

PARKING LOT LIGHT FIXTURE DETAIL Not to Scale

NOTE: LIGHTING DESIGN SHALL COMPLY WITH ANY LIGHT POLLUTION ORDINANCE(S) APPLICABLE TO THE SITE.

USABLE OPEN SPACE: PURSUANT TO THE R-2 ZONE USABLE OPEN SPACE REQUIREMENTS OF 400 SF PER STUDIO AND ONE BEDROOM UNIT, AND 500 SF PER TWO BEDROOM UNIT.

REQUIRED USABLE OPEN SPACE:	71,600 SF	74 x 400 SF = 29,600 SF
ON-SITE LANDSCAPE:	91,422 SF	80 x 500 SF = 40,000 SF
PATIOS AND BALCONIES:	7,940 SF	TOTAL = 71,600 SF
PEDESTRIAN CIRCULATION:	+ 17,522 SF	
TOTAL USABLE OPEN SPACE:	122,884 SF	

PARKING ANALYSIS:

(1 PARKING SPACE PER BATH, BUT NO LESS THAN 15 SPACES PER UNIT)

DWELLING UNITS <1000 SF:	QUANTITY	PARKING RATIO REQUIRED	PARKING SPACES
BUILDING TYPE A (STUDIO/1-BATH)	8	1.5 / 1	12
BUILDING TYPE B (1-BED/1-BATH)	66	1.5 / 1	99
BUILDING TYPE C (2-BED/1-BATH)	18	1.5 / 1	27
BUILDING TYPE C (2-BED/1.5-BATH)	26	1.5 / 1.5	39
BUILDING TYPE D (2-BED/2-BATH)	12	2 / 2	24
DWELLING UNITS >1000 SF:			
BUILDING TYPE C (2-BED/1.5-BATH)	8	1.5 / 1.5	12
BUILDING TYPE D (2-BED/2-BATH)	16	2 / 2	32
TOTAL DWELLING UNITS: 154			
(TOTAL BATHS: 194)			
TOTAL PARKING SPACES REQUIRED:			245

THE PARKING REQUIREMENT OF A BUILDING OR USE SHALL BE REDUCED 10% IF IT IS WITHIN 300 FEET OF A REGULAR ALBUQUERQUE TRANSIT SYSTEM ROUTE. THEREFORE,

TOTAL PARKING SPACES REQUIRED:	221
TOTAL PARKING SPACES PROVIDED:	237

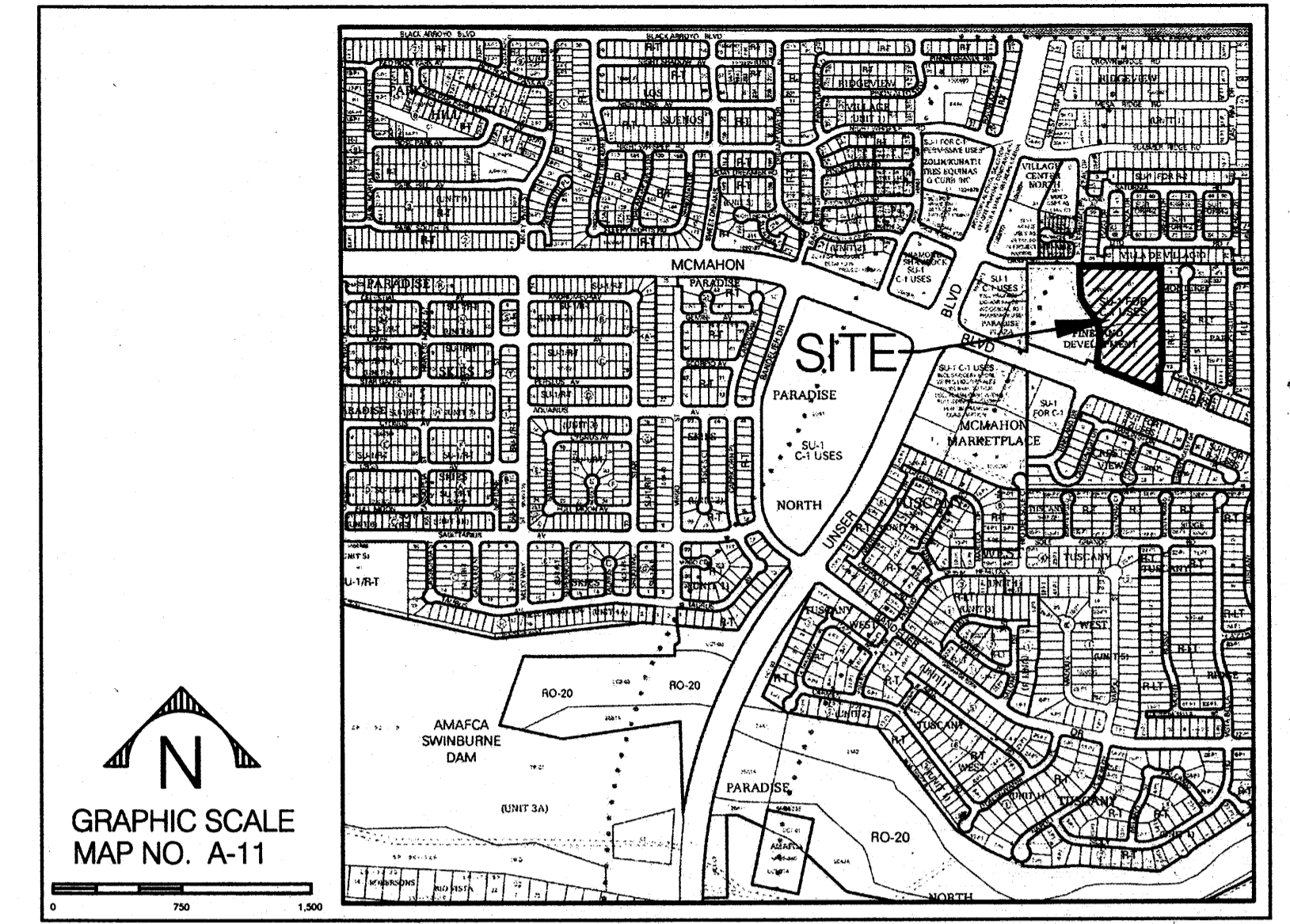
(PARKING SPACES PROVIDED INCLUDE: 124 STANDARD, 41 CARPORT, 68 GARAGE, 4 RV)

GENERAL NOTES:

- THERE ARE NO EXISTING BUILDINGS ON-SITE. ALL BUILDINGS ARE PROPOSED.
- ALL LIGHTING SHALL COMPLY WITH THE STANDARDS OF §4-16-3-1, AREA REGULATIONS OF THE CITY COMPREHENSIVE ZONING CODE AND THE SITE PLAN FOR SUBDIVISION DESIGN STANDARDS.
- ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED.
- THE MECHANICAL SYSTEMS (HEATING AND COOLING) AND BUILDING ENVELOPE (WALLS, ROOF, AND WINDOWS) SHALL BE DESIGNED AND MAINTAINED TO PROMOTE THE EFFICIENT USE OF ENERGY.
- RAINWATER HARVESTING MEASURES, SUCH AS CURB CUTS, SHALL BE PROVIDED.
- ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.
- PNM COORDINATION: DEVELOPMENT SHALL ABIDE BY ALL CONDITIONS OR TERMS OF UTILITY EASEMENTS PRIOR TO DEVELOPMENT, CONTACT SHALL BE MADE TO PNM'S NEW SERVICE DELIVERY DEPARTMENT TO COORDINATE ELECTRIC SERVICE AND OPTIONS FOR THE LOCATION OF ELECTRIC SERVICE CONNECTION.
- ALL SIDEWALKS, RAMPS (INCLUDING REQUIRED TRUNCATED DOMES) CURB CUTS, AND CURB AND GUTTER LOCATED WITHIN CITY RIGHT-OF-WAY SHALL BE BUILT PER C.O.A STANDARD DRAWINGS; SIDEWALK (2430), RAMPS (2440), CURB CUTS (2426), CURB AND GUTTER (2415A).
- THERE ARE THREE (3) PATIOS IDENTIFIED. ALTHOUGH SITE FURNISHINGS (I.E. BENCHES, TABLES) WILL BE PROVIDED, THEY WILL NOT BE PERMANENT INSTALLATIONS SO ARE NOT INDICATED ON THE PLAN.
- ALL RAMPS LOCATED WITHIN THE CITY OF ALBUQUERQUE RIGHT-OF-WAY MUST HAVE TRUNCATED DOMES.

- EASEMENTS AND PROPERTY LINES:**
- EXISTING 25' PUBLIC DRAINAGE, UTILITY & PEDESTRIAN ACCESS EASEMENT (1/1/02, 02C-16). TO BE VACATED VIA PLAT AT DRB.
 - EXISTING 60' PUBLIC ROADWAY EASEMENT (1/1/02, 02C-16)
 - EXISTING 10' PNM EASEMENT (1/1/02, 02C-16)
 - EXISTING 10' P.U.E. (11/21/03, 03C-354)
 - EXISTING FINLAND ACCESS EASEMENT AREA (3/20/09, DOC. NO. 2009024510)
 - EXISTING 25' PUBLIC SANITARY SEWER EASEMENT (4/4/03, 03C-216)
 - EXISTING PUBLIC NON-VEHICULAR PEDESTRIAN ACCESS EASEMENT & PUBLIC WATER EASEMENT (4/4/03, 03C-216)
 - EXISTING 20' SOUTHERN UNION GAS CO. EASEMENT (8/11/61, BK. D 606, PG. 525, BK. 112, PG. 515 & BK. D 346, PG. 356)
 - EXISTING 30' GAS LINE EASEMENT (3/7/61, BK. D585, PG. 404)
 - EXISTING 10' PNM & MST&T EASEMENT (DOC. NO. 84-13483, 2/23/84, BK. MISC. 716A, PG. 198-203) AMENDED (DOC. NO. 43-010406, 2/2/93, BK. BCR 43-3, PG. 3142-3143)
 - EXISTING 20' NMU EASEMENT (DOC. NO. 84-13483, 2/23/84, BK. MISC. 716A, PG. 198-203)
 - EXISTING PROPERTY LINE BETWEEN PARCELS B-1 & D-1 (SEE PLAT RECORDED 11/21/03, BK. 2003C, PG. 354) TO BE ELIMINATED VIA PLAT AT DRB.

- KEY NOTES**
- PROPERTY LINE
 - EXISTING MULTI-USE TRAIL, WIDTH VARIES.
 - EXISTING TRAFFIC SIGNAL. (NOT IN SERVICE).
 - EXISTING WALL.
 - PONDING AREA. SEE GRADING/DRAINAGE SHEET.
 - MONUMENT SIGN AND FLAGPOLES.
 - TRASH ENCLOSURE (INTERIOR).
 - ADA ACCESSIBLE SIDEWALK, TYP. WIDTH VARIES.
 - HANDICAP SIGN, TYP. (12"x18" MOUNTED ON POLE).
 - BICYCLE RACK, TYP. (5 SPACES).
 - COLORLED, TEXTURED PEDESTRIAN CROSSING, TYP.
 - STAIRS.
 - FIRE PIT.
 - COMMUNITY GARDEN WITH RAISED PLANTERS.
 - SHED FOR GARDEN TOOLS. (8'x8' SHED ON 10'x10' SLAB).
 - LIGHT FIXTURE, TYP.
 - UTILITY BOX
 - FIRE HYDRANT - EXISTING.
 - FIRE HYDRANT - PROPOSED.



SITE DATA:
LEGAL DESCRIPTION: LOTS B1 AND D1, FINLAND DEVELOPMENT SUBDIVISION.
 SITE IS WITHIN THE ESTABLISHED URBAN AREA AS DESIGNATED BY THE COMPREHENSIVE PLAN.
SITE AREA: 6.64 ACRES (INCLUDING 2346 SF ENCROACHMENT AREA)
 (PARCEL B-1: 3.8012 AC, PARCEL D-1: 2.8416 AC)
EXISTING ZONING: SU-1 FOR C-1 USES
PROPOSED ZONING: SU-1 FOR C-1 AND R-2 USES
LAND USE: 4-STORY AGE-RESTRICTED SENIOR APARTMENTS
BUILDING AREA: 42,948 SF + 4,341 = 47,339 SF [TOTAL GROUND FLOOR (MAIN BUILDING + POOL HOUSE)]
 168,438 SF [TOTAL BUILDING AREA (MAIN BUILDING 164,097 SF + POOL HOUSE 4,341 SF)]
MAXIMUM TOTAL BUILDING HEIGHT: 44'-1 1/4"
PARKING: REQUIRED MINIMUM PARKING: 221 (SEE PARKING ANALYSIS)
 TOTAL PROVIDED PARKING: 237 (INCLUDING 4 RV PARKING SPACES)
 HANDICAPPED REQUIRED: 8
 HANDICAPPED PROVIDED: 8
BICYCLE PARKING & FACILITIES:
 BICYCLE REQUIRED: 12 (1 BICYCLE SPACE/20 REQUIRED PARKING SPACES)
 BICYCLE PROVIDED: 25 + ADDITIONAL ASSUMED WITHIN GARAGES
BIKE LANE IS PROVIDED ALONG BOTH SIDES OF MCMAHON BOULEVARD NW.
MULTIPLE USE TRAIL IS PROVIDED ALONG NORTH SIDE OF MCMAHON BOULEVARD NW AND EAST SIDE OF UNSER BOULEVARD NW.
PUBLIC TRANSIT: THE SITE IS LOCATED ALONG BUS STOP ROUTE 155 WITH BUS STOPS LOCATED ALONG BOTH SIDES OF MCMAHON BOULEVARD NW, NORTHWEST AND SOUTHEAST OF THE SITE.
PROJECT NUMBER: _____
Application Number: _____

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

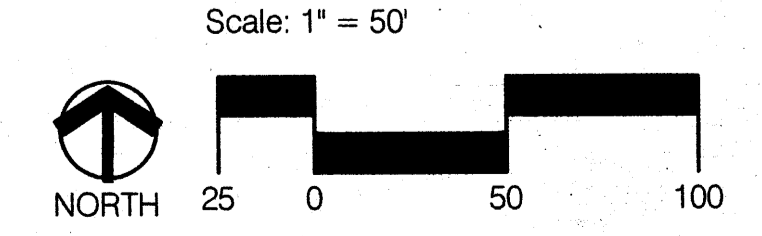
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Traffic Engineering, Transportation Division	Date
<i>[Signature]</i>	05/21/14
ABCWUA	Date
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Parks and Recreation Department	Date
<i>[Signature]</i>	Date 12-10-14
City Engineer	Date 5-19-2014
<i>[Signature]</i>	Date 12-10-14
Solid Waste Management	Date
<i>[Signature]</i>	Date
DRB Chairperson, Planning Department	Date

AFFINITY

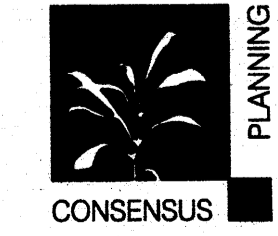
SITE PLAN FOR BUILDING PERMIT

Prepared For:
 Inland Group
 1620 N. Mamer Rd., Bldg. B
 Spokane, WA 99203

Prepared By:
 Consensus Planning, Inc.
 Bohannon Huston, Inc.
 The Architects Office, PLLC

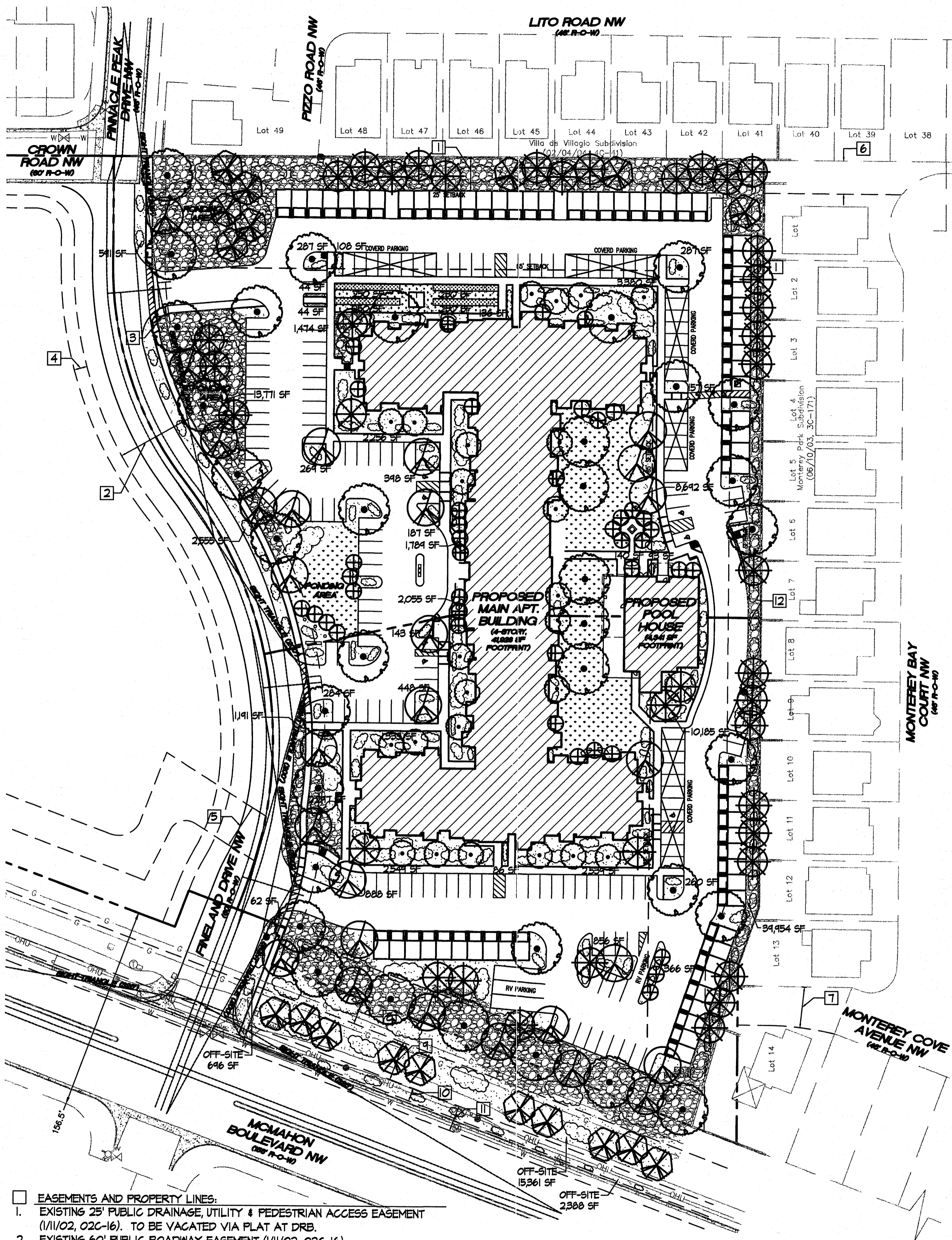


MAY 15, 2014 DRB SUBMITTAL



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- EXISTING 25' PUBLIC DRAINAGE, UTILITY & PEDESTRIAN ACCESS EASEMENT (1/11/02, 02C-16). TO BE VACATED VIA PLAT AT DRB.
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PLANT LEGEND

SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE
TREES				
	CHILOPSIS LINEARIS 'BUBBA' DESERT WILLOW	8' MS	8' HT. X 6' SPR. 20' HT. X 25' SPR.	LOW+
	CHITALPA TASHKENTENSIS CHITALPA	8' MS	8' HT. X 4' SPR. 30' HT. X 30' SPR.	MED
	FRAXINUS VELUTINA MODESTO ASH	2.5" B&B	14' HT. X 6' SPR. 40' HT. X 40' SPR.	MED
	LAGERSTROEMIA INDICA GRAPE MYRTLE	5-GAL.	6' O.C. 12' HT. X 12' SPR.	MED+
	PINUS NIGRA AUSTRIAN PINE	25-GAL.	8' HT. MIN. 35' HT. X 25' SPR.	MED
	VITEX AGNUS-CASTUS CHASTE TREE	15-GAL.	6-8' HT. X 4' SPR. 20' HT. X 20' SPR.	MED
SHRUBS & GROUNDCOVERS				
	BUDDELEIA DAVIDII NANHOENSIS BUTTERFLY BUSH	5-GAL.	5' O.C. 5' HT. X 5' SPR.	MED
	C. GLANDONENSIS 'DARK KNIGHT' BLUE MIST SPIREA	5-GAL.	4' O.C. 4' HT. X 4' SPR.	LOW+
	CHRYSOTHAMNUS NAUSEOSUS CHAMISA	5-GAL.	6' O.C. 6' HT. X 6' SPR.	LOW
	CYTISUS SCOPARIUS BROOM	5-GAL.	4' O.C. 4' HT. X 4' SPR.	LOW+
	FALLUGIA PARADOXA APACHE PLUME	5-GAL.	6' O.C. 6' HT. X 6' SPR.	LOW
	HESPERALOE PARVIFLORA FLOWERING YUCCA	5-GAL.	4' O.C. 3' HT. X 4' SPR.	LOW+
	POTENTILLA FRUTICOSA SHRUBBY CINQUEFOIL	5-GAL.	3' O.C. 3' HT. X 3' SPR.	LOW+
	VAQUELINIA CALIFORNICA ARIZONA ROSEWOOD	5-GAL.	8' O.C. 15' HT. X 8' SPR.	LOW+
	NOLINA MICROCARPA BEARGRASS	5-GAL.	5' O.C. 4' HT. X 5' SPR.	LOW
	C. X ACUTIFLORA 'KARL FOERSTER' KARL FOERSTER GRASS	5-GAL.	2' O.C. 3' HT. X 2' SPR.	MED
TURFGRASS				
	TURFGRASS - REVELLE BY GARDNER			
MULCH				
	2"-4" BUILDOLGY BROWN COBBLE MULCH (6" DEPTH OVER DEWITT PRO-5 WEED CONTROL FABRIC)			
	3" SANTA FE BROWN GRAVEL MULCH (3" DEPTH OVER DEWITT PRO-5 WEED CONTROL FABRIC)			
COMMUNITY GARDEN				
	RAISED PLANTERS			

GENERAL LANDSCAPE NOTES
LANDSCAPE DESIGN
 ALL LANDSCAPE IMPROVEMENTS SHALL COMPLY WITH THE STANDARDS OF §14-16-3-10, GENERAL LANDSCAPE REGULATIONS OF THE CITY COMPREHENSIVE ZONING CODE. THERE IS NO EXISTING VEGETATION ON-SITE TO BE PRESERVED. ALL PLANTING AREAS SHALL BE TOP DRESSED WITH 7/16" BUILDOLGY BROWN ROCK MULCH OR 2"-4" COBBLE MULCH.

IRRIGATION
 IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUNDCOVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

RESPONSIBILITY OF MAINTENANCE
 MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.M., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE
 THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT THE OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

PNM COORDINATION
 COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING
 SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE
 LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBS BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

LANDSCAPE AREA
 LANDSCAPE AREA COVERAGE REQUIREMENTS SPECIFY THAT 15% OF THE NET AREA (TOTAL SITE AREA MINUS BUILDING AREA) SHALL BE DESIGNATED LANDSCAPE PLANTING BEDS. THE AFFINITY PROJECT WILL PROVIDE A MINIMUM LANDSCAPE AREA OF 15%, WHICH WILL BE COMPRISED OF ON-SITE AND OFF-SITE LANDSCAPE PLANTING BEDS.

LANDSCAPE LIVE VEGETATIVE COVERAGE
 LANDSCAPE COVERAGE REQUIREMENTS SPECIFY LANDSCAPE AREAS ≥36 SF TO HAVE A 75% COVERAGE (OF THE 15%) OF LIVE VEGETATIVE MATERIAL AT MATURITY. THE AFFINITY PROJECT WILL PROVIDE A MINIMUM OF 75% LIVE VEGETATIVE COVERAGE IN SITE LANDSCAPE AREAS.

LANDSCAPE COVERAGE

TOTAL SITE AREA:	289,360 SF (6.64 AC)
BUILDING AREA (BUILDING ENVELOPE):	-47,321 SF (MAIN BUILDING + POOL HOUSE)
NET AREA:	242,031 SF
REQUIRED LANDSCAPE AREA (15% OF NET AREA):	36,305 SF
PROVIDED LANDSCAPE AREA (ON-SITE):	97,422 SF (40%)
PROVIDED LANDSCAPE AREA (R.O.M.):	+22,844 SF (18,445 SF + 4,399 SF)
TOTAL PROVIDED LANDSCAPE AREA:	120,266 SF
ALLOWABLE HIGH WATER USE TURF: (20% OF PROVIDED LANDSCAPE AREA)	24,053 SF
PROVIDED HIGH WATER USE TURF:	14,217 SF (12%)

STREET TREES
 MCMAHON BOULEVARD NW FRONTAGE IS 344' AND FINLAND DRIVE NW FRONTAGE IS 560', BOTH EXCLUDING INGRESS/EGRESS AND WITHIN THE PROPERTY LINE. STREET TREE REQUIREMENTS SPECIFY THE SPACING BETWEEN EVENLY SPACED STREET TREES SHOULD BE NO GREATER THAN THE DIAMETER OF THE TREE CANOPY AT MATURITY. STREET TREE REQUIREMENTS ARE BASED ON AN AVERAGE SPACING OF 30' O.C.

MCMAHON BLVD STREET TREES REQUIRED: 11 FINLAND DRIVE STREET TREES REQUIRED: 19
 MCMAHON BLVD STREET TREES PROVIDED: 12 FINLAND DRIVE STREET TREES PROVIDED: 19

PARKING LOT TREES
 THE AFFINITY PROJECT IS PROVIDING 238 PARKING SPACES. PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.

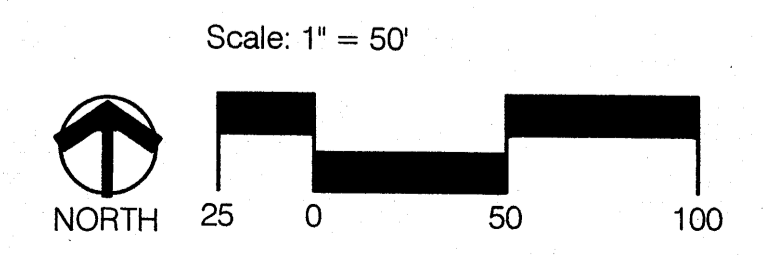
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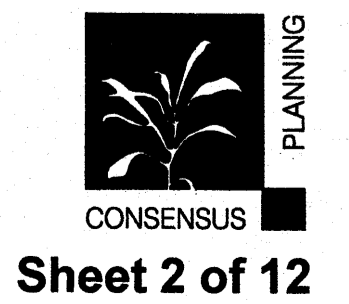
LANDSCAPE PLAN

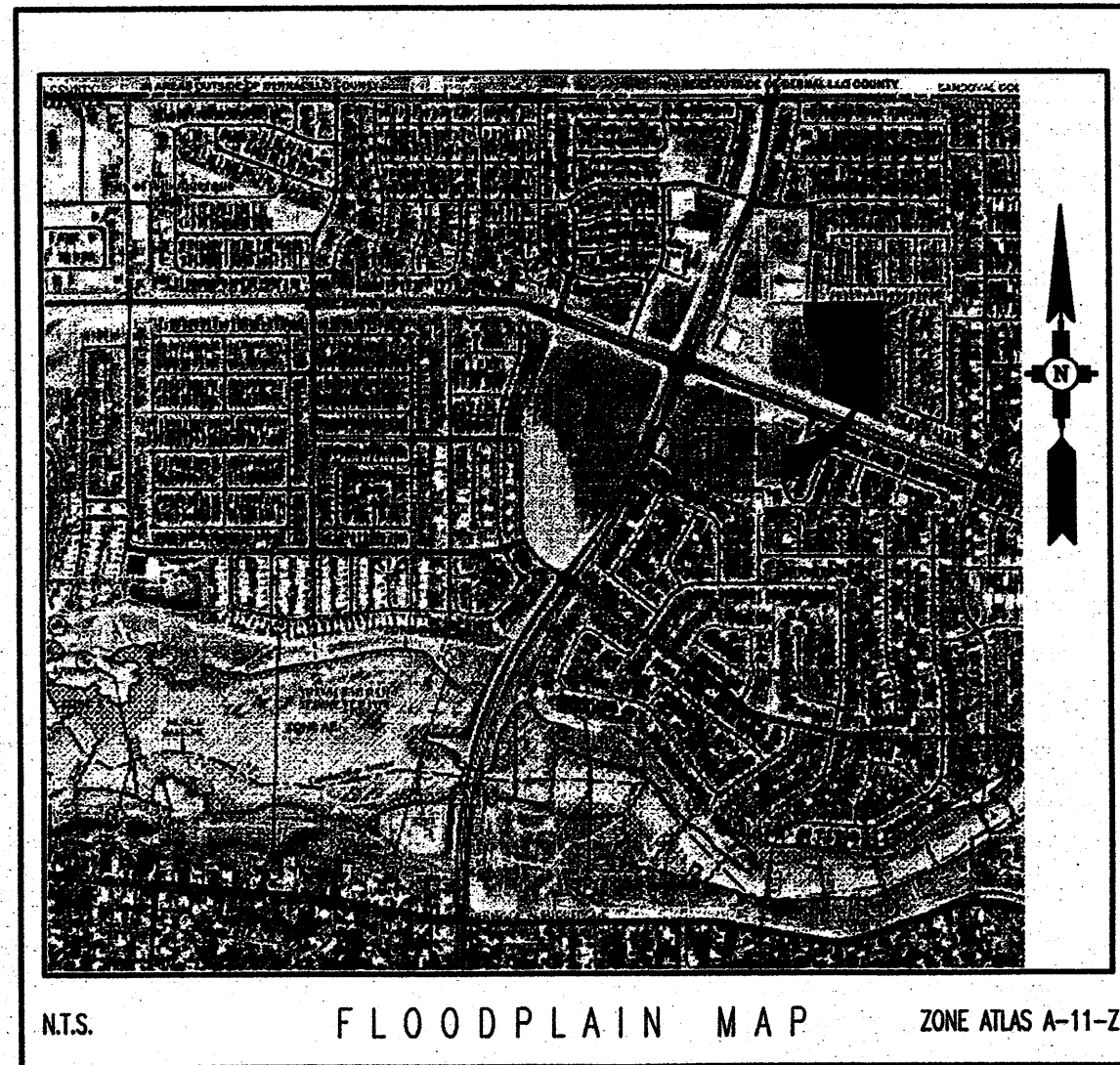
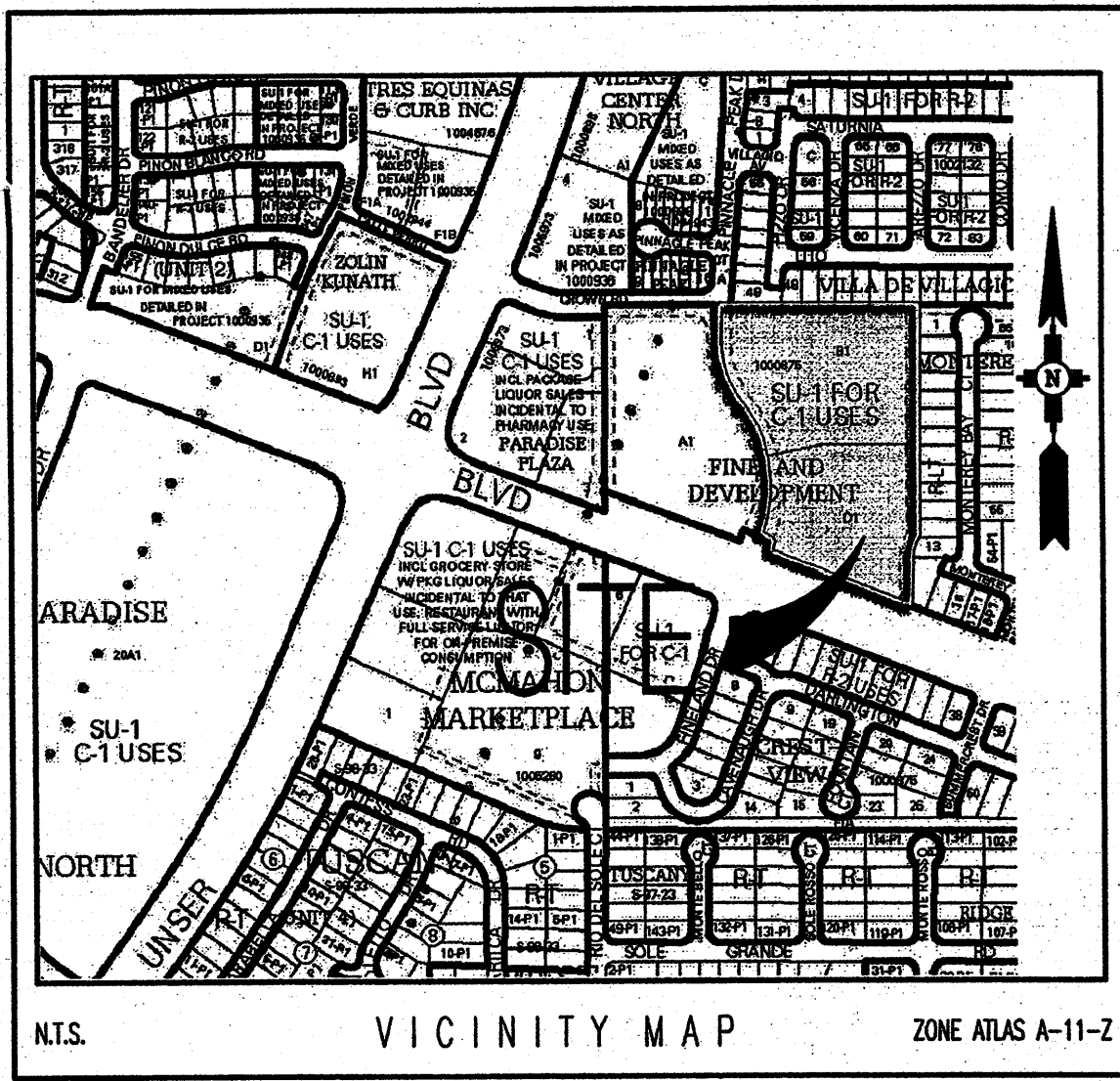
Prepared For:
 Inland Group
 1620 N. Mamer Rd., Bldg. B
 Spokane, WA 99203

Prepared By:
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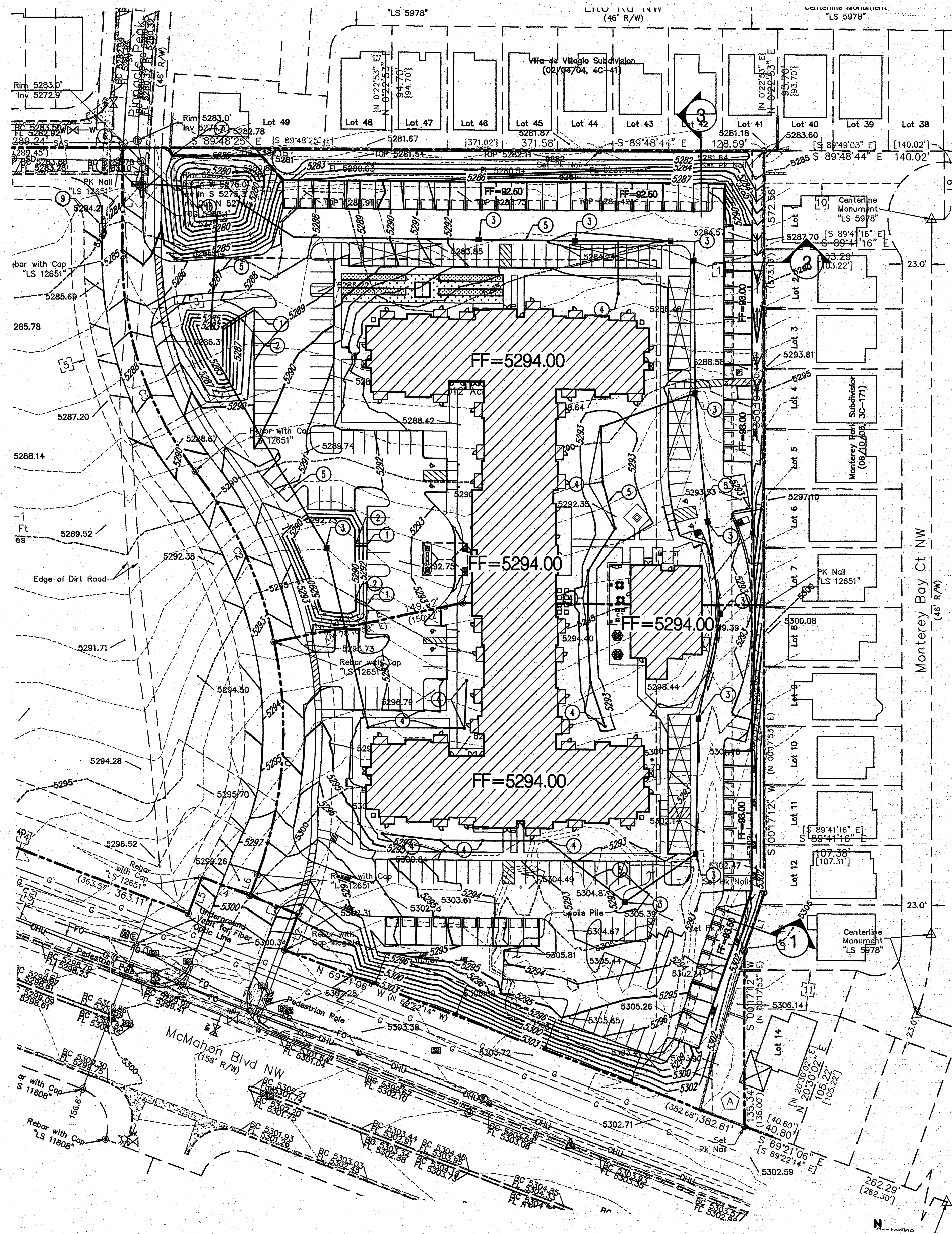
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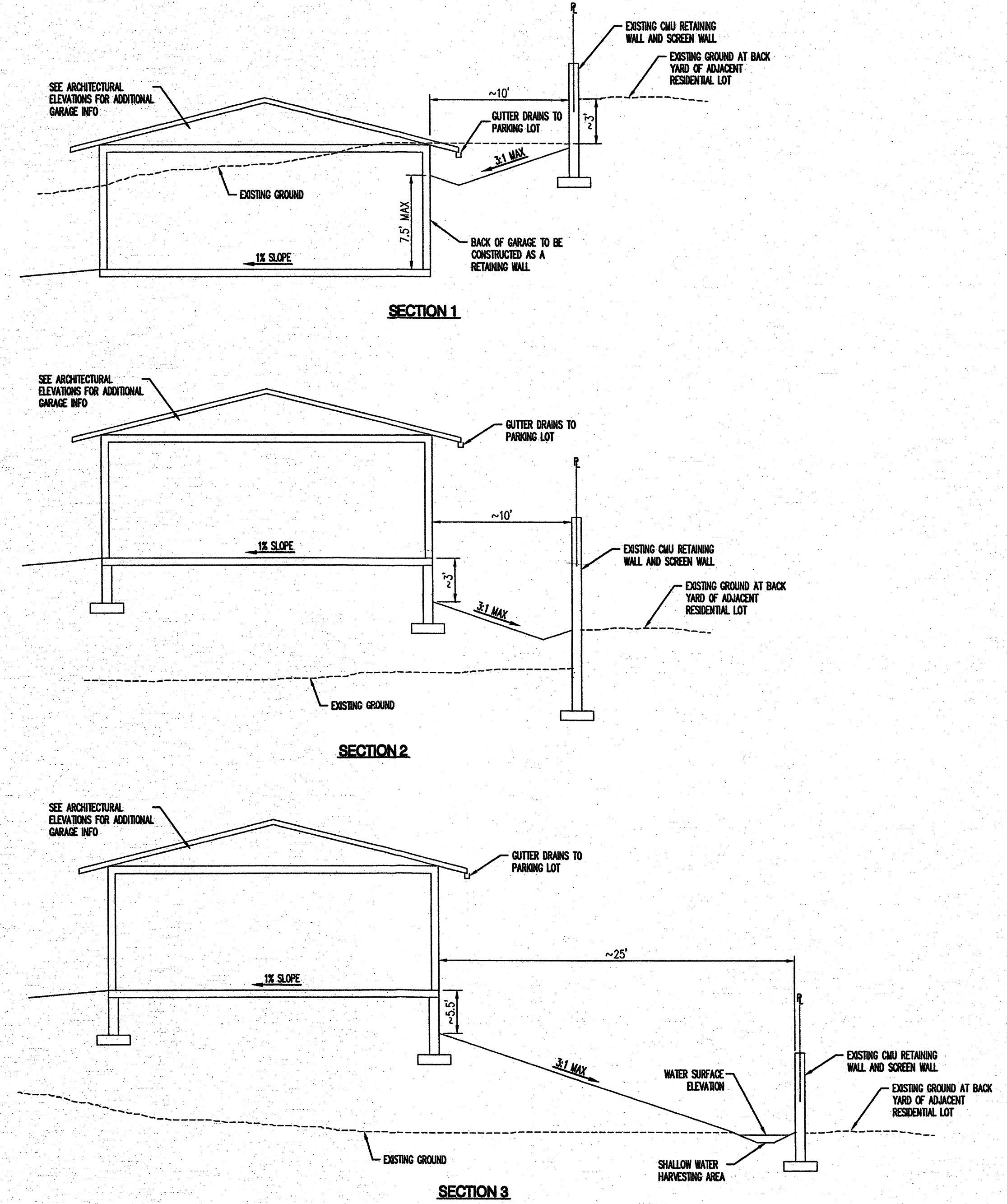
Grading Narrative

The site is currently undeveloped and contains sandy soil and native vegetation. The site slopes primarily from south to north at slopes ranging from 3% - 5%. The high point of the site is at the southeast corner at an elevation of approximately 5305. The low point of the site is at the northwest corner at an elevation of approximately 5281. Topography surrounding the site is similar with overall slopes to the north. Drainage from the area makes its way to the Black Arroyo via existing city storm drains. McMahon generally runs along a ridge line, with most of the land south of McMahon sloping to the south and draining to the Calabacillas Arroyo. The finished floor elevation of the main building and pool building are set to match the existing elevation at the middle of the site. The maximum proposed slopes on the site are 3H:1V. These slopes occur within the landscape areas on the south and north edges of the site. 3H:1V slopes also occur at the ponding areas along the west side of the site. These ponding areas are required in order to reduce the peak runoff coming from the site and to comply with the existing master drainage plan for the area.



KEYED NOTES

1. CURB OPENING FOR DRAINAGE
2. CONCRETE RUNDOWN
3. DROP INLET
4. AREA DRAIN
5. PRIVATE STORM DRAIN
6. CONNECTION TO EXISTING PUBLIC STORM DRAIN
7. CAST-IN-PLACE CONCRETE WALL TOP OF WALL ELEVATION = 85.0
8. NEW PUBLIC TYPE "A" DROP INLET
9. FUTURE PUBLIC TYPE "A" DROP INLET
10. POND OUTLET, PRIVATE STORM DRAIN TIED TO BACK OF INLET

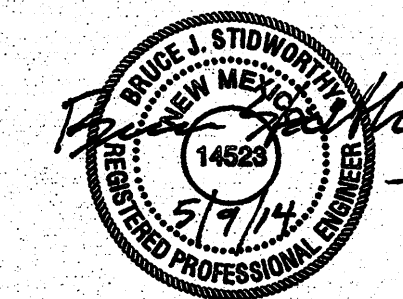
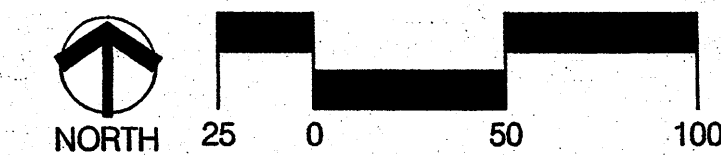


**AFFINITY
GRADING PLAN**

Prepared For:
Inland Group
1620 N. Mamer Rd., Bldg. B
Spokane, WA 99203

Prepared By:
Consensus Planning, Inc.
Bohannon Huston, Inc.
The Architects Office, PLLC

Scale: 1" = 50'

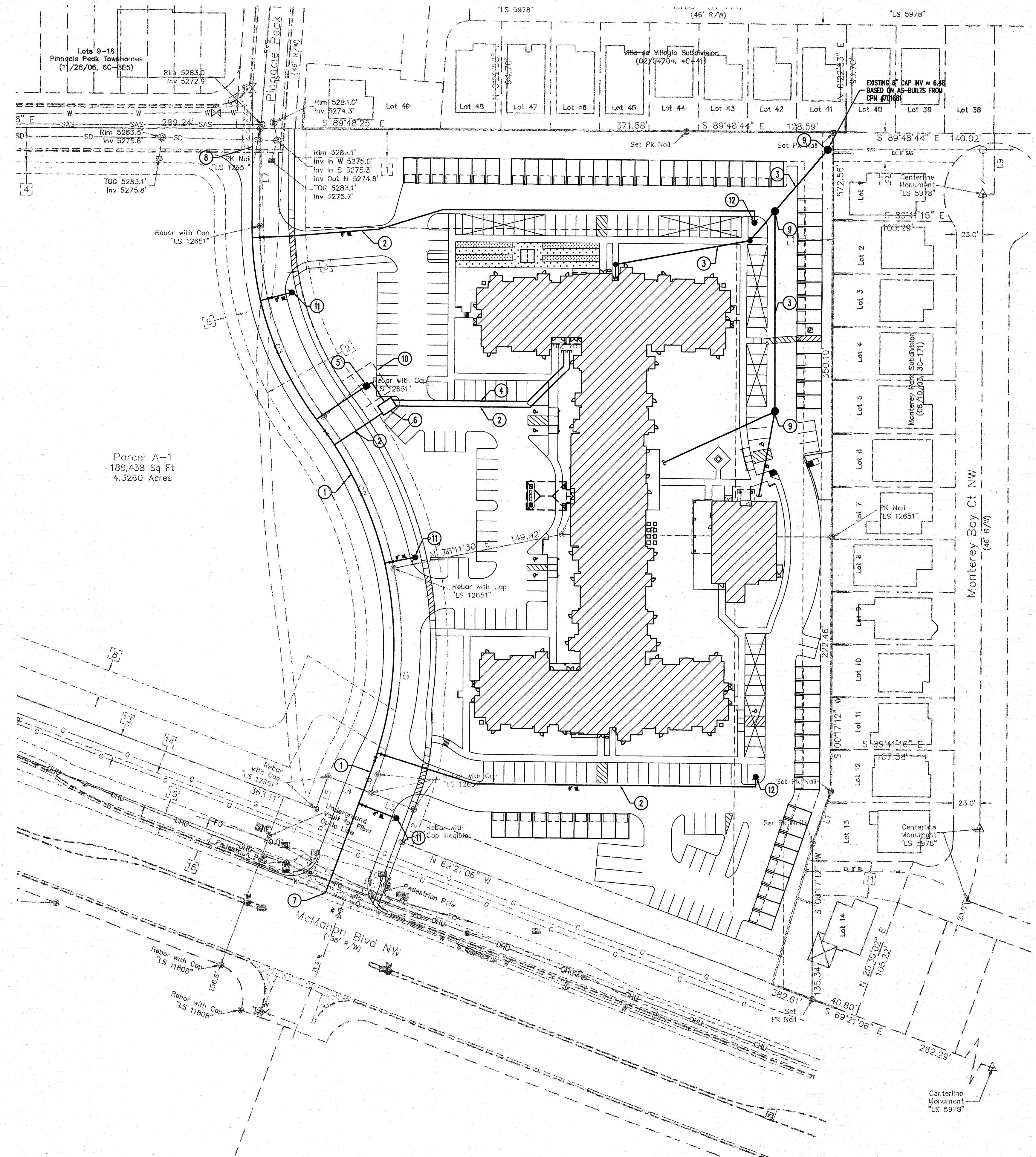


Bohannon & Huston
www.bhinc.com 800.877.5332



MAY 6, 2014 DRB SUBMITTAL

Sheet 3 of 12



FIRE MARSHALL'S OFFICE

- TYPE V-A CONSTRUCTION
- SPRINKLERED
- 2 HOUR FIRE WALLS
- NORTH WING = 50,686 SF
- CENTER CORE = 60,648 SF
- SOUTH WING = 50,686 SF
- TOTAL AREA = 162,020 SF

Legend

N 90°00'00" E	MEASURED BEARING AND DISTANCES
⊙	FOUND AS INDICATED
△	FOUND CENTERLINE MONUMENT AS INDICATED
○	SET BATHEY MARKER "LS 14271"
⊙	WATER METER
⊙	WATER MANHOLE
⊙	TRANSFORMER
⊙	GAS METER
⊙	UTILITY PEDESTAL
⊙	TELEPHONE MANHOLE
⊙	TRAFFIC MAST
⊙	SIGNAL BOX
⊙	ELECTRIC METER
⊙	SIGNAL CABINET
⊙	STORM DRAIN MANHOLE
⊙	STORM DRAIN INLET
W	UNDERGROUND WATER LINE
SAS	SANITARY SEWER LINE
SD	STORM DRAIN LINE
C	UNDERGROUND GAS LINE
—	WALL
■	WATER METER
⊕	WATER LINE VALVE
●	SAS MANHOLE
●	PROPOSED FIRE HYDRANT
●	SAS CLEANOUT

KEYED NOTES

1. NEW 8" PUBLIC WATER LINE.
2. NEW PRIVATE FIRE LINE.
3. 8" SAS SERVICE LINE.
4. 6" DOMESTIC SERVICE LINE TO BUILDING.
5. 4" WATER METER.
6. HEATED ENCLOSURE FOR DOMESTIC & FIRE PROTECTION REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTERS.
7. PRESSURE CONNECTION TO EXISTING 16" WL.
8. CONNECT TO EXISTING 8" WL STUB.
9. NEW PRIVATE SAS MANHOLE.
10. 30"x30" WATER METER EASEMENT TO BE GRANTED TO ABCMWA.
11. NEW PUBLIC FIRE HYDRANT.
12. NEW PRIVATE FIRE HYDRANT.

Easement Notes

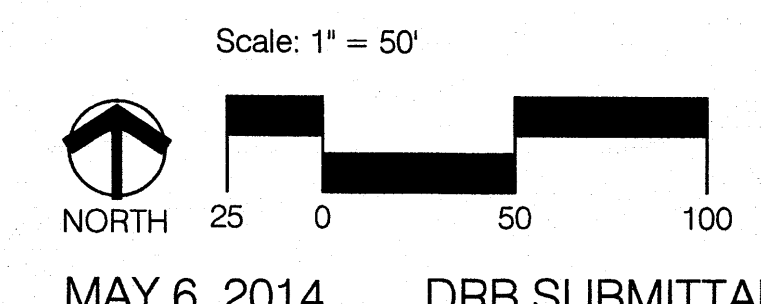
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- 1 EXISTING 25' PUBLIC DRAINAGE, UTILITY & PEDESTRIAN ACCESS EASEMENT (1/11/02, 02C-16)
 - 2 EXISTING 60' PUBLIC ROADWAY EASEMENT (1/11/02, 02C-16)
 - 3 EXISTING 10' PNM EASEMENT (1/11/02, 02C-16)
 - 4 EXISTING 30' PUBLIC ROADWAY, UTILITY EASEMENT & PEDESTRIAN ACCESS EASEMENT (1/11/02, 02C-16)
 - 5 EXISTING 10' P.U.E. (11/21/03, 03C-354)
 - * 6 EXISTING 25' PUBLIC DRAINAGE, UTILITY & PEDESTRIAN ACCESS EASEMENT (1/11/02, 02C-16)
 - * 7 EXISTING 30' PRIVATE ACCESS EASEMENT (12/07/09, 09C-170)
 - 8 EXISTING FINELAND ACCESS EASEMENT AREA (3/20/09, DOC. NO. 2009029570)
 - * 9 EXISTING 20' SLOPE EASEMENT AREA (3/20/09, DOC. NO. 2009029570)
 - 10 EXISTING 25' PUBLIC SANITARY SEWER EASEMENT (9/9/03, 03C-276)
 - 11 EXISTING PUBLIC NON-VEHICULAR PEDESTRIAN ACCESS EASEMENT & PUBLIC WATER EASEMENT (9/9/03, 03C-276)
 - * 12 EXISTING 15' X 80' OVERHEAD ELECTRICAL POWER LINE EASEMENT (BK. BCR 92-24, PG. 4561)
 - 13 EXISTING 20' SOUTHERN UNION GAS CO. EASEMENT (8/11/61, BK. D 606, PG. 525, BK. 112, PG. 515 & BK. D 346, PG. 356)
 - 14 EXISTING 30' GAS LINE EASEMENT (3/7/61, BK. D585, PG. 409)
 - 15 EXISTING 10' PNM & MST&T EASEMENT (DOC. NO. 89-13983, 2/23/89, BK. MISC. 716A, PG. 198-203) AMENDED (DOC. NO. 93-010908, 2/2/93, BK. BCR 93-3, PG. 3742-3743)
 - 16 EXISTING 20' NMUI EASEMENT (DOC. NO. 89-13983, 2/23/89, BK. MISC. 716A, PG. 198-203)
 - * 17 EXISTING ACCESS EASEMENT BENEFITING PARCEL A-1, FINELAND DEVELOPMENT (3/20/09, DOC. NO. 2009029570)

CONCEPTUAL SITE UTILITY PLAN

AFFINITY
SITE UTILITY PLAN

Prepared For:
Inland Group
1620 N. Mamer Rd., Bldg. B
Spokane, WA 99203

Prepared By:
Consensus Planning, Inc.
Bohannon Huston, Inc.
The Architects Office, PLLC



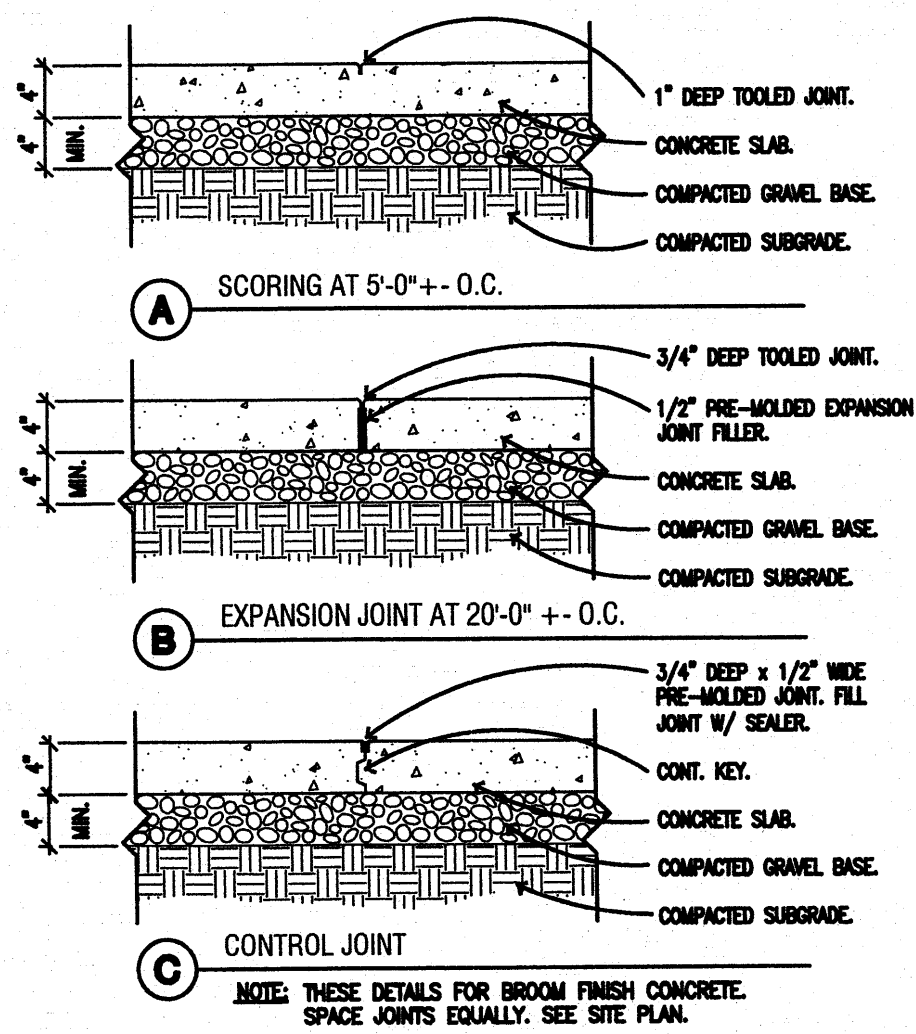
Bohannon Huston
www.bhinc.com 800.877.5332



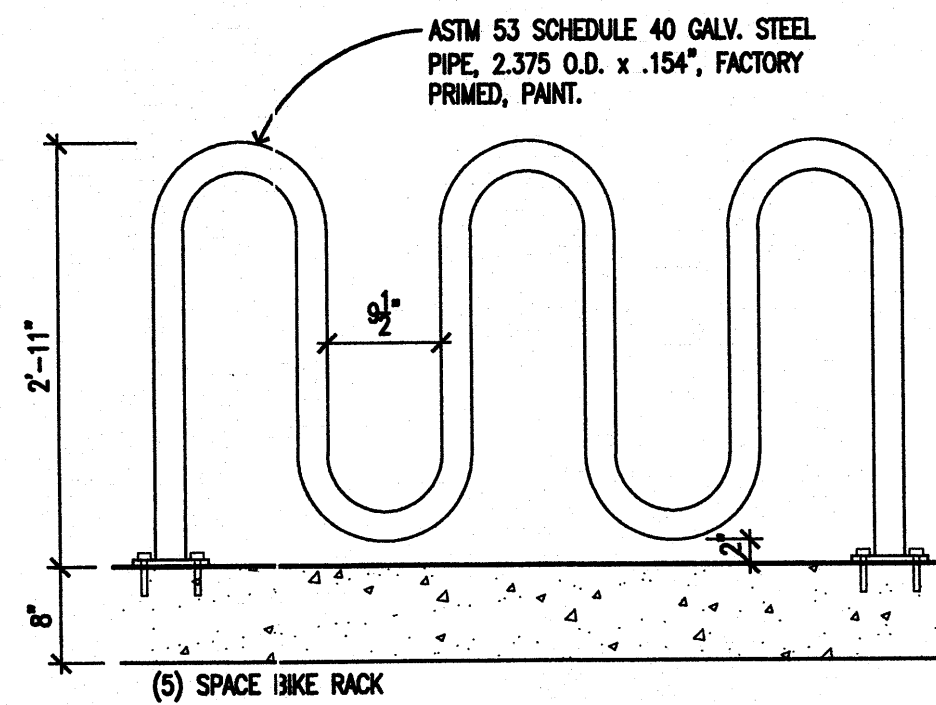
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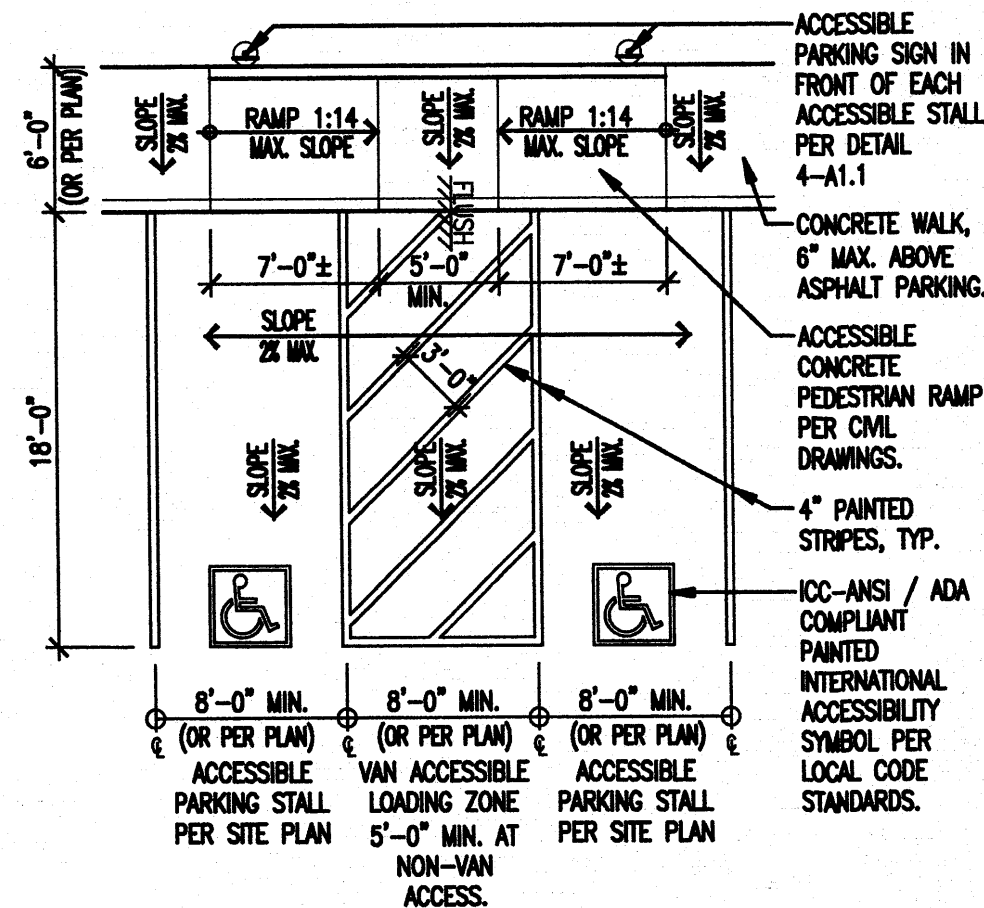
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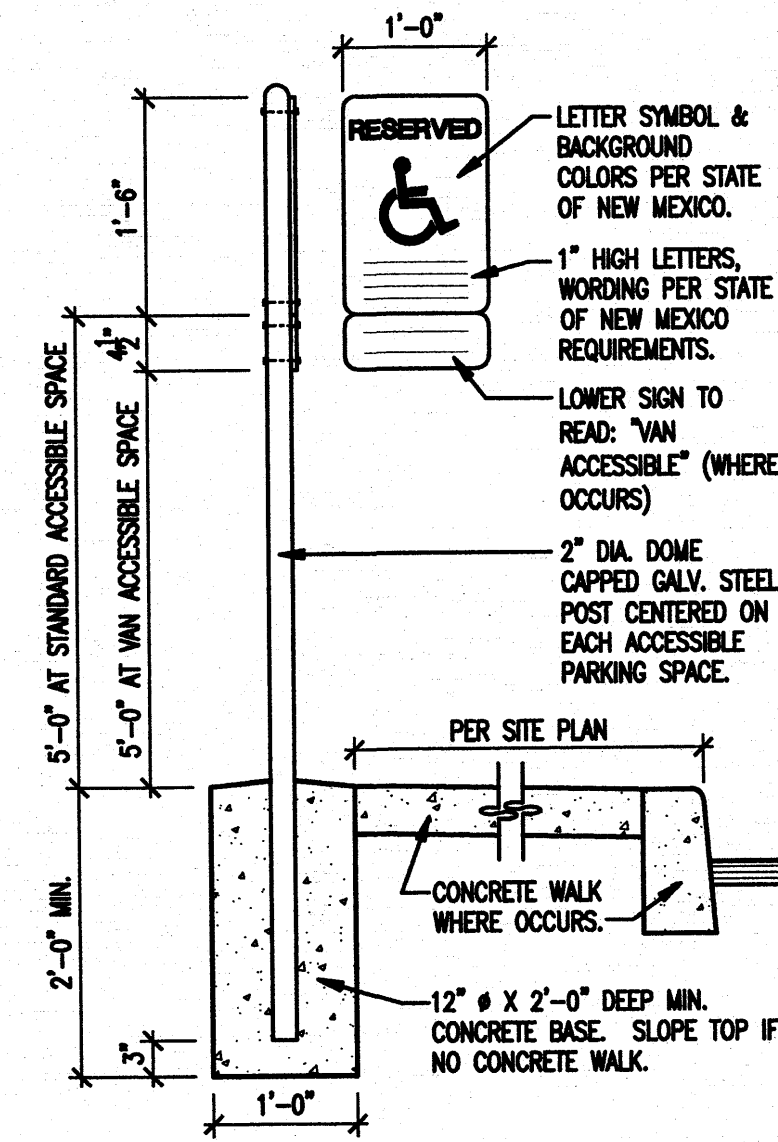
1 CONCRETE SLAB JOINTS
SCALE: 1" = 1'-0"



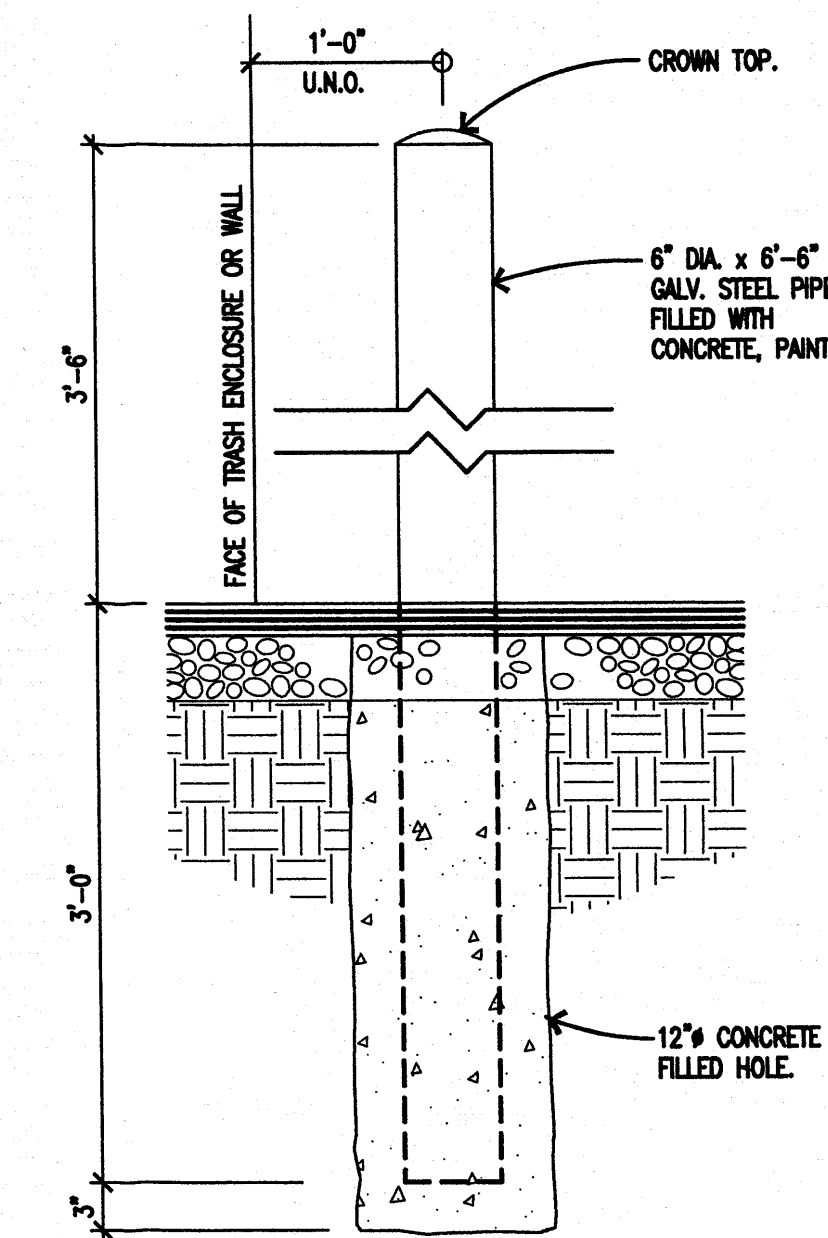
2 BIKE RACK
SCALE: 3/4" = 1'-0"



3 TYPICAL ACCESSIBLE STALL
SCALE: 1/8" = 1'-0"



4 ACCESSIBLE STALL SIGN
SCALE: 3/4" = 1'-0"



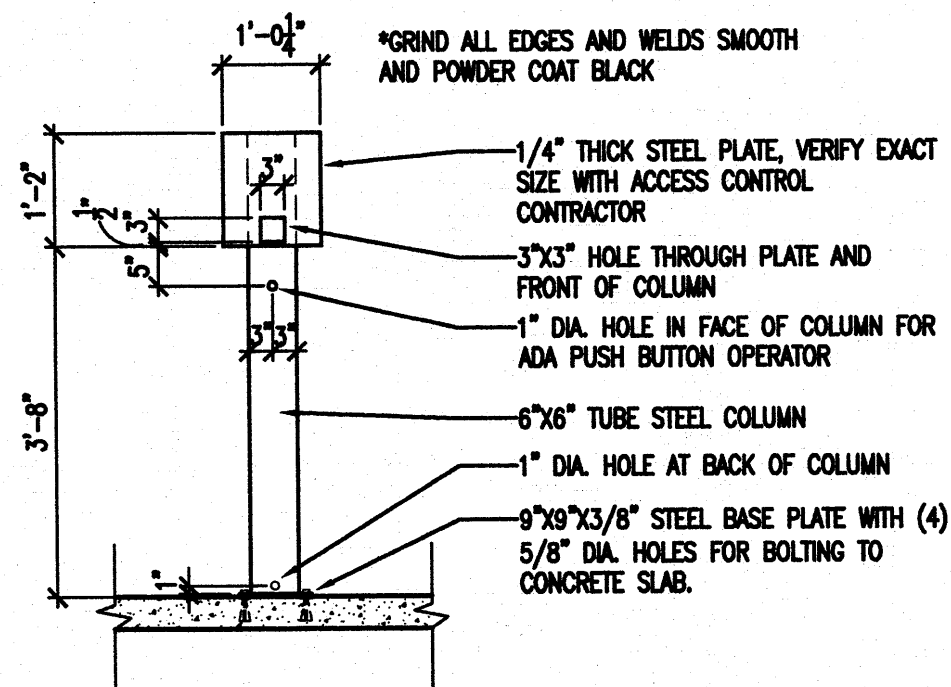
5 TYPICAL STEEL BOLLARD
SCALE: 1" = 1'-0"

6 NOT USED
SCALE: 1/4" = 1'-0"

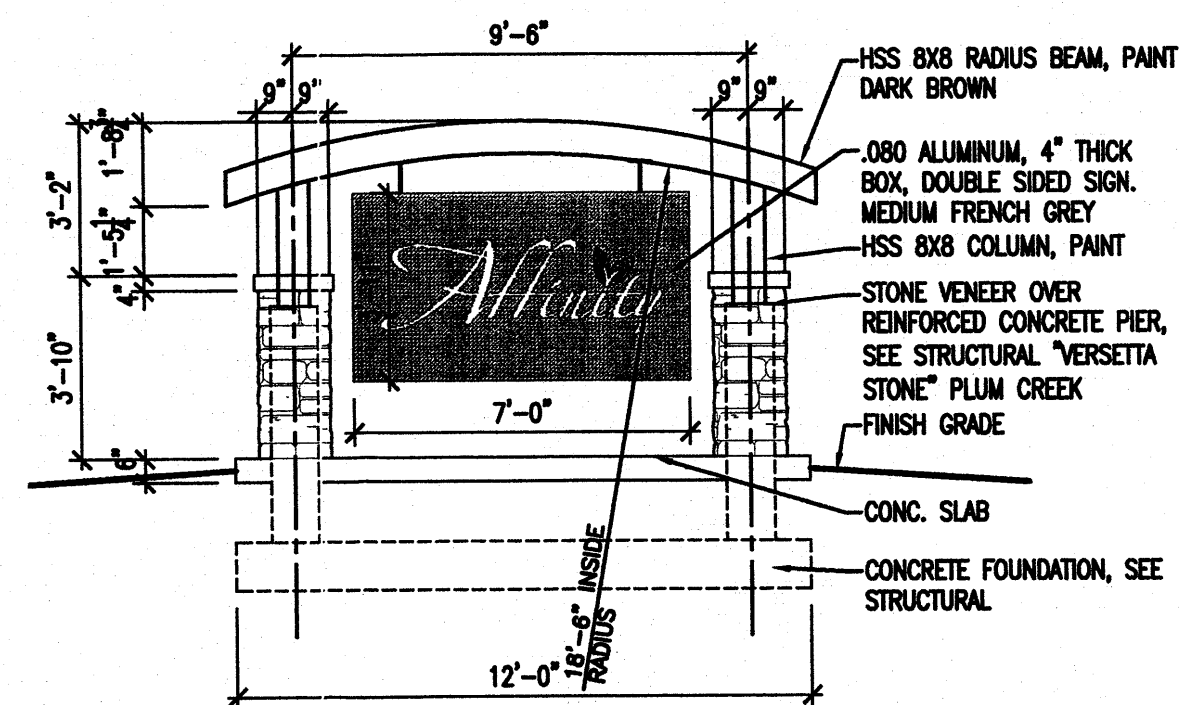
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8 NOT USED
SCALE: 1/4" = 1'-0"

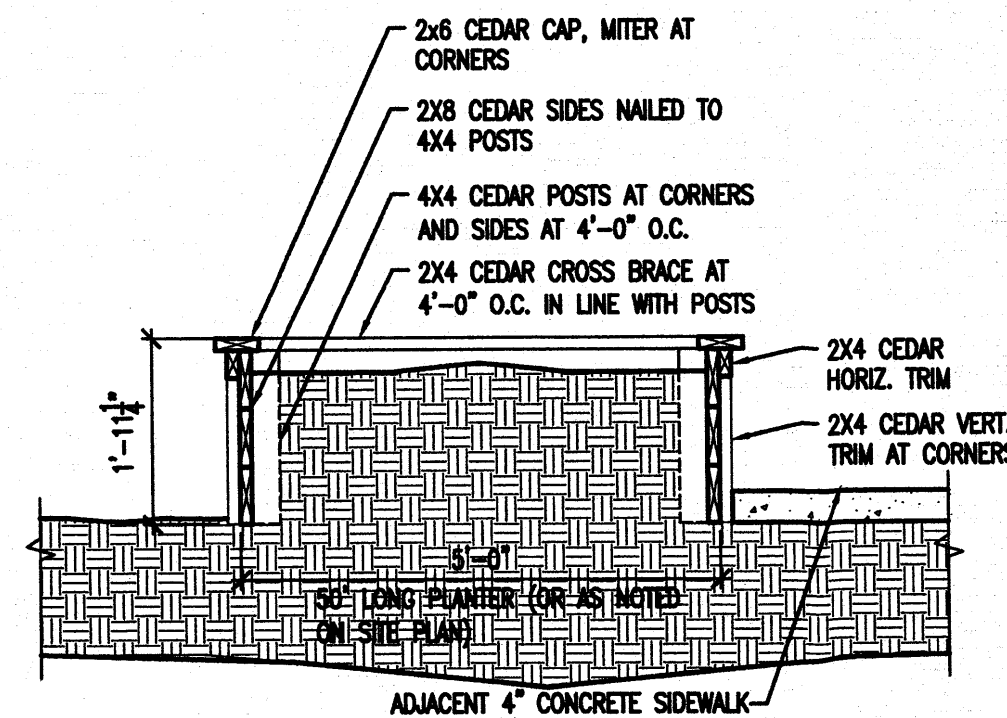
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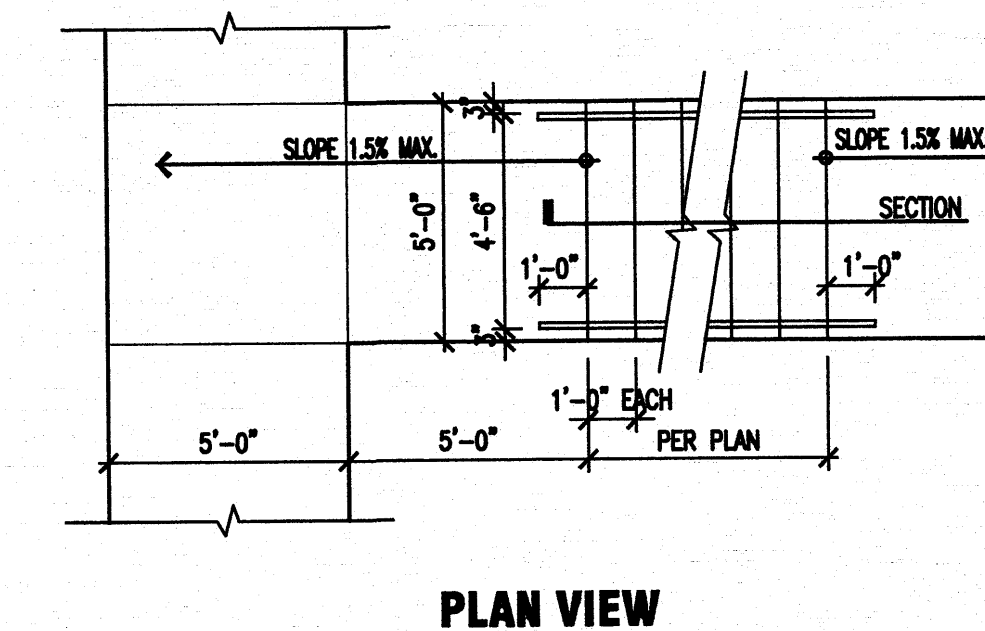
10 ENTRY ACCESS CONTROL PANEL DETAIL
SCALE: 1/2" = 1'-0"



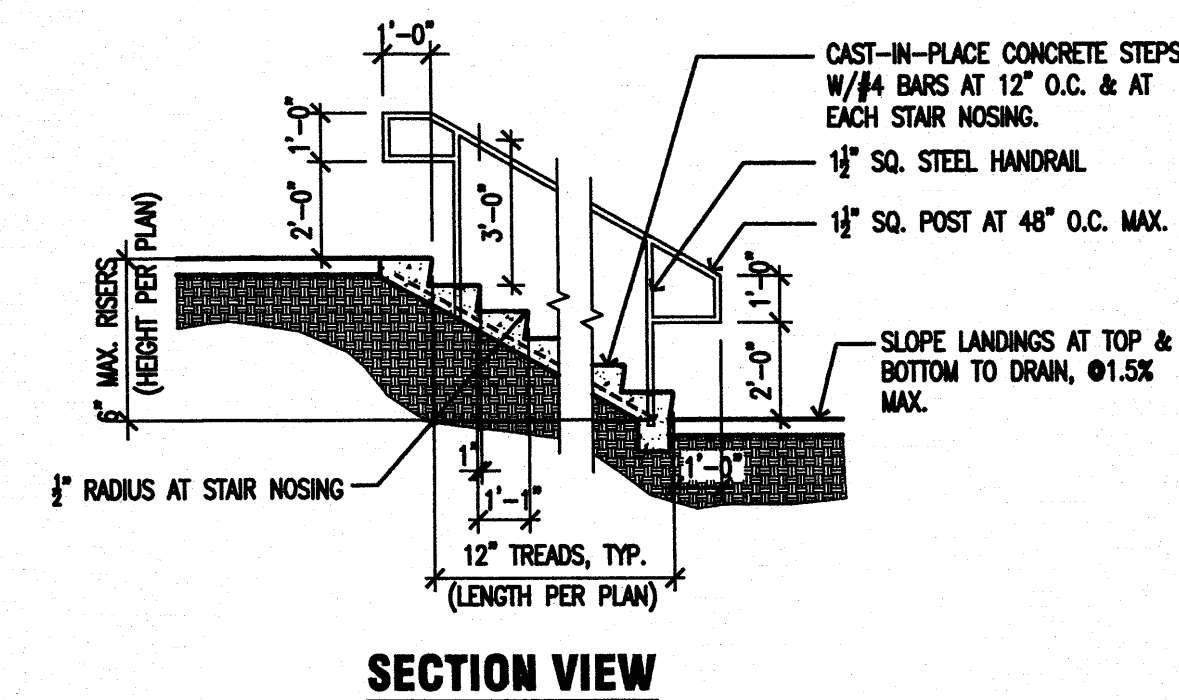
11 PROJECT SIGN
SCALE: 1/4" = 1'-0"



12 RAISED PLANTER BOX SECTION
SCALE: 1/2" = 1'-0"



13 CONCRETE SITE STAIR W/METAL HANDRAILS
SCALE: 1/4" = 1'-0"

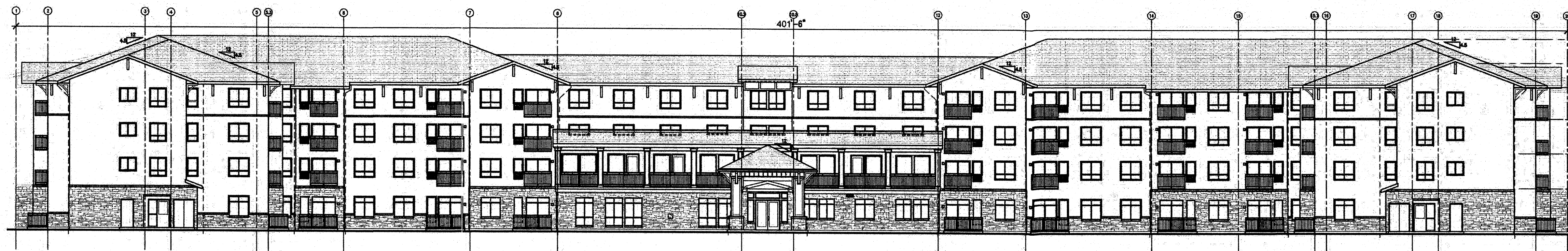


KEYNOTES

1. FINISH GRADE, SLOPE AWAY FROM BUILDING AT 2% MIN.
2. VINYL FRAME WINDOW.
3. 2X8 PAINTED WOOD FASCIA.
4. STUCCO SIDING.
5. NOT USED.
6. ARTIFICIAL STONE SIDING.
7. CONTINUOUS RIDGE VENT, SEE ROOF PLANS.
8. STONE CAP WITH METAL FLASHING AT TOP, SEE 4/A10.2.
9. DECORATIVE WOOD GABLE BRACKET, SEE 4/A5.0.
10. ARCHITECTURAL LAMINATED FIBERGLASS ROOF SHINGLES.
11. METAL RAILING/DECK, SEE 2-A10.1.
12. SMALL PANEL STYLE TRIM, SEE 5/A5.1.
13. 4" STUCCO BELLY BAND, SEE 5/A10.2.
14. ALUMINUM STORE FRONT ENTRY SYSTEM.
15. VINYL FRAMED SLIDING GLASS DOOR.
16. GAS FIREPLACE VENT.
17. 42" HIGH POWDER COATED METAL RAILING AND GATE. CORE AND GROUT INSTALLATION.
18. PREFINISHED METAL GUTTER AND DOWNSPOUT, COORDINATE W/CIVIL PLANS.
19. PANEL STYLE TRIM, SEE 4/A5.1.
20. 42" HIGH POWDER COATED METAL RAILING, SEE 5/A4.9.

GENERAL NOTES

- A. ALL NOTES ON ELEVATIONS ARE TYPICAL AND APPLY TO ALL ELEVATIONS.
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- F. SIDING STYLES TO WRAP AROUND ADJACENT CORNERS WHERE NOT SHOWN (UNLESS NOTED OTHERWISE).



1 WEST ELEVATION
 SCALE: 1/16" = 1'-0"

Exterior Finish Schedule

Exterior Feature	Material	Anticipated Manufacturer	Color
Roof	Asphaltic Composition Shingle	Timberline	Barkwood
Roof Gutters	Sheet Metal	Custom	Dark Brown
Roof Fascia	Wood	Smart Trim	Dark Brown
Roof Corbels	Wood or PVC	Custom	Dark Brown
Windows	Vinyl	Cascade Windows	Almond
Stucco Siding 1	Portland Cement Stucco		Beige
Stucco Siding 2	Portland Cement Stucco		Medium French Grey
Stucco Siding 3	Portland Cement Stucco		Yellow Ochre
Stucco Siding 4	Portland Cement Stucco		Terracotta
Cultured Stone	Ledge Stone	Versetta	Plum Creek
Decks	Steel	Custom	Dark Bronze
Alum. Storefront	Aluminum		Dark Bronze

PROJECT

AFFINITY AT ALBUQUERQUE

MCMAHON BLVD.
 ALBUQUERQUE, NEW MEXICO

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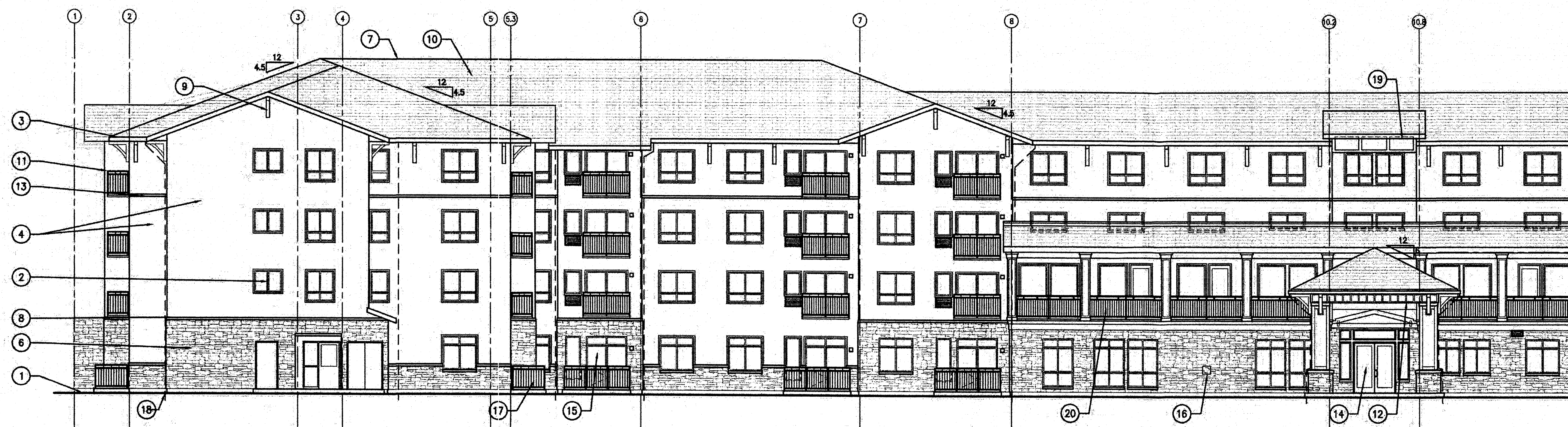
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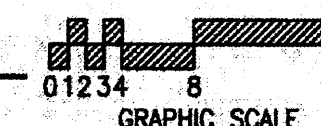
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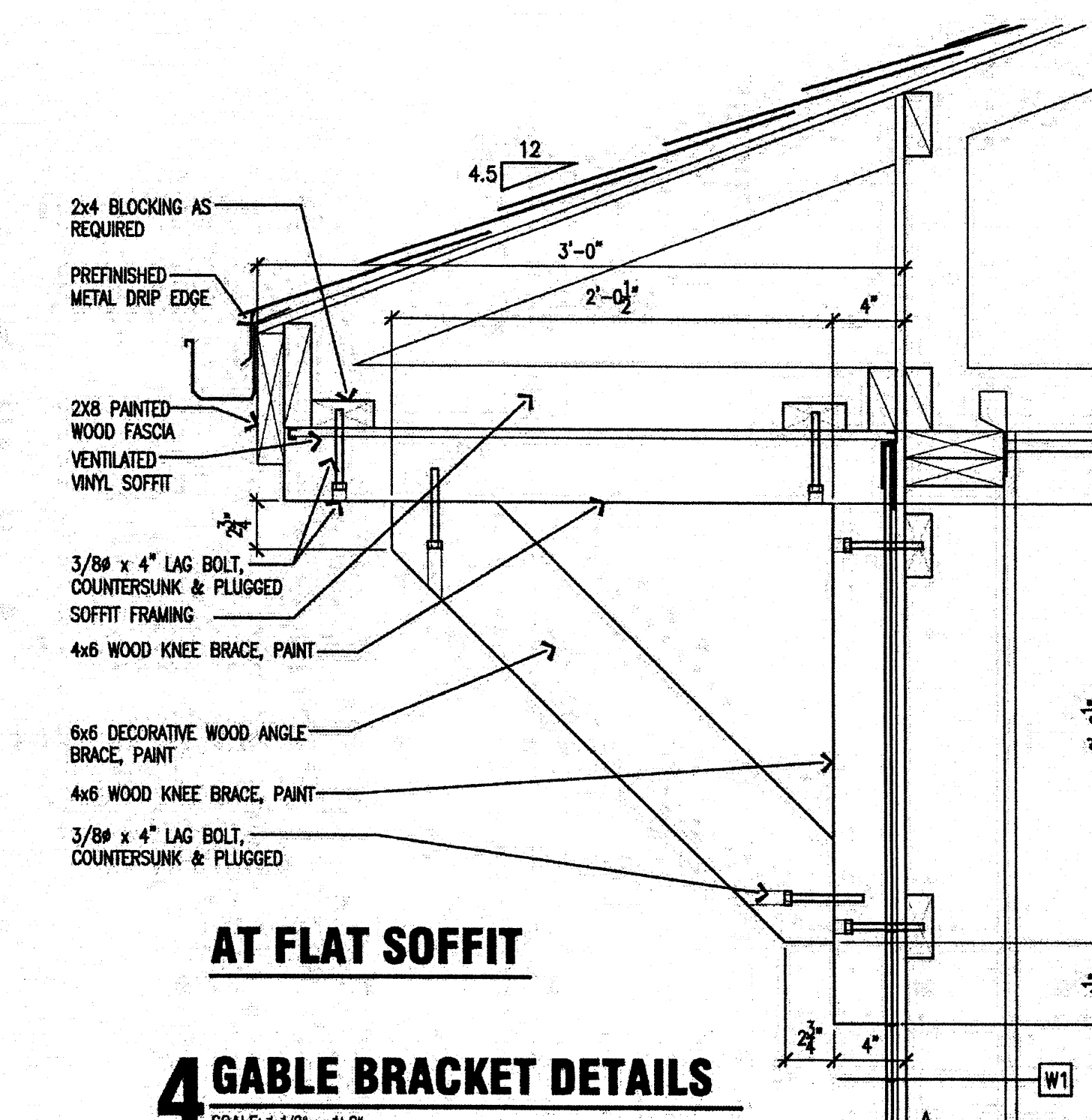
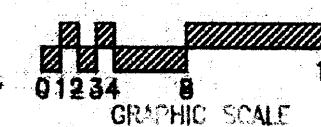
A5.0
 BUILDING ELEVATIONS



2 WEST ELEVATION - LEFT SIDE
 SCALE: 3/32" = 1'-0"

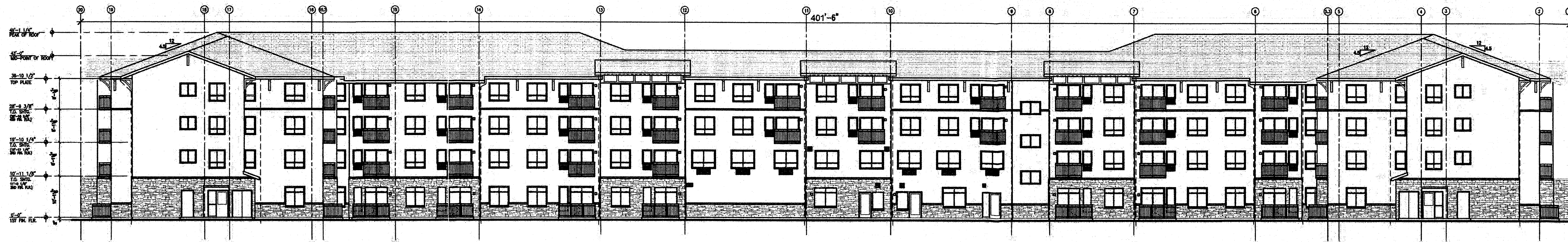


3 WEST ELEVATION - RIGHT SIDE
 SCALE: 3/32" = 1'-0"



4 GABLE BRACKET DETAILS
 AT FLAT SOFFIT

4 GABLE BRACKET DETAILS
 SCALE: 1 1/2" = 1'-0"



1 EAST ELEVATION
 SCALE: 1/16" = 1'-0"



2 EAST ELEVATION - LEFT SIDE
 SCALE: 3/32" = 1'-0"



3 EAST ELEVATION - RIGHT SIDE
 SCALE: 3/32" = 1'-0"

KEYNOTES

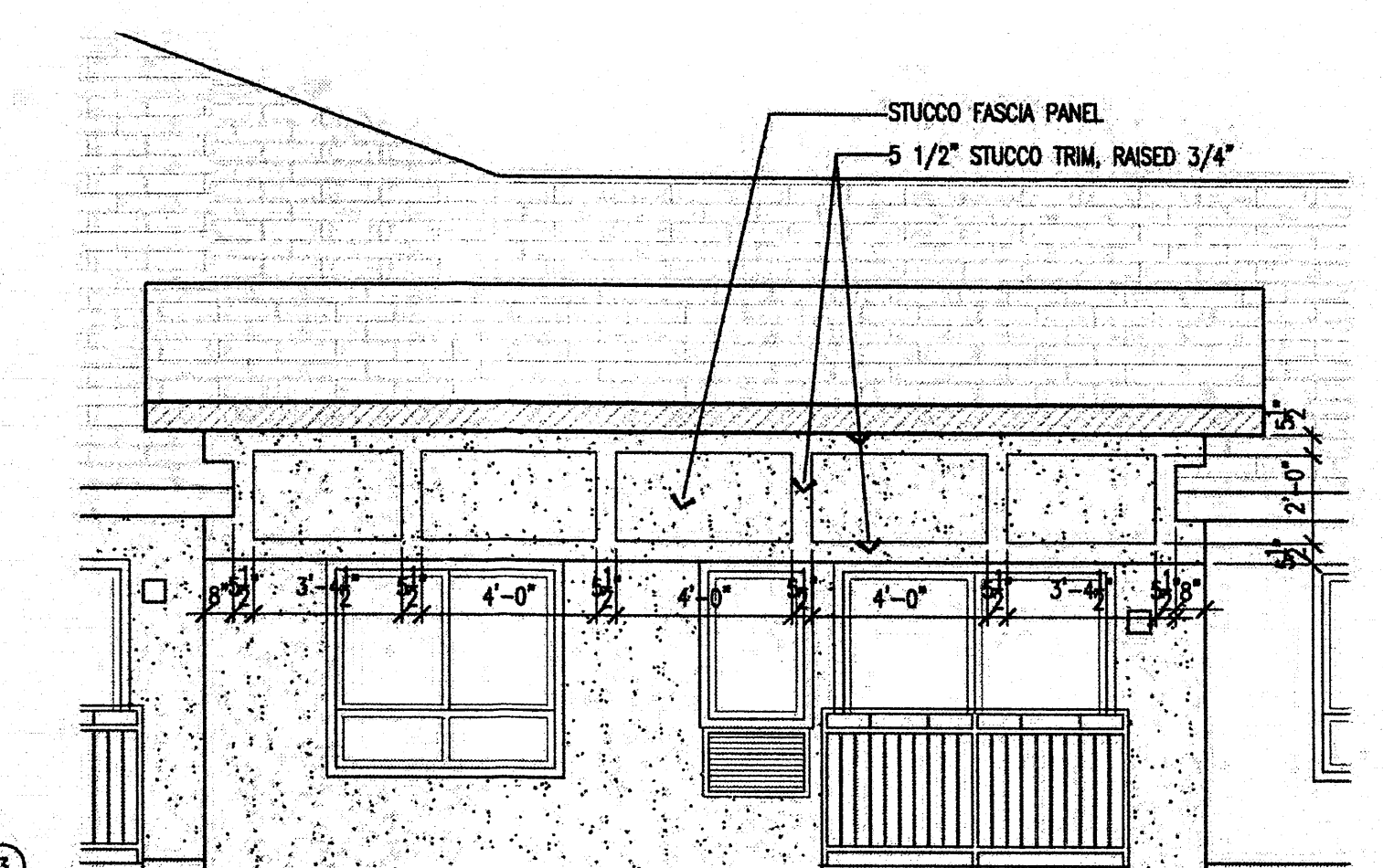
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GENERAL NOTES

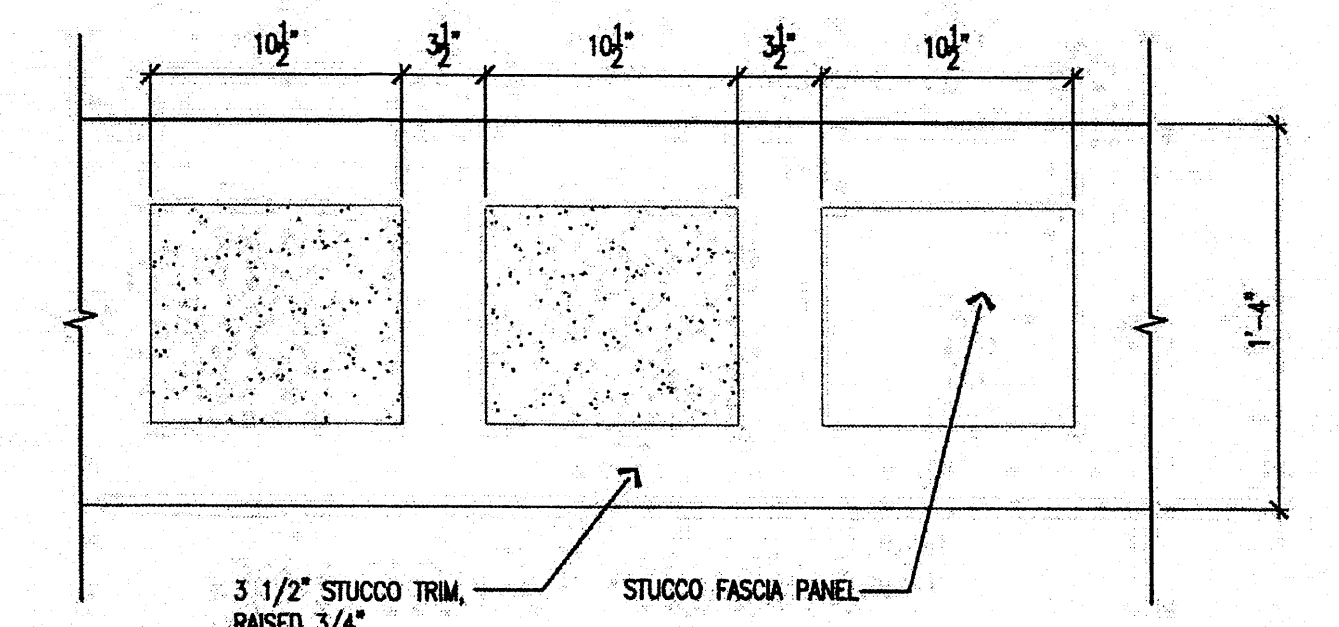
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Exterior Finish Schedule

Exterior Feature	Material	Anticipated Manufacturer	Color
Roof	Asphaltic Composition Shingle	Timberline	Barkwood
Roof Gutters	Sheet Metal	Custom	Dark Brown
Roof Fascia	Wood	Smart Trim	Dark Brown
Roof Corbels	Wood or PVC	Custom	Dark Brown
Windows	Vinyl	Cascade Windows	Almond
Stucco Siding 1	Portland Cement Stucco		Beige
Stucco Siding 2	Portland Cement Stucco		Medium French Grey
Stucco Siding 3	Portland Cement Stucco		Yellow Ochre
Stucco Siding 4	Portland Cement Stucco		Terracotta
Cultured Stone	Ledge Stone	Versetta	Plum Creek
Decks	Steel	Custom	Dark Bronze
Alum. Storefront	Aluminum		Dark Bronze



4 LARGE PANEL TRIM DETAIL
 SCALE: 1/4" = 1'-0"



5 SMALL PANEL TRIM DETAIL
 SCALE: 1/2" = 1'-0"

PROJECT

AFFINITY AT ALBUQUERQUE

MCMAHON BLVD.
 ALBUQUERQUE, NEW MEXICO

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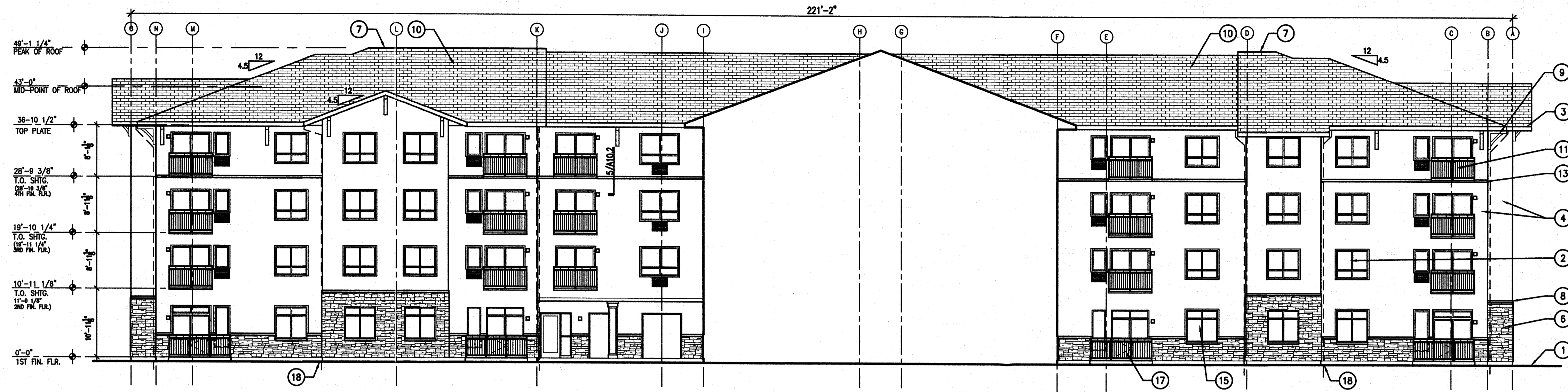
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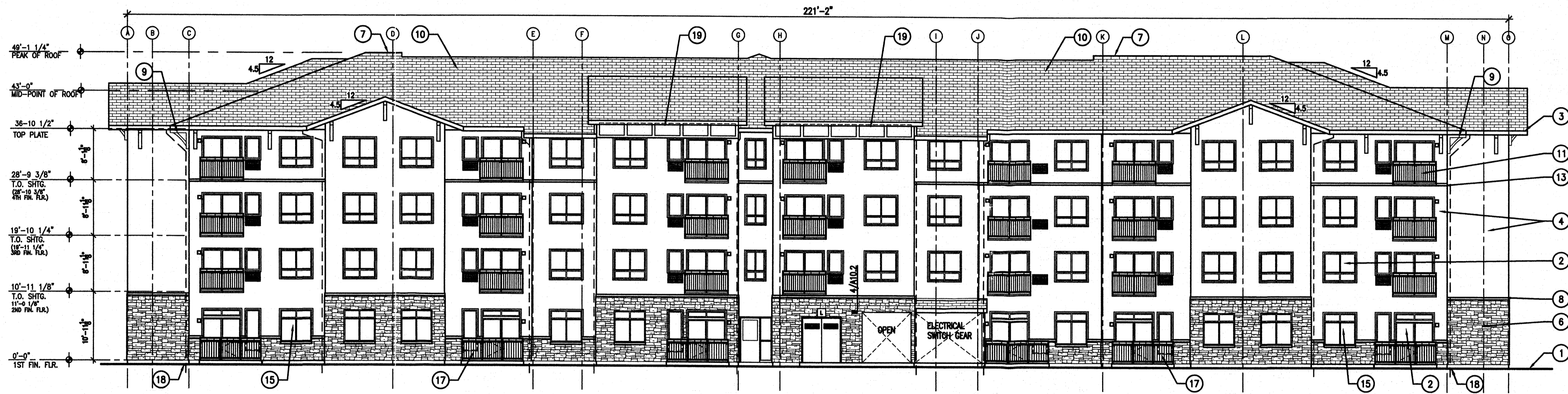
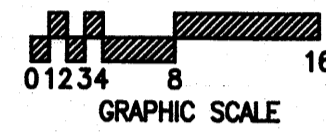
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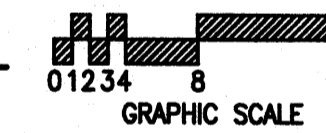
BUILDING ELEVATIONS



1 NORTH WING - SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



2 NORTH WING - NORTH ELEVATION
SCALE: 3/32" = 1'-0"



Exterior Finish Schedule

Exterior Feature	Material	Anticipated Manufacturer	Color
Roof	Asph/Flt Composition Shingle	Timberline	Barkwood
Roof Gutters	Sheet Metal	Custom	Dark Brown
Roof Fascia	Wood	Smart Trim	Dark Brown
Roof Corbels	Wood or PVC	Custom	Dark Brown
Windows	W/ry	Cascade Windows	Almond
Stucco Sid r g 1	Portland Cement Stucco		Beige
Stucco Sid r g 2	Portland Cement Stucco		Medium French Grey
Stucco Sid r g 3	Portland Cement Stucco		Yellow Ochre
Stucco Sid r g 4	Portland Cement Stucco		Terracotta
Cultured Stone	Edge Stone	Versetta	Palm Creek
Decks	Steel	Custom	Dark Bronze
Alum. Storefront	Aluminum		Dark Bronze

KEYNOTES

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- METAL RAILING/DECK, SEE 2-A10.1.
- SMALL PANEL STYLE TRIM, SEE 5/A5.1.
- 4" STUCCO BELLY BAND, SEE 5/A10.2.
- ALUMINUM STORE FRONT ENTRY SYSTEM.
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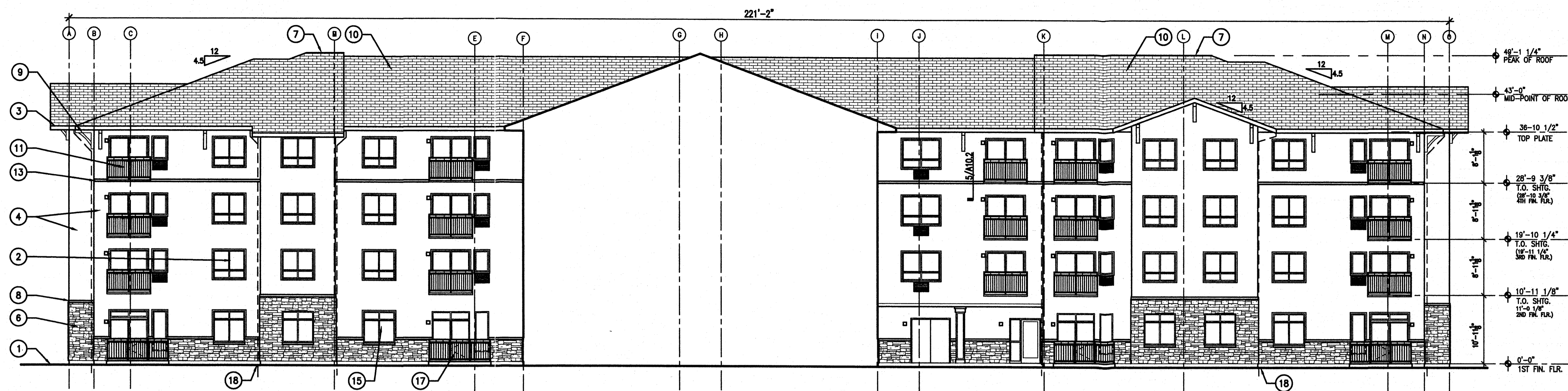
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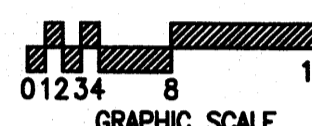
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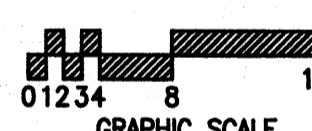
BUILDING ELEVATIONS



1 SOUTH WING - NORTH ELEVATION
 SCALE: 3/32" = 1'-0"



2 SOUTH WING - SOUTH ELEVATION
 SCALE: 3/32" = 1'-0"



Exterior Finish Schedule			
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- 4" STUCCO BELLY BAND, SEE 5/A10.2.
- ALUMINUM STORE FRONT ENTRY SYSTEM.
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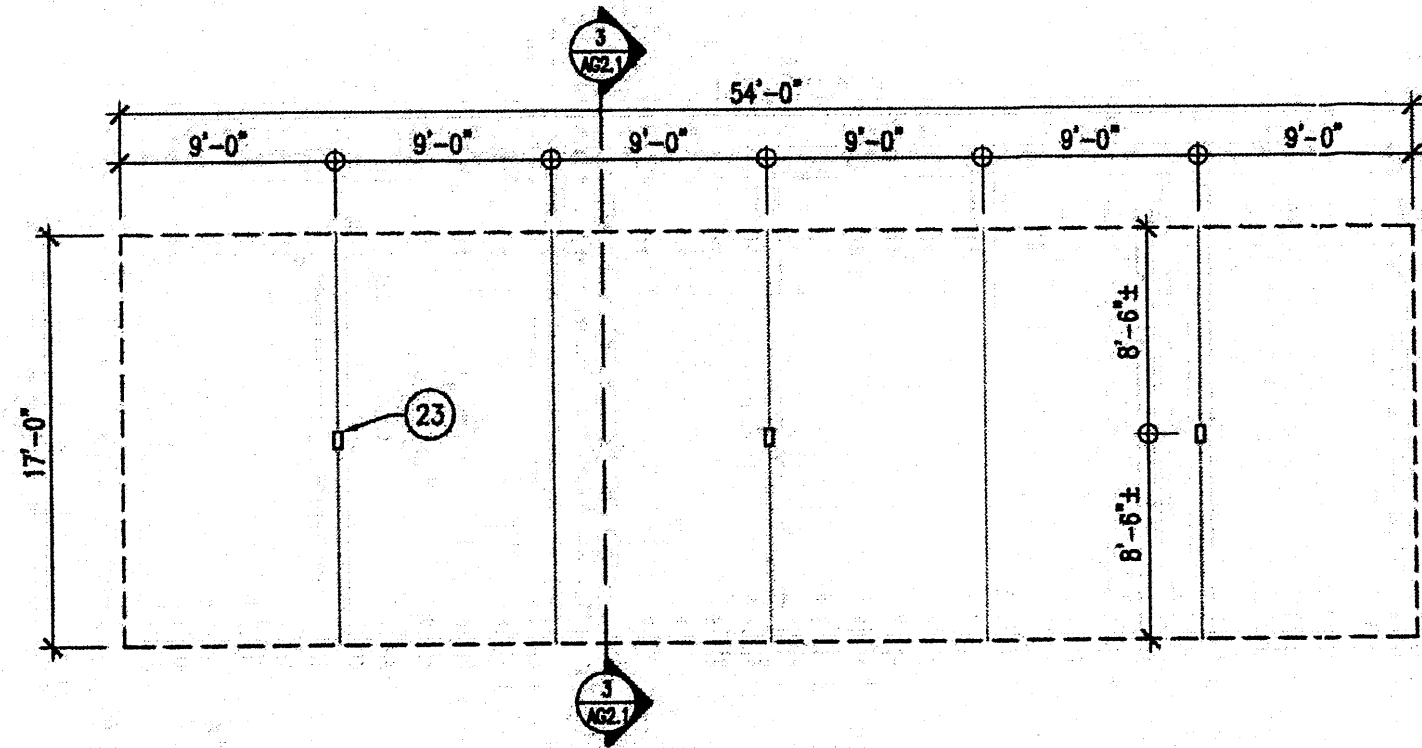
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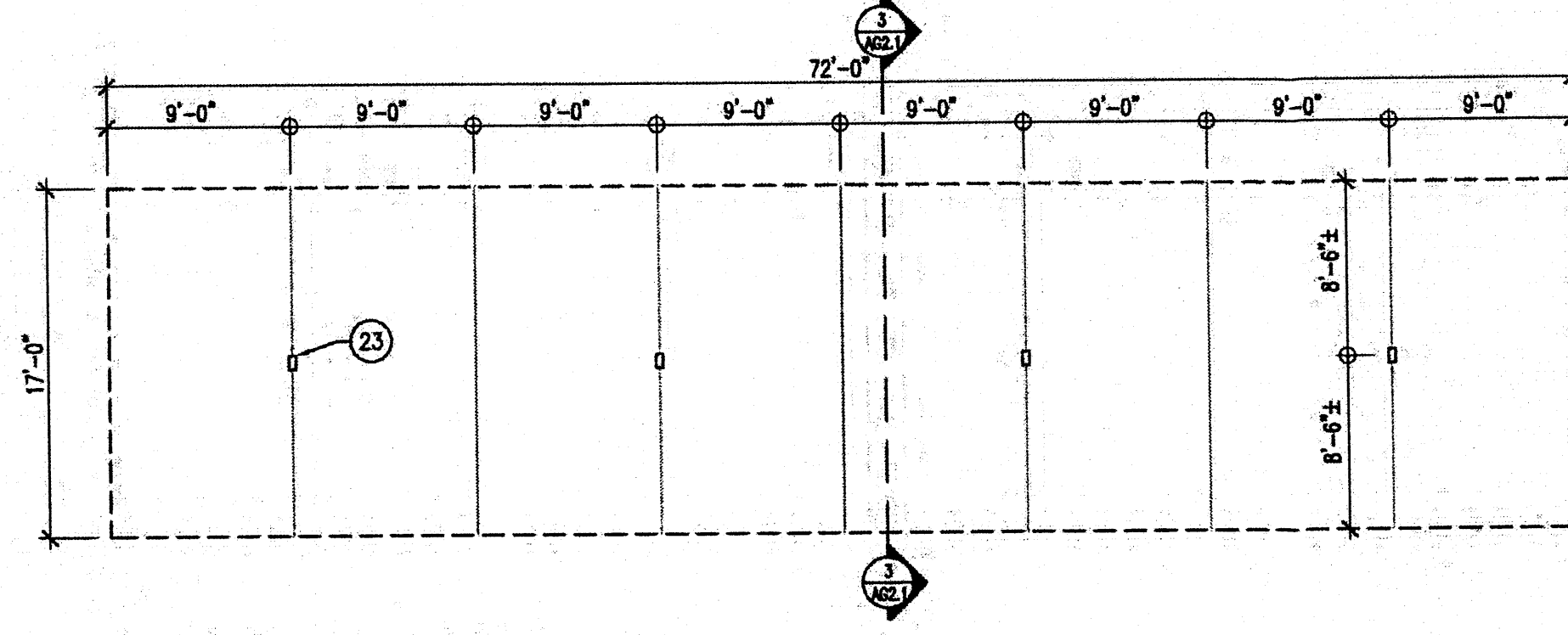
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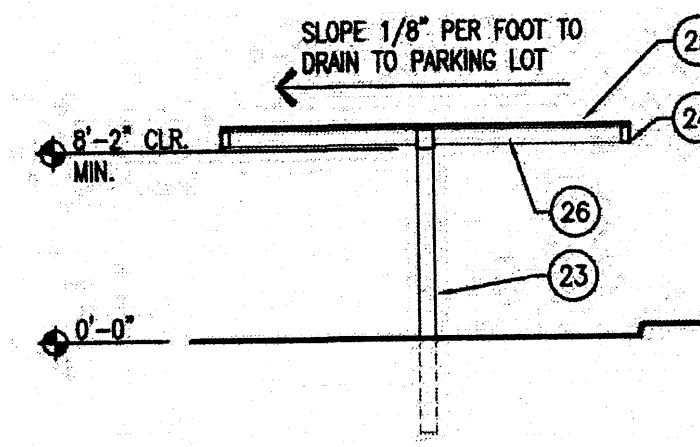
BUILDING ELEVATIONS



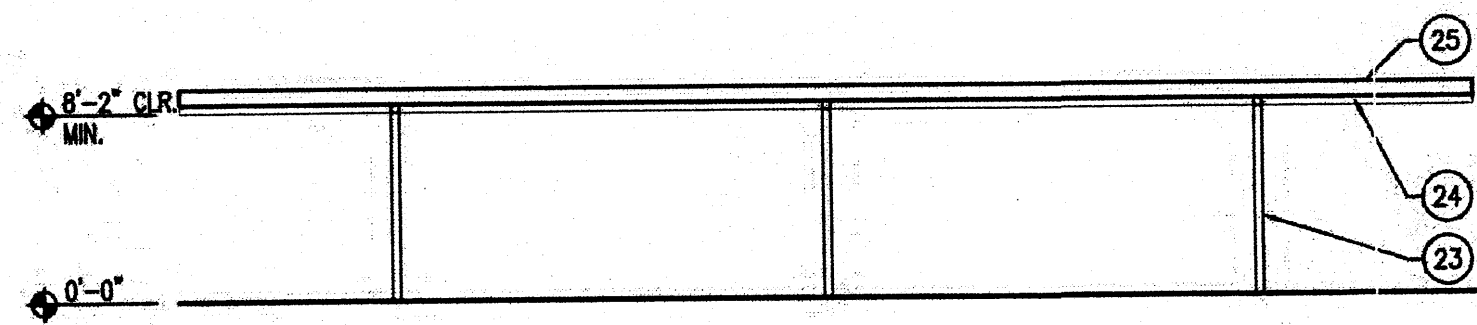
1 6-BAY CARPORT PLAN
SCALE: 1/8" = 1'-0"
@ CARPORTS#4, 5, 6



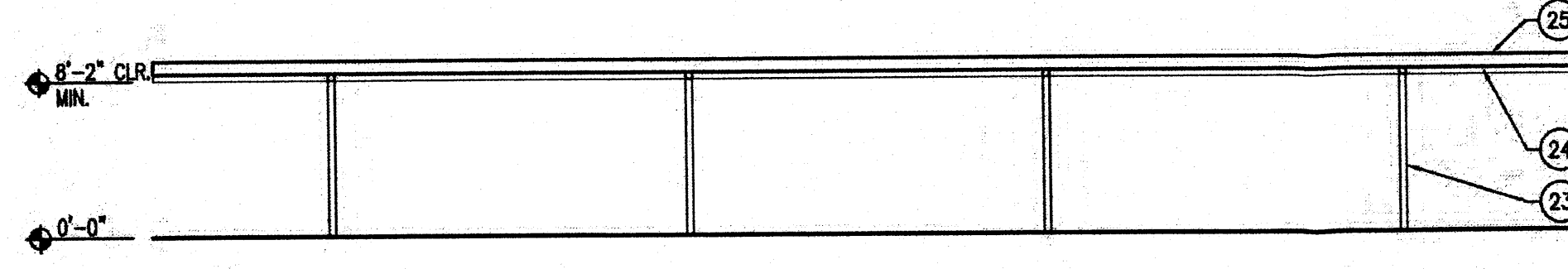
2 8-BAY CARPORT PLAN
SCALE: 1/8" = 1'-0"
@ CARPORTS#1, 2, 3



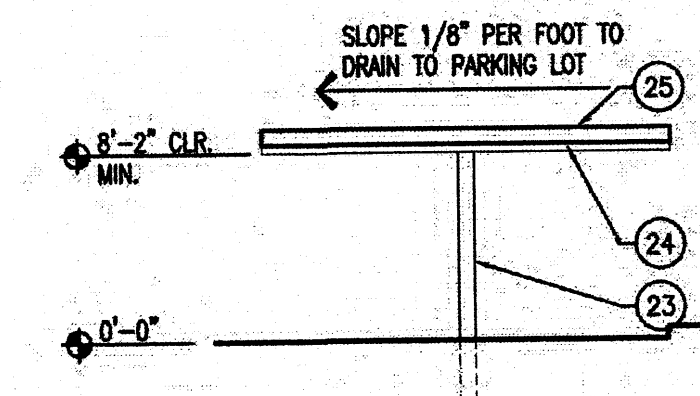
3 TYPICAL CARPORT SECTION
SCALE: 1/8" = 1'-0"



4 6-BAY CARPORT ELEVATION
SCALE: 1/8" = 1'-0"
@ CARPORTS#4, 5, 6



5 8-BAY CARPORT ELEVATION
SCALE: 1/8" = 1'-0"
@ CARPORTS#1, 2, 3



6 TYPICAL CARPORT END ELEVATION
SCALE: 1/8" = 1'-0"

KEYNOTES

- 30 YEAR LAMINATED ASPHALT SHINGLES OVER 15# FELT ON 7/16", 24/16 O.S.B. SHEATHING WITH PLY CLIPS. 8D AT 6" O.C. EDGE NAILING, 8D AT 12" O.C. FIELD NAILING.
- MANUFACTURED TRUSSES AT 24" O.C. WITH "SIMPSON" (H1) TRUSS ANCHOR AT EACH END. TRUSS SUPPLIER TO PROVIDE TRUSS BLOCKING AND BRACING. CONTRACTOR TO INSTALL TRUSS BLOCKING AND BRACING PER TRUSS MANUFACTURERS DESIGN.
- 2X4 PRESSURE TREATED OR REDWOOD MERCH. SILL, WITH FIBERGLASS SILL SEAL.
- 4" CONCRETE SLAB ON 4" COMPACTED GRAVEL FILL ON COMPACTED SUBGRADE (95% COMPACTION), WITH CONTROL JOINTS AT 12'-0" O.C., MAX.
- 9'-0" W x 7'-0" H OVERHEAD GARAGE DOOR, WITH HANDLE LOCK.
- HEADER PER STRUCTURAL WITH (1) 2X4 TRIMMER, (3) 2X4 KIND STUDS.
- 2X8 PAINTED WOOD FASCIA OVER 2X WOOD SUB-FASCIA.
- VENTILATED VINYL SOFFIT.
- TYPICAL INTERIOR GARAGE SHEAR WALL: 2X4 STUDS AT 16" O.C. WITH 5/8" GYPSUM BOARD ON 1 SIDE FROM FLOOR SLAB TO BOTTOM OF ROOF SHEATHING. ATTACH W/#6X1 1/4" SCREWS @ 8" O.C. EDGE, 12" O.C. FIELD.
- CONTINUOUS FOOTING.
- OVER-BUILD DORMER, BEYOND.
- THICKENED SLAB EDGE WITH (1) #4 HORIZONTAL BAR.
- 1-1/2" DIA. HOLES AT 6" O.C. IN TRUSS BLOCKING FOR VENTILATION.
- METAL DRIP EDGE.
- FINISH GRADE, SEE CIVIL DRAWINGS.
- GARAGE DOOR OPENER, SEE ELECTRICAL. COMPLY WITH UL325 REQUIREMENTS.
- CONTINUOUS RIDGE VENT.
- VINYL SIDING OVER BUILDING WRAP OVER 7/16" O.S.B., OVER 2X4 WOOD STUDS AT 16" O.C.
- THICKENED SLAB, SEE STRUCTURAL DRAWINGS.
- STUDDED TRUSS AT DEMISING WALL LOCATIONS WITH 5/8" GWB ON 1 SIDE.
- 7/16" O.S.B. SHEAR PANEL ON TRUSS MEMBERS, SEE STRUCTURAL.
- 7/16" O.S.B. SHEAR PANEL ON 2X4 FRAMING, SEE STRUCTURAL FOR LOCATIONS.
- TUBE STEEL COLUMN, PAINTED TO MATCH APARTMENT BUILDING WALL COLOR.
- PREFINISHED METAL FASCIA. COLOR TO MATCH APARTMENT BUILDING FASCIA.
- PREFINISHED METAL ROOF. COLOR TO MATCH APARTMENT BUILDING ROOF.
- METAL CARPORT FRAMING.

GENERAL NOTES

- A. ARCHITECTURAL CARPORT DRAWINGS ARE SCHEMATIC ONLY SHOWING OVERALL CONFIGURATION AND FINISH MATERIALS. FINAL SIZE (DIMENSIONS) DETAILS, ENGINEERING, ETC. TO BE DESIGN-BUILD BY CARPORT VENDOR. CARPORT SHOP DRAWINGS SHALL BE PREPARED BY THE CARPORT VENDOR FOR A SEPARATE BUILDING PERMIT SUBMITTAL.

PROJECT

AFFINITY AT ALBUQUERQUE

MCAHON BLVD.
ALBUQUERQUE, NEW MEXICO

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FILE

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APRIL 1, 2014

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13-224 AG2.0-5.0

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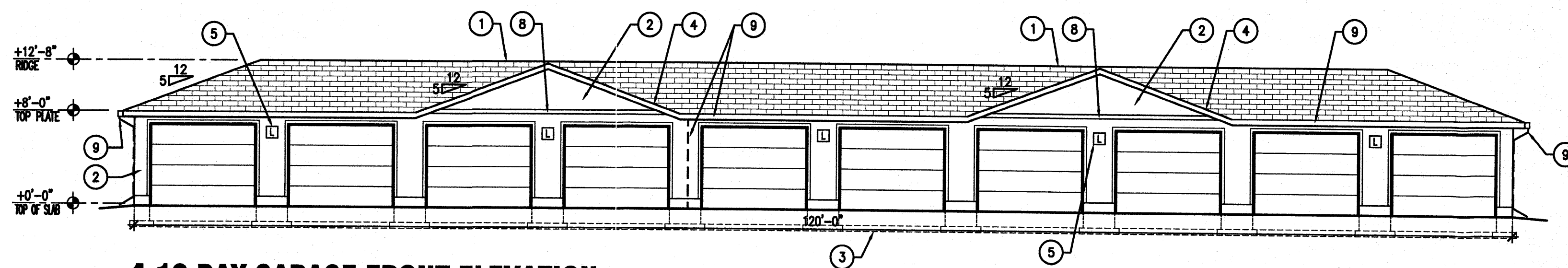
JOHN PRICE

REVISIONS

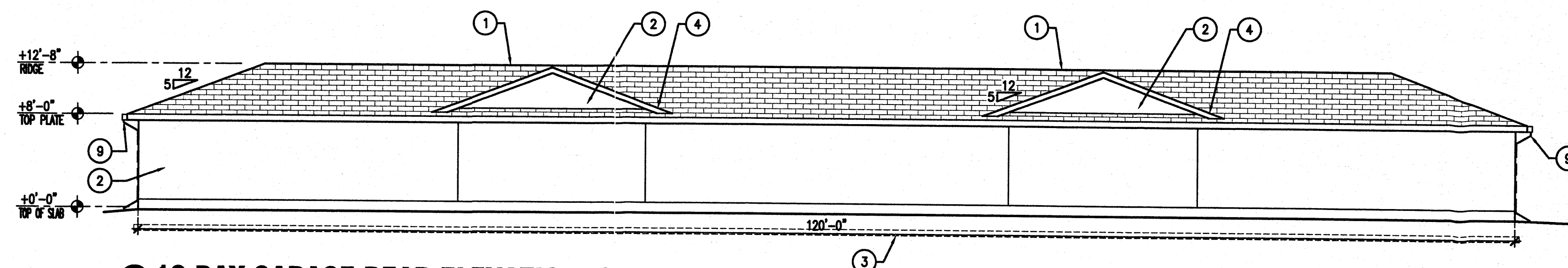
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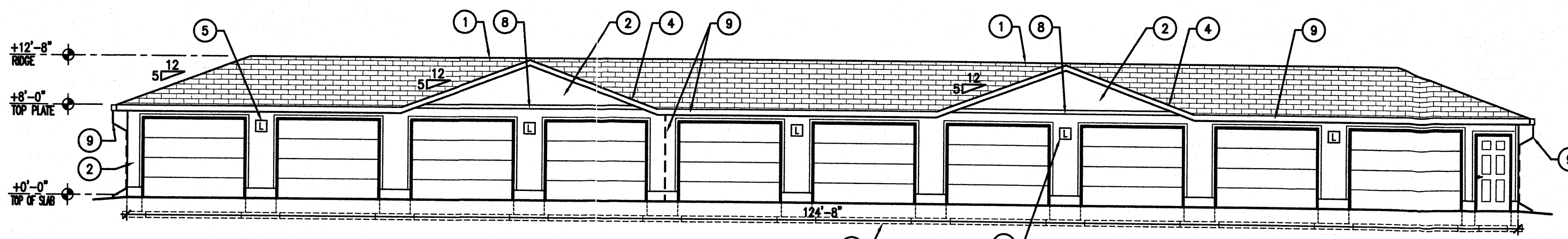
CARPORT
PLANS AND ELEVATIONS



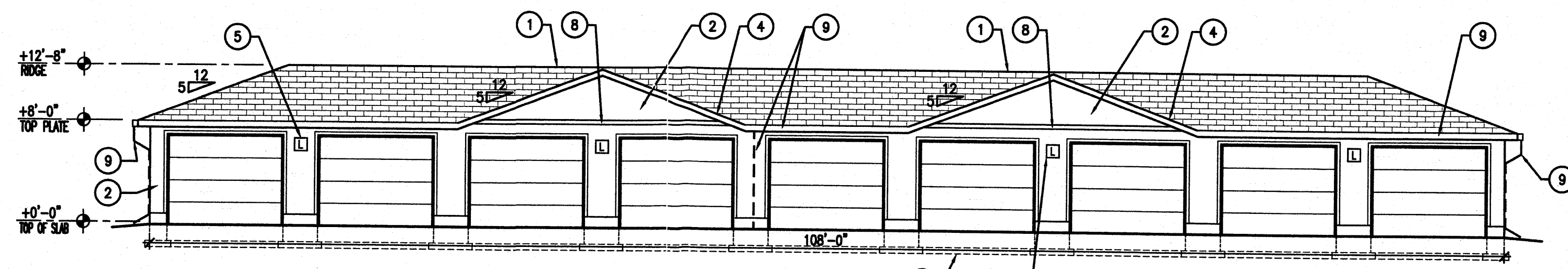
1 10 BAY GARAGE FRONT ELEVATION
SCALE: 1/8" = 1'-0"



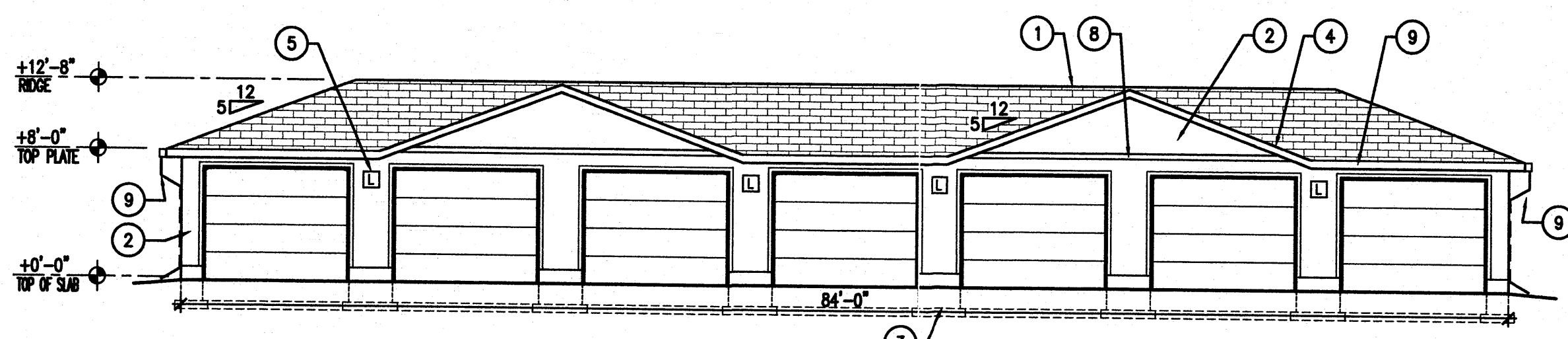
2 10 BAY GARAGE REAR ELEVATION (9 BAY SIM.)
SCALE: 1/8" = 1'-0"



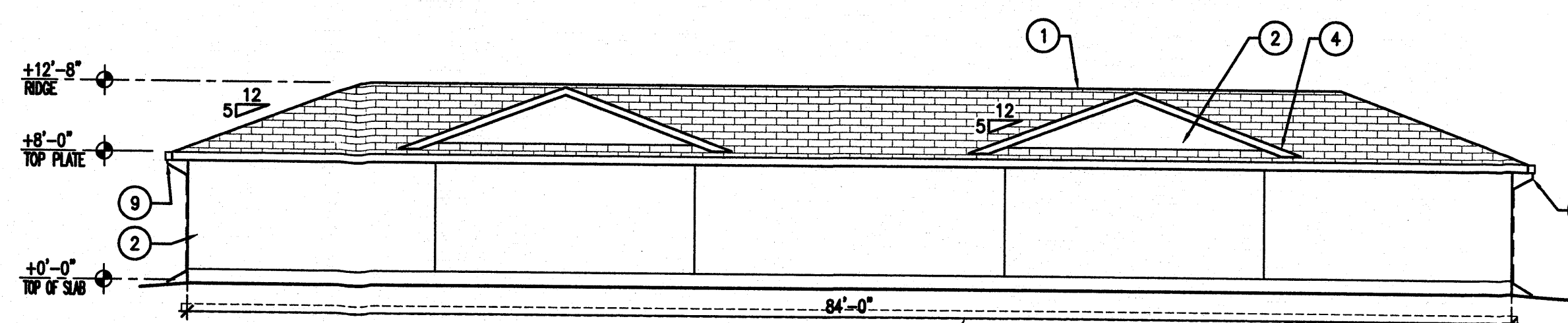
4 10 BAY ACCESSIBLE GARAGE FRONT ELEVATION
SCALE: 1/8" = 1'-0"



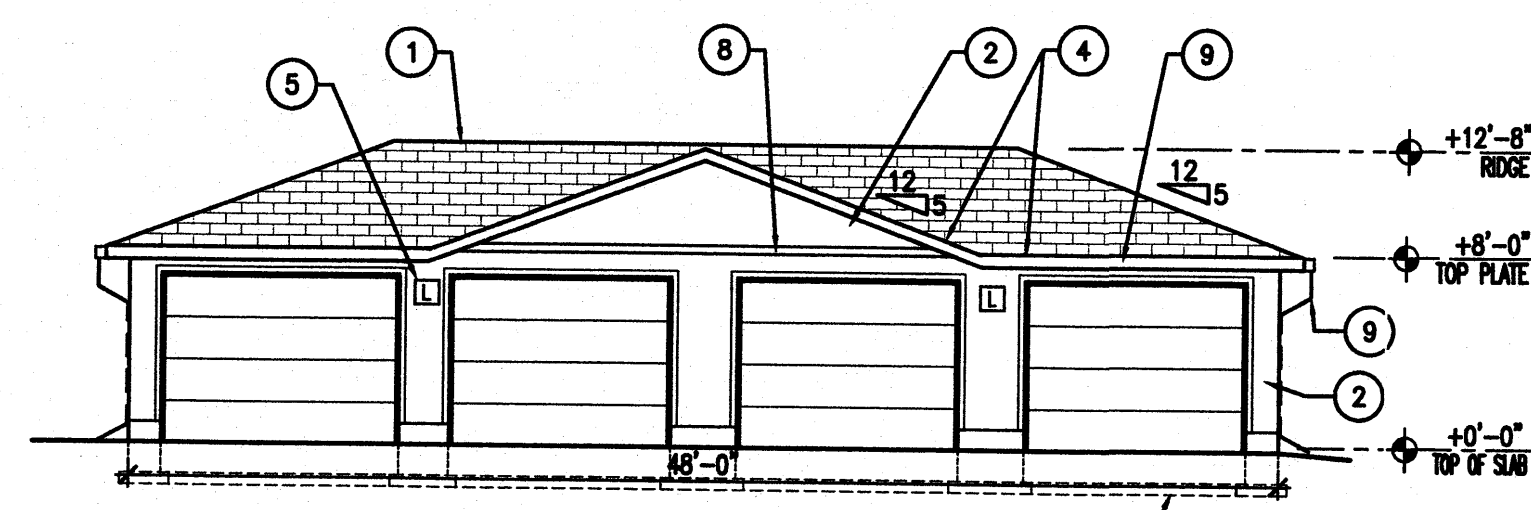
5 9 BAY GARAGE FRONT ELEVATION
SCALE: 1/8" = 1'-0"



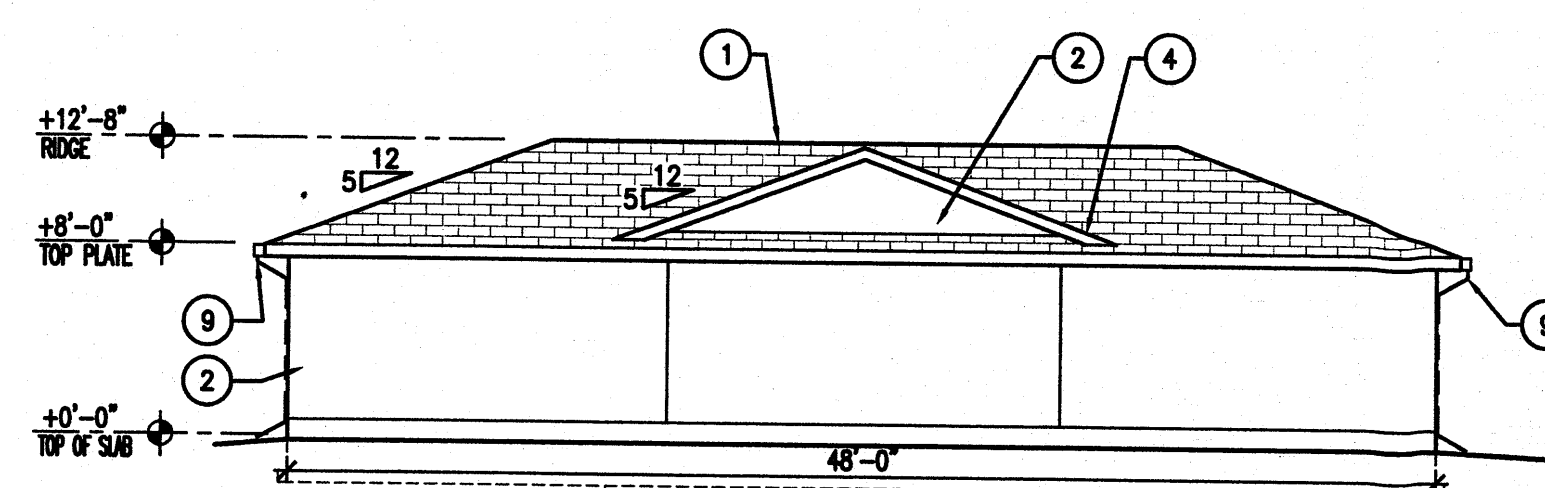
6 7 BAY GARAGE FRONT ELEVATION
SCALE: 1/8" = 1'-0"



7 7 BAY GARAGE REAR ELEVATION
SCALE: 1/8" = 1'-0"



8 4 BAY GARAGE FRONT ELEVATION
SCALE: 1/8" = 1'-0"



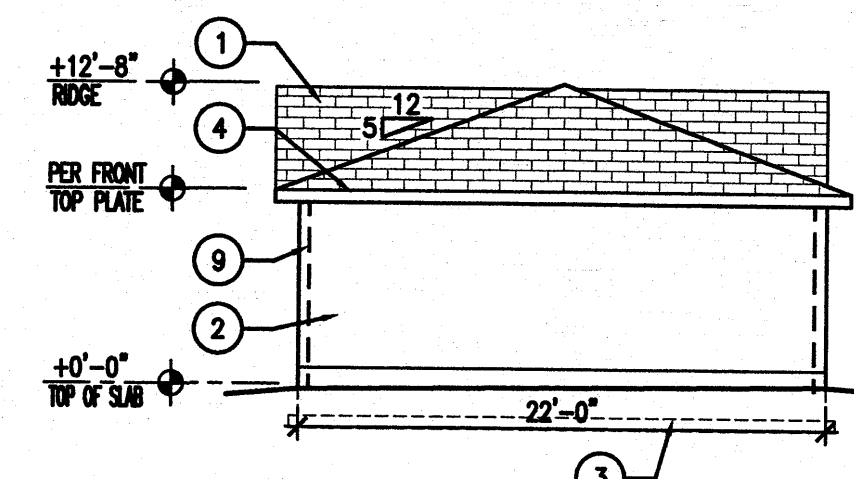
9 4 BAY GARAGE REAR ELEVATION
SCALE: 1/8" = 1'-0"

KEYNOTES

1. 30 YEAR LAMINATED ASPHALT SHINGLES OVER 15# FELT ON 7/16", 24/16 O.S.B. SHEATHING WITH PLY CLIPS. 8D AT 6" O.C. EDGE NAILING, 8D AT 12" O.C. FIELD NAILING.
2. STUCCO SIDING.
3. CONCRETE FOOTING AND FOUNDATION WALL.
4. 2X8 PAINTED WOOD FASCIA.
5. LIGHT, SEE ELECTRICAL.
6. NOT USED.
7. NOT USED.
8. 4" STUCCO BELLY BAND.
9. PREFINISHED METAL GUTTER AND DOWNSPOUT AT FRONT OF GARAGE.

LEGEND

	WALL MOUNT LIGHT FIXTURE, SHOWN SCHEMATIC ONLY. SEE ELECTRICAL DRAWINGS.
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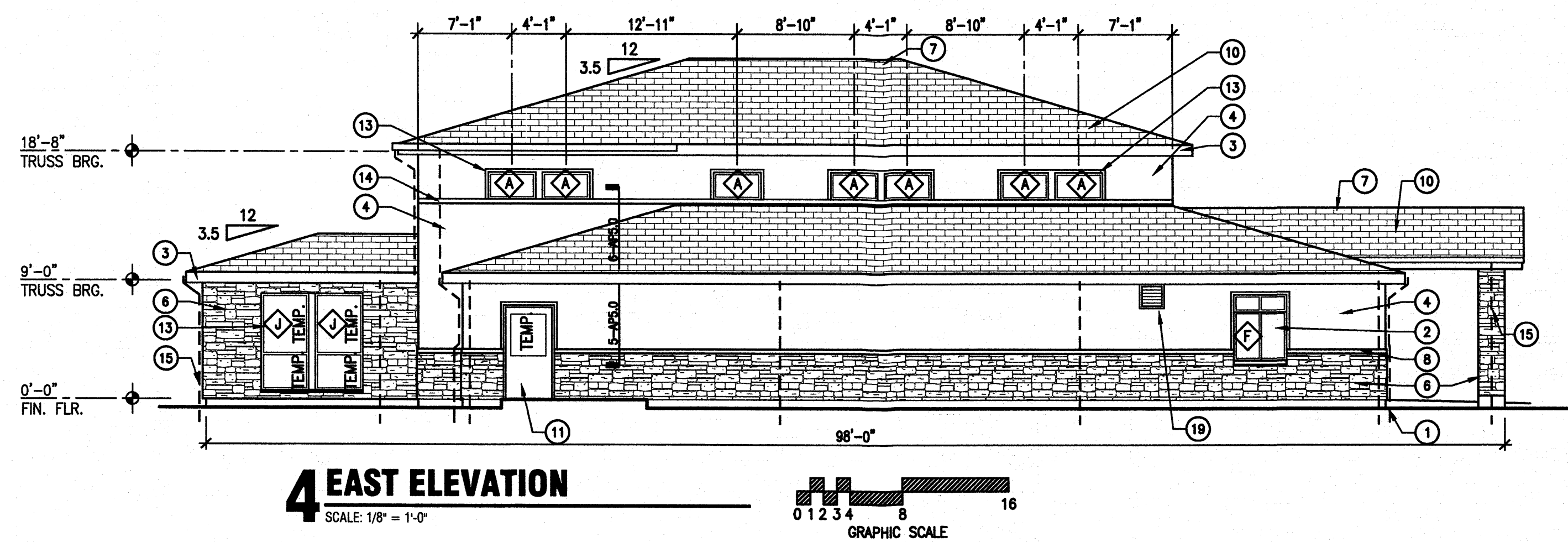
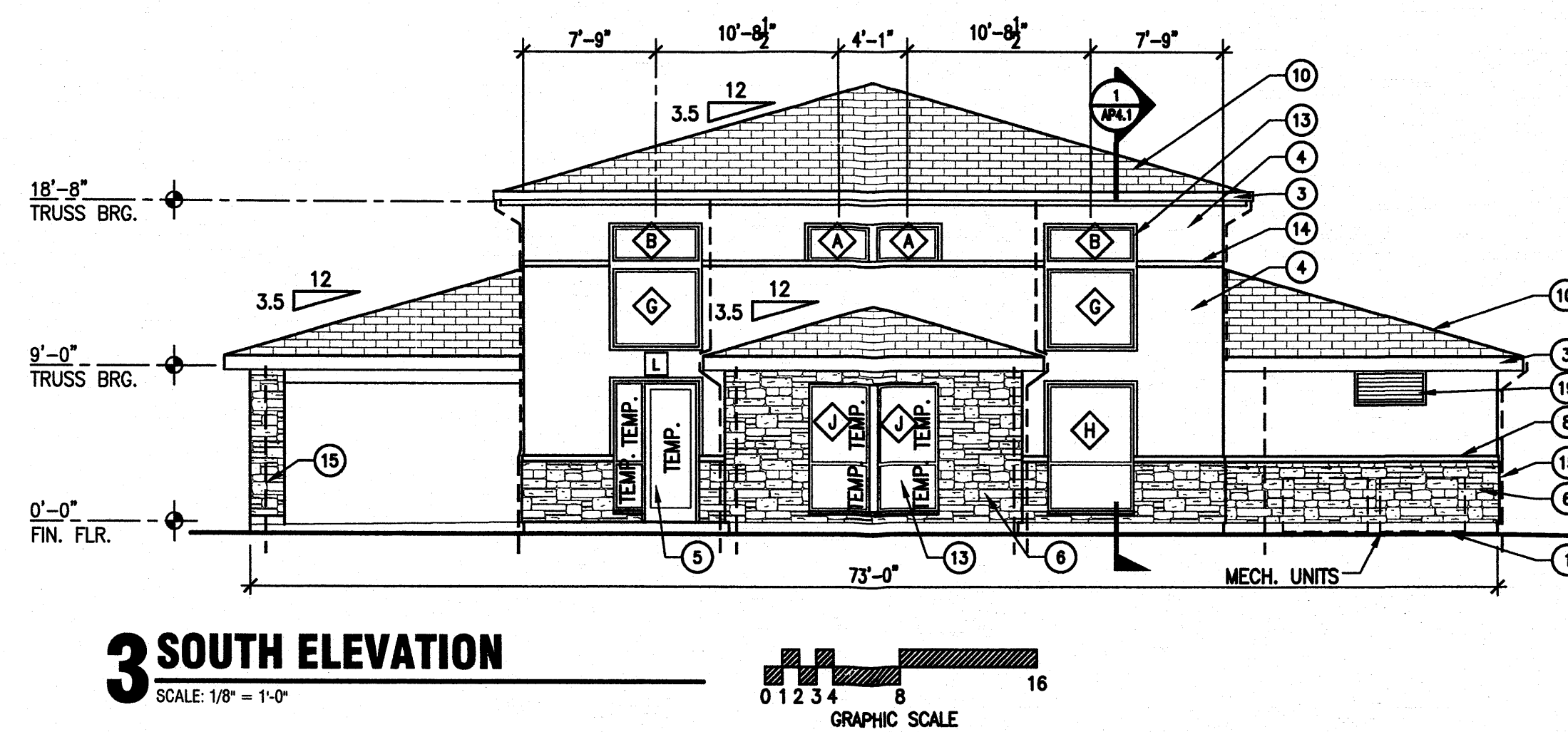
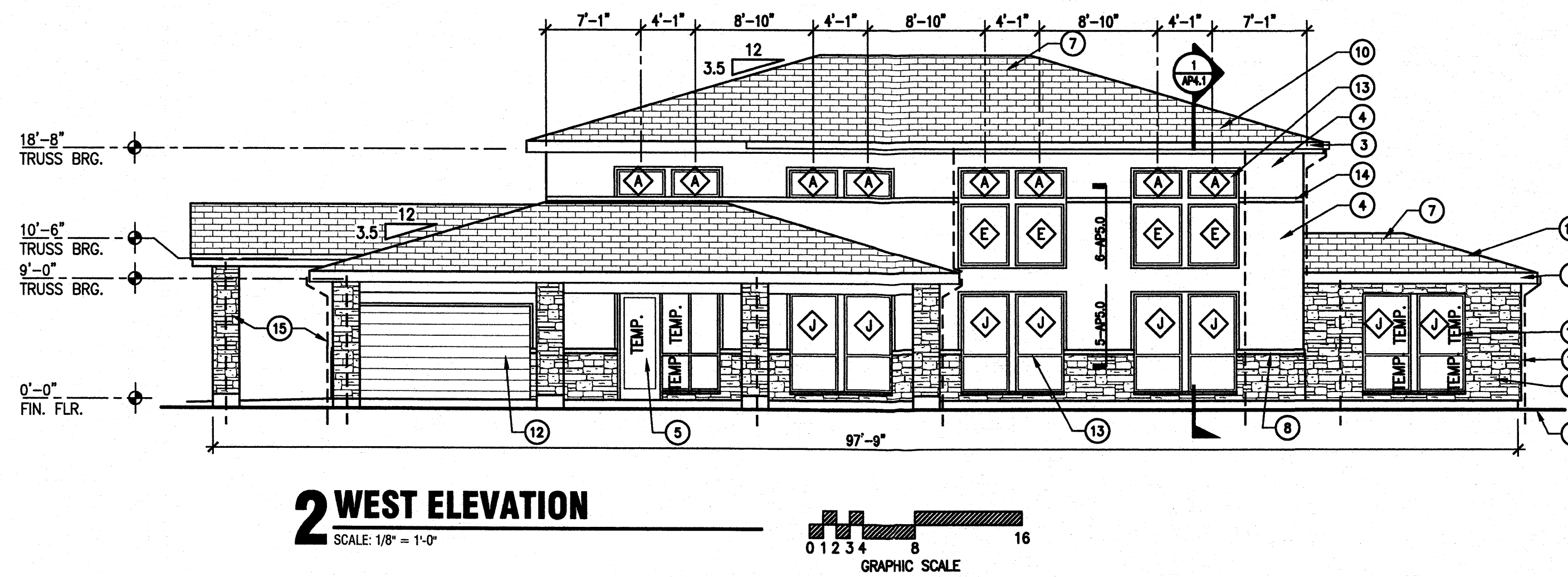
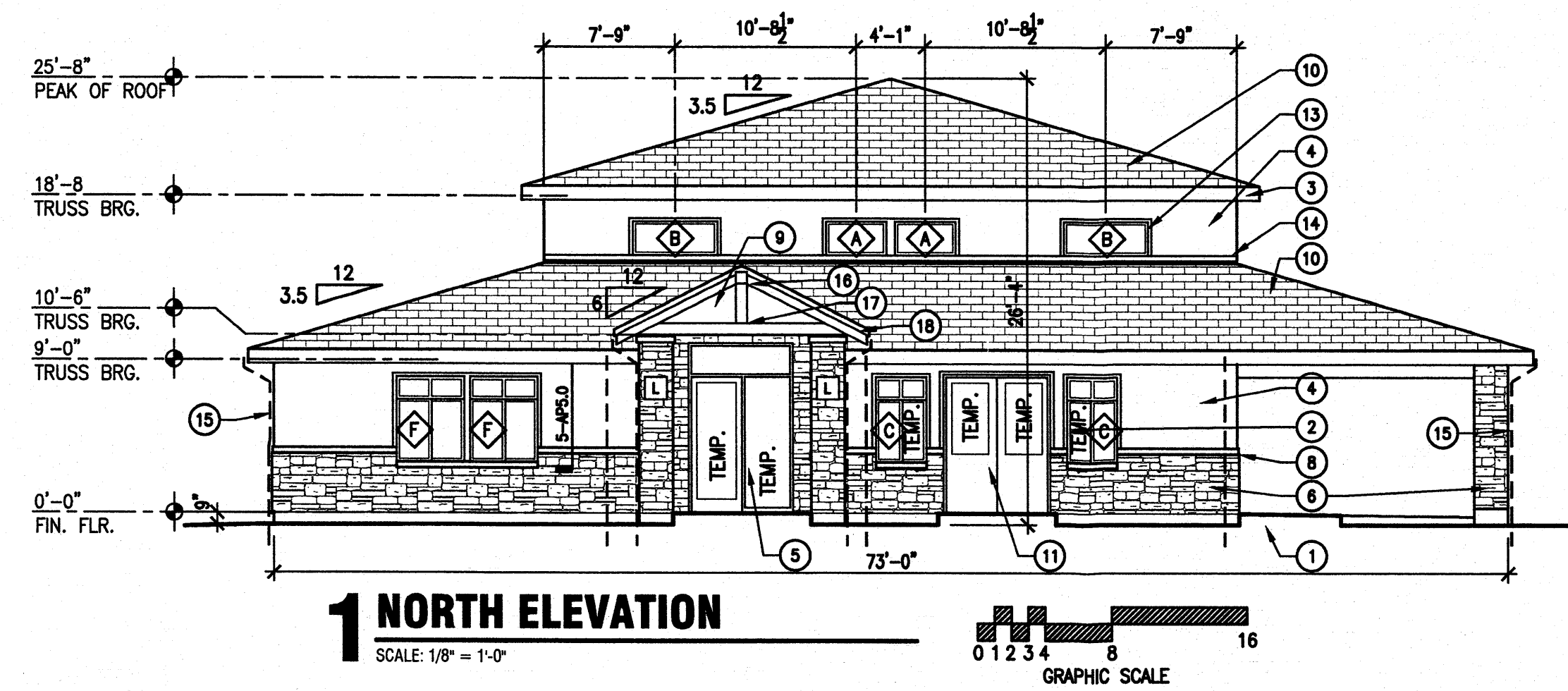
3 TYPICAL GARAGE END ELEVATION
SCALE: 1/8" = 1'-0"

Exterior Finish Schedule

Exterior Feature	Material	Anticipated Manufacturer	Color
Roof	Asphalt Composition Single	Timberline	Barkwood
Roof Gutters	Sheet Metal	Custom	Dark Brown
Roof Fascia	Wood	Smart-T	Dark Brown
Roof Corbels	Wood or PVC	Custom	Dark Brown
Windows	Vinyl	Cascade Windows	Almond
Stucco Stry 1	Port and Cement Stucco		Beige
Stucco Stry 2	Port and Cement Stucco		Med. Lm French Grey
Stucco Stry 3	Port and Cement Stucco		Yellow Ochre
Stucco Stry 4	Port and Cement Stucco		Terracotta
Cultured Stone	Jedge Stone	Versetta	Plum Creech
Decks	Steel	Custom	Dark Bronze
Alum. Storefront	Aluminum		Dark Bronze

KEYNOTES

1. FINISH GRADE, SLOPE AWAY FROM BUILDING AT 2% MIN.
2. DOUBLE GLAZED, VINYL FRAME WINDOW.
3. PRE-FINISHED METAL GUTTER OVER 2 X 10 PAINTED WOOD FASCIA.
4. STUCCO SIDING.
5. ALUMINUM STORE FRONT ENTRY SYSTEM.
6. ARTIFICIAL STONE SIDING.
7. CONTINUOUS RIDGE VENT, SEE ROOF PLANS.
8. STONE WALL CAP.
9. NOT USED.
10. ARCHITECTURAL LAMINATED FIBERGLASS ROOF SHINGLES.
11. HOLLOW METAL DOOR & FRAME.
12. COILING OVERHEAD INSULATED METAL SERVICE DOOR.
13. DOUBLE GLAZED, VINYL FRAMED, FIXED WINDOW.
14. 1" X 4" STUCCO BELLY BAND.
15. PREFINISHED METAL GUTTER AND DOWNSPOUT, COORD. WITH CIVIL PLANS.
16. DECORATIVE WOOD GABLE BRACKET.
17. 2 X 8 PAINTED WOOD TRIM.
18. 2 X 4 OVER 2 X 10 PAINTED WOOD FASCIA AT ENTRY CANOPY.
19. LOUVER, SEE MECHANICAL DRAWINGS.



GENERAL NOTES

1. ALL NOTES ON ELEVATIONS ARE TYPICAL AND APPLY TO ALL ELEVATIONS.
2. ALL FINISH MATERIALS TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS, 2009 IBC REQUIREMENTS AND PER GENERALLY ACCEPTED CONSTRUCTION PRACTICES.
3. VERIFY ALL FINISH MATERIAL SELECTION AND COLORS WITH OWNER PRIOR TO ORDERING AND INSTALLATION.
4. SUB-CONTRACTORS TO PROVIDE 12" X 12" MIN. SAMPLE OF ALL FINISH MATERIALS FOR OWNER'S REVIEW AND ACCEPTANCE PRIOR TO CONSTRUCTION.
5. ALL UTILITIES TO BE SCREENED OR BELOW GRADE. COORDINATE WITH MECHANICAL DRAWINGS AS REQUIRED.

LEGEND

- WALL MOUNT LIGHT FIXTURE, SHOWN SCHEMATIC ONLY. SEE ELECTRICAL DRAWINGS.

Exterior Finish Schedule

Exterior Feature	Material	Anticipated Manufacturer	Color
Roof	Asphaltic Composite Shingles	Timberline	Barkwood
Roof Gutters	Steel Metal	Custom	Dark Brown
Roof Fascia	Wood	Smart Trim	Dark Brown
Roof Eaves	Wood/PVC	Custom	Dark Brown
Windows	Vinyl	Cascade Windows	Almond
Stucco Siding 1	Portland Cement Stucco		Belge
Stucco Siding 2	Portland Cement Stucco		Medieval French Grey
Stucco Siding 3	Portland Cement Stucco		Yellow Ochre
Stucco Siding 4	Portland Cement Stucco		Travertine
Courtyard Stone	Flagstone	Versetta	Pium Creek
Decks	Steel	Custom	Dark Bronze
Aluminum Scaffolding	Aluminum		Dark Bronze

PROJECT

AFFINITY AT ALBUQUERQUE

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REVISIONS

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AP5.0
POOL HOUSE
BUILDING ELEVATIONS