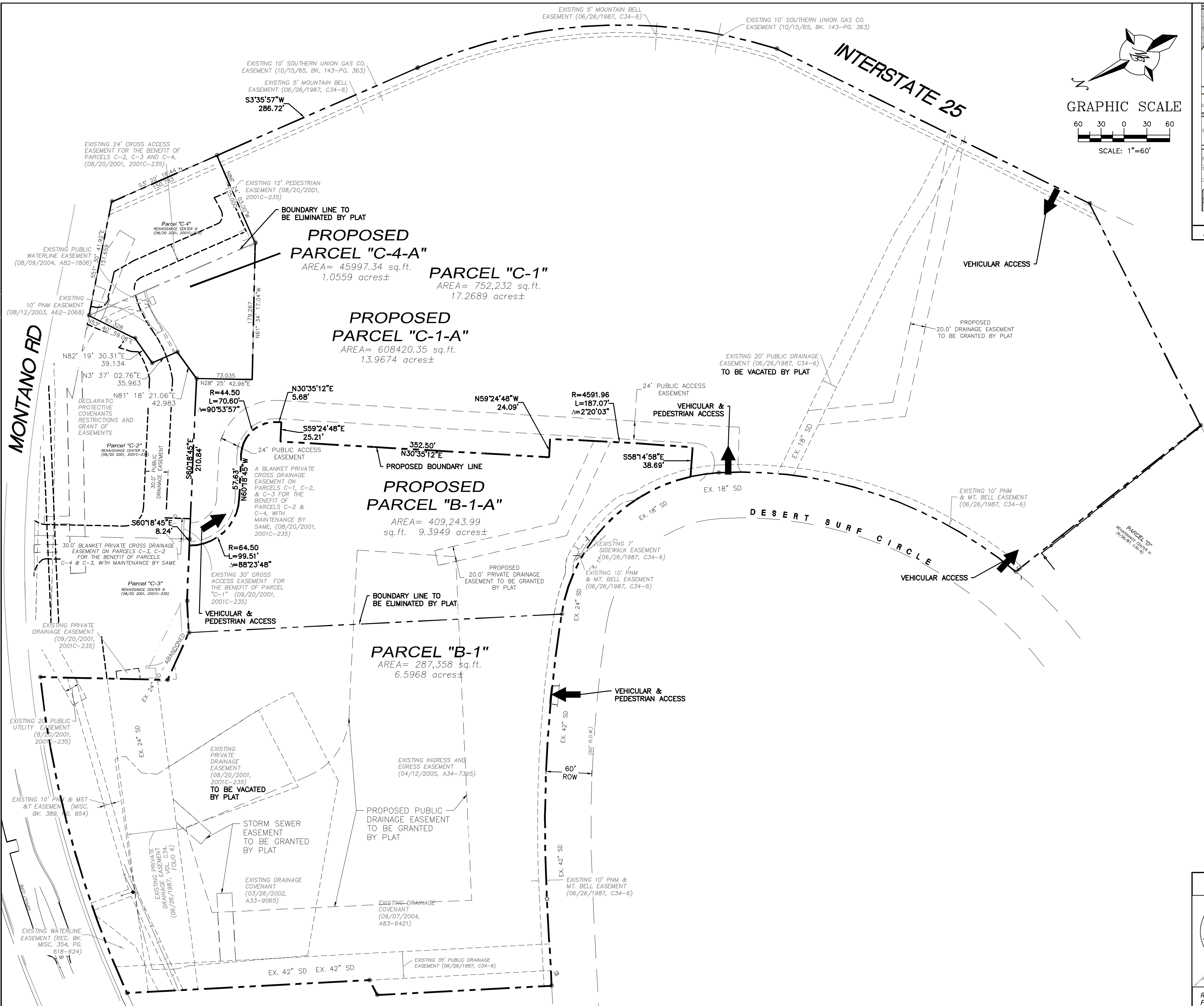
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

Kevin J. Dine 1-28-97
 City Planner, Albuquerque / Bernalillo County Planning Division Date

PLNZ (10706) 4/96

NOTES:
 THE LOT LINE WILL BE ELIMINATED AND A NEW REPLAT OF THE PROPERTY WILL BE PREPARED.

ENGINEER'S SEAL	THE BEACH WATER PARK	DRAWN BY JDN
	SITE PLAN	DATE 12/23/96
	TERRA WEST DEVELOPMENT MANAGEMENT SERVICES	SHEET # 2 OF 6
RONALD R. BOHANNAN P.E. #7868	4421 McLEOD ROAD, N.E., SUITE D ALBUQUERQUE, NEW MEXICO 87109 (505)883-7592	JOB # 960042



VICINITY MAP: F-16-Z

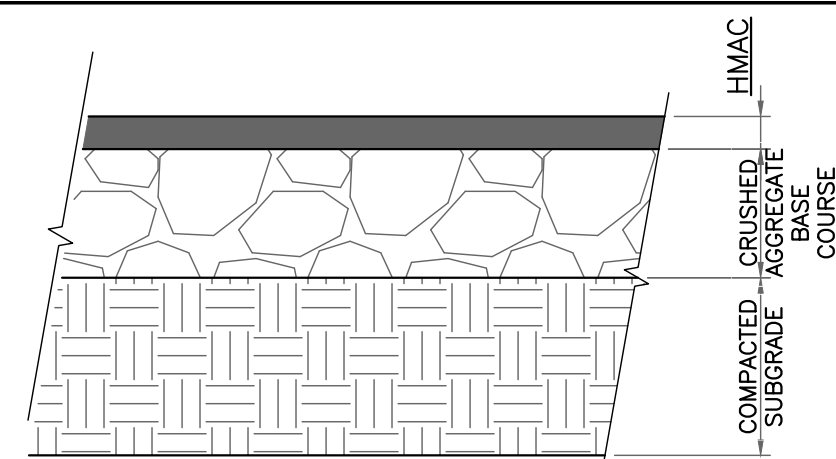
LEGAL DESCRIPTION:
LOT C-1, RENAISSANCE CENTER III SUBDIVISION

- LEGEND**
- BOUNDARY LINE
 - - - PROPOSED EASEMENT
 - EXISTING EASEMENT

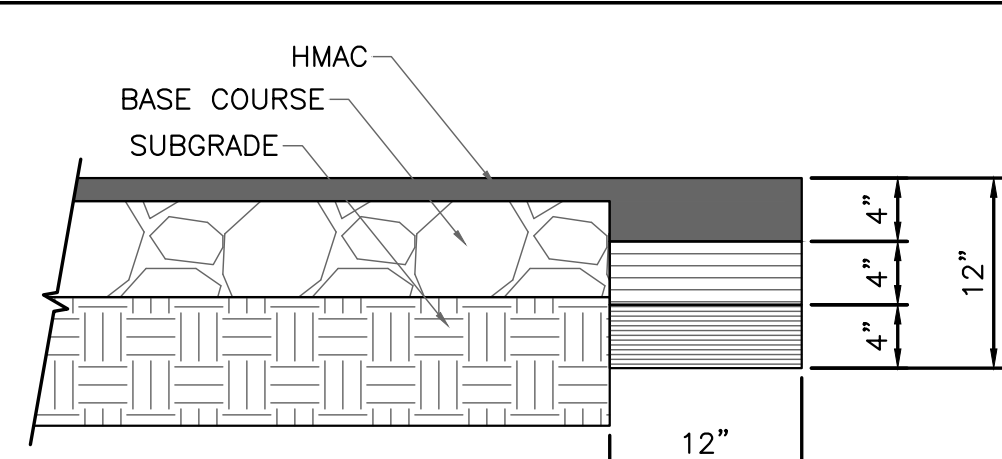
- INDEX TO DRAWINGS**
- C1. SITE PLAN FOR SUBDIVISION
 - C2. SITE PLAN FOR BUILDING PERMIT
 - C3. OVERALL MASS GRADING PLAN
 - C4. OVERALL DRAINAGE PLAN
 - C5. GRADING PLAN 1
 - C6. GRADING PLAN 2
 - C7. GRADING PLAN 3
 - C8. RETAINING WALLS
 - C9. STORM DRAIN PLAN
 - C10. CROSS SECTIONS
 - C11. MASTER UTILITY PLAN
 - C12. STANDARD SITE DETAILS
 - C13. STANDARD SITE DETAILS
 - C14. STANDARD UTILITY DETAILS
 - L1. LANDSCAPING PLAN
 - L2. LANDSCAPING DETAILS
 - B1. EXTERIOR ELEVATIONS
 - B2. EXTERIOR ELEVATIONS
 - B3. EXTERIOR ELEVATIONS
 - B4. NET POLE ELEVATIONS
 - B5. EXTERIOR SIGNAGE - FRONT ELEVATION
 - B6. EXTERIOR SIGNAGE - RIGHT ELEVATION

ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	MULTI-USE RECREATIONAL FACILITY, ALBUQUERQUE, NM	DRAWN BY BF
	SITE PLAN FOR SUBDIVISION	DATE 10-30-17
 TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C1	JOB # 2017035

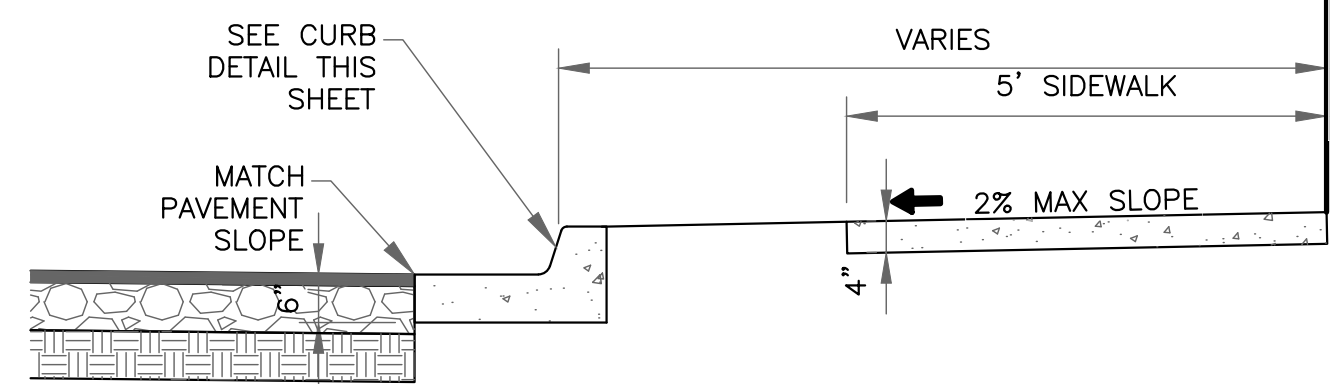
Z:\2017\2017035_Top Golf Albuquerque.dwg\DRB\2017035_SPSB.dwg Mar. 21, 2018 - 7:35am



PAVEMENT SECTION DETAIL
SCALE: 1"=1'



PAVEMENT TERMINUS
SCALE: 1"=1'



CURB & GUTTER AND SIDEWALK DETAIL
SCALE: 1"=2'

PAVEMENT NOTES

- SUBGRADE TO BE COMPACTED TO 95% OF MAXIMUM DENSITY AS PER ASTM D1557.
- BASE TO BE COMPACTED TO NOT LESS THAN 100% DENSITY IN ACCORDANCE WITH ASTM D1557, TYPE A, GRADE 1 OR 2.
- BITUMINOUS MATERIAL SHALL CONFORM TO AC-10 OR AC-20, TYPE "C" IN ACCORDANCE WITH ASTM D3318.
- PRIME COAT TO BE 0.25 GAL. PER SQUARE YARD (MINIMUM COVERAGE) MC-70.
- COMPACTION TESTS WHERE REQUIRED BY THE CITY ENGINEER MUST BE PAID FOR BY THE DEVELOPER.
- C.B.R. TESTS WILL BE REQUIRED AT 500 FOOT INTERVALS AFTER SUBGRADE IS PLACED AND/OR A MINIMUM OF TWO TESTS IF STREET IS LESS THAN 500 FEET.
- STRICT VERTICAL CONTROL OF ALL CURB AND GUTTER ELEVATIONS WILL BE MAINTAINED. BLUE TOPPING WILL BE REQUIRED THROUGHOUT.

TRENCHING

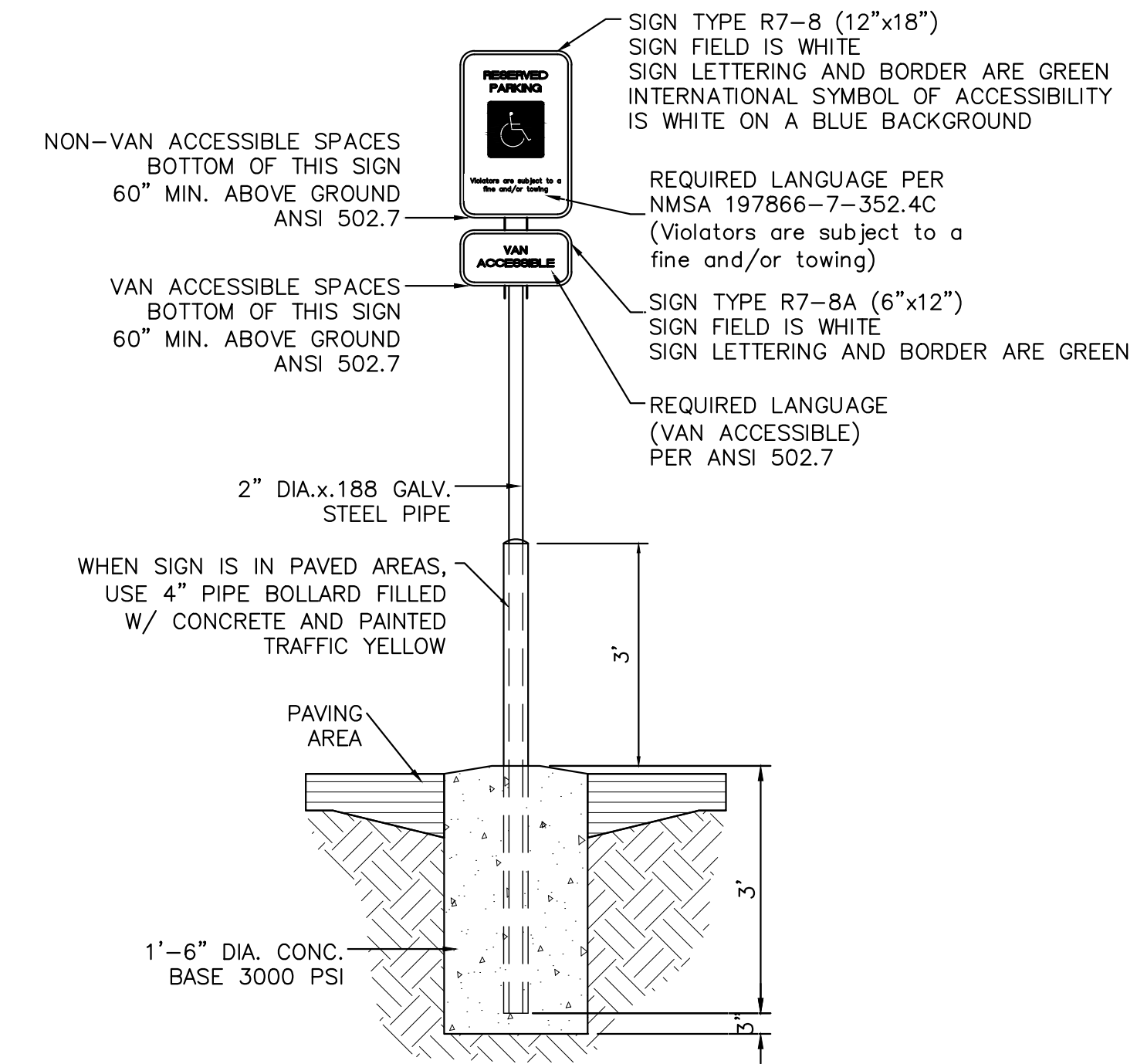
ALL TRENCHING SHALL BE DONE IN STRICT ACCORDANCE WITH OSHA-2226.

NOTE:

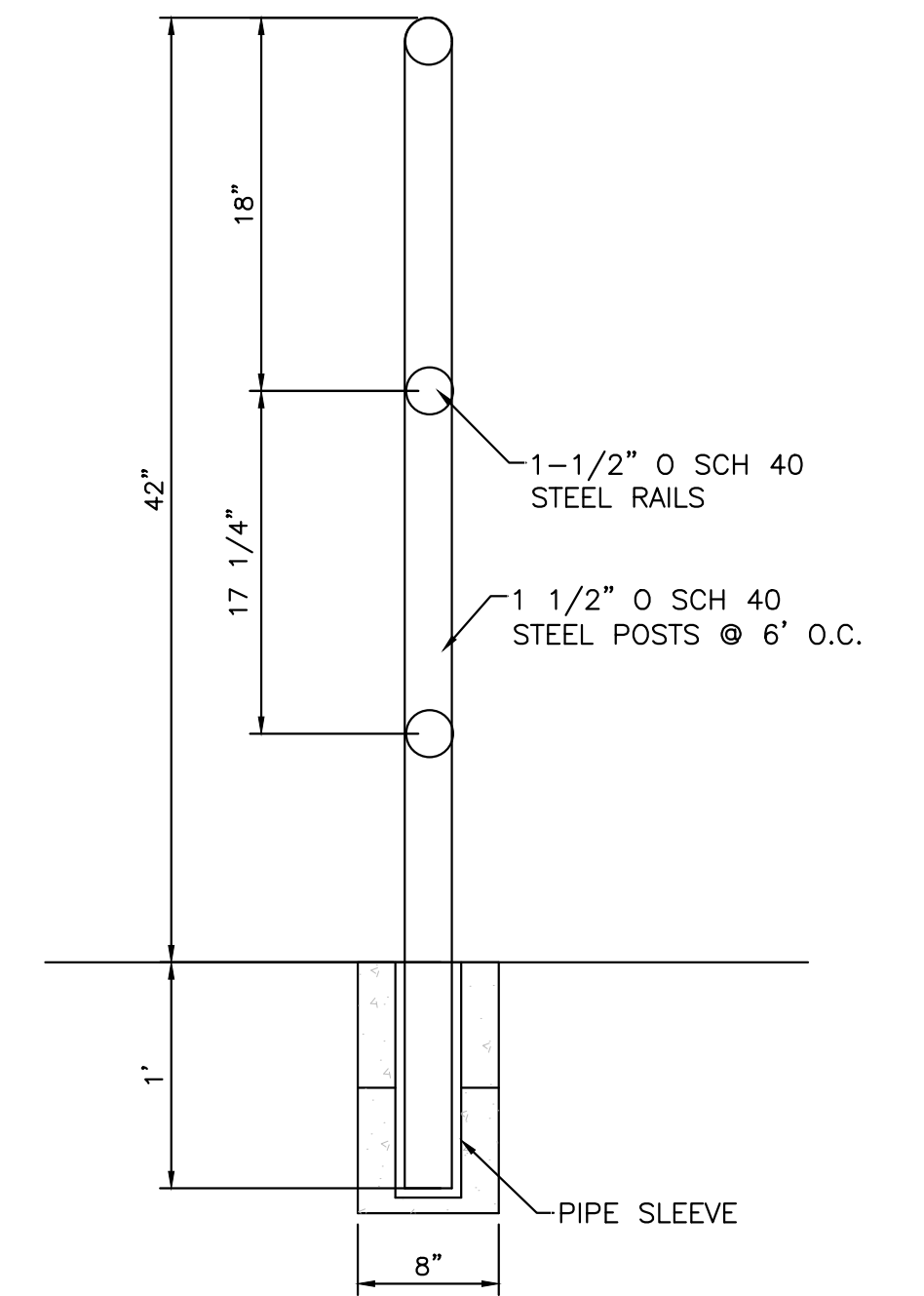
THICKENED EDGE SHALL BE CONSTRUCTED IN COURSED NOT OVER 4" IN THICKNESS, EACH COURSE THOROUGHLY COMPACTED BEFORE PLACING NEXT COURSE, FINAL COURSE. FINAL COURSE TO BE PLACED MONOLITHIC WITH PAVEMENT.

NOTES:

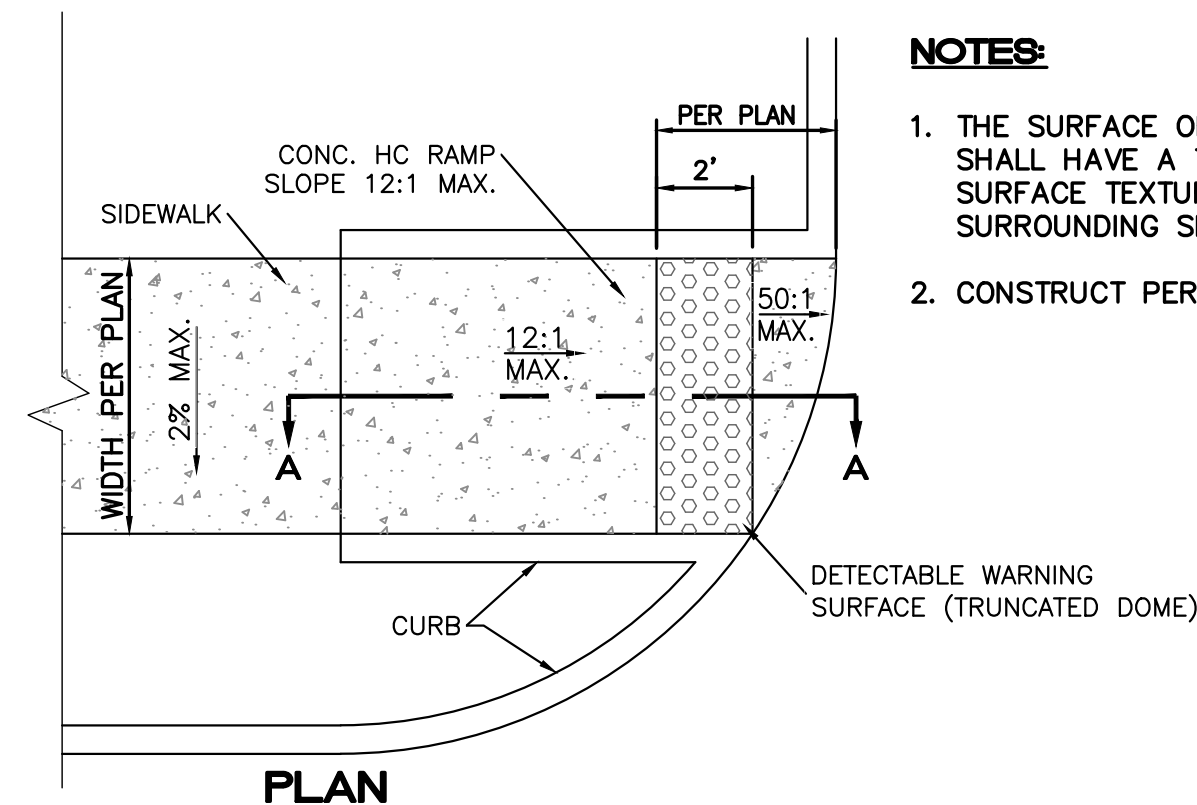
- CONCRETE SHALL BE 3000 P.S.I. MINIMUM.
- DUMMY JOINTS REQUIRED AT 10' O.C. FOR CURB/GUTTER AND 5' O.C. FOR SIDEWALK.
- EXPANSION MATERIAL REQUIRED AT CURB RETURNS WITH 1/2" PREMOLDED ASPHALT IMPREGNATED EXPANSION MATERIAL OR EQUAL.
- EXPANSION JOINTS REQUIRED AT 50' O.C. WHEN FORMING FOR CURBS.
- WHENEVER SIDEWALK ABUTS ROCK OR MASONRY STRUCTURES SUCH AS CURBS OR BUILDINGS, EXPANSION JOINT FILLER SHALL BE USED IN ACCORDANCE WITH STANDARD SPECIFICATIONS.



ACCESSIBLE PARKING SIGN
NTS

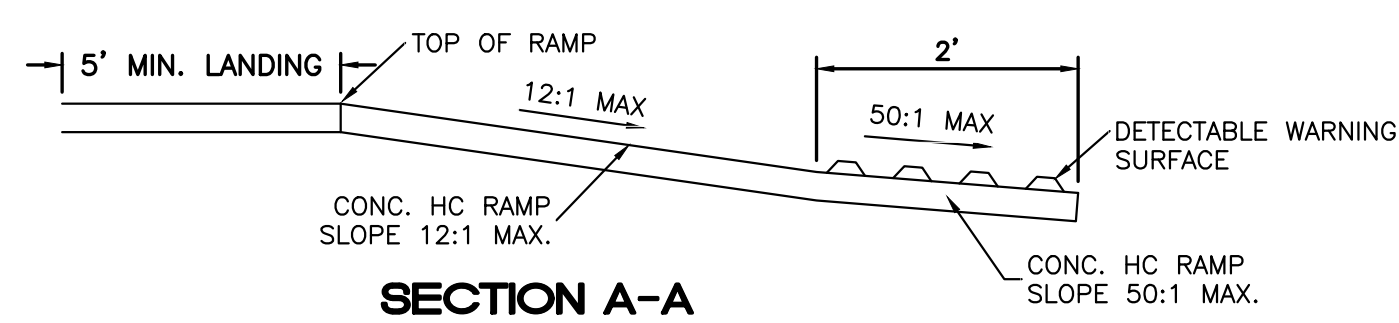


PEDESTRIAN GUARD RAIL DETAIL
NTS

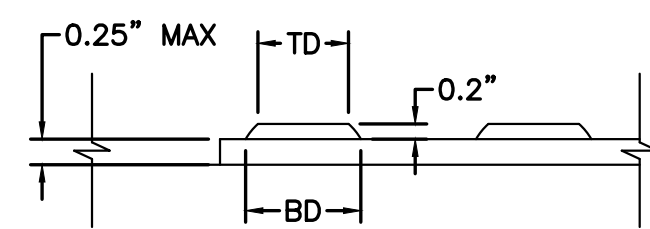


NOTES:

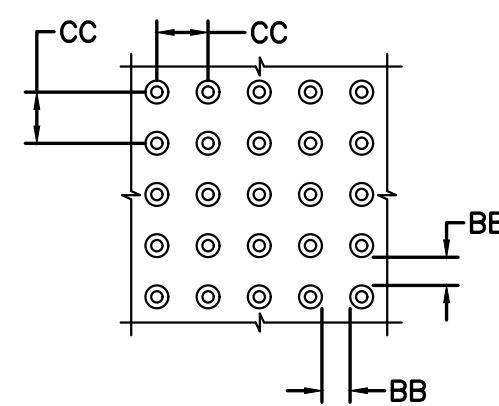
- THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
- CONSTRUCT PER A.D.A. STANDARDS.



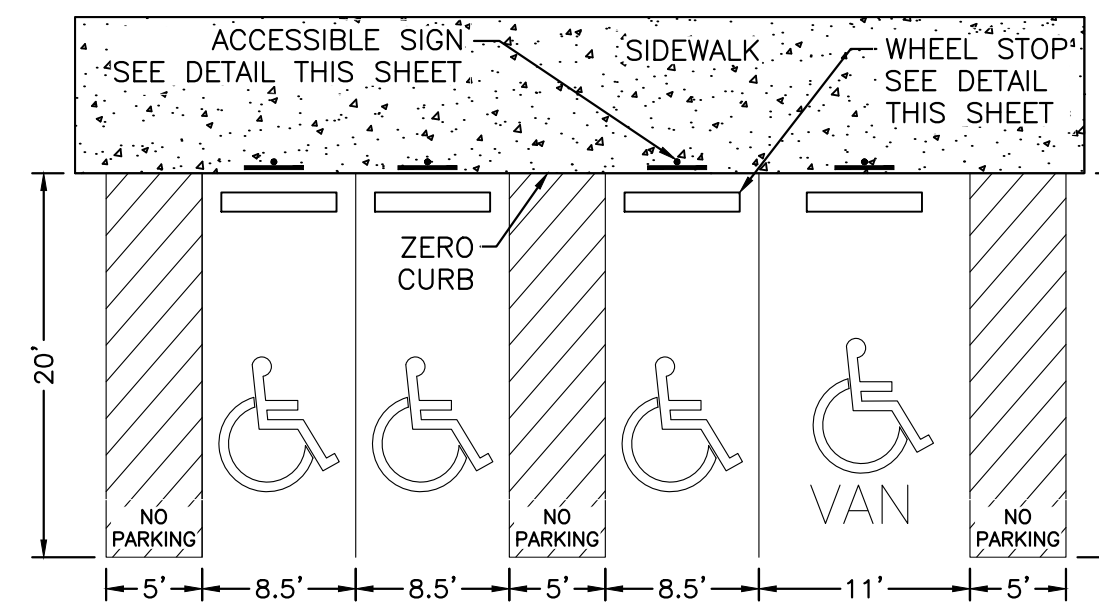
SECTION A-A
UNIDIRECTIONAL HC RAMP
NOT TO SCALE



DOME SECTION
BD - BASE DIAMETER 0.9" MIN
TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX

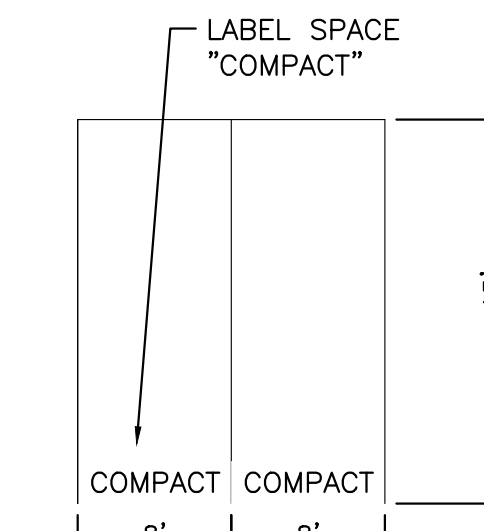


DOME SPACING
CC - CENTER TO CENTER SPACING 2.35"
BB - BASE TO BASE SPACING 1.48" MIN

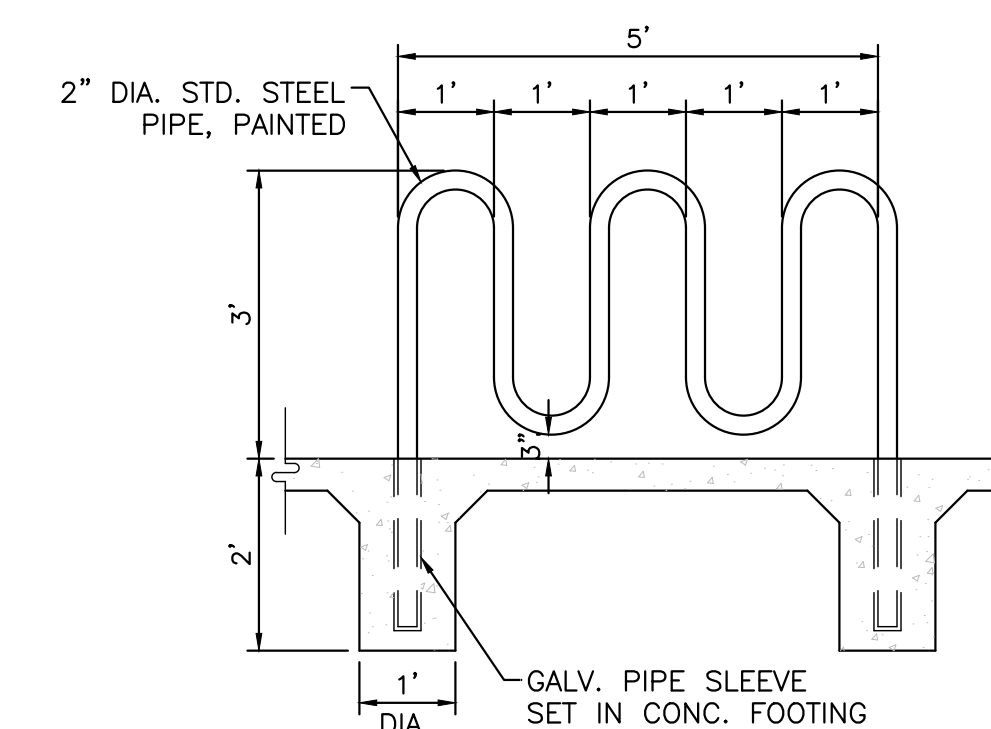


- NOTES:**
- International Symbol of Accessibility shall be painted on the pavement at rear of space, white symbol on blue background.
 - Parking space lines and diagonal striping to be painted blue.
 - Access aisle shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tires would be placed.

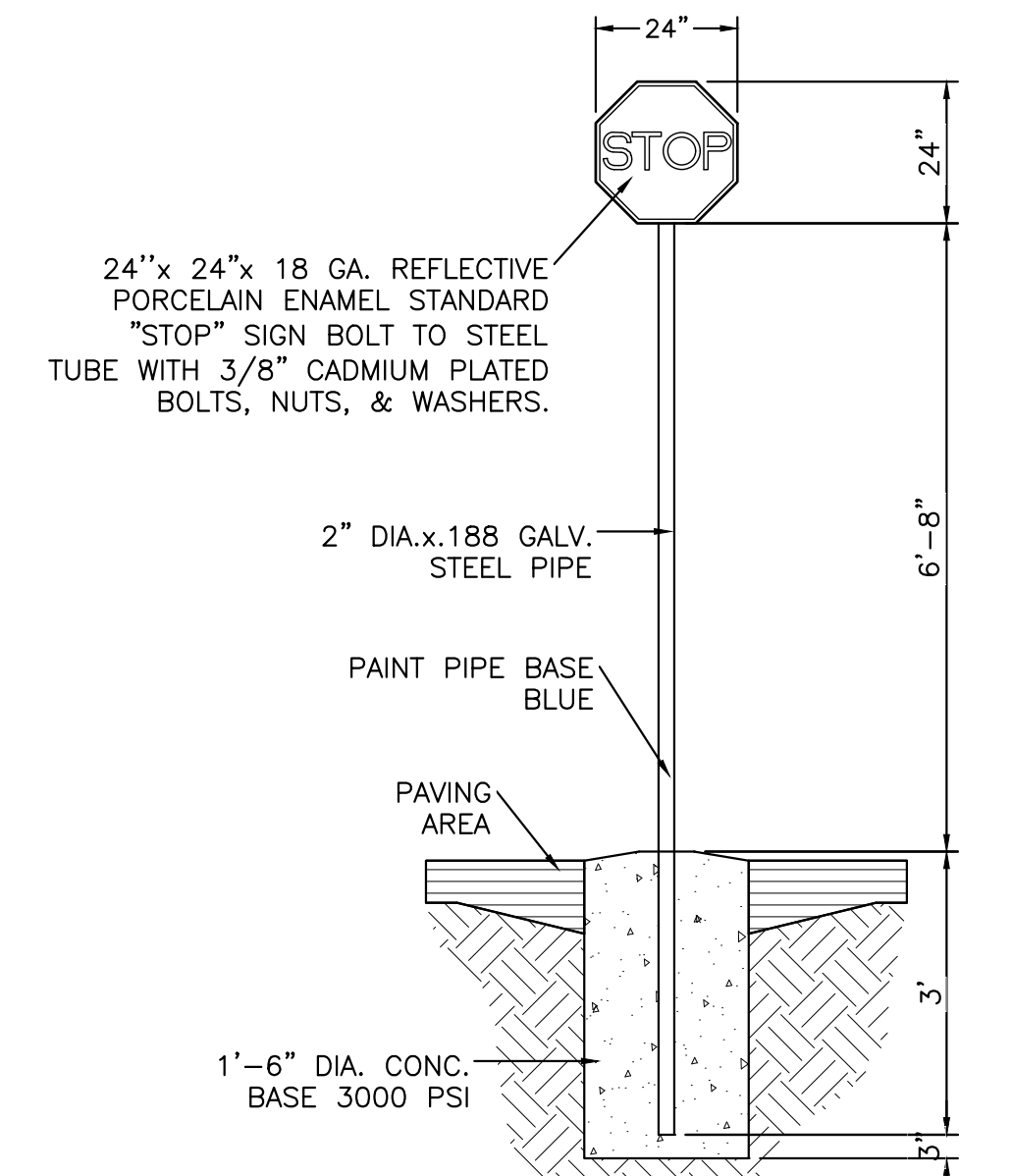
HC PARKING DETAIL
NTS



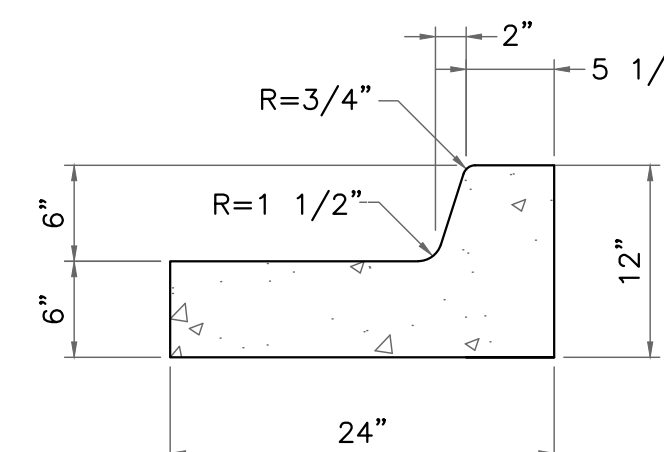
SMALL CAR SPACE
NTS



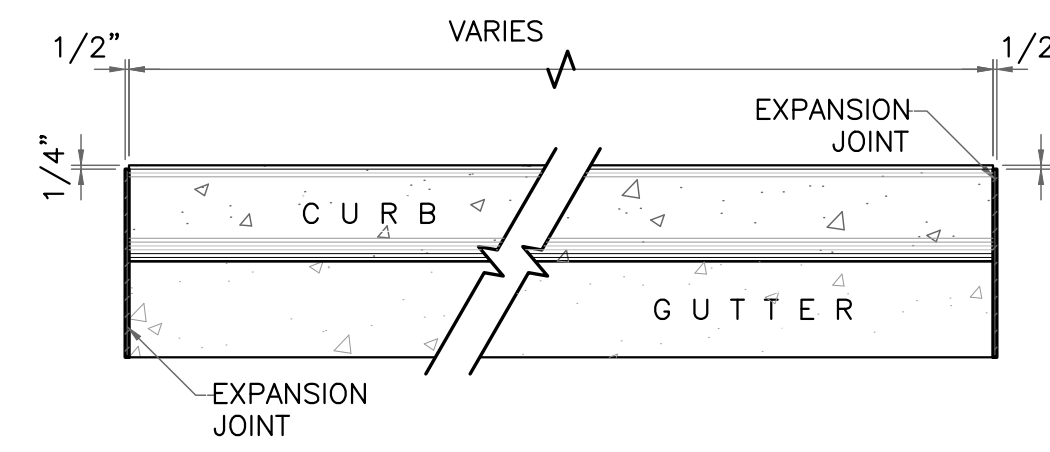
BIKE RACK DETAIL
SCALE: 1/2"=1'



STOP SIGN
R24-1



END SECTION

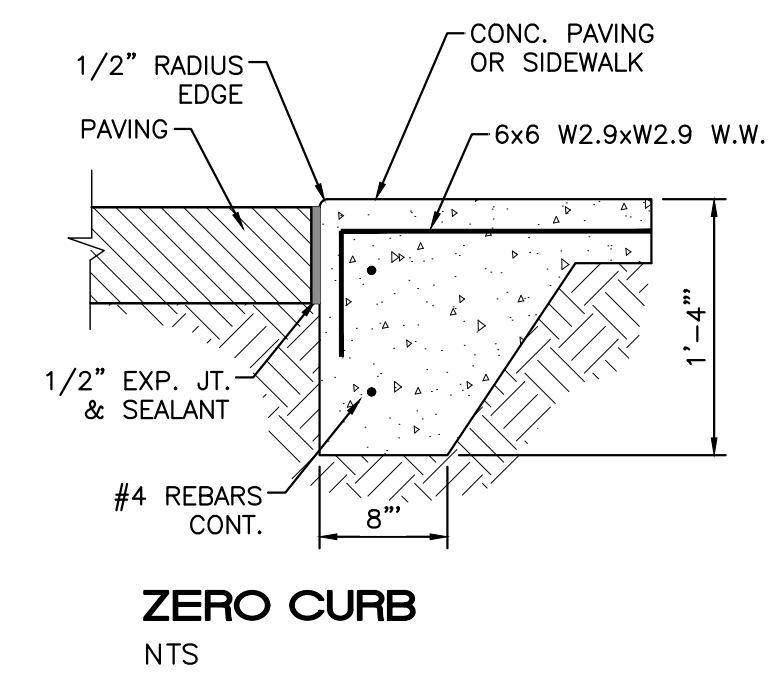


PLAN VIEW

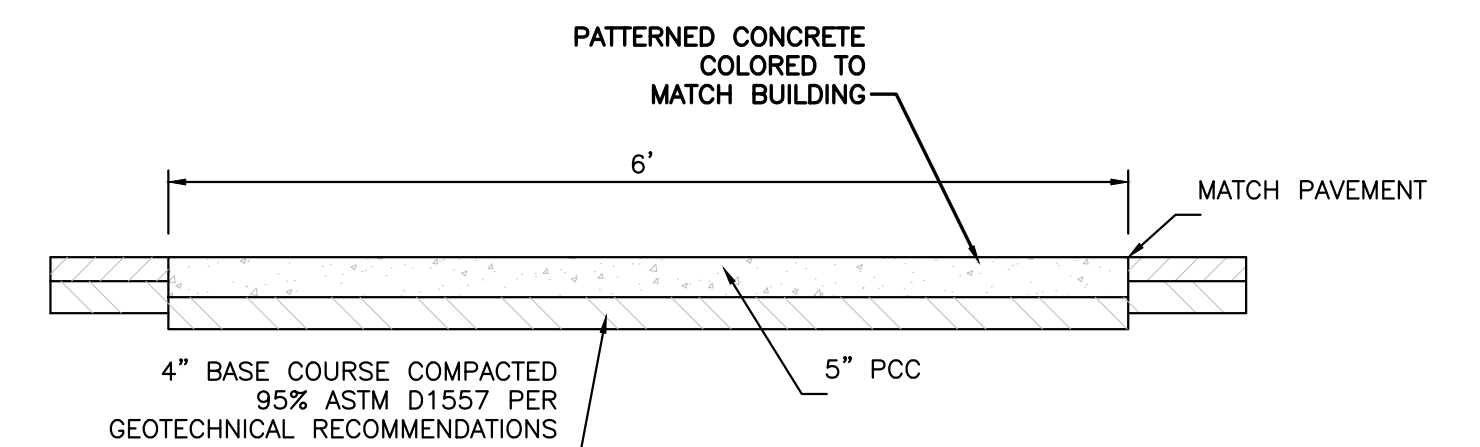
NOTES:

- NO EXPANSION JOINT WILL BE REQUIRED EXCEPT AT THE END OF CURB RETURNS. (POINT OF TANGENCY WITH STRAIGHT LINE).
- CONTRACTION JOINTS (1/2" INCH MIN.) MUST BE SCORD EVERY 10 FEET IN CURB AND GUTTER.
- ALL EXPANSION JOINTS WILL BE OF PREFORMED BITUMINOUS FIBER 1/2" INCH THICK.
- CONCRETE: CLASS "A" 3000 PSI.
- EXPANSION JOINTS REQUIRED AT 5' O.C. WHEN FORMING FOR CURBS.
- THIS DETAIL APPLIES TO PRIVATE CURB WORK ONLY.

STANDARD 6" CURB & GUTTER DETAIL
SCALE: 1"=1'

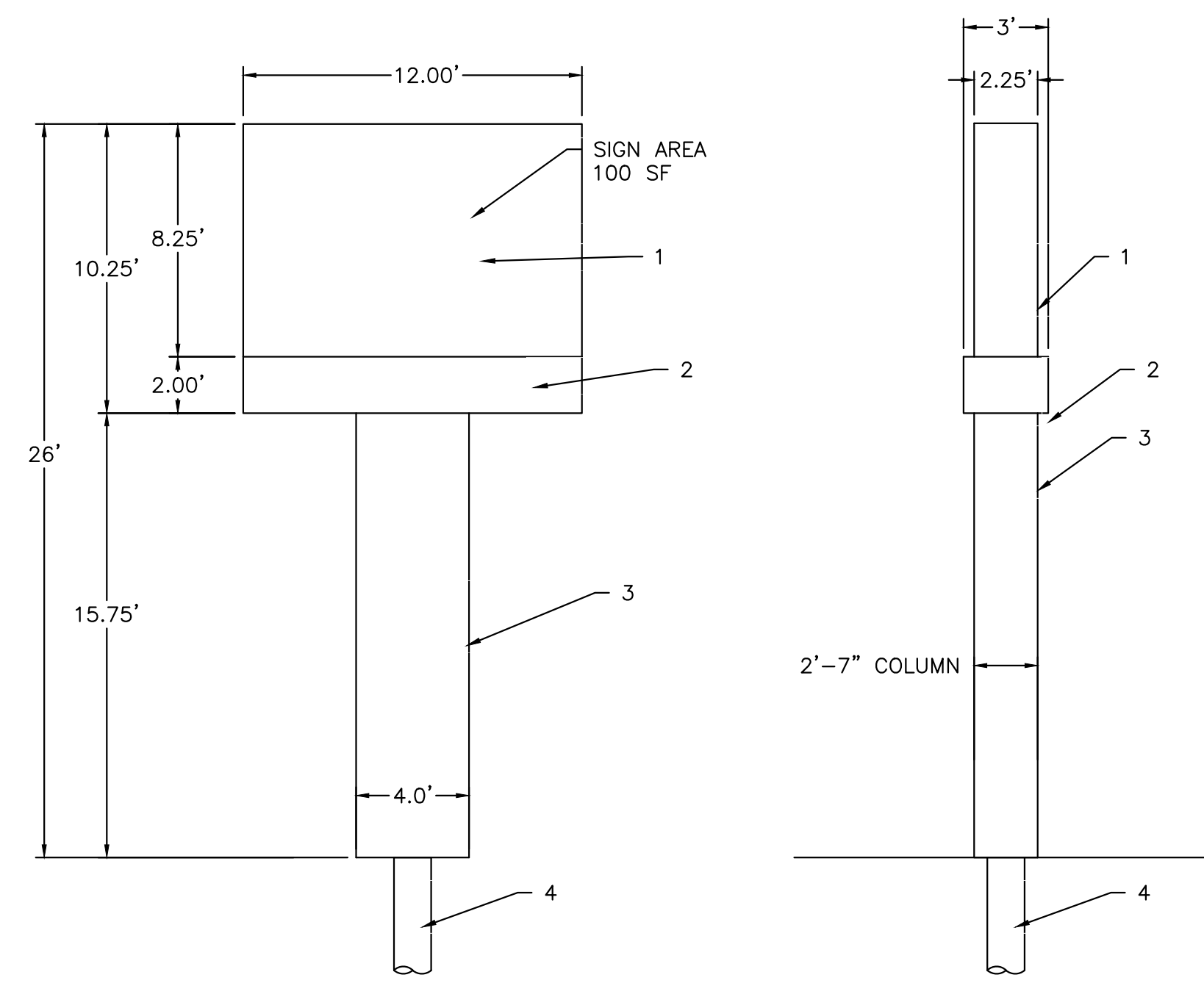


ZERO CURB
NTS



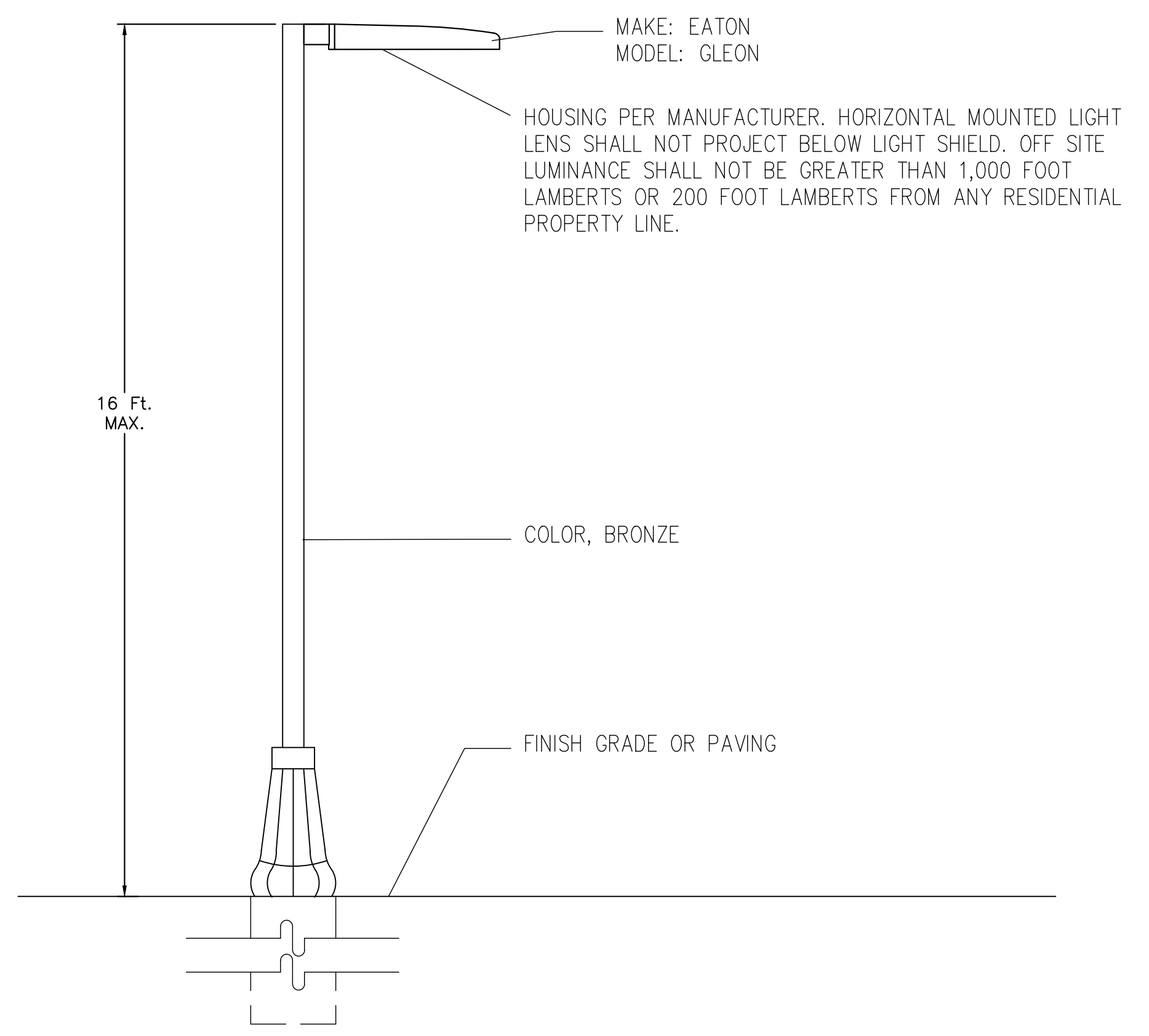
PEDESTRIAN CROSSING
NTS

	MULTI-USE RECREATIONAL FACILITY, ALBUQUERQUE, NM	DRAWN BY BF
	SITE DETAILS	DATE 10-30-17
		2017035_DTB
RONALD R. BOHANNAN P.E. #7868 2/20/2018	5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tirrawestllc.com	SHEET # C12 JOB # 2017035

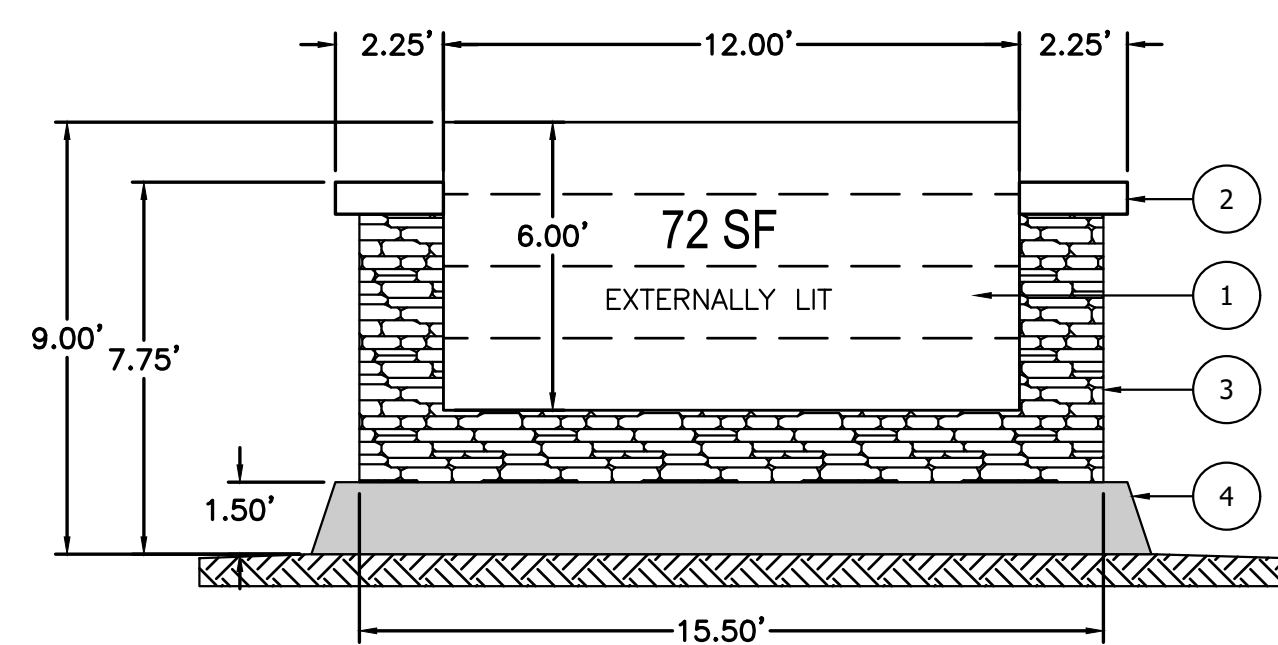


PROJECT PEDESTAL SIGN

1. UTILITY LOGO CABINET: D/F ILLUMINATED CUSTOM FAB. CABINET
2. EMC: D/F 89mm PITCH 16x64 MATRIX AMBER MONOCHROME EMC
 PRIMARY ELECTRICAL: 120V/240V-TOTAL SIGNS AMPS T.B.D.
 POWER OUT: LEAVE 8'-0" PIGTAIL WIRE INSIDE CAB FOR SIGN HOOK UP.
 POWER LOCATION: REFER TO M.E.P. DWGS
 SWITCH LOCATION: T.B.D.
3. COLUMN: CUSTOM FABRICATED 1 1/2" ALUM. ANGLE FRAME COVERED ON ALL SIDES W/.090" THICK ALUM.
4. MOUNTING PIPE: 8" +/- DIA. PIPE SLEEVED INSIDE 24" O.D. STD. STEEL PIPE SET IN CONCRETE CAISSON.



PARKING LOT LIGHT POLE
SCALE : NTS

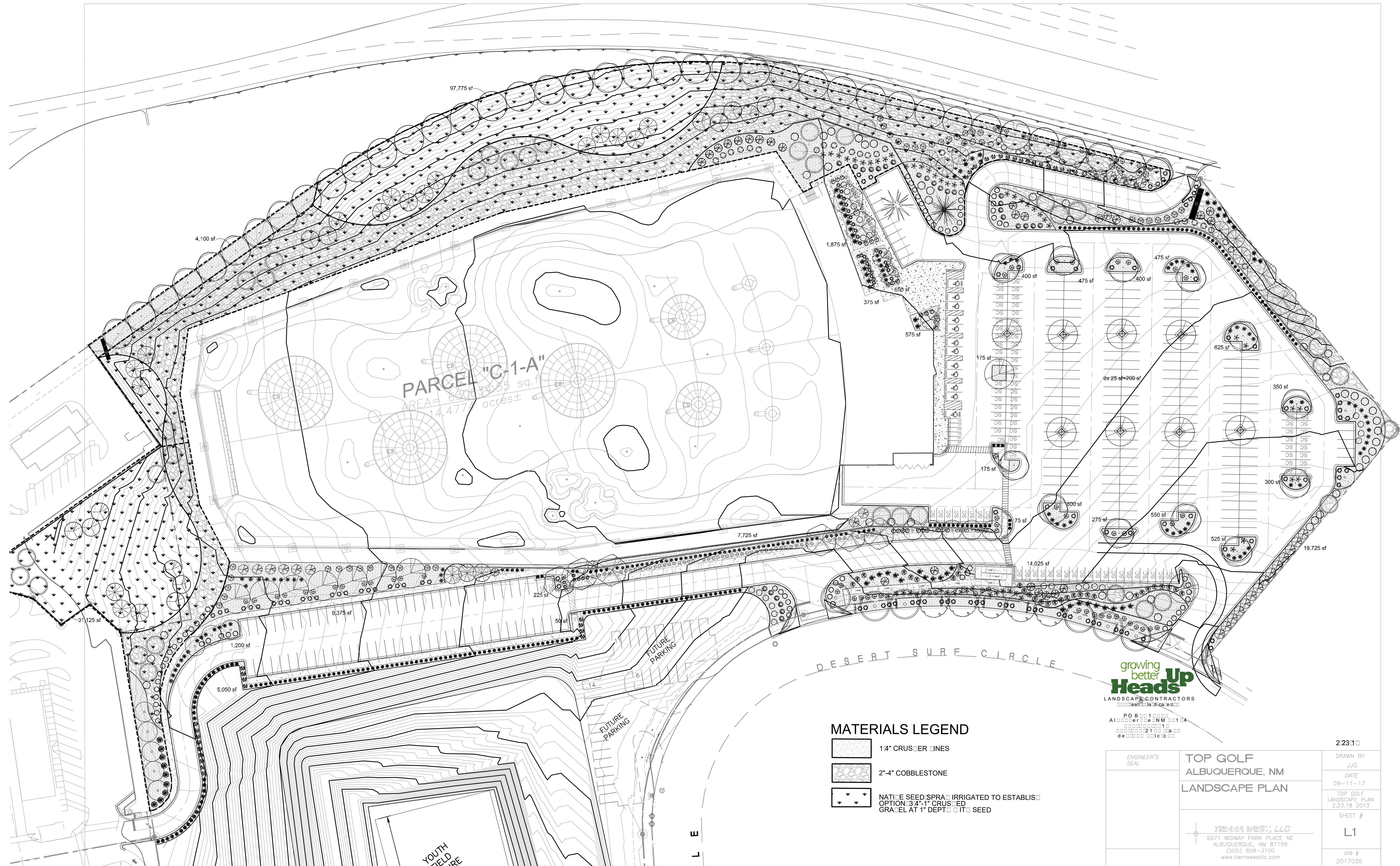


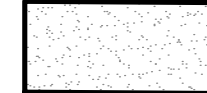
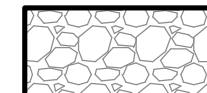
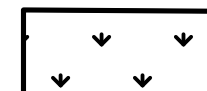
PROJECT MONUMENT SIGN

- KEYED NOTES
- ① TENANT SIGNAGE AREA
 - ② PRECAST COPING (terra cotta)
 - ③ STACKED STONE VENEER (mojave)
 - ④ PRECAST WINDOW SILL (dark brown)

	MULTI-USE RECREATIONAL FACILITY, ALBUQUERQUE, NM	DRAWN BY BF
	SITE DETAILS 2	DATE 10-30-17
	5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	JOB # 2017035
RONALD R. BOHANNAN P.E. #7868	2/20/2018	SHEET # C13

Z:\2017\2017035_Top Golf Albuquerque.dwg\DRB\2017035_DTB.dwg Mar 07, 2018 - 9:50am



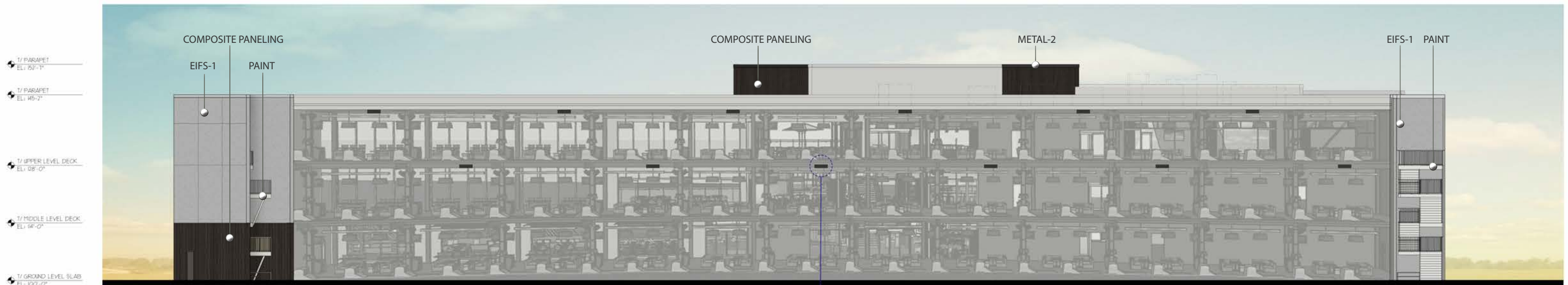
- MATERIALS LEGEND**
-  1/4" CRUSHED LINES
 -  2"-4" COBBLESTONE
 -  NATIVE SEED SPRIG IRRIGATED TO ESTABLISH
OPTION: 3/4" 1" CRUSHED GRAVEL AT 1" DEPTH

growing better Up Heads
LANDSCAPE CONTRACTORS
PO BOX 10000
ALBUQUERQUE, NM 87124
2013

ENGINEER'S SEAL	TOP GOLF ALBUQUERQUE, NM	22310
	LANDSCAPE PLAN	DRAWN BY JUG DATE 09-11-17 TOP GOLF LANDSCAPE PLAN 2.23.18 2013 SHEET # L1 JOB # 2017035
TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com		

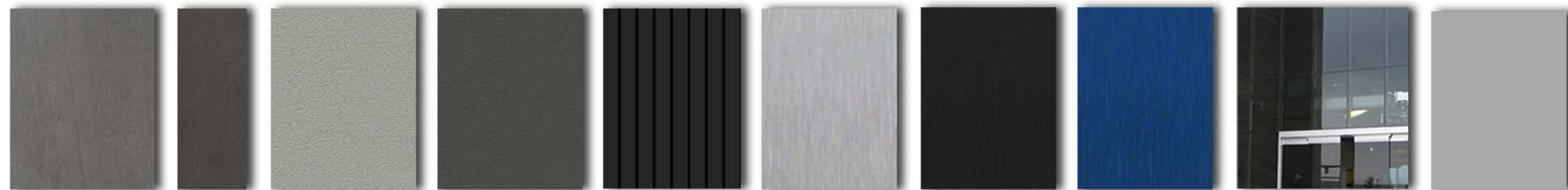
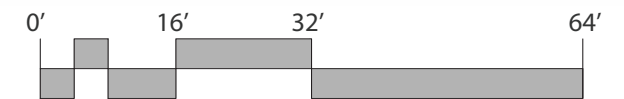


Front Elevation



Rear Elevation

LED FIELD LIGHT (TYP)



TILE - 1
gray

TILE - 2
dark gray

EIFS - 1
light gray

EIFS - 2
dark gray

COMPOSITE
PANELING
black

METAL - 1
light gray

METAL - 2
black

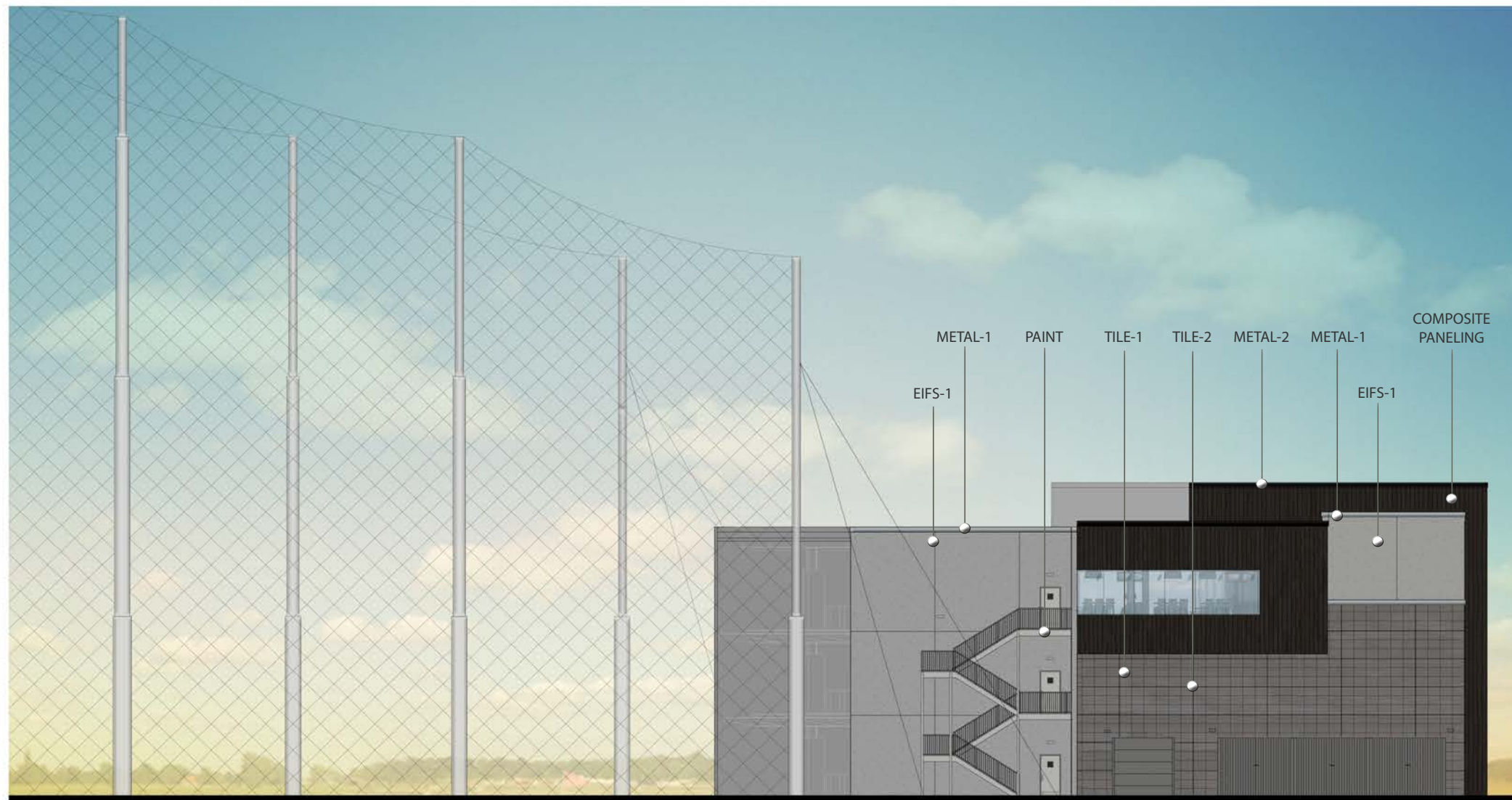
METAL - 3
blue

CURTAIN WALL
tinted gray

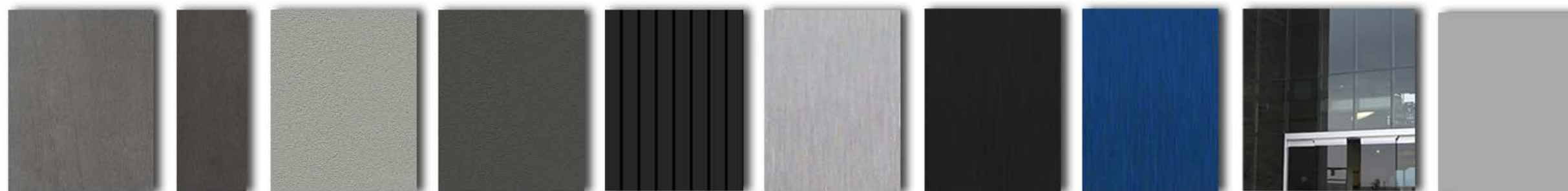
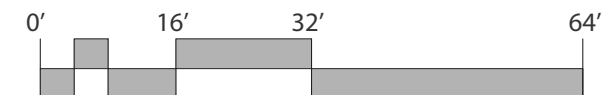
PAINT
light gray

Exterior Elevations





Left Elevation



TILE - 1
gray

TILE - 2
dark gray

EIFS - 1
light gray

EIFS - 2
dark gray

COMPOSITE
PANELING
black

METAL - 1
light gray

METAL - 2
black

METAL - 3
blue

CURTAIN WALL
tinted gray

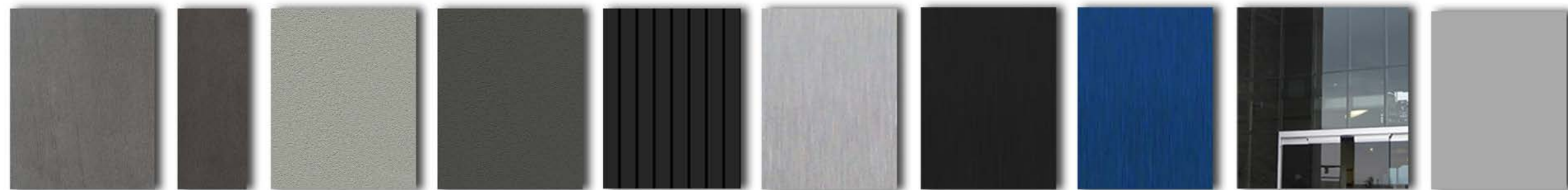
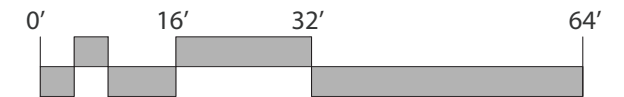
PAINT
light gray

Exterior Elevations





Right Elevation



TILE - 1
gray

TILE - 2
dark gray

EIFS - 1
light gray

EIFS - 2
dark gray

COMPOSITE
PANELING
black

METAL - 1
light gray

METAL - 2
black

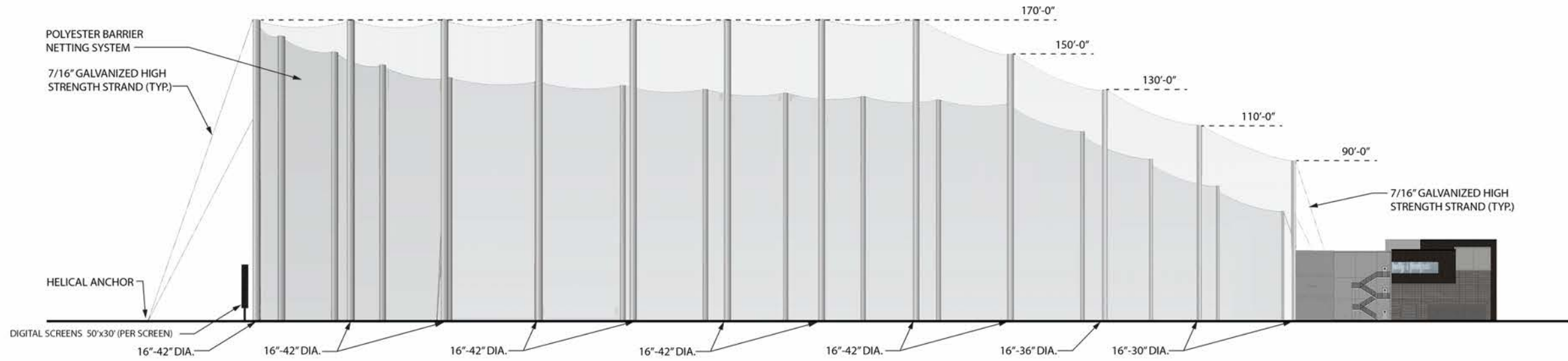
METAL - 3
blue

CURTAIN WALL
tinted gray

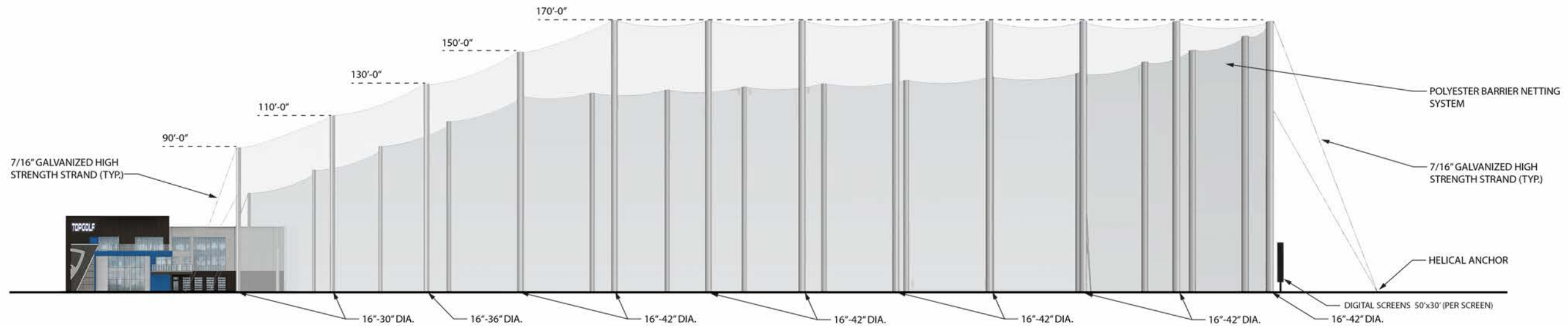
PAINT
light gray

Exterior Elevations

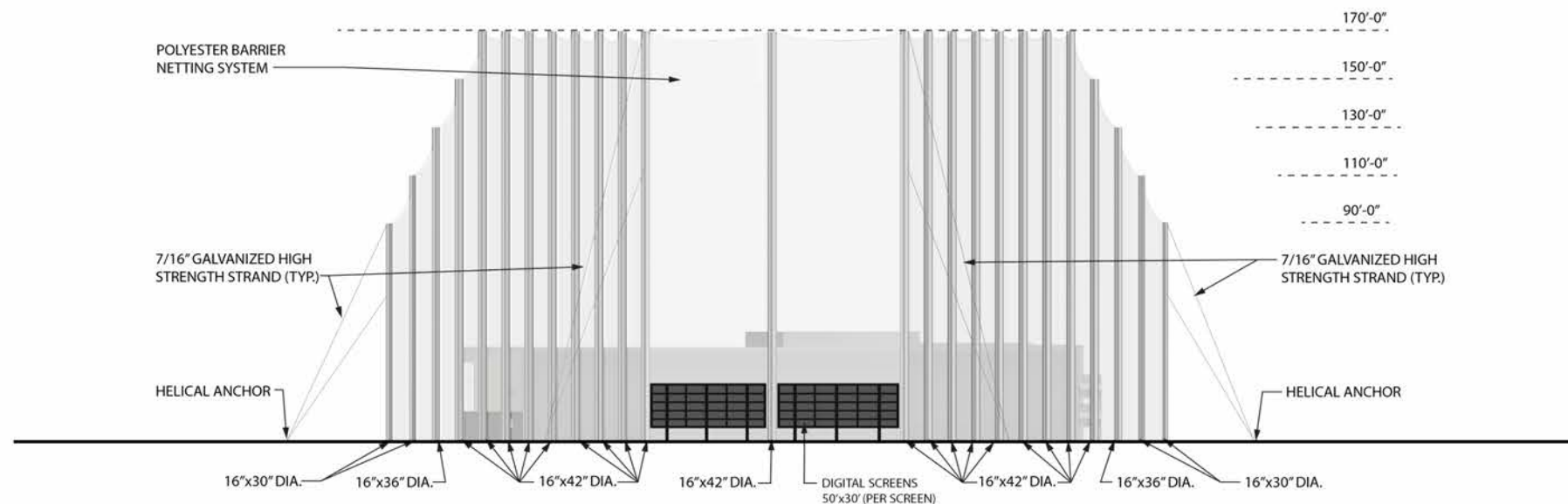




Left Elevation



Right Elevation



Rear Elevation

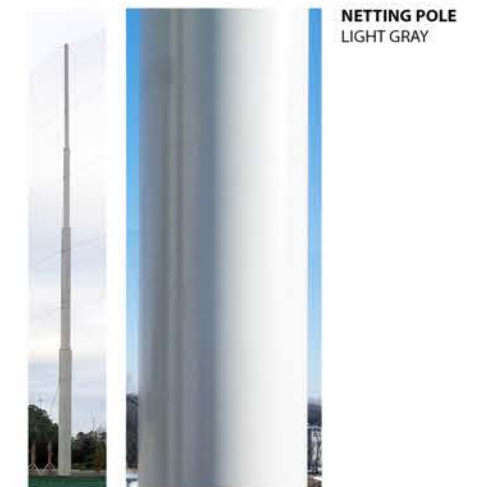


POLYESTER BARRIER NETTING SYSTEM

NETTING COMPONENT:
 -COLOR: BLACK
 -POLYESTER NETTING: 1" MESH SIZE
 -LONG STITCH KNOT LESS JOIN
 -RESIN DYE AND BONDING TREATMENT
 -116.7 LB. AVERAGE SINGLE MESH BREAK STRENGTH

ATTACHMENT TWINE/HANGING TWINE:
 -#48 BRAIDED POLYESTER TWINE
 -375 LB. TENSILE STRENGTH
 -DYE TREATED

PERIMETER BORDER ROPE & RIB-LINE/VERTICALS:
 -3/8" BRAIDED SYNTHETIC COVER
 -PARALLEL SYNTHETIC CORE
 -3,500 LB. TENSILE STRENGTH



NETTING POLE
LIGHT GRAY

Net Pole Elevations





FRONT ELEVATION: 15,368 SF.



EXTERIOR WALL GRAPHIC: 497.8 SF. = 3.3% OF ELEVATION

FRONT ELEVATION SIGNAGE:
 (497.8 SF.+220.5 SF.)/15,368 SF.=.047
 4.7% OF FRONT ELEVATION

EXTERIOR SIGN:
 FRONT LIT CHANNEL LETTERS MOUNTED TO CANOPY

FONT: TOPGOLF APPROVED TYPEFACE

FACE: 3/16" 7328 WHITE POLYCARBONATE FACE W/ ARLON 2114 TRANS. BLUE VINYL SKIN 1" WEEDED OUTLINE

RETURNS: 6" .063 3003 H14 ALUM. RETURNS PTM SILVER

TRIM CAPS: 2" SILVER JEWELITE TRIM CAPS

BACKS: .063 WHITE ALUMINUM PAINTED SILVER

EXTERNAL GUSSETS: 1/8" 5052 ALUMINUM W/ 2" FLANGES ON ALL SIDES

INTERNAL GUSSETS: 1/8" 5052 ALUMINUM CUT TO LETTER SHAPE AT BOTTOM

ANCHORS: 3/8" DIA X 5" GALVANIZED LAG BOLTS

ILLUMINATION: WHITE LEDS-G0Q3 6-7000K

MOUNTING: MOUNTED TO BUILDING CANOPY W/ NON-CORROSIVE HARDWARE AND CUSTOM GUSSETS AS REQUIRED. ALL PENETRATIONS SEALED W/ CLEAR SILICONE. DRILL POWER HOLES AND ATTACH GUSSETS IN THE FIELD, PROVIDE SS BOLTS

EXTERIOR WALL GRAPHIC:
 SHIELD ART CRAFTED IN EIFS.



EXTERIOR SIGN: 220.5 SF. = 1.5% OF ELEVATION



Exterior Signage - Front Elevation



RIGHT ELEVATION: 7,223 SF.

RIGHT ELEVATION SIGNAGE:
203.2/7,223 SF.=.028
2.8% OF RIGHT ELEVATION

EXTERIOR WALL GRAPHIC:
SHIELD ART CRAFTED IN EIFS.



EXTERIOR WALL GRAPHIC: 203.2 SF.



Exterior Signage - Right Elevation