

Vicinity Map A-11 & A-12

PROJECT NUMBER: 1000875
 Application Number: 03-DRB-02166

Is an Infrastructure List required? Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

SHEET INDEX

- 1 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
- 2 LANDSCAPE PLAN
- 3 LANDSCAPE PLAN (SHT. #3)
- 4 LANDSCAPE PLAN (SHT. #3A)
- 5 APPROVED GRADING AND DRAINAGE PLAN (SHT. #7 OF 22)
- 6 REVISED GRADING DETAIL
- 7 STORM WATER POLLUTION PREVENTION PLAN (SHT. #8 OF 22)
- 8-10 ELEVATIONS AND RENDERINGS
- 11 DETAILS AND SECTIONS
- 12 DESIGN GUIDELINES

SURVEYOR/ENGINEER

COMMUNITY SCIENCES CORPORATION
 ATTN: RON HENSLEY
 4481 CORRALES ROAD
 CORRALES, NEW MEXICO 87048
 PHONE: (505) 897-0000

OWNER/DEVELOPER

KB HOME, INC.
 ATTN: BOB COLEMAN
 4923 ALEXANDER
 ALBUQUERQUE, NEW MEXICO 87107
 PHONE: (505) 344-9400

LOT DATA:

CASE NO.	
GROSS LOT ACREAGE	10.6484 ACRES
ZONE ATLAS INDEX NO.	A-11 AND A-12
NO. OF EXISTING PARCELS	1
NO. OF EXISTING LOTS	50
NO. OF LOTS CREATED	50
NO. OF TRACTS CREATED	1
MILES OF FULL WIDTH STREETS CREATED	0.529
S.P. TALOS LOG	2003412880

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

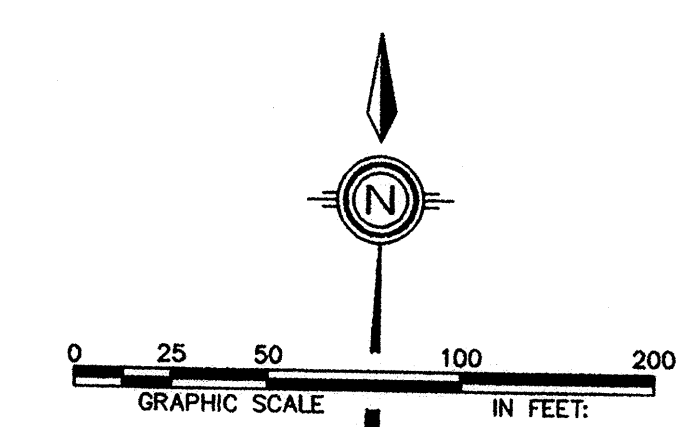
KB HOME
 ALBUQUERQUE, N.M.
 LEGACY SERIES COMMUNITY

PARCEL F-1, FINELAND DEVELOPMENT
 SITUATE WITHIN SE 1/4 OF THE NE 1/4
 PROJECTED SECTION 2, T11N, R2E, N.M.P.M.
 TOWN OF ALAMEDA GRANT
 CITY OF ALBUQUERQUE, COUNTY OF BERNALILLO,
 NEW MEXICO

DECEMBER, 2003

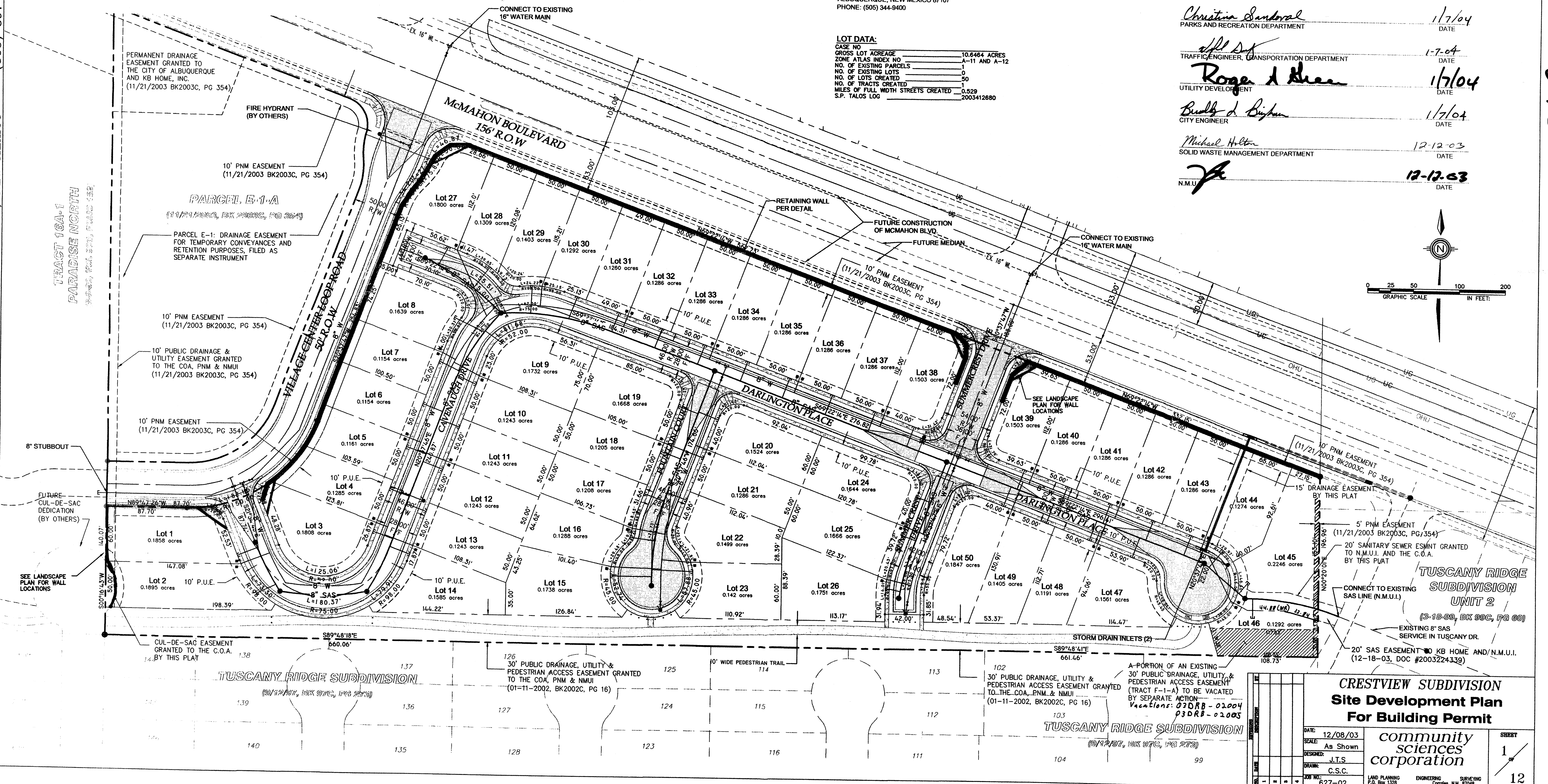
APPROVALS DRB # 1000875 / 03-02166

- Sheran Matson* 1/7/04
 CITY PLANNER / CITY OF ALBUQUERQUE PLANNING
 DATE
- Christina Sanborn* 1/7/04
 PARKS AND RECREATION DEPARTMENT
 DATE
- Roger J. Khan* 1/7/04
 TRAFFIC ENGINEER, TRANSPORTATION DEPARTMENT
 DATE
- Ronald J. Bigham* 1/7/04
 UTILITY DEVELOPMENT
 CITY ENGINEER
 DATE
- Michael Helton* 12-12-03
 SOLID WASTE MANAGEMENT DEPARTMENT
 DATE
- J.A.* 12-12-03
 N.M.U.
 DATE



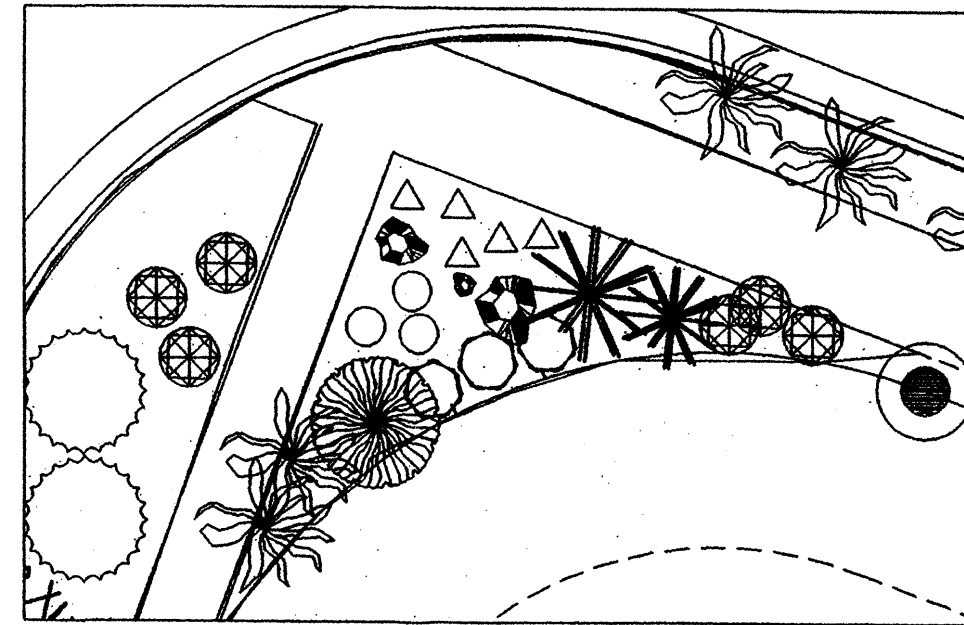
COMMUNITY SCIENCES CORPORATION - CORRALES, NEW MEXICO - (505) 897-0000

1000875



CRESTVIEW SUBDIVISION
 Site Development Plan
 For Building Permit

DATE:	12/08/03	community sciences corporation	SHEET 12
SCALE:	As Shown		
DESIGNED:	J.T.S.		
DRAWN:	C.S.C.		
JOB NO.:	627-02	LAND PLANNING P.O. Box 1328	ENGINEERING Corrales, NM 87006



CORNER DETAIL
Scale 1" = 10'-0"

NOTES:

LANDSCAPE OR OPEN SPACE AREA PER LOT 2,400 S.F.
ALLOWABLE HIGH WATER USE TURF 480 S.F. MAX. OR 20% OF EACH LOTS LANDSCAPE AREA.

ALL LANDSCAPED AREAS SHALL BE WATERED BY A COMPLETELY UNDERGROUND IRRIGATION SYSTEM OPERATED BY AUTOMATIC TIMER. POP-UP SPRINKLERS TO LAWN AREAS, BUBBLERS TO TREES AND DRIP IRRIGATION TO SHRUB AREAS. LANDSCAPE MAINTENANCE OF TRACT F-1-A SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION.

THE BUILDER AGREES TO ADVISE HOMEBUYER OF THE RESTRICTIONS OF ARTICLE 6-1-1, WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE, AND TO PROVIDE A COPY OF SAID DOCUMENT TO THE HOMEBUYER.

IT IS THE INTENT OF THE SITE DEVELOPMENT PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE'S WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE, PLANTING RESTRICTIONS AND DESIGN REGULATIONS.

APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION AND WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER AND HOMEOWNERS ASSOCIATION.

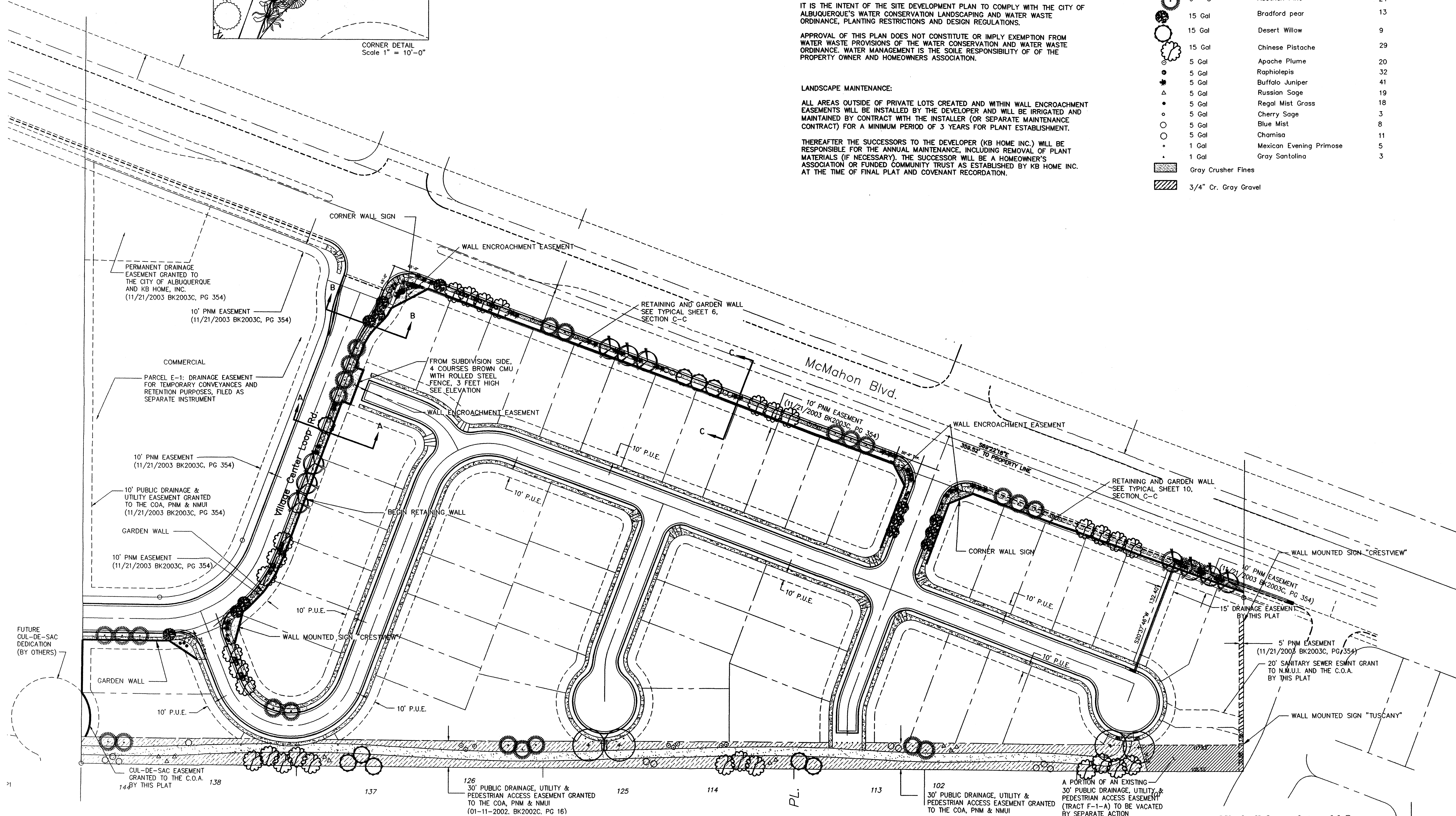
LANDSCAPE MAINTENANCE:

ALL AREAS OUTSIDE OF PRIVATE LOTS CREATED AND WITHIN WALL ENCROACHMENT EASEMENTS WILL BE INSTALLED BY THE DEVELOPER AND WILL BE IRRIGATED AND MAINTAINED BY CONTRACT WITH THE INSTALLER (OR SEPARATE MAINTENANCE CONTRACT) FOR A MINIMUM PERIOD OF 3 YEARS FOR PLANT ESTABLISHMENT.

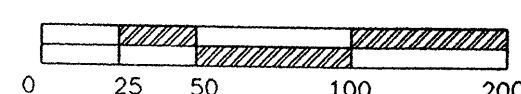
THEREAFTER THE SUCCESSORS TO THE DEVELOPER (KB HOME INC.) WILL BE RESPONSIBLE FOR THE ANNUAL MAINTENANCE, INCLUDING REMOVAL OF PLANT MATERIALS (IF NECESSARY). THE SUCCESSOR WILL BE A HOMEOWNER'S ASSOCIATION OR FUNDED COMMUNITY TRUST AS ESTABLISHED BY KB HOME INC. AT THE TIME OF FINAL PLAT AND COVENANT RECORDATION.

Landscape Legend

Size	Common Name	Quantity
4-6'	Palm Yucca	2
5 Gal	Ocotillo	1
2 - 2 1/2" cal	Cottonwood	4
2 - 2 1/2" cal	Honeylocust	10
6 - 8'	Austrian Pine	24
15 Gal	Bradford pear	13
15 Gal	Desert Willow	9
15 Gal	Chinese Pistache	29
5 Gal	Apache Plume	20
5 Gal	Raphiolepis	32
5 Gal	Buffalo Juniper	41
5 Gal	Russian Sage	19
5 Gal	Regal Mist Grass	18
5 Gal	Cherry Sage	3
5 Gal	Blue Mist	8
5 Gal	Chamisa	11
1 Gal	Mexican Evening Primrose	5
1 Gal	Gray Santolina	3
	Gray Crusher Fines	
	3/4" Cr. Gray Gravel	



Scale: 1" = 50'-0"



**KB HOME
CRESTVIEW SUBDIVISION**

A PORTION OF AN EXISTING
30' PUBLIC DRAINAGE, UTILITY &
PEDESTRIAN ACCESS EASEMENT
(TRACT F-1-A) TO BE VACATED
BY SEPARATE ACTION
vacations: 03 DRB-02004
03 DRB-02005

Mitchell Associates, LLC
7200 Way Cross Av. NW
Albuquerque, NM 87120
(505) 839-2081
danny@mitchellassociatesllc.com


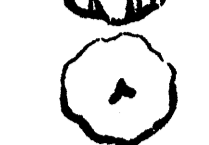

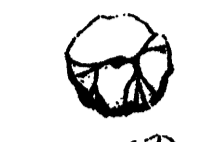






LANDSCAPE NOTES

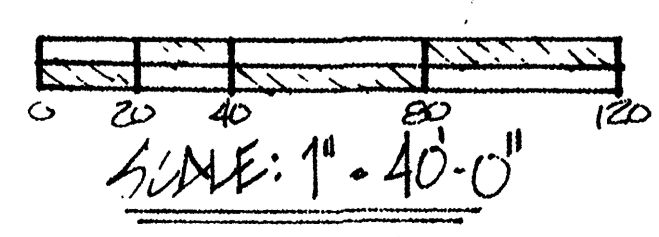
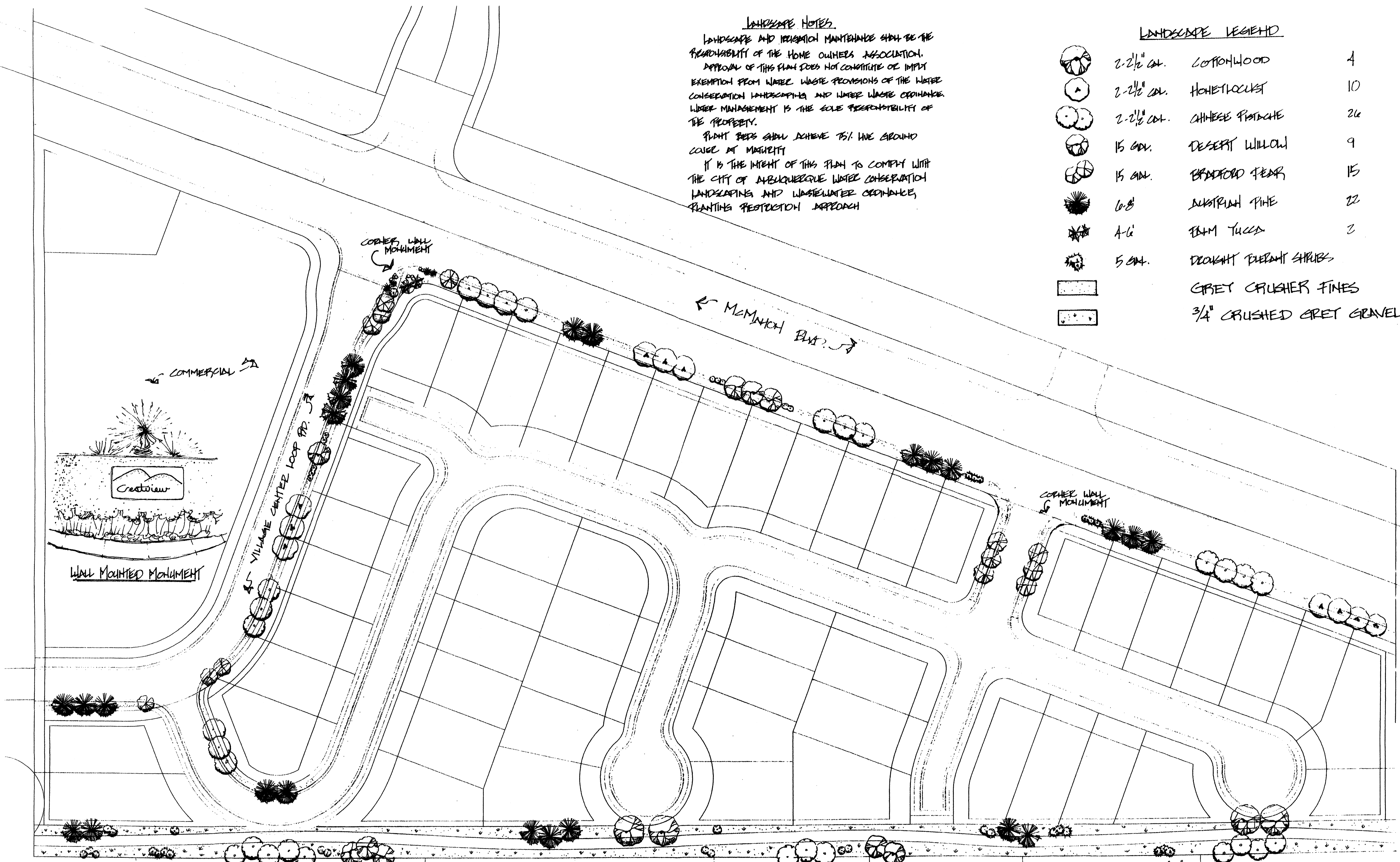
LANDSCAPE AND IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE HOME OWNERS ASSOCIATION.
 APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY.

PLANT BEDS SHALL ACHIEVE 75% LIVE GROUND COVER AT MATURITY

IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPING AND WASTEWATER ORDINANCE, PLANTING RESTRICTION APPROACH

LANDSCAPE LEGEND

	2-2 1/2" CAL.	COTTONWOOD	4
	2-2 1/2" CAL.	HONEYLOCUST	10
	2-2 1/2" CAL.	CHINESE PISTACHE	26
	15 GAL.	DESERT WILLOW	9
	15 GAL.	BRADFORD PEAR	15
	6-8'	AUSTRIAN PINE	22
	4-6'	PALM TUCCA	2
	5 GAL.	DRUGHT TOLERANT SHRUBS	
		GREY CRUSHER FINES	
		3/4" CRUSHED GREY GRAVEL	



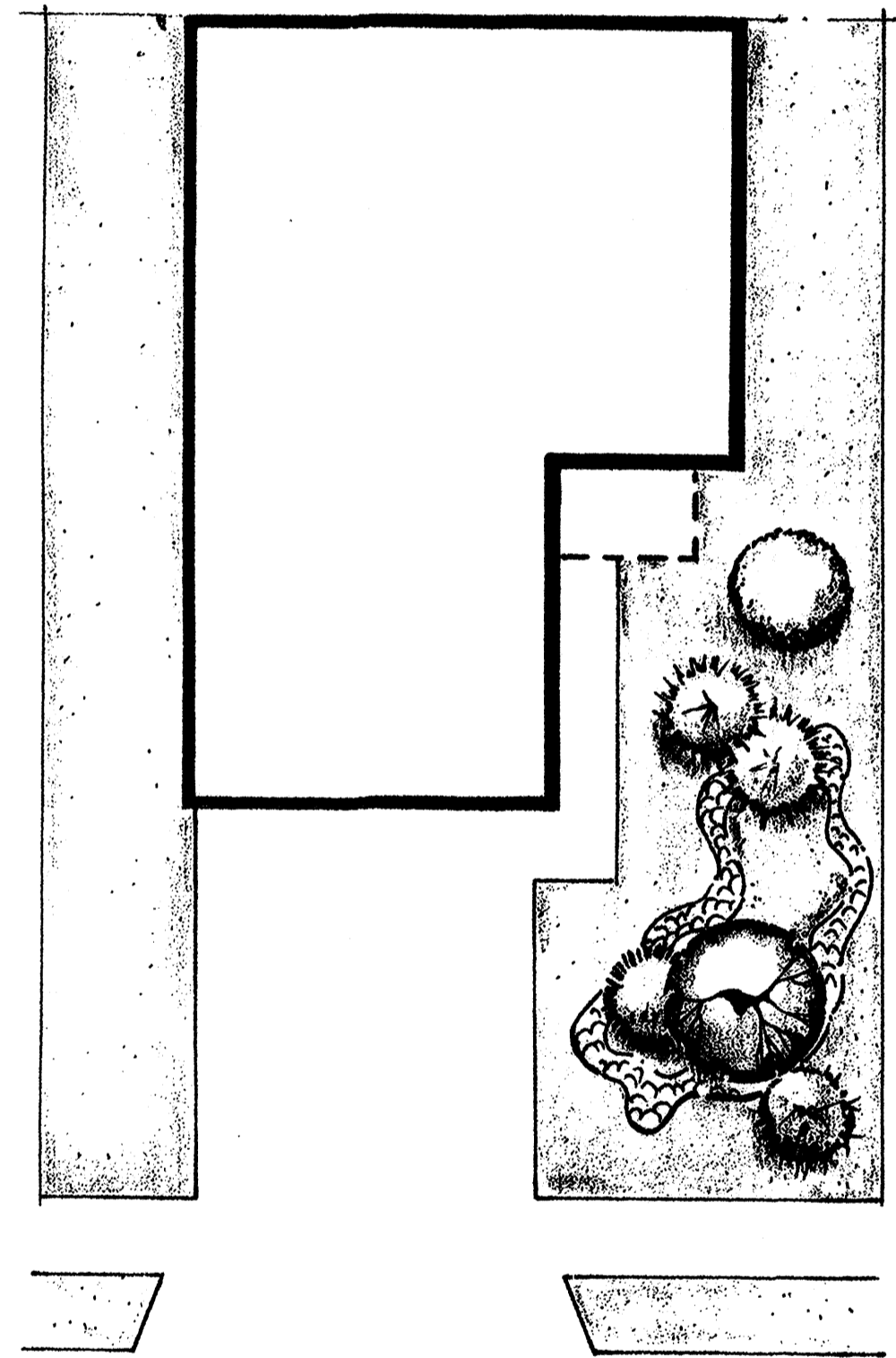
KB HOME
 CRESTVIEW SUBDIVISION

MITCHELL ASSOCIATES LLC
 3200 CAMPBELL HE STE. 219
 A.B.Q. NM (505) 830-6091

PACKAGE 'A'

- 1-5 GAL. DROUGHT TOLERANT TREE OR YUCCA
- 5-5 GAL. DROUGHT TOLERANT SHRUBS
- COBBLE STONE ACCENT
- 7/8" SANTA FE BROWN GRAVEL/FILTER FABRIC (MAX 200Φ)
- 3/4" CR. GRAY GRAVEL/FILTER FABRIC

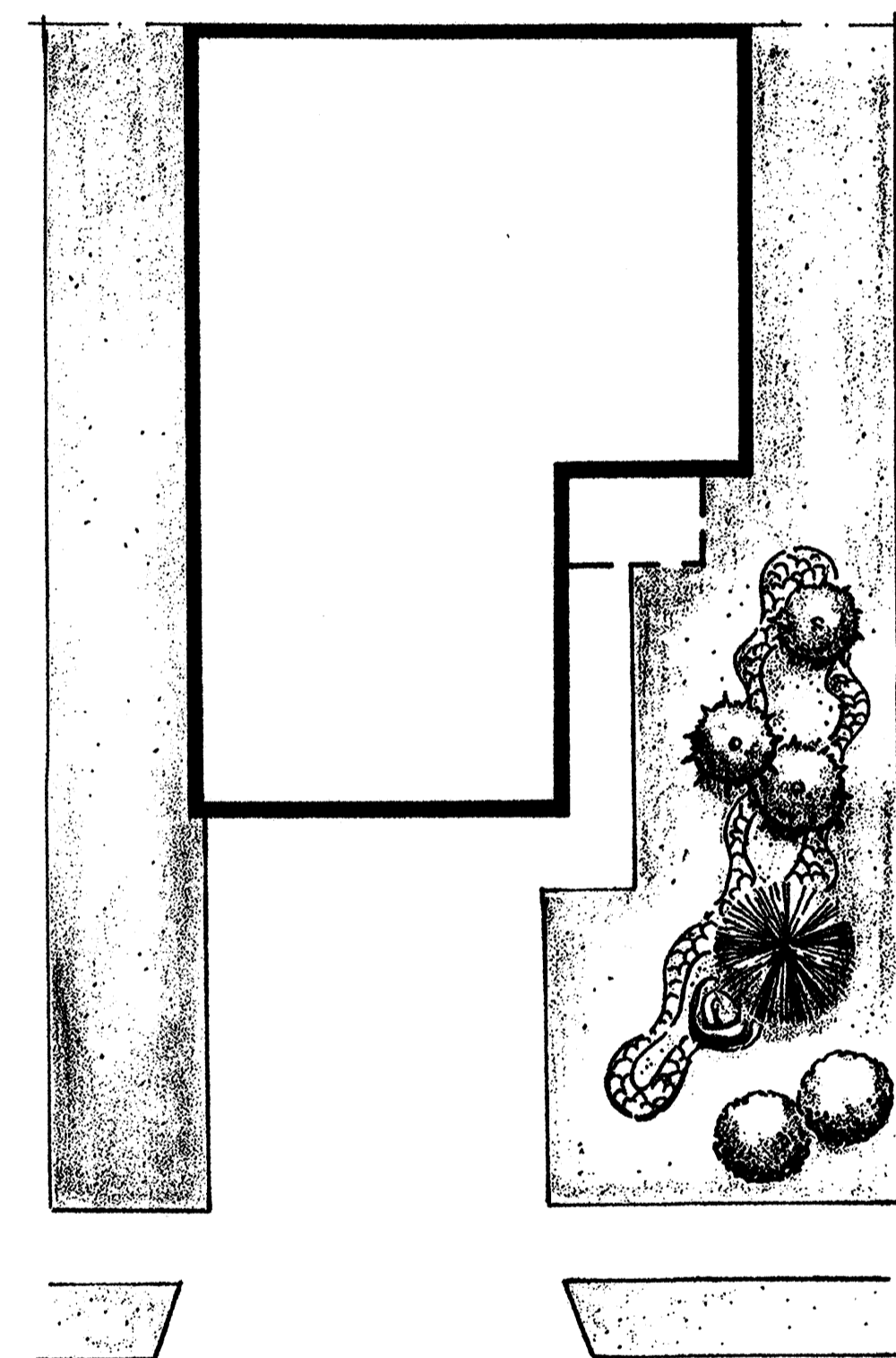
OPTIONS: A: MANUAL IRRIGATION
B: AUTOMATIC IRRIGATION



PACKAGE 'B'

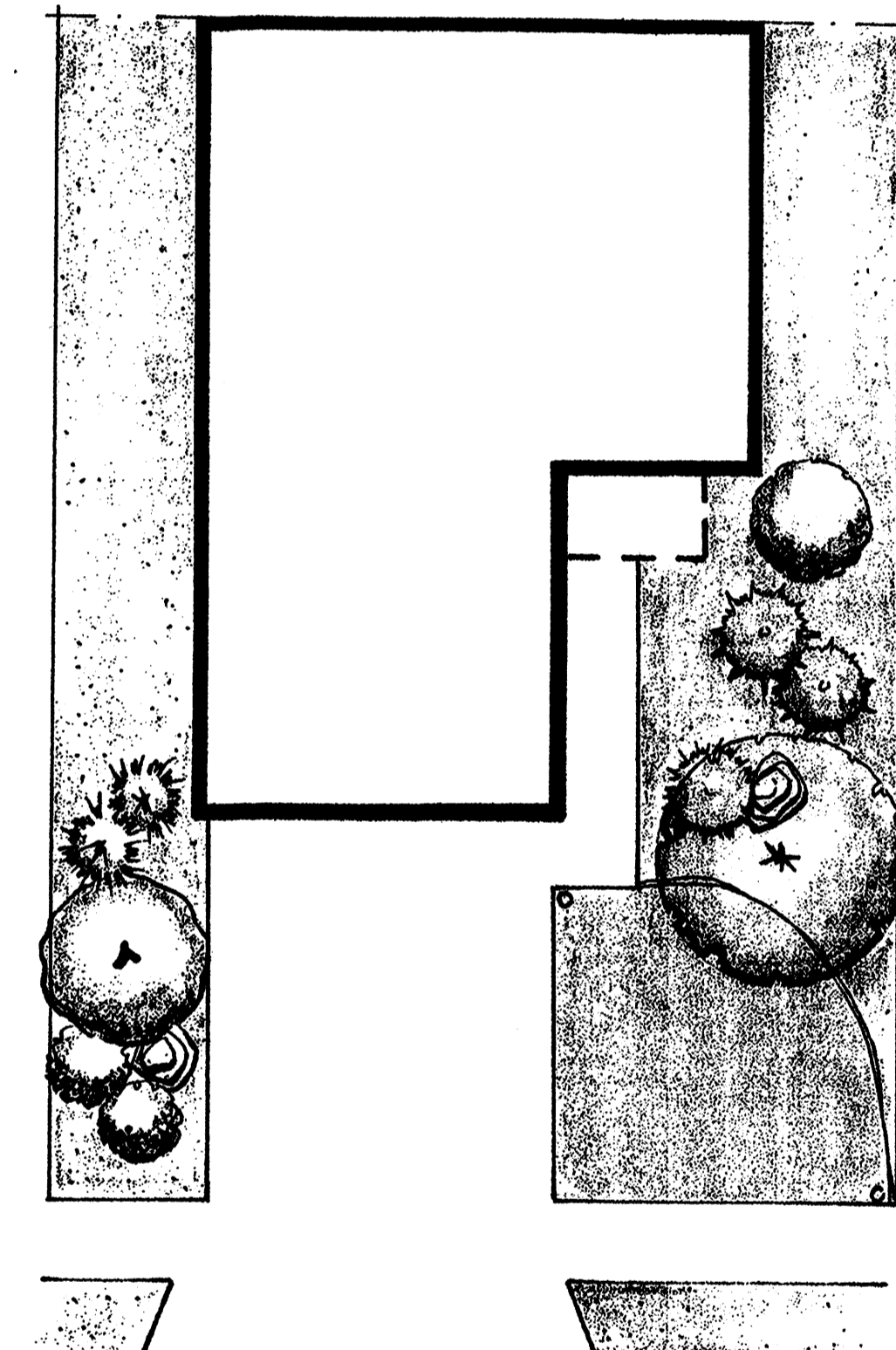
- 1-5 GAL. DROUGHT TOLERANT TREE OR YUCCA
- 5-5 GAL. DROUGHT TOLERANT SHRUBS
- 1 BOULDER
- COBBLE STONE ACCENT
- 7/8" SANTA FE BROWN GRAVEL/FILTER FABRIC (MAX 100Φ)
- 3/4" CR. GRAY GRAVEL/FILTER FABRIC

OPTIONS: A: MANUAL IRRIGATION
B: AUTOMATIC IRRIGATION



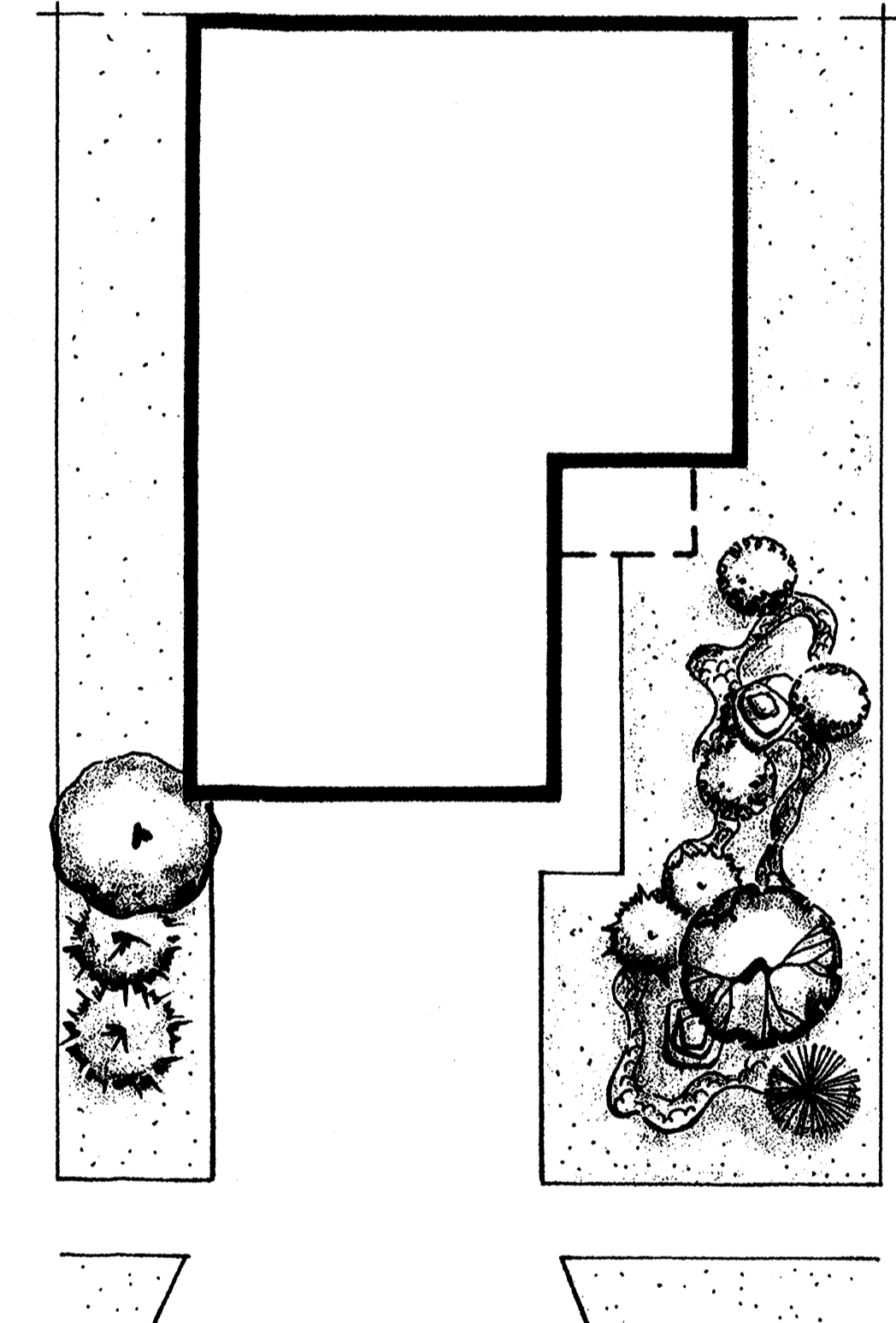
PACKAGE 'C'

- 2-15 GAL. TREE
- 8-5 GAL. SHRUBS
- 2 BOULDERS
- STEEL EDGE
- 3/4" CR. GRAY GRAVEL/FILTER FABRIC
- SOD LAWN (NOT TO EXCEED LOCAL ORDINANCE)
- MANUAL IRRIGATION/AUTOMATIC IRRIGATION - OPTIONAL

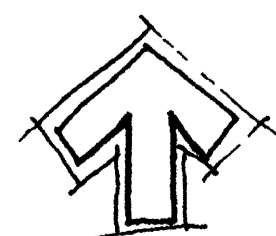
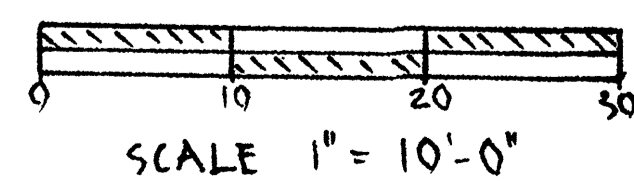


PACKAGE 'D'

- 2-15 GAL. TREES
- 8-5 GAL. SHRUBS
- 2 BOULDERS
- COBBLE STONE ACCENT
- GRAY CRUSHER FINES (MAX 150Φ)
- MANUAL IRRIGATION/AUTOMATIC IRRIGATION - OPTIONAL
- 7/8" SANTA FE BROWN GRAVEL/FILTER FABRIC (MAX 200Φ)



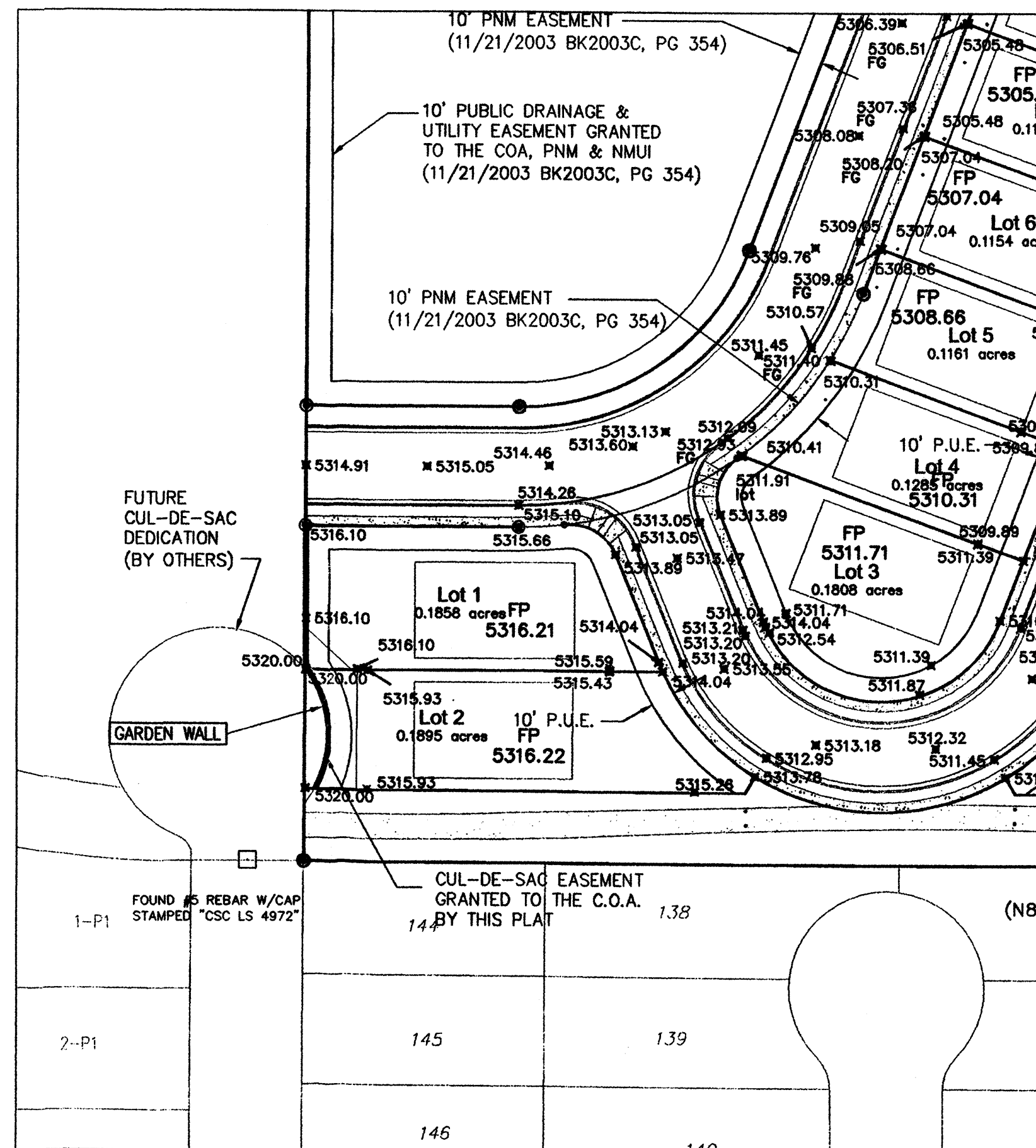
STANDARD LANDSCAPE PACKAGES



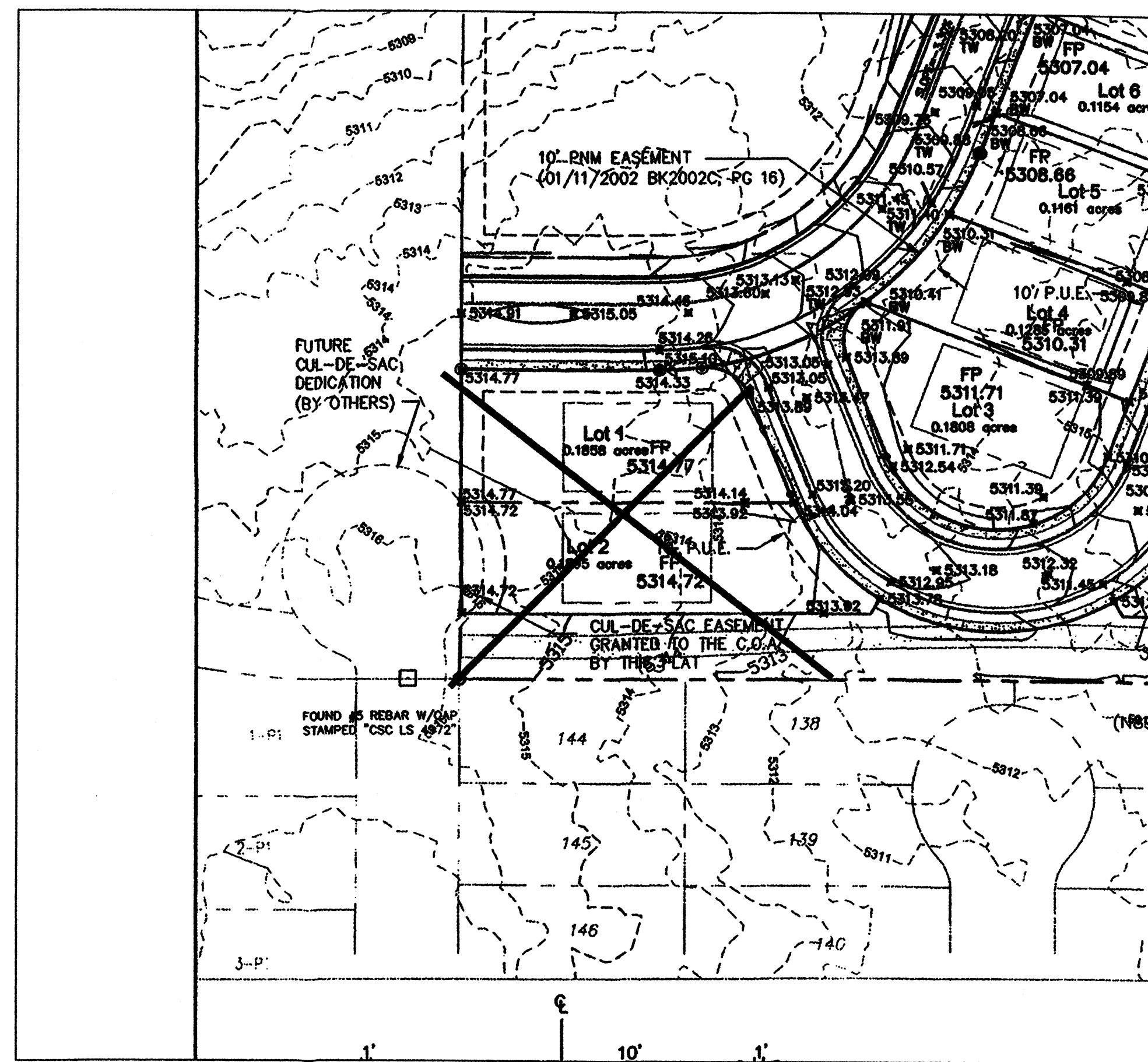
RD HOME
CRESTVIEW SUBDIVISION



MITCHELL ASSOCIATES LLC
5200 CARLISLE HE STE. 219
ABQ. NM (505) 850-6091

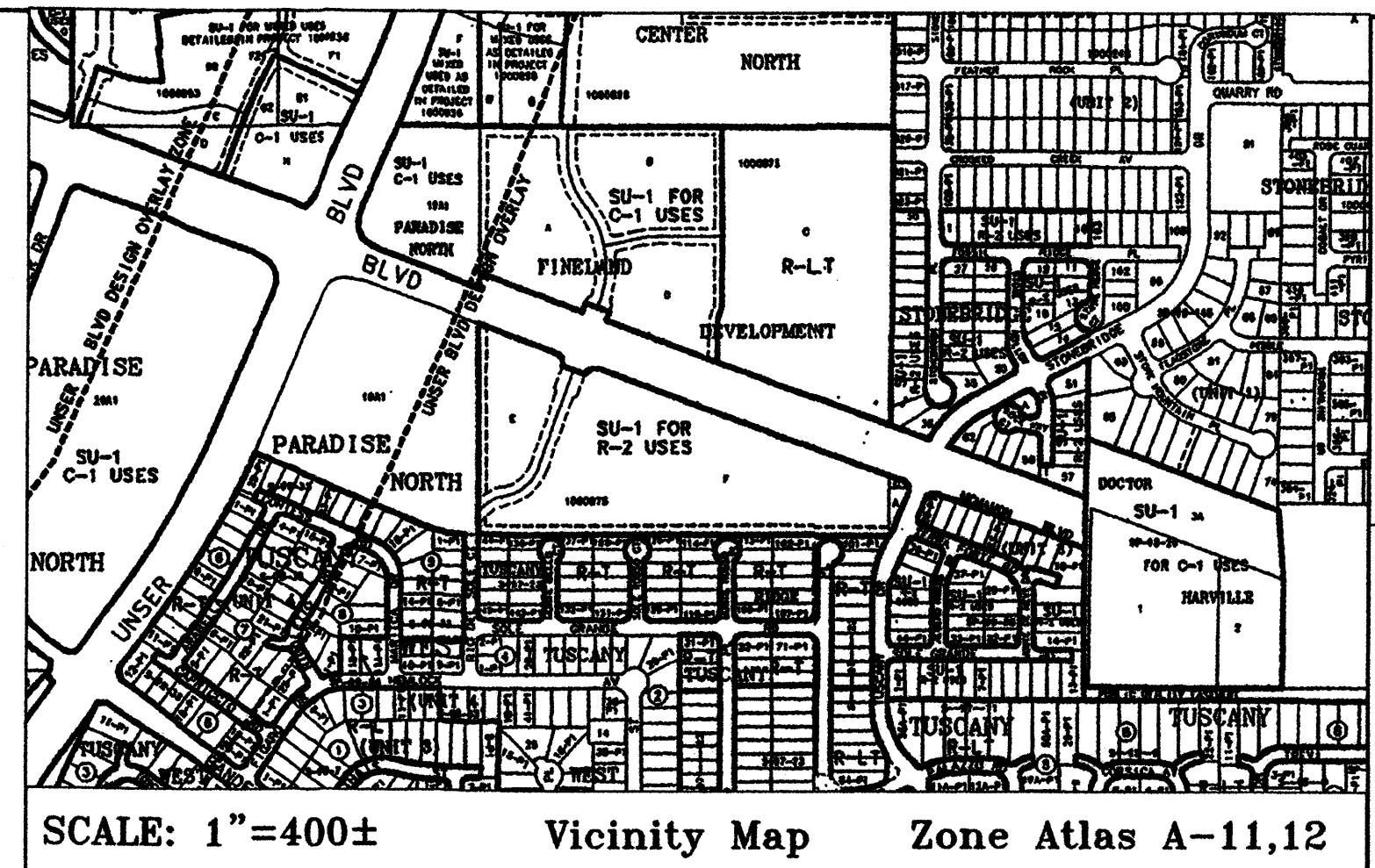
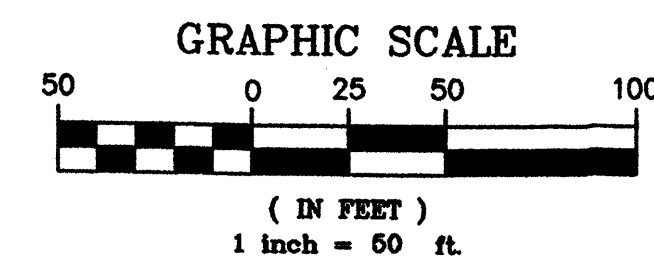


REVISED DRAINAGE PLAN DETAIL, LOTS 1 AND 2
1" = 50'



APPROVED (11/12/03) DRAINAGE PLAN DETAIL, LOTS 1 AND 2
1" = 50'

- LEGEND**
- 5295.96 PROPOSED SPOT ELEVATION
 - 09.0 EXISTING SPOT ELEVATION (GRND & TC)
 - ▬ PROPOSED CONCRETE VALLEY GUTTER
 - ▬ PROPOSED CURB & GUTTER
 - 4973 — EXISTING CONTOUR W/ INDEX ELEVATION
 - PROPOSED MANHOLE
 - 30" SD — EXISTING STORM DRAIN
 - 30" SD — PROPOSED STORM DRAIN
 - ▬ PROPOSED STORM SEWER CATCH BASIN
 - ▬ BOUNDARY LINE
 - ▬ BASIN BOUNDARY
 - ▬ RETAINING WALL



LEGAL DESCRIPTION
PARCEL F, OF THE BULK LAND PLAT, FINELAND DEVELOPMENT, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON 01/11/2002, 2003 IN VOLUME 2002C, PAGE 16.

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	NO.	BY	NO.	BY	NO.	BY
ACS STATION "SANDBERN"	NAD 1927 NMSP C						
	X=361854.29 Y=1534209.29						
	NAD 1983 NMSP C CORPSCON						
	X=1502101.6571 Y=1534274.4482						
	CONVERGENCE 16" 01.4" (1983)						
	COMB SCALE FACTOR = 0.99966079						
	ELEV. (JWD 1929) 5456.92 (2ND ORD.)						

Community Sciences Corporation
LAND PLANNING ENGINEERING SURVEYING
P.O. Box 1328 Corrales, New Mexico 87048

JOB NO.: N627-02

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: CRESTVIEW SUBDIVISION
ULTIMATE GRADING AND DRAINAGE PLAN-REVISIONS

Design Review Committee	City Engineer Approval	Mo./Day/Yr	Mo./Day/Yr

REVISIONS	NO.	DATE	BY
DESIGN			

DESIGNED BY	DATE
REH	12/2003

DR-WN BY	DATE
MVH	12/2003

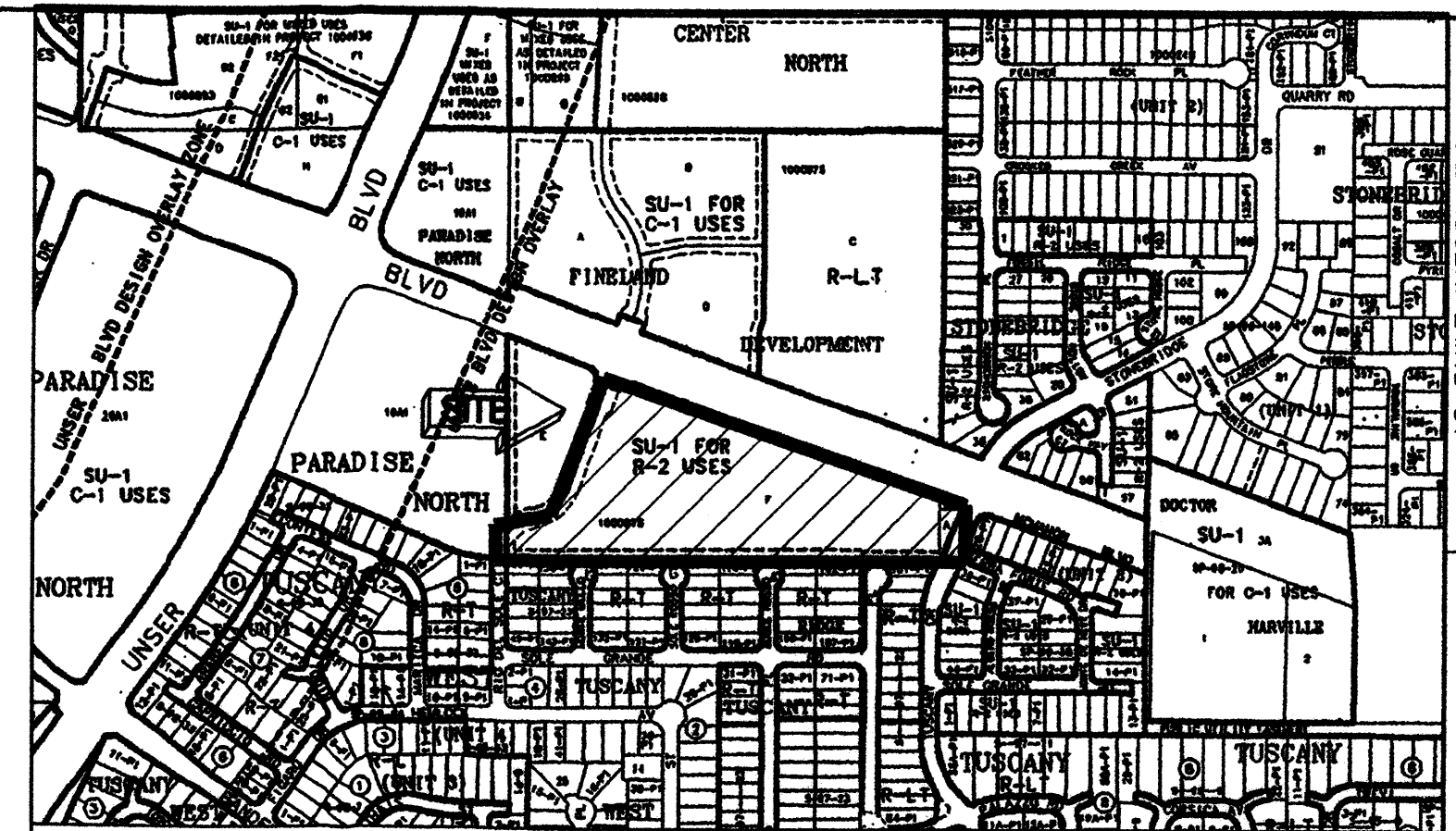
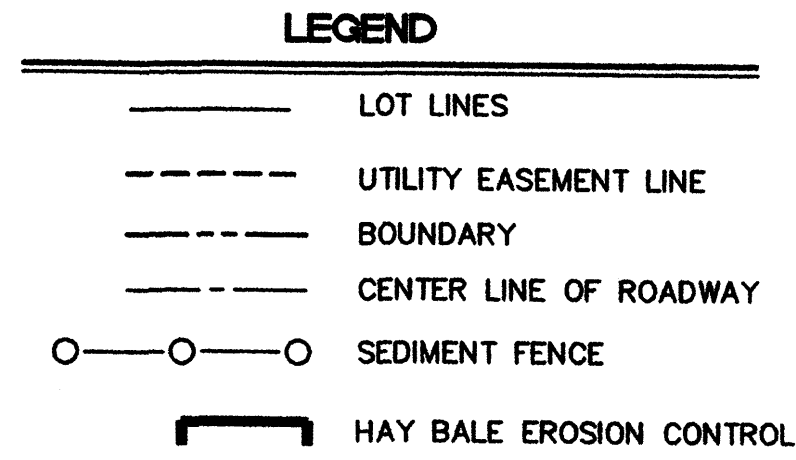
CHECKED BY	DATE
WHN	12/2003

City Project No. 726781 Zone Map No. A-11,12 Sheet 6 of 12

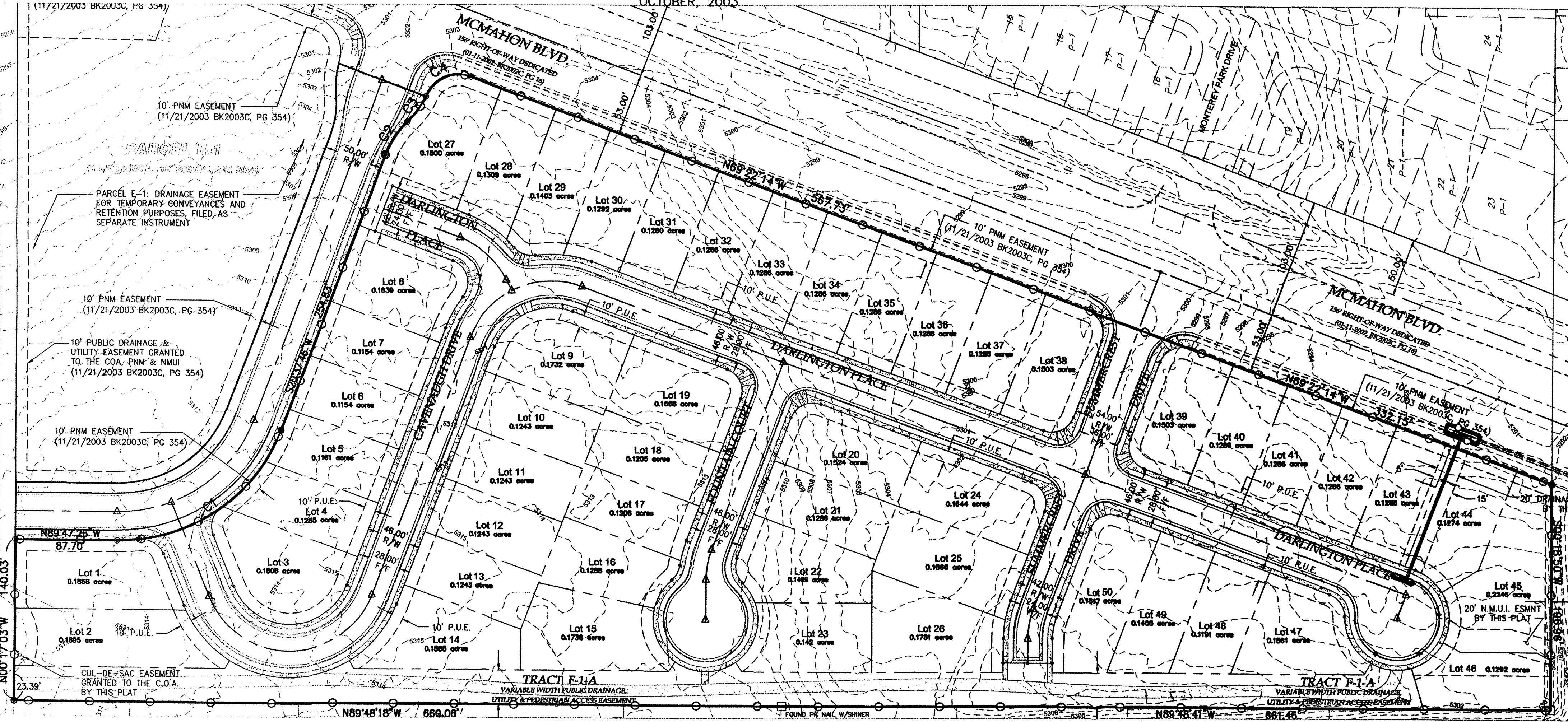
CRESTVIEW SUBDIVISION STORM WATER POLLUTION PREVENTION PLAN

**KB HOME
ALBUQUERQUE, N.M.
LEGACY SERIES COMMUNITY**

PARCEL F, FINELAND DEVELOPMENT
SITUATE WITHIN SE 1/4 OF THE NE 1/4
PROJECTED SECTION 2, T11N, R2E, N.M.P.M.
TOWN OF ALAMEDA GRANT
CITY OF ALBUQUERQUE, COUNTY OF BERNALILLO,
NEW MEXICO
OCTOBER, 2003



SCALE: 1"=400± Vicinity Map Zone Atlas A-11,12



EROSION CONTROL / ENVIRONMENTAL PROTECTION / STORM WATER POLLUTION PLAN

1. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL PREPARE AND OBTAIN ANY NECESSARY DUST OR EROSION CONTROL PERMITS FROM REGULATORY AGENCIES.
2. THE CONTRACTOR SHALL PROMPTLY REMOVE ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY TO KEEP IT FROM WASHING OFF THE PROJECT SITE.
3. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO OTHER PROPERTY BY CONSTRUCTING TEMPORARY EROSION CONTROL BERMS OR INSTALLING SILT FENCES AT THE PROPERTY LINES AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
4. THE CONTRACTOR SHALL MITIGATE EROSION OF TEMPORARY OR PERMANENT DIRT SWALES BY INSTALLING HAY BALES IN THE SWALES PERPENDICULAR TO THE DIRECTION OF FLOW, AND AT APPROPRIATE INTERVALS.
5. WATERING AS REQUIRED FOR CONSTRUCTION AND DUST CONTROL SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO MEASUREMENT OR PAYMENT SHALL BE MADE THEREFOR. CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS REQUIRED.
6. ANY AREAS DISTURBED BY CONSTRUCTION AND NOT COVERED BY LANDSCAPING OR AN IMPERVIOUS SURFACE SHALL BE RE-VEGETATED WITH NATIVE GRASS SEEDING. THIS SHALL NOT INCLUDE RESIDENTIAL LOTS WHICH ARE TO BE OCCUPIED WITHIN 12 MONTHS.
7. THE CONTRACTOR SHALL PROPERLY HANDLE AND DISPOSE OF ALL ASPHALT REMOVED ON THE PROJECT BY HAULING TO AN APPROVED LANDFILL IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW MEXICO SOLID WASTE ACT.
8. ALL WASTE PRODUCTS FROM THE CONSTRUCTION SITE, INCLUDING ITEMS DESIGNATED FOR REMOVAL, CONSTRUCTION WASTE, CONSTRUCTION EQUIPMENT WASTE PRODUCTS (OIL, GAS, TIRES, ETC.) GARBAGE, GRUBBING EXCESS CUT MATERIAL, VEGETATIVE DEBRIS, ETC. SHALL BE APPROPRIATELY DISPOSED OF OFF SITE AT NO ADDITIONAL COST TO THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMITS REQUIRED FOR HAUL OR DISPOSAL OF WASTE PRODUCTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE WASTE DISPOSAL SITE COMPLIES WITH GOVERNMENT REGULATIONS REGARDING THE ENVIRONMENT, ENDANGERED SPECIES AND ARCHAEOLOGICAL RESOURCES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANUP AND REPORTING OF SPILLS OF HAZARDOUS MATERIALS ASSOCIATED WITH THE CONSTRUCTION SITE. HAZARDOUS MATERIALS INCLUDE GASOLINE, DIESEL FUEL, MOTOR OIL, SOLVENTS, CHEMICALS, PAINTS, ETC. WHICH MAY BE A THREAT TO THE ENVIRONMENT. THE CONTRACTOR SHALL REPORT THE DISCOVERY OF PAST OR PRESENT SPILLS TO THE NEW MEXICO ENVIRONMENT DEPARTMENT EMERGENCY RESPONSE AT 505-822-1558 OR 800-219-6157.
10. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING SURFACE AND UNDERGROUND WATER CONTACT WITH SURFACE WATER BY CONSTRUCTION EQUIPMENT AND PERSONNEL SHALL BE MINIMIZED. EQUIPMENT MAINTENANCE AND REFUELING OPERATIONS SHALL BE PERFORMED IN AN ENVIRONMENTALLY SAFE MANNER IN COMPLIANCE WITH GOVERNMENT REGULATIONS.
11. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING CONSTRUCTION NOISE AND HOURS OF OPERATION.
12. THE CONTRACTOR SHALL MAINTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN ON SITE AT ALL TIMES.

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		FIELD NOTES		ENGINEER'S SEAL	
NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
CONTRACTOR		CONTRACTOR		CONTRACTOR		CONTRACTOR		CONTRACTOR	
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STATIONED BY		STATIONED BY		STATIONED BY		STATIONED BY		STATIONED BY	
ACCEPTANCE BY		ACCEPTANCE BY		ACCEPTANCE BY		ACCEPTANCE BY		ACCEPTANCE BY	
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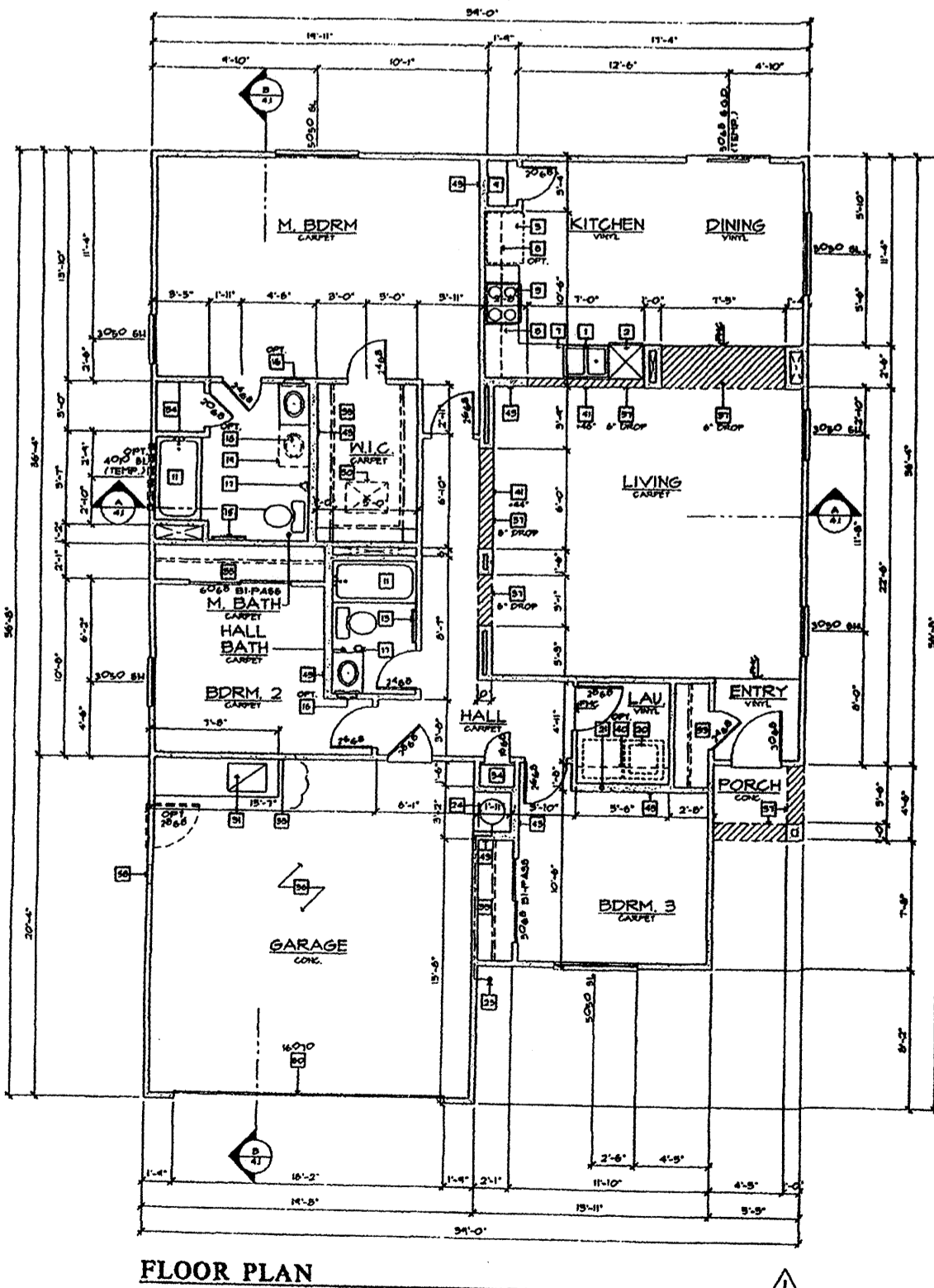
2003 Color Schemes

New Mexico Division / Application: - Vision, Mission, Legacy
Project #: 871999.11
REV: 5/7/03 - by Division

MATERIALS	MFG.	SCHEME 1 (SP2)	SCHEME 2 (SP5)	SCHEME 3 (SP7)	SCHEME 4 (FR5)
STUCCO	El Rey	127 Hacienda	106 Buckskin	121 Sandalwood	129 Ivory
STUCCO HILITE	El Rey	30 Soapstone	115 Cottonwood	115 Cottonwood	113 Dove Gray
TRIM (Banding), Garage Header & Window Popouts	El Rey	A3115	A3116	A3117	A3118
FASCIA	Sherwin Williams	SW 2013	SW 2034	SW 2807	SW 7018
GARAGE DOOR	Sherwin Williams	SW 2431	SW 2037	SW 2064	SW 7018
ACCENT (Front Door)	Sherwin Williams	SW 2708	SW 2034	SW 2846	SW 7067
ROOF TILE	Monier	1 STCS 5025	1 STCS 6129	1 STCS 3613	1 STCS 5025
Roof Tile Penetrations	Sherwin Williams	Slate	Terra	Tan	Slate
ROOF SHINGLE 20 Year product	GAF	Charcoal	Autumn Brown	Ash Brown	Silver Lining
20 Yr./Penetrations	Sherwin Williams	7076	2803	6041	7058
ROOF SHINGLE 30 Year product	GAF	Charcoal	Burnt Sienna	Heather Blend	Fox Hollow Grey
30 Yr. Penetrations	Sherwin Williams	7076	2803	6041	7074
MATERIALS	MFG.	SCHEME 5 (FR6)	SCHEME 6 (IT1)	SCHEME 7 (IT6)	SCHEME 8 (IT7)
STUCCO	El Rey	117 Fawn	111 Drillwood	122 Sirow	118 Adobe
STUCCO HILITE	El Rey	110 Ash	115 Cottonwood	121 Sandalwood	121 Sandalwood
TRIM (Banding), Garage Header & Window Popouts	El Rey	A3119	A3120	A3121	A3122
FASCIA	Sherwin Williams	SW 6102	SW 2088	SW 1154	SW 2019
GARAGE DOOR	Sherwin Williams	SW 6102	SW 2076	SW 2066	SW 2039
ACCENT (Front Door)	Sherwin Williams	SW 6069	SW 2091	SW 1154	SW 2021
ROOF TILE	Monier	1 STCS 0023	1 STCS 3613	1 STCS 5025	1 STCS 0023
Roof Tile Penetrations	Sherwin Williams	Smoke	Tan	Slate	Terra
ROOF SHINGLE 20 Year product	GAF	Summer Sage	Ash Brown	Slate	Autumn Brown
20 Yr./Penetrations	Sherwin Williams	6116	6041	6223	2803
ROOF SHINGLE 30 Year product	GAF	Cedar	Heather Blend	Slate	Burnt Sienna
30 Yr. Penetrations	Sherwin Williams	6116	6041	6223	2808
MATERIALS	MFG.	SCHEME 9 (TU3)	SCHEME 10 (CR4)	SCHEME 11 (TU3)	SCHEME 12 (CR4)
STUCCO	El Rey	118 Adobe	105 Bamboo	113 Dove Gray	100 Colonial White
STUCCO HILITE	El Rey	121 Sandalwood	115 Cottonwood	100 Colonial White	100 Colonial White
TRIM (Banding), Garage Header & Window Popouts	El Rey	A3122	A3123	A3124	A3125
FASCIA	Sherwin Williams	SW 2019	SW 2070	SW 2117	SW 2019
GARAGE DOOR	Sherwin Williams	SW 2039	SW 2057	SW 1019	SW 2039
ACCENT (Front Door)	Sherwin Williams	SW 2021	SW 2090	SW 2117	SW 2021
ROOF TILE	Monier	1 STCS 6129	1 STCS 6129	1 STCS 5025	1 STCS 6129
Roof Tile Penetrations	Sherwin Williams	Terra	Terra	Slate	Terra
ROOF SHINGLE 20 Year product	GAF	Autumn Brown	Summer Sage	Weathered Grey	Autumn Brown
20 Yr./Penetrations	Sherwin Williams	2803	6116	7020	2803
ROOF SHINGLE 30 Year product	GAF	Burnt Sienna	Cedar	7020	Burnt Sienna
30 Yr. Penetrations	Sherwin Williams	2808	6116	7020	2808

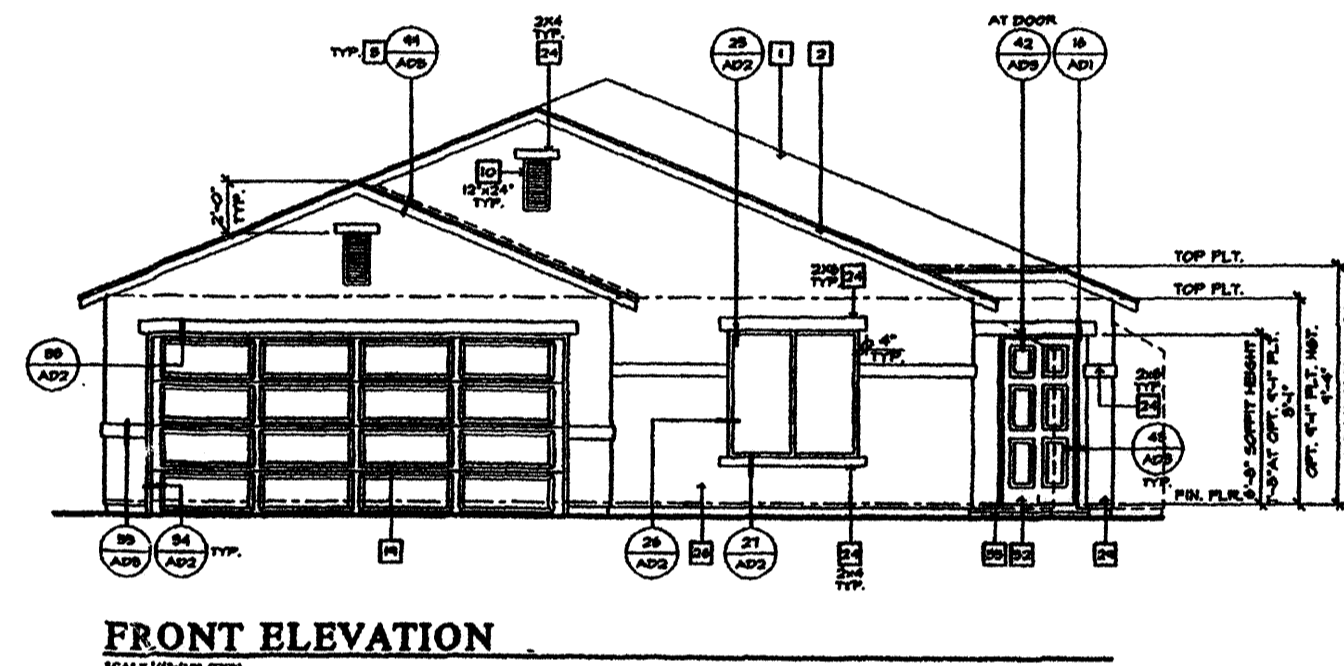


TYPICAL RENDERING

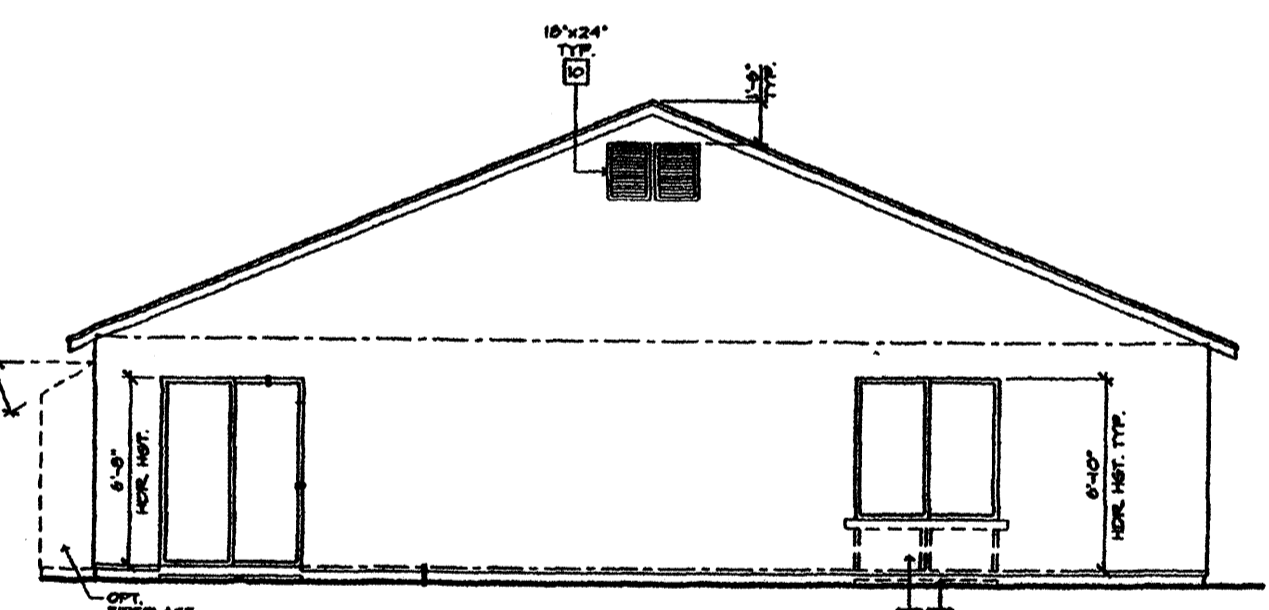


FLOOR PLAN

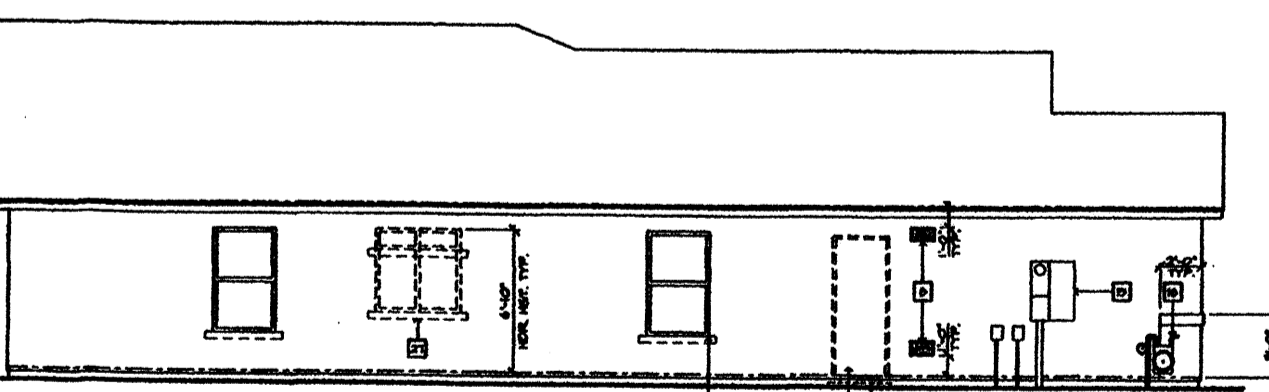
1 STORY TYPICAL



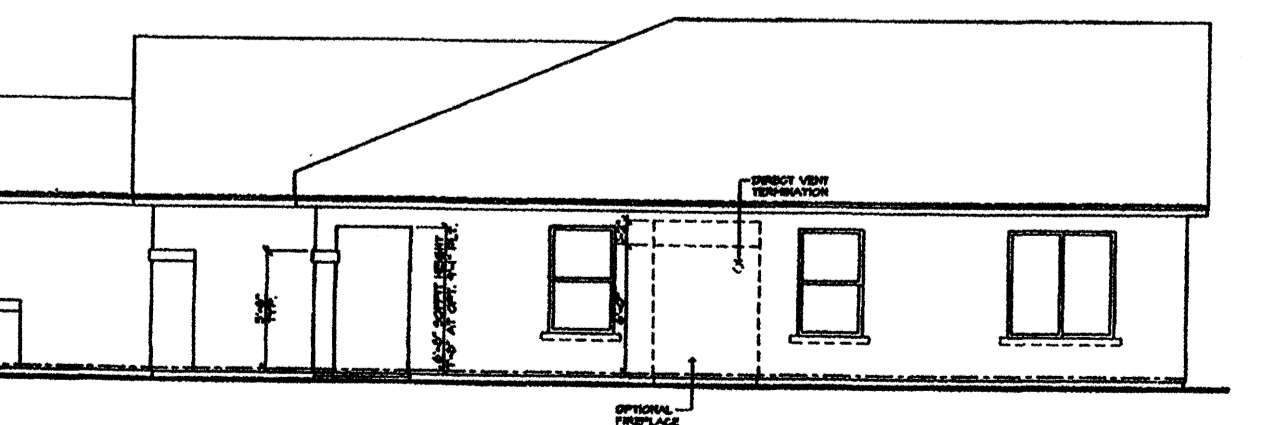
FRONT ELEVATION



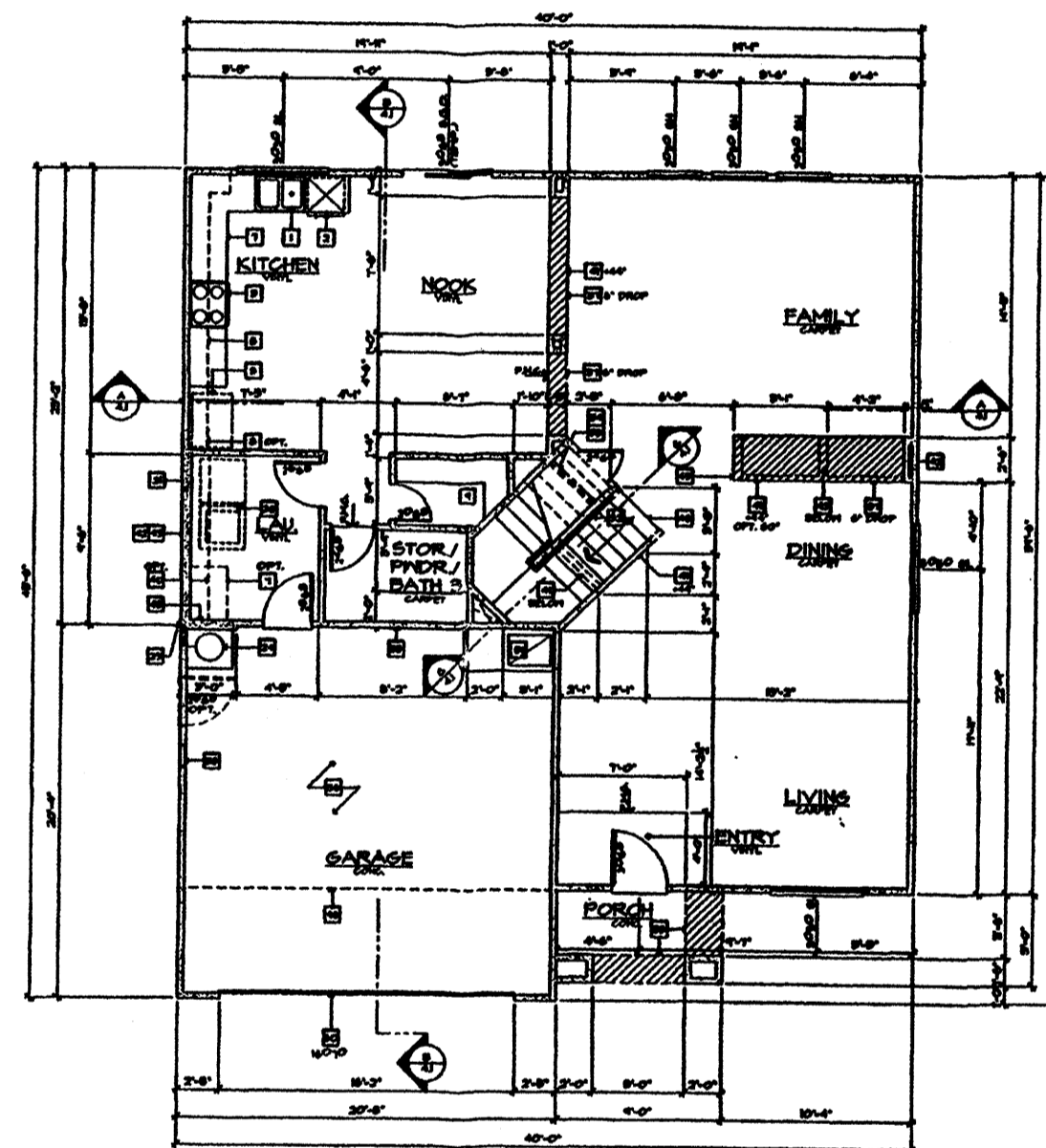
REAR ELEVATION



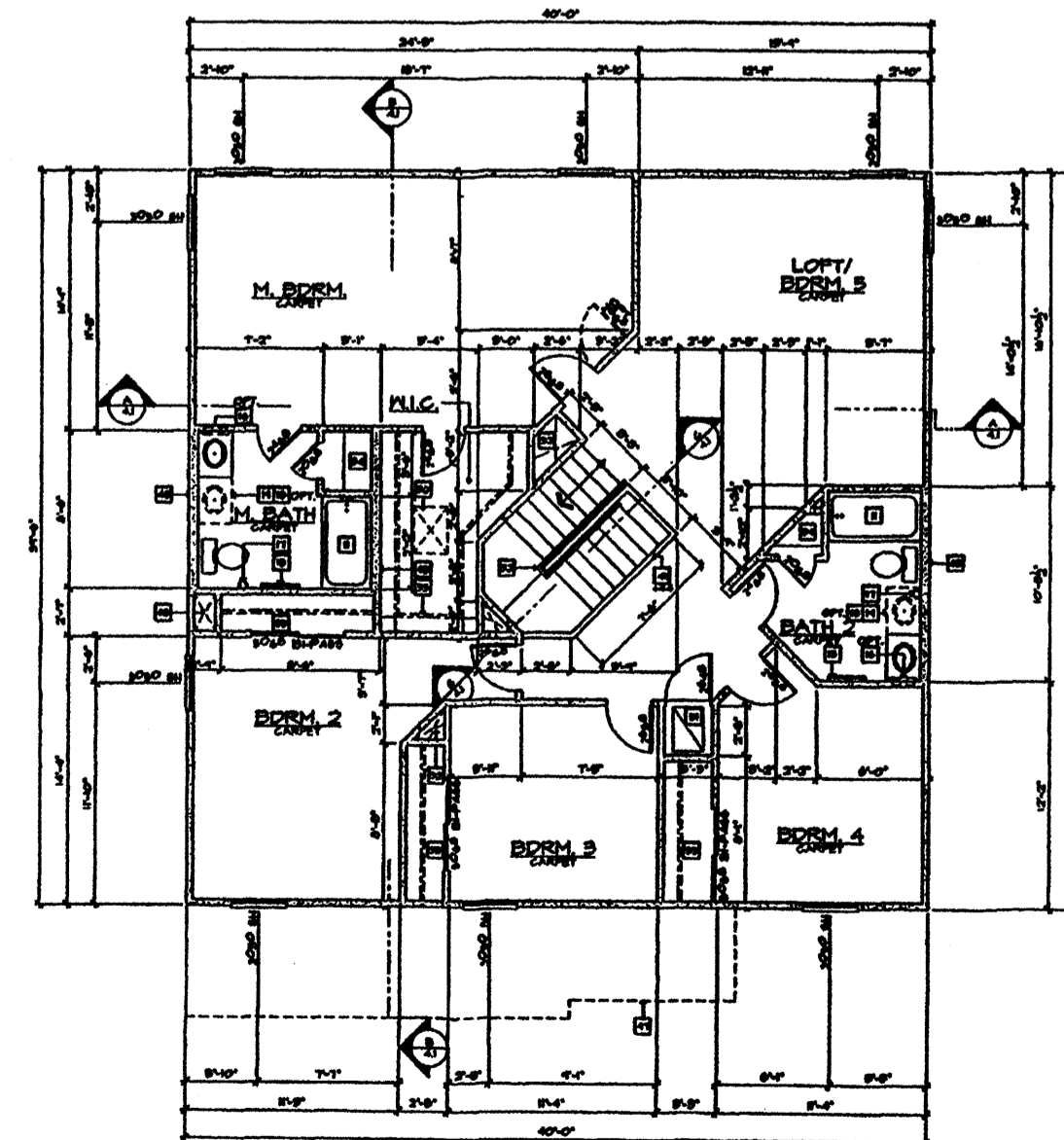
LEFT ELEVATION



RIGHT ELEVATION

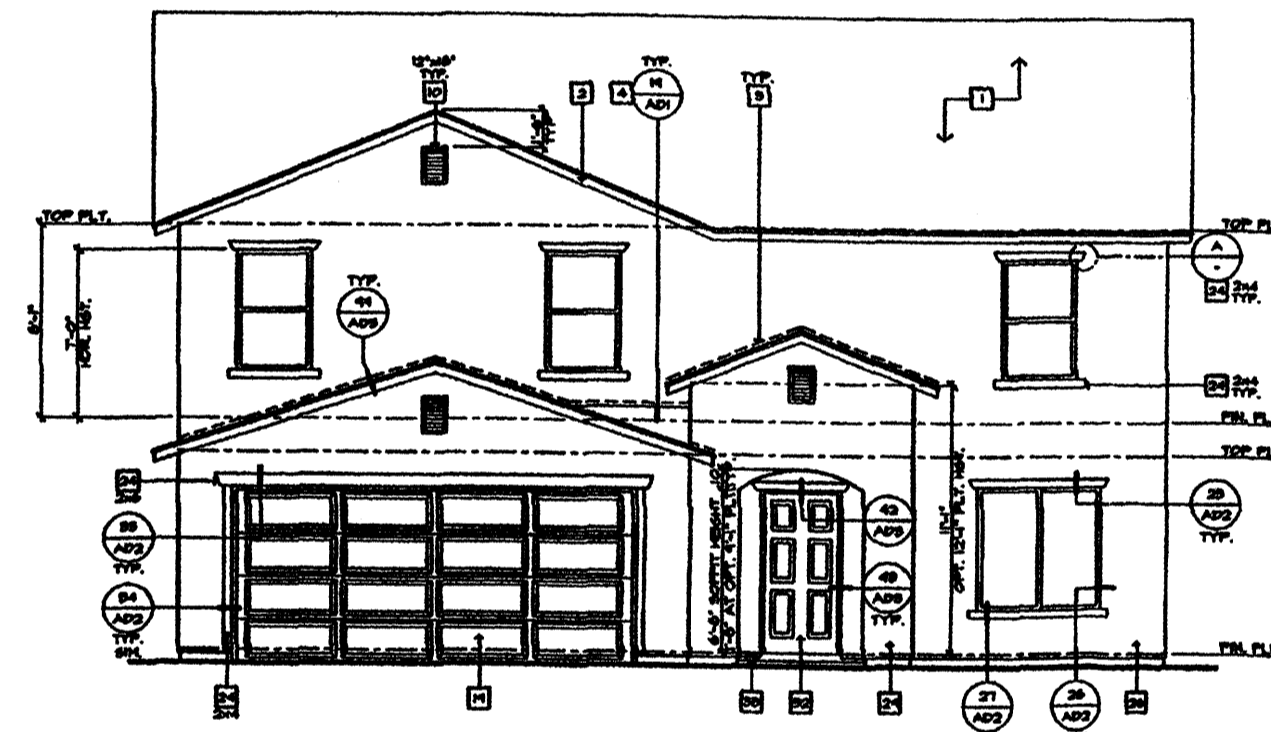


FIRST FLOOR PLAN "A"



SECOND FLOOR PLAN "A"

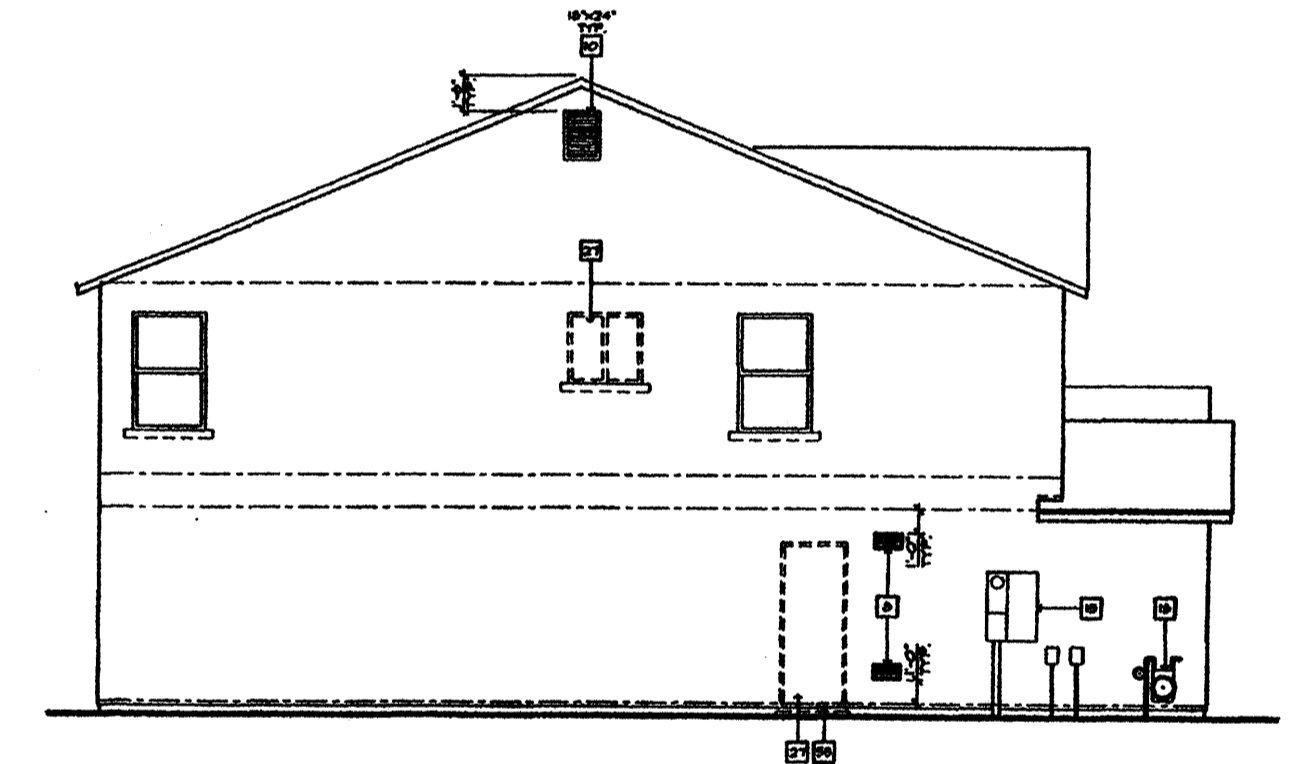
2 STORY TYPICAL



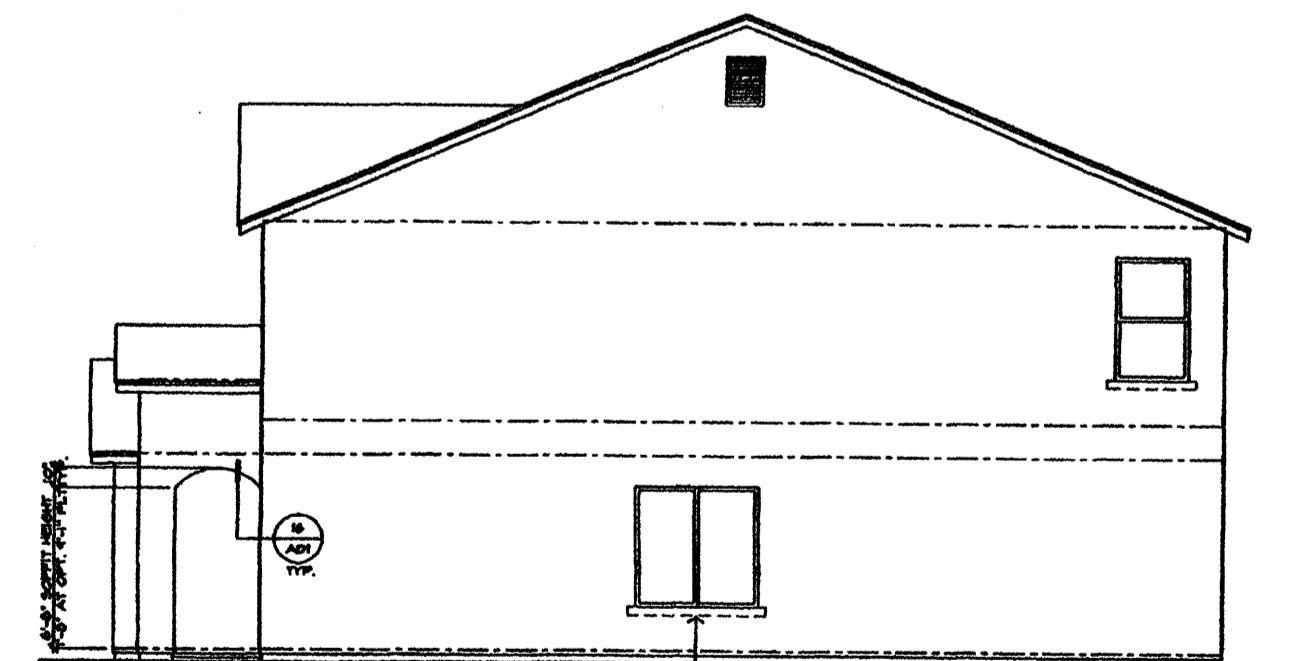
FRONT ELEVATION "A"



REAR ELEVATION "A"



LEFT ELEVATION "A"



RIGHT ELEVATION "A"

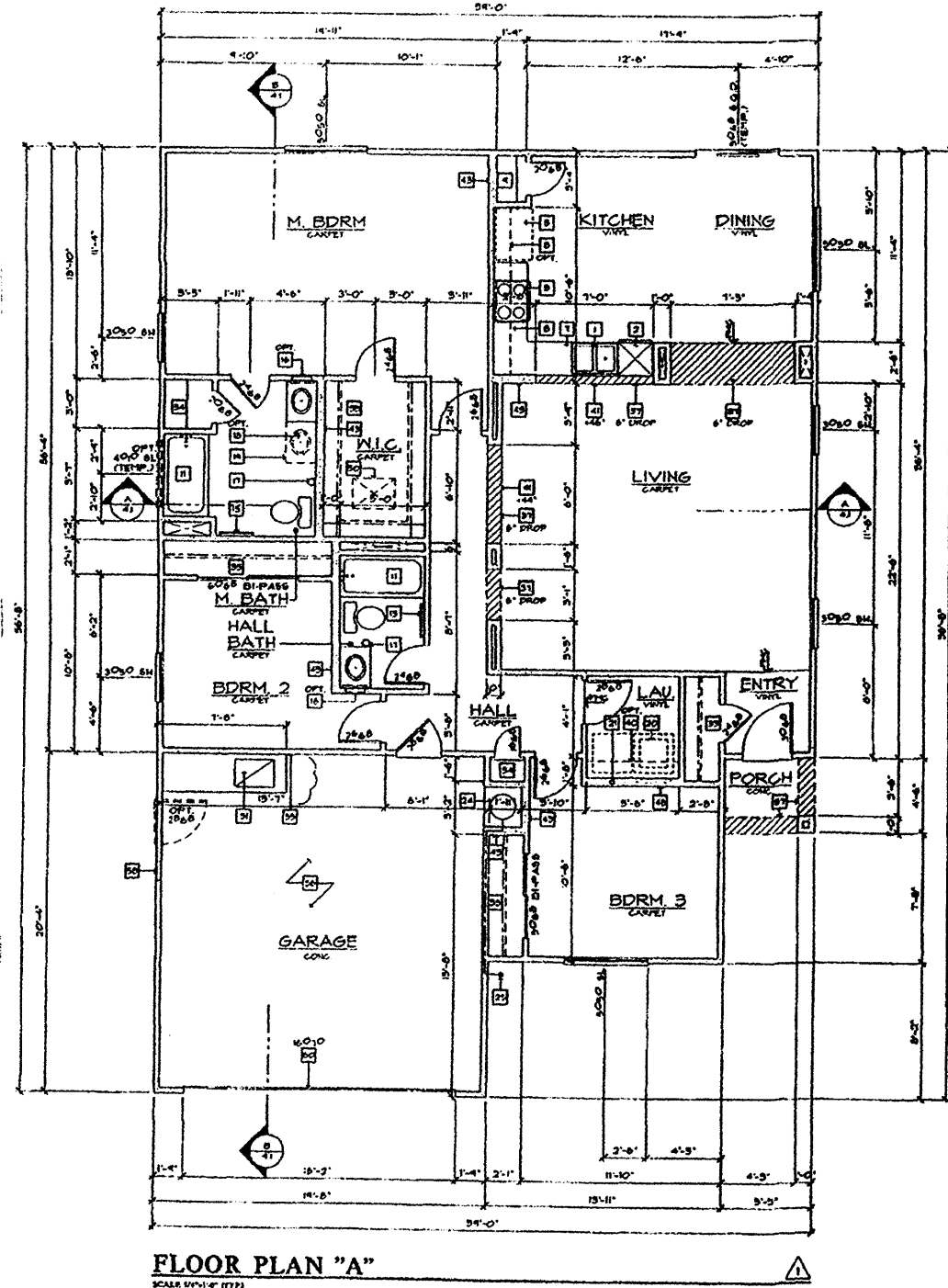
CRESTVIEW SUBDIVISION
Typical Building Elevations

DATE: 12/02/2005
SCALE: As Shown
DESIGNED: J.T.S.
DRAWN: C.S.C.
JOB NO.: 627-02

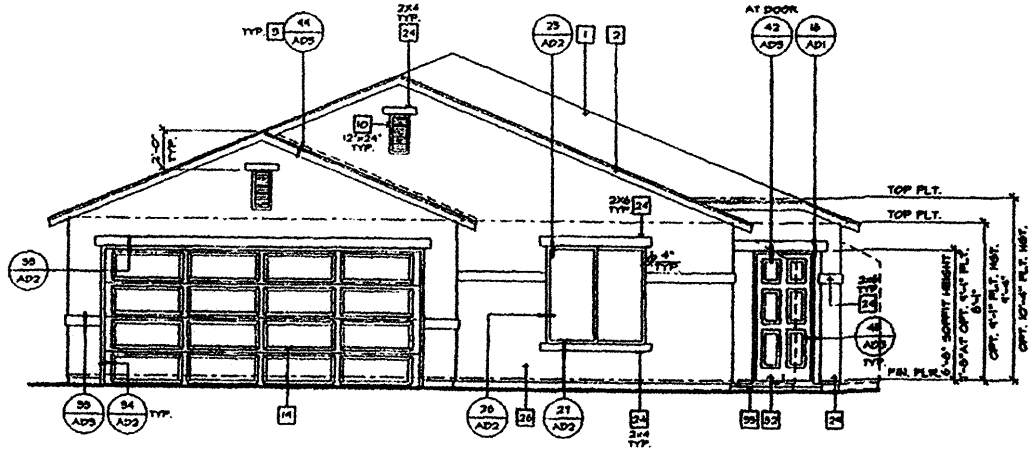
community sciences corporation

LAND PLANNING P.O. Box 1328
ENGINEERING SURVEYING
Corrales, N.M. 87048

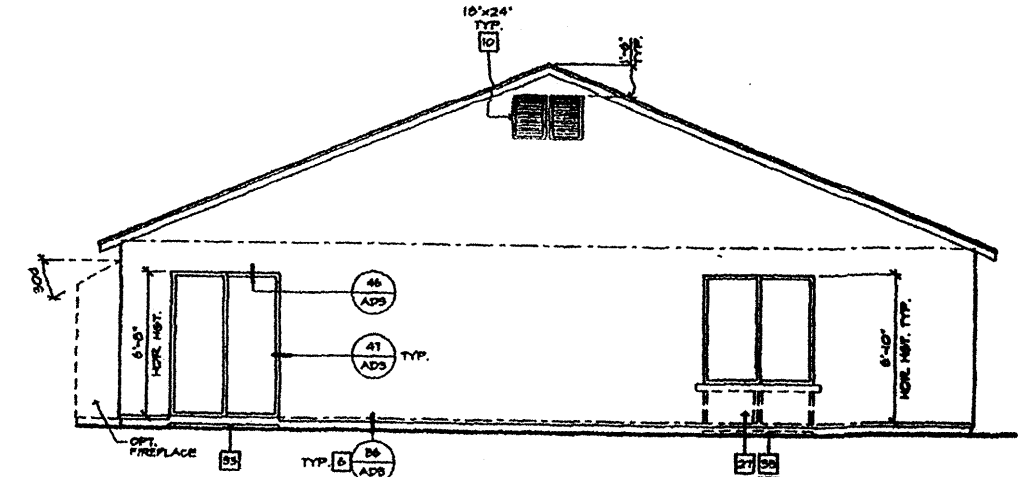
SHEET 8/10



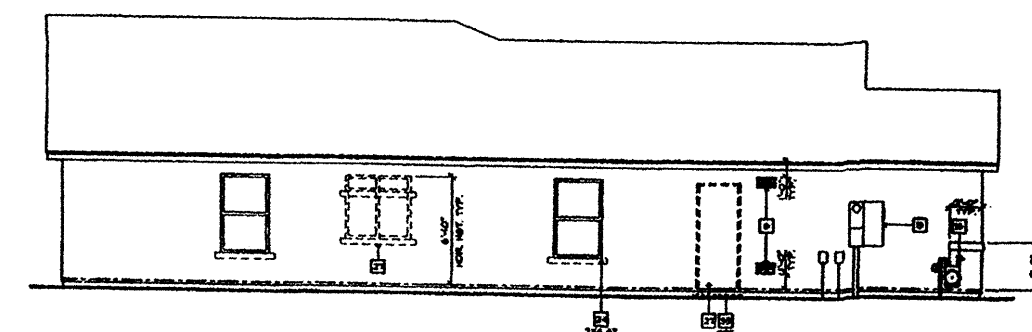
FLOOR PLAN "A"



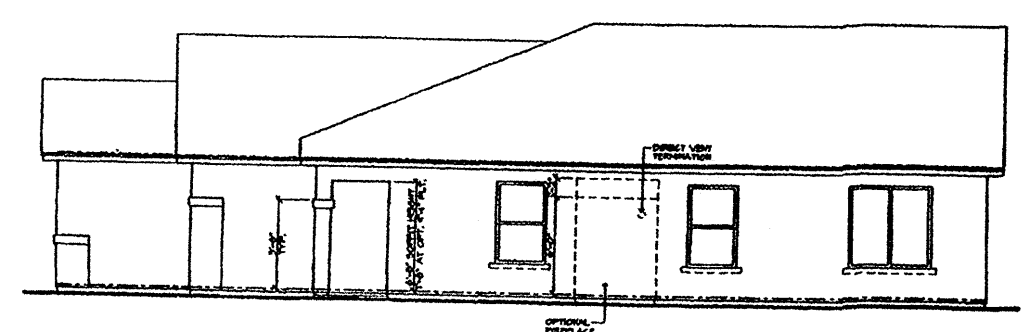
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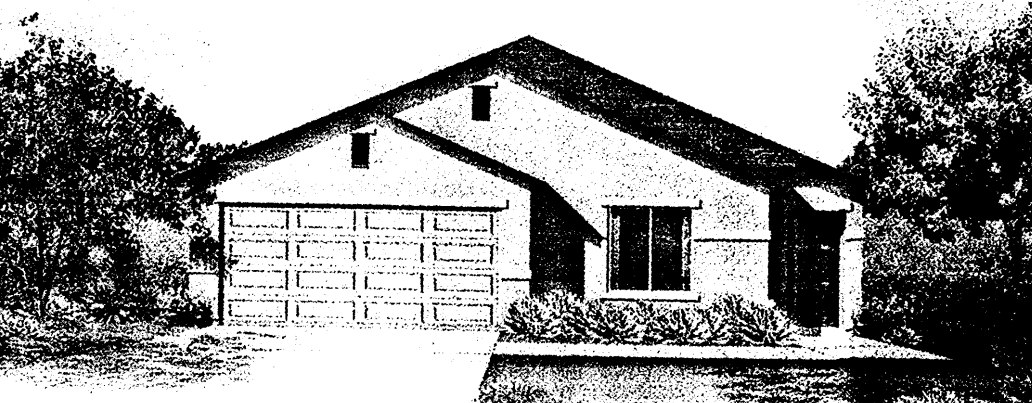
REAR ELEVATION



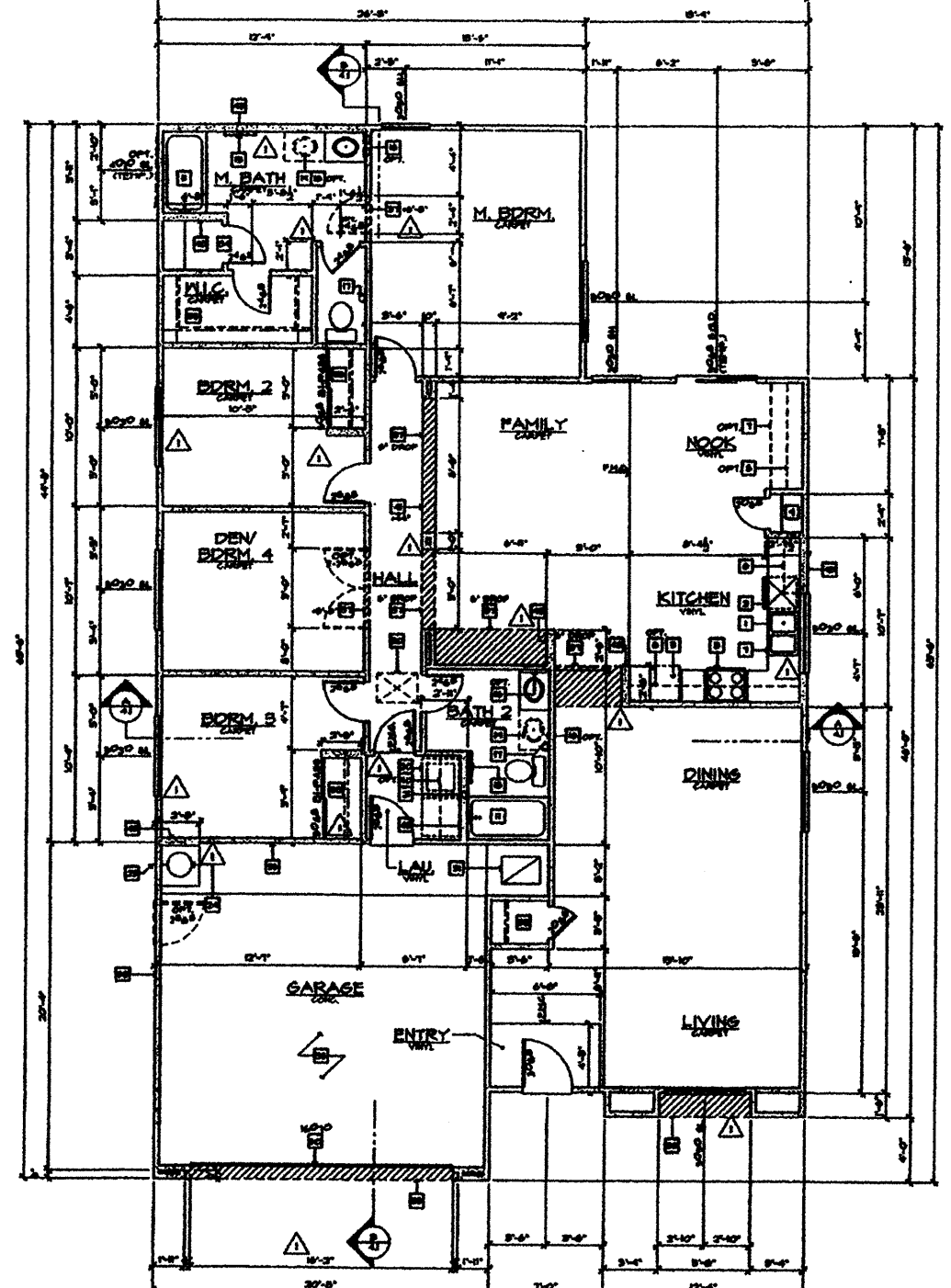
LEFT ELEVATION "A"



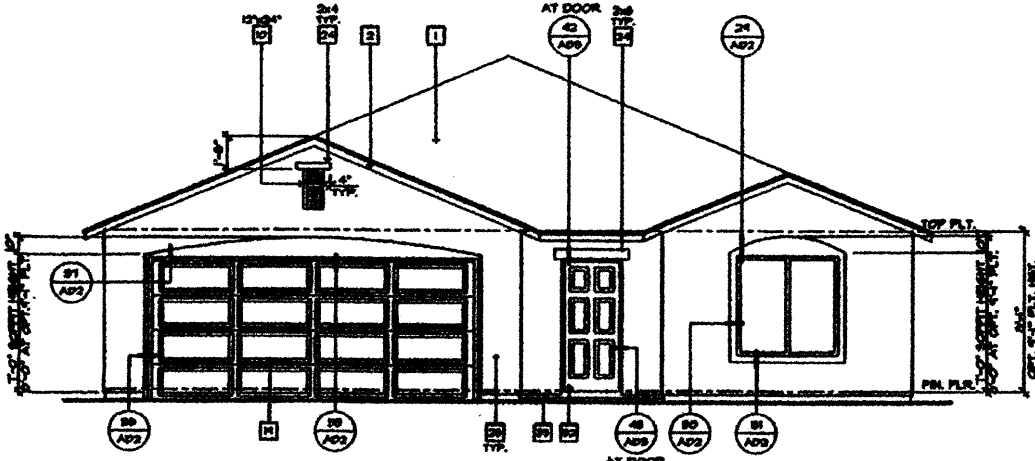
RIGHT ELEVATION "A"



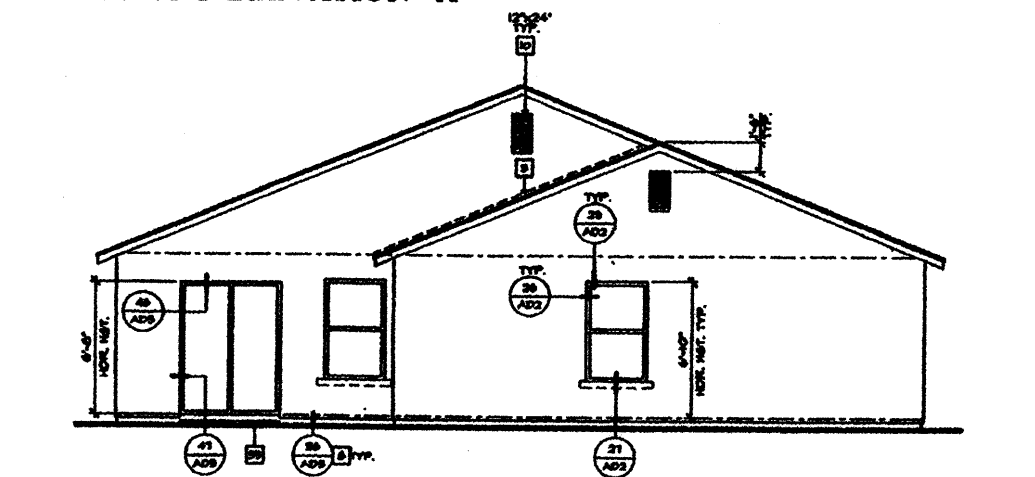
KB HOME, PLAN #139.1590



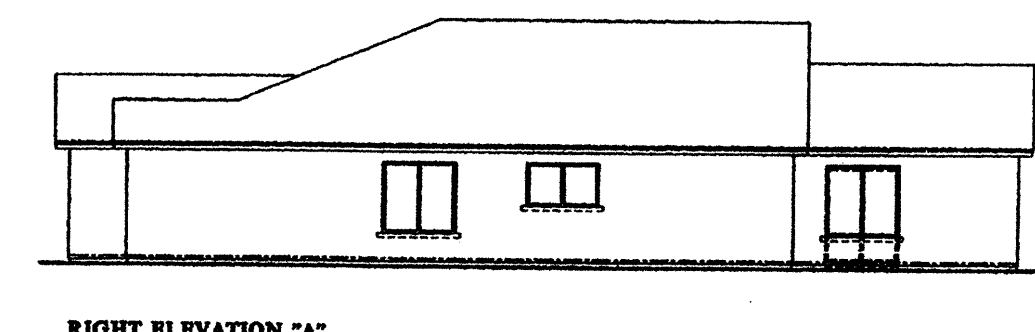
FLOOR PLAN "A"



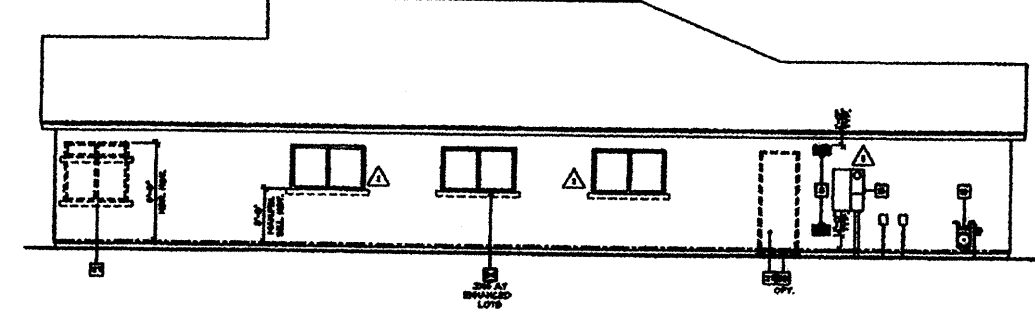
FRONT ELEVATION "A"



REAR ELEVATION



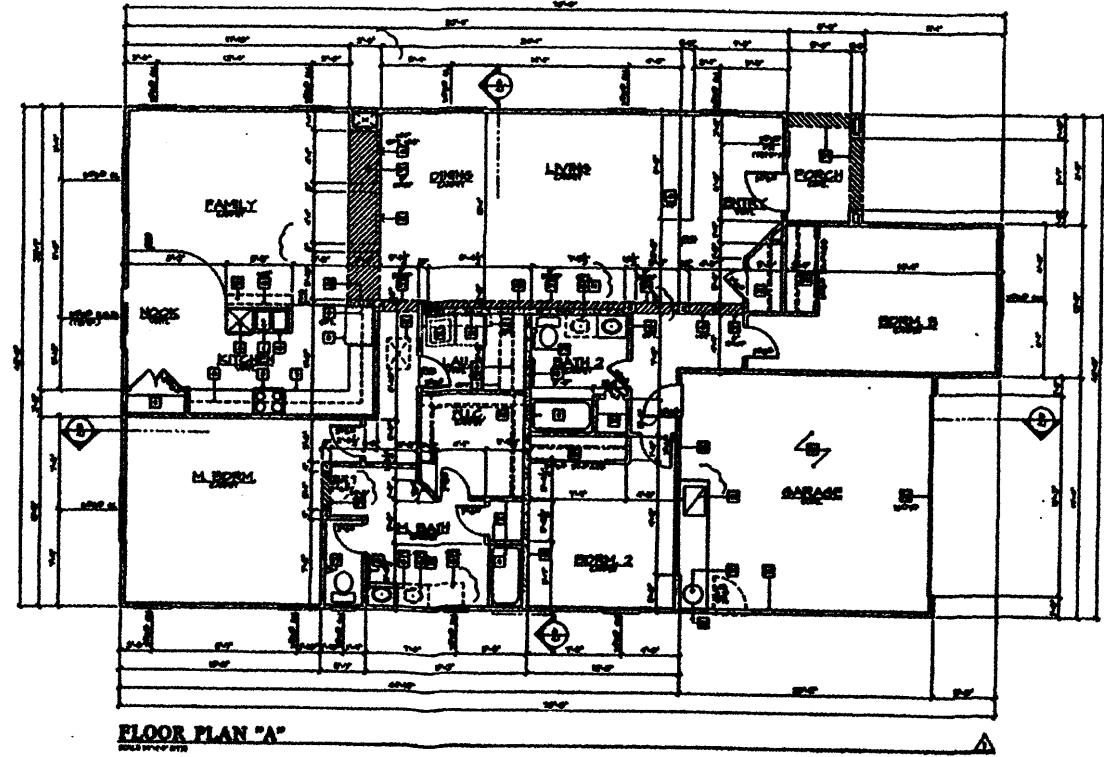
RIGHT ELEVATION "A"



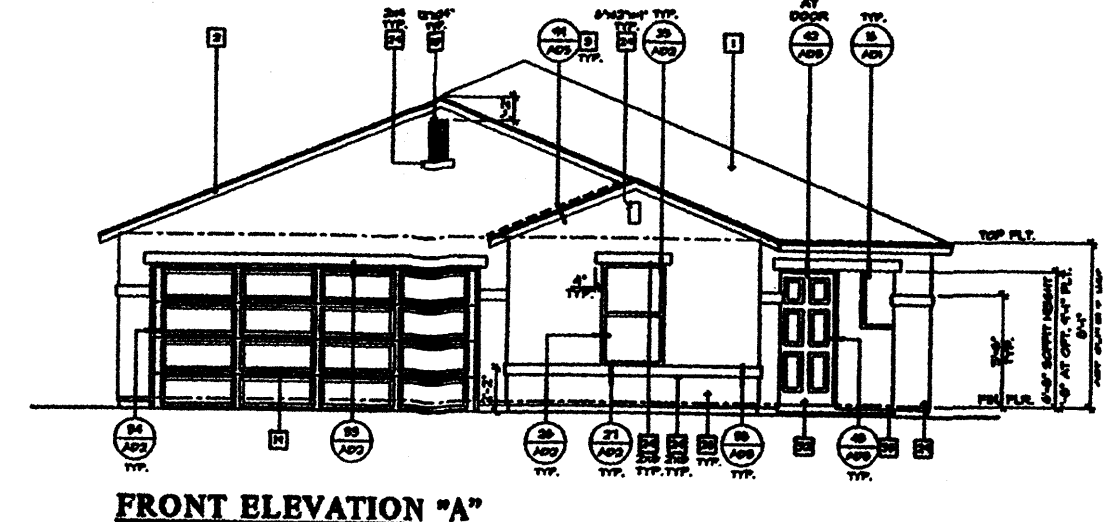
LEFT ELEVATION "A"



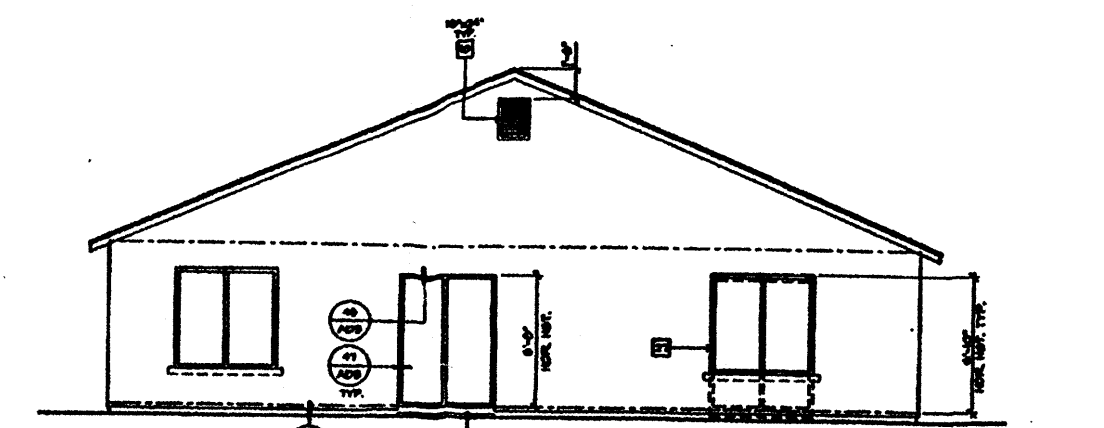
KB HOME, PLAN #140.1874



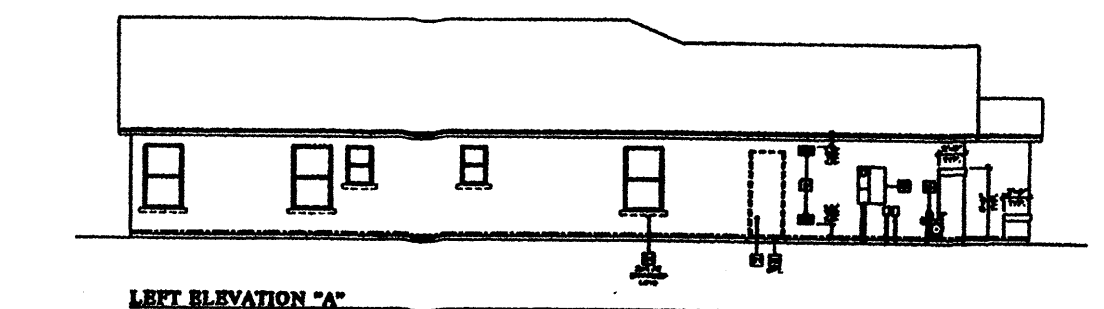
FLOOR PLAN "A"



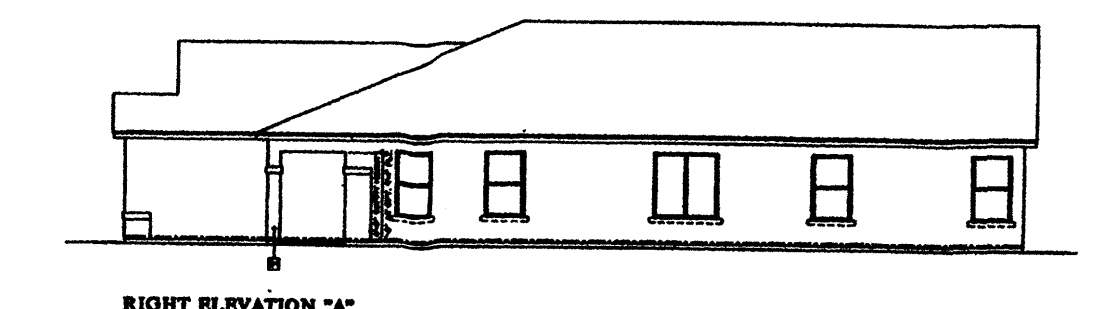
FRONT ELEVATION "A"



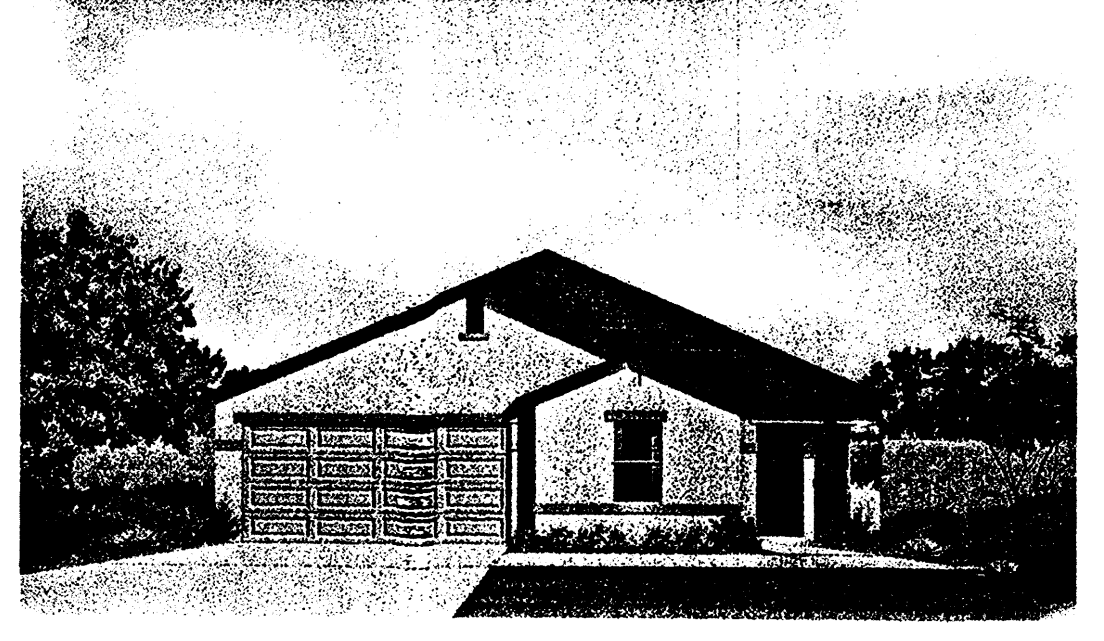
REAR ELEVATION "A"



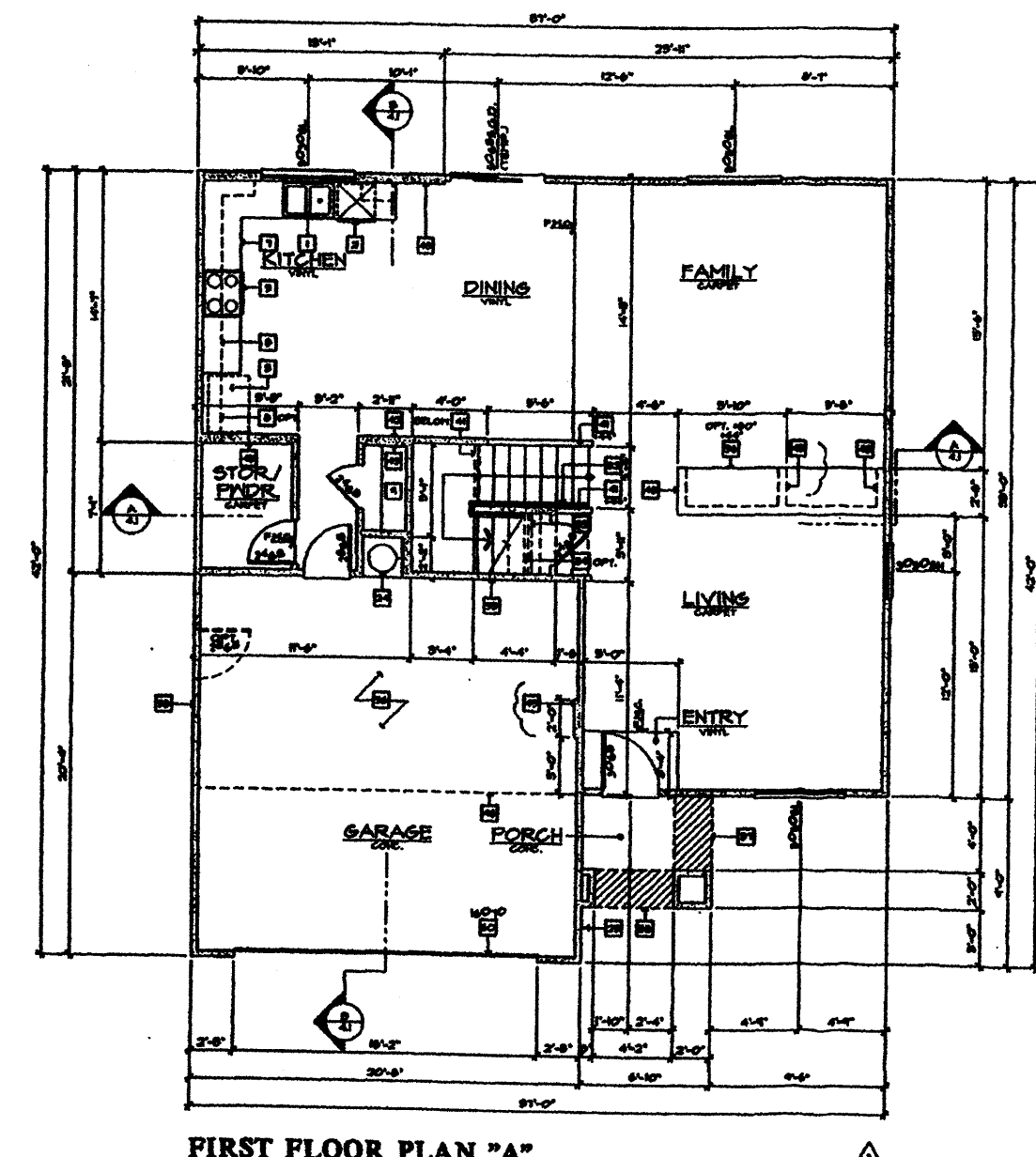
LEFT ELEVATION "A"



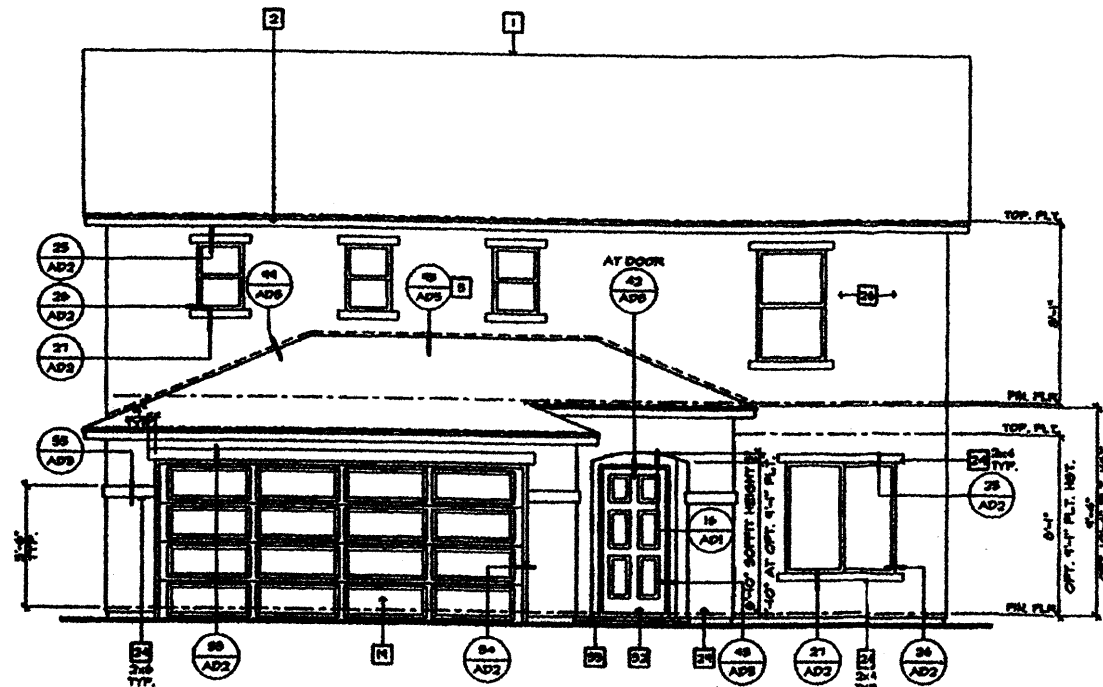
RIGHT ELEVATION "A"



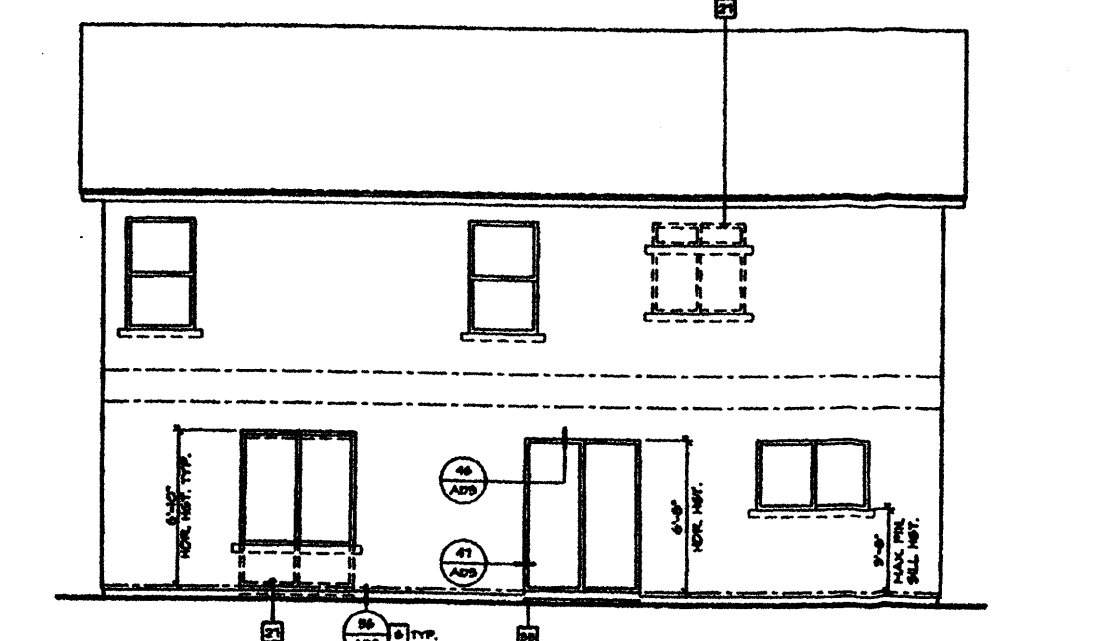
KB HOME, PLAN #140.2166



FIRST FLOOR PLAN "A"



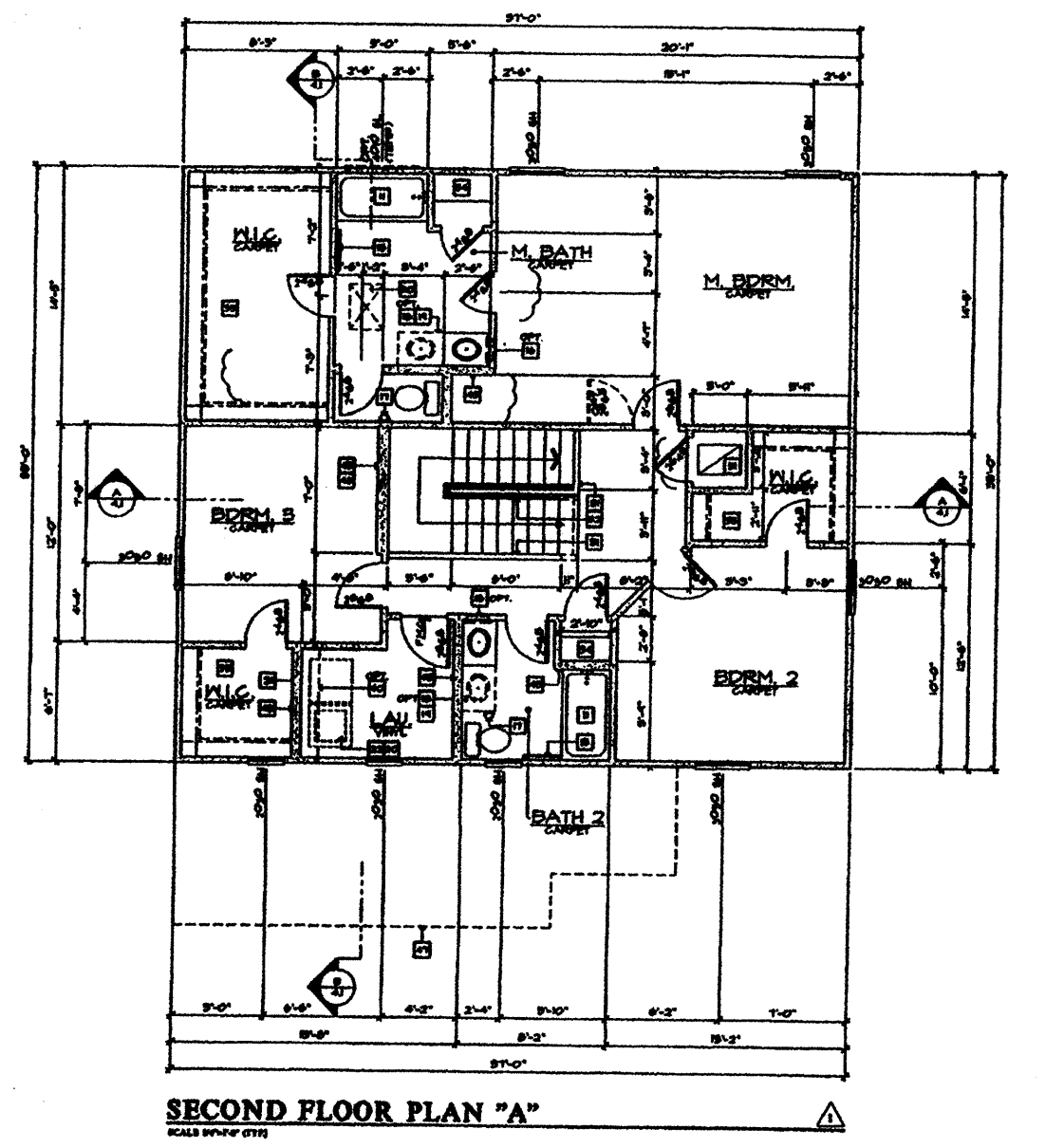
FRONT ELEVATION "A"



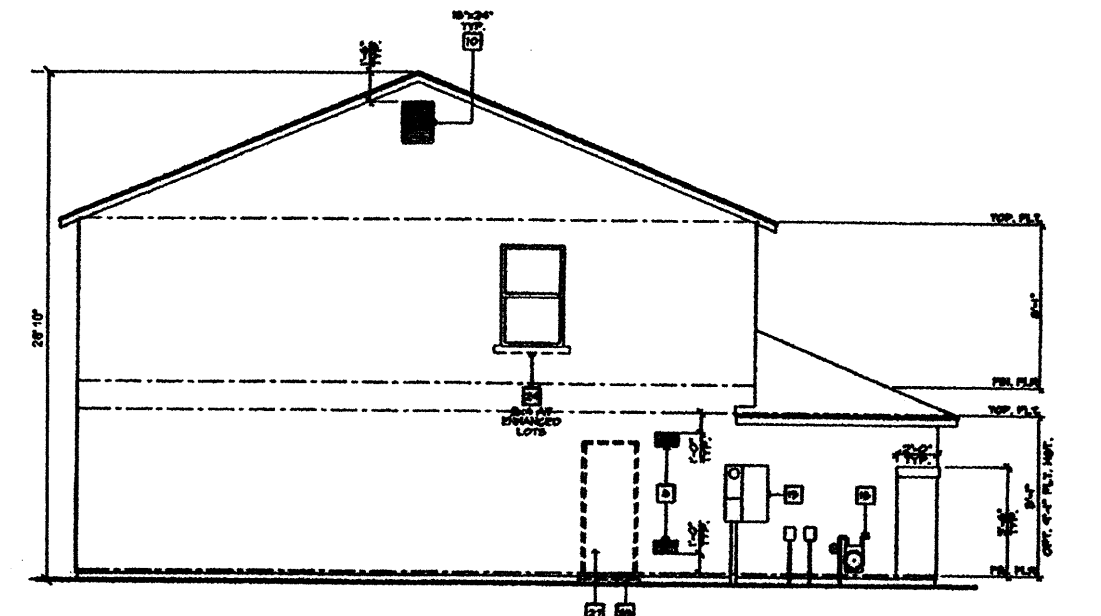
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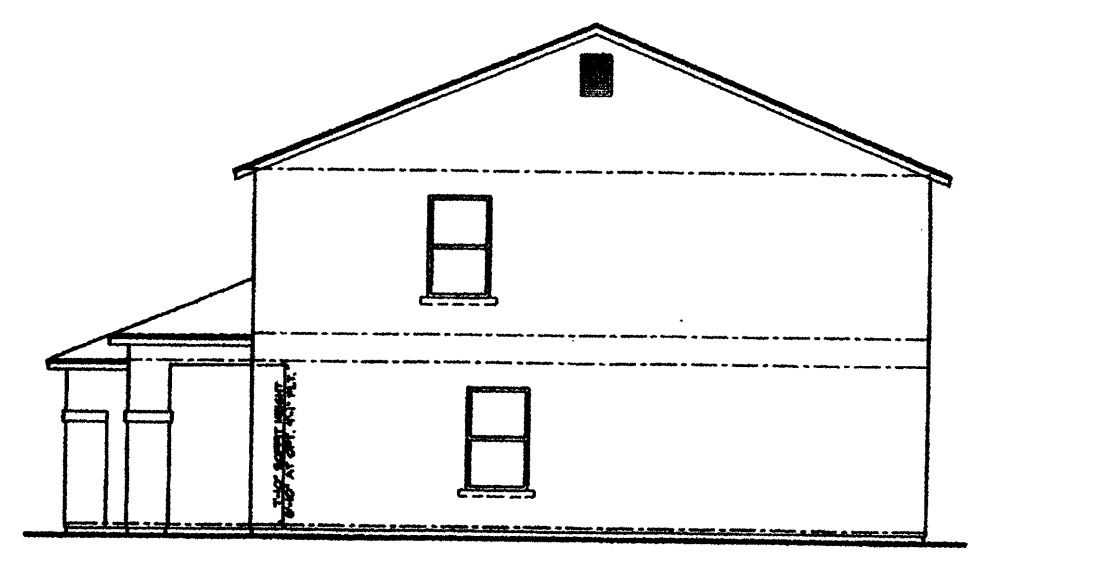
KB HOME, PLAN #237.2206



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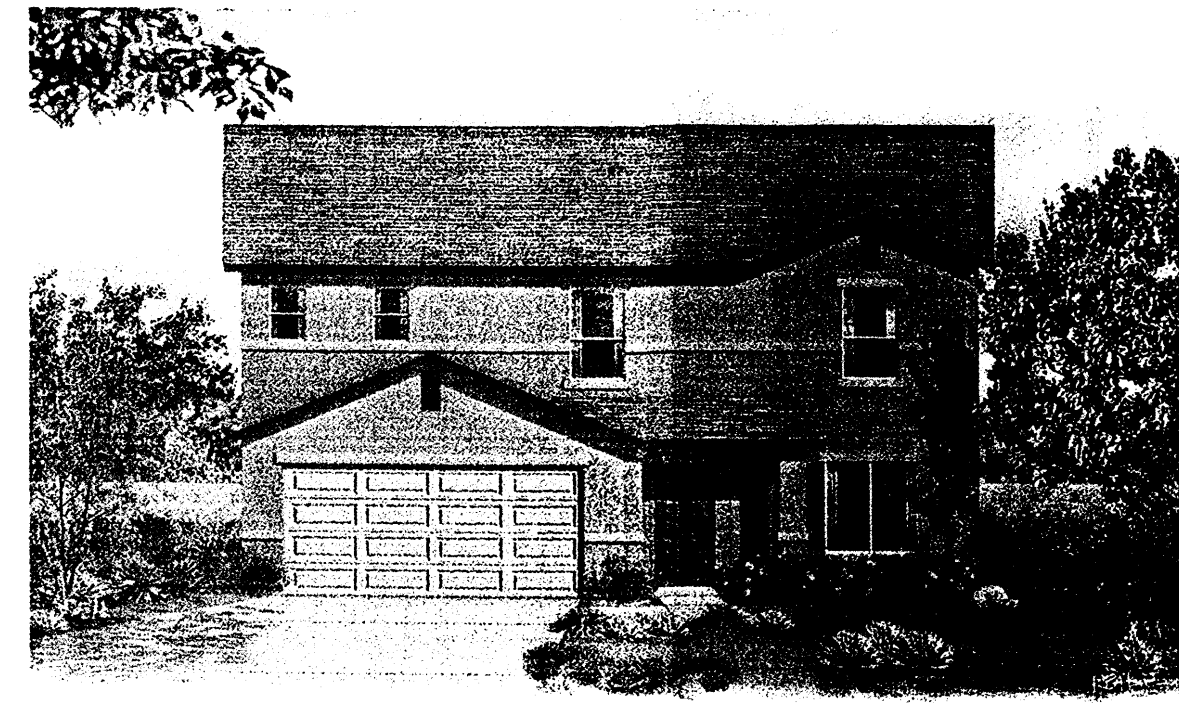
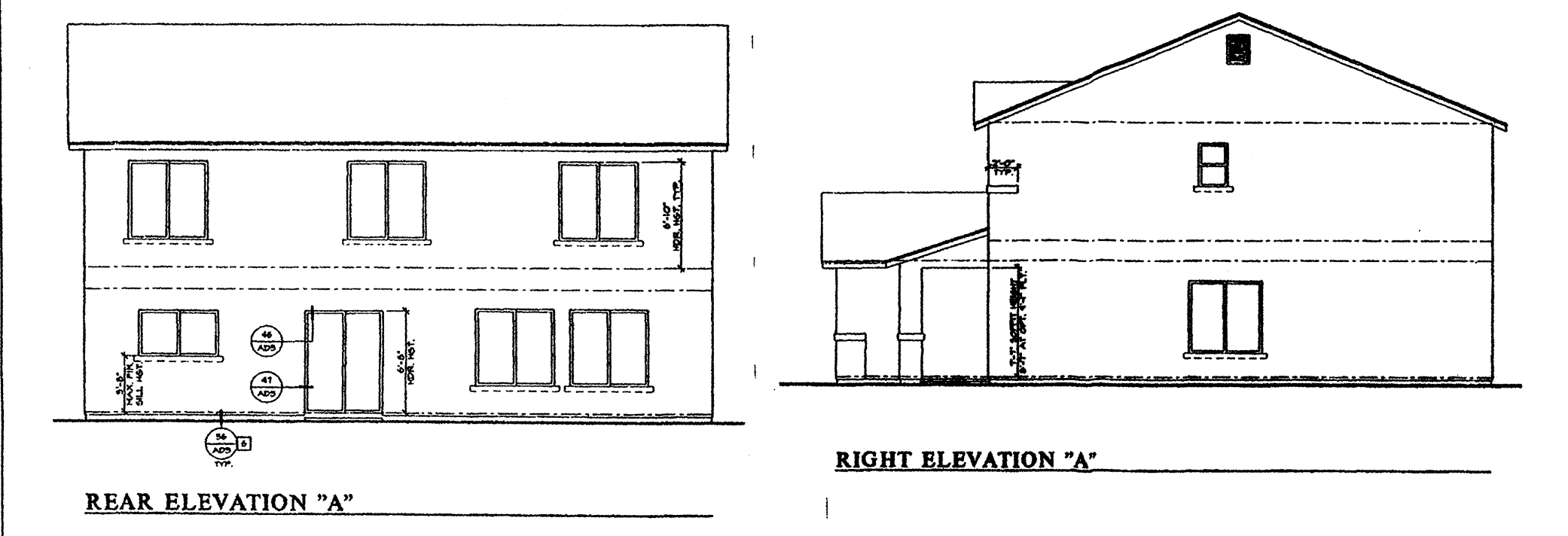
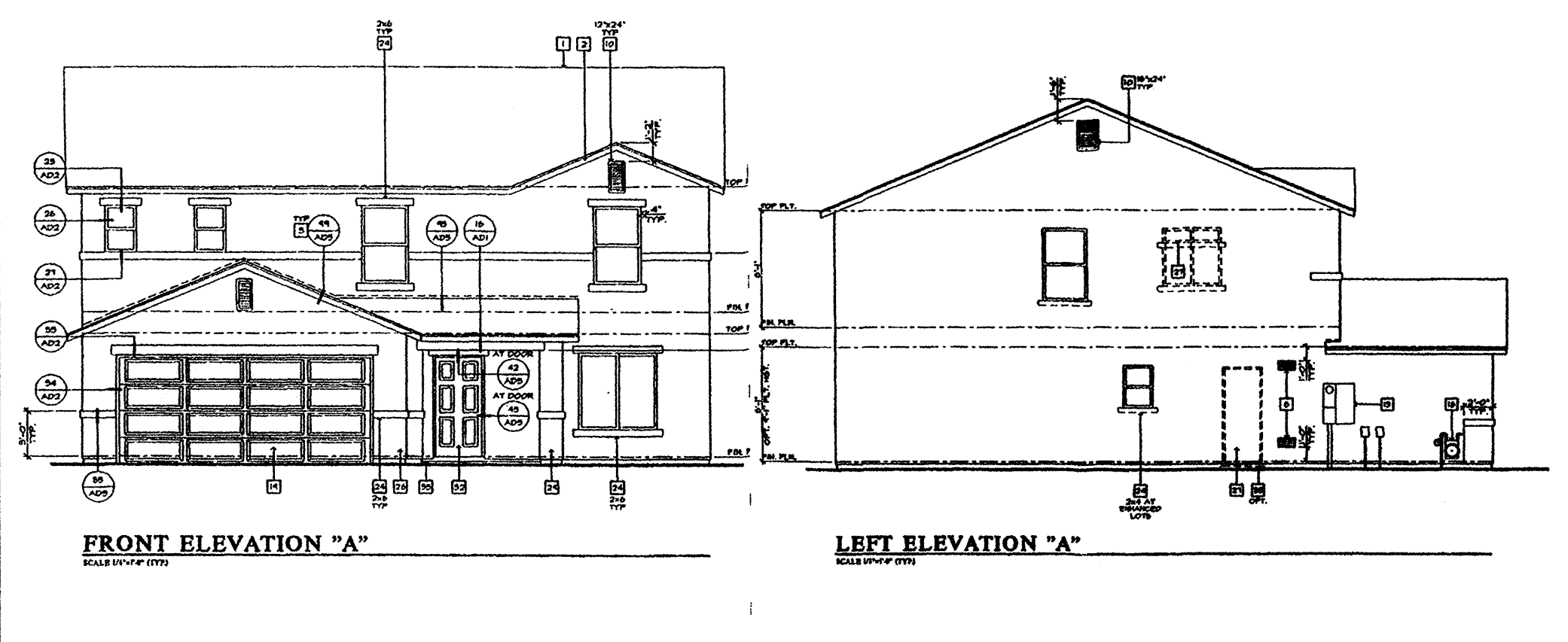
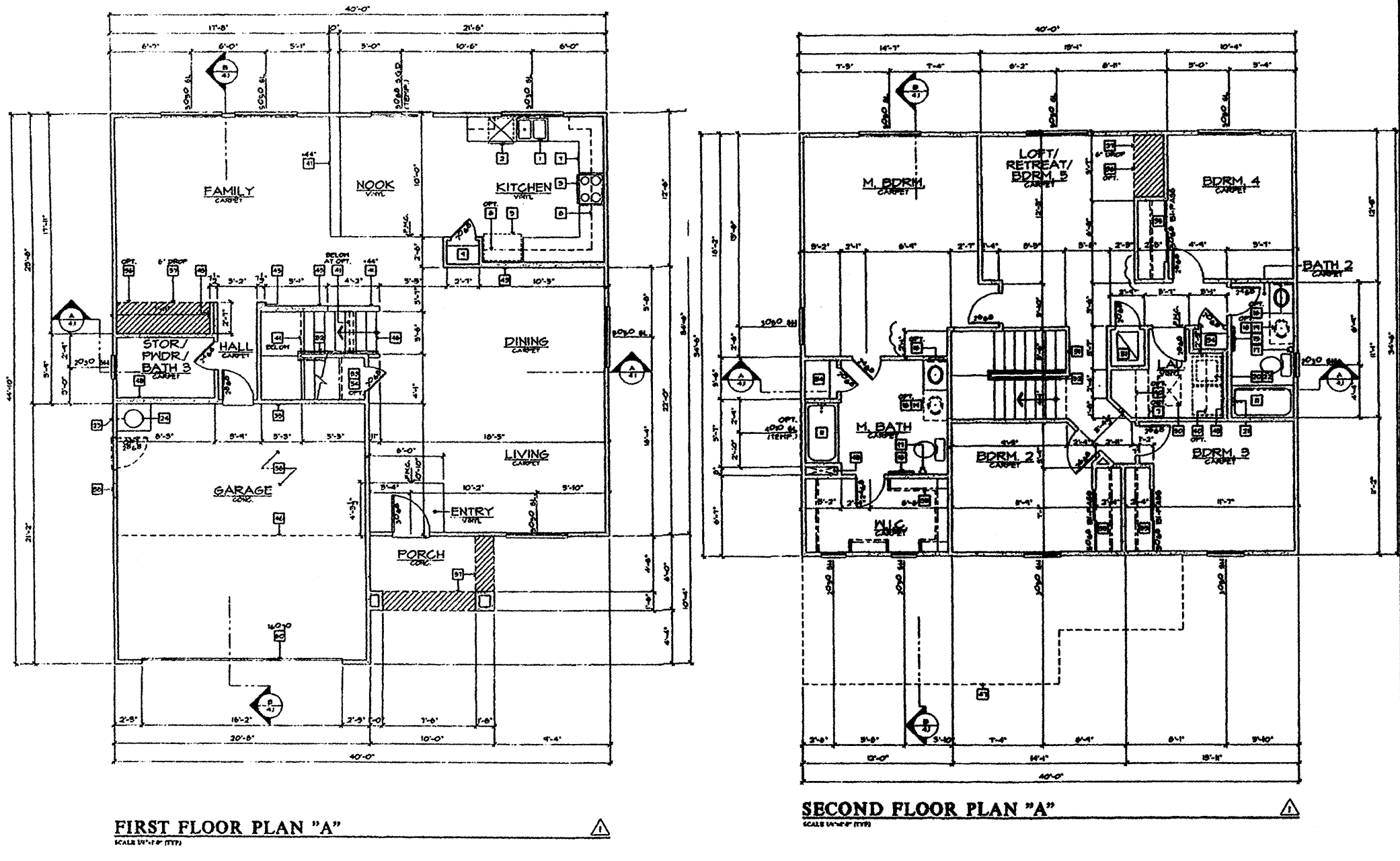


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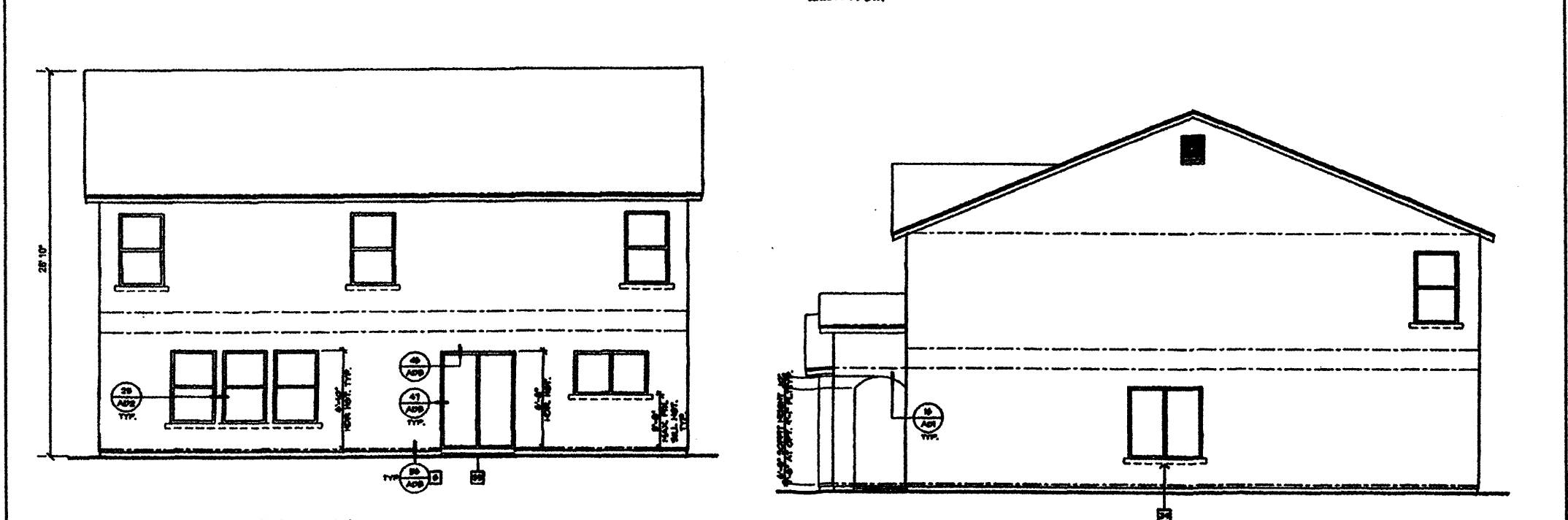
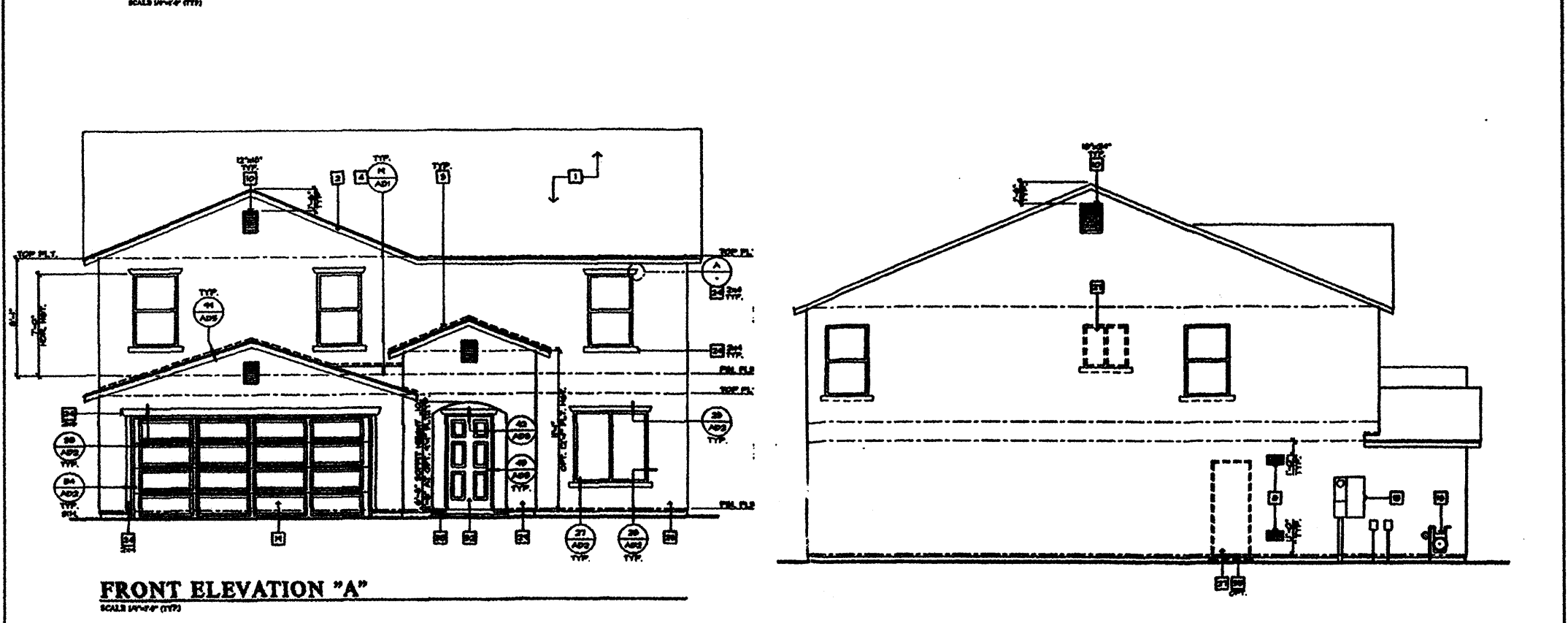
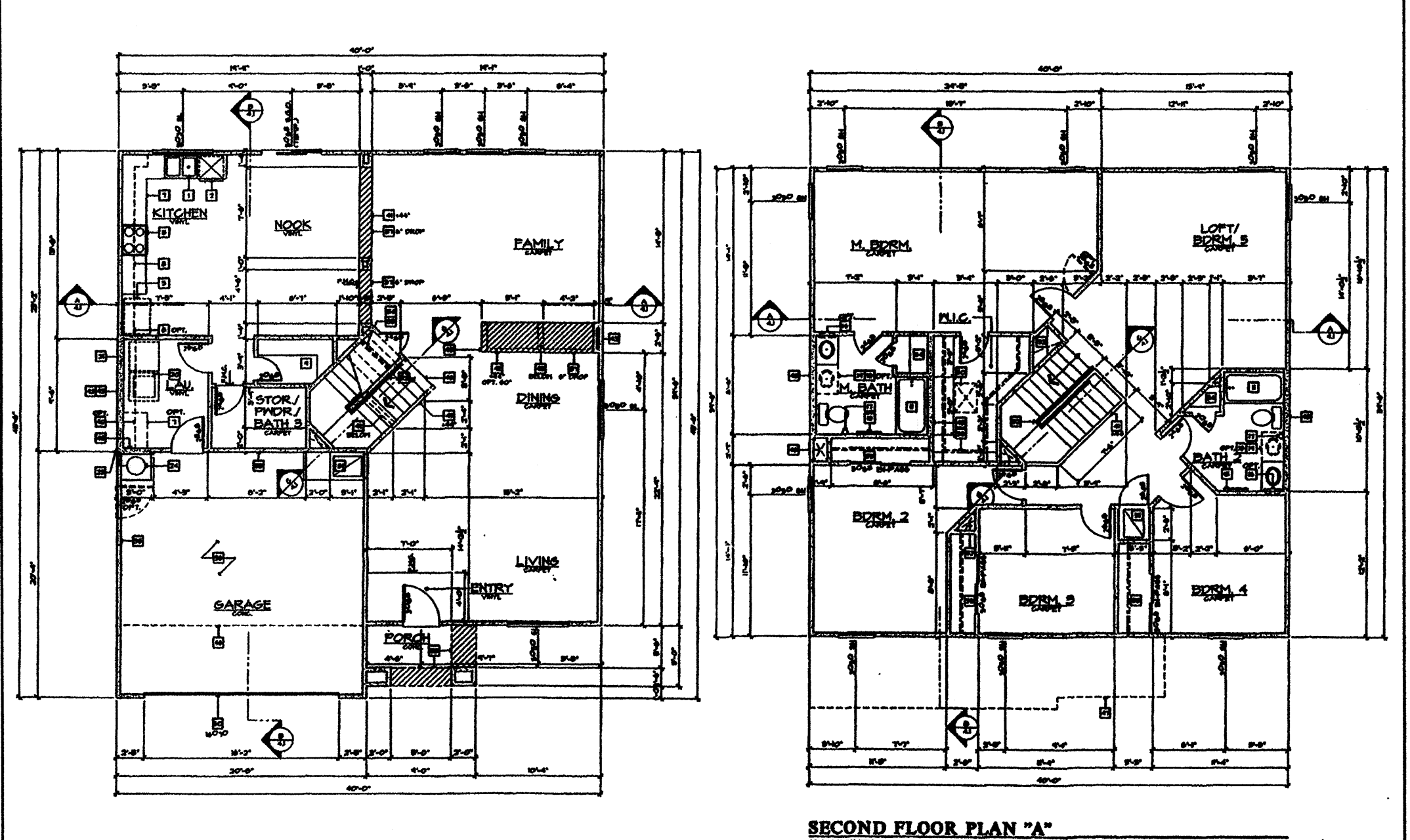


RIGHT ELEVATION "A"

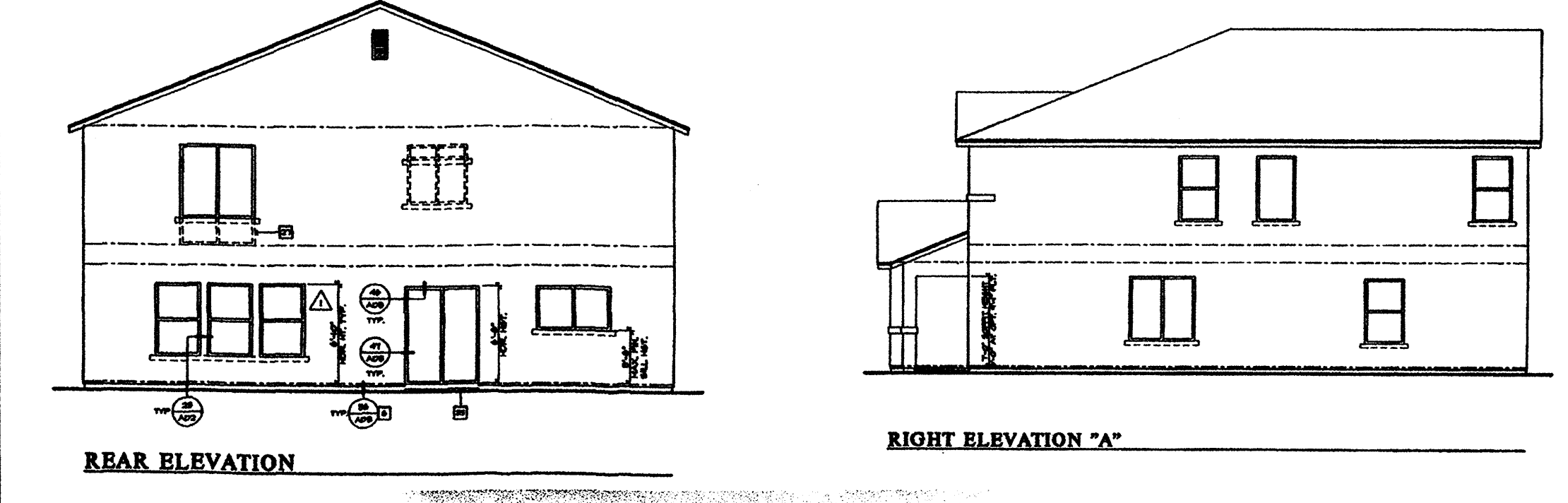
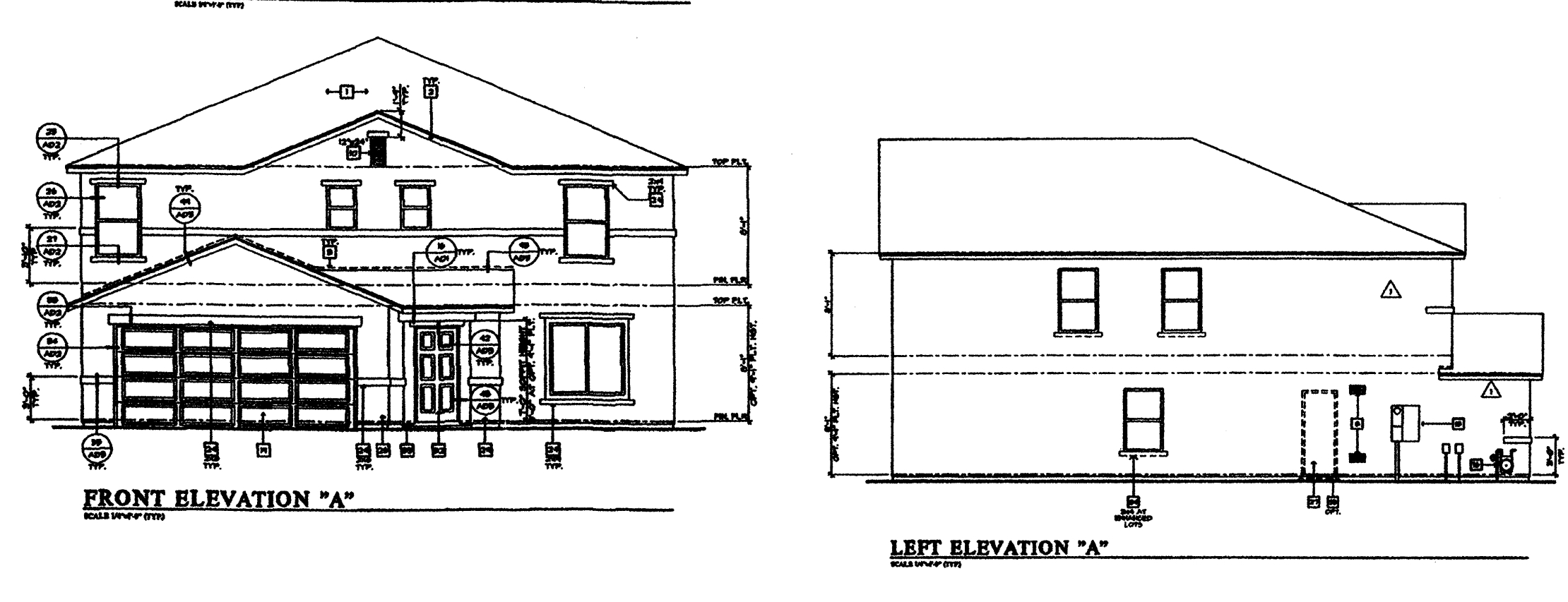
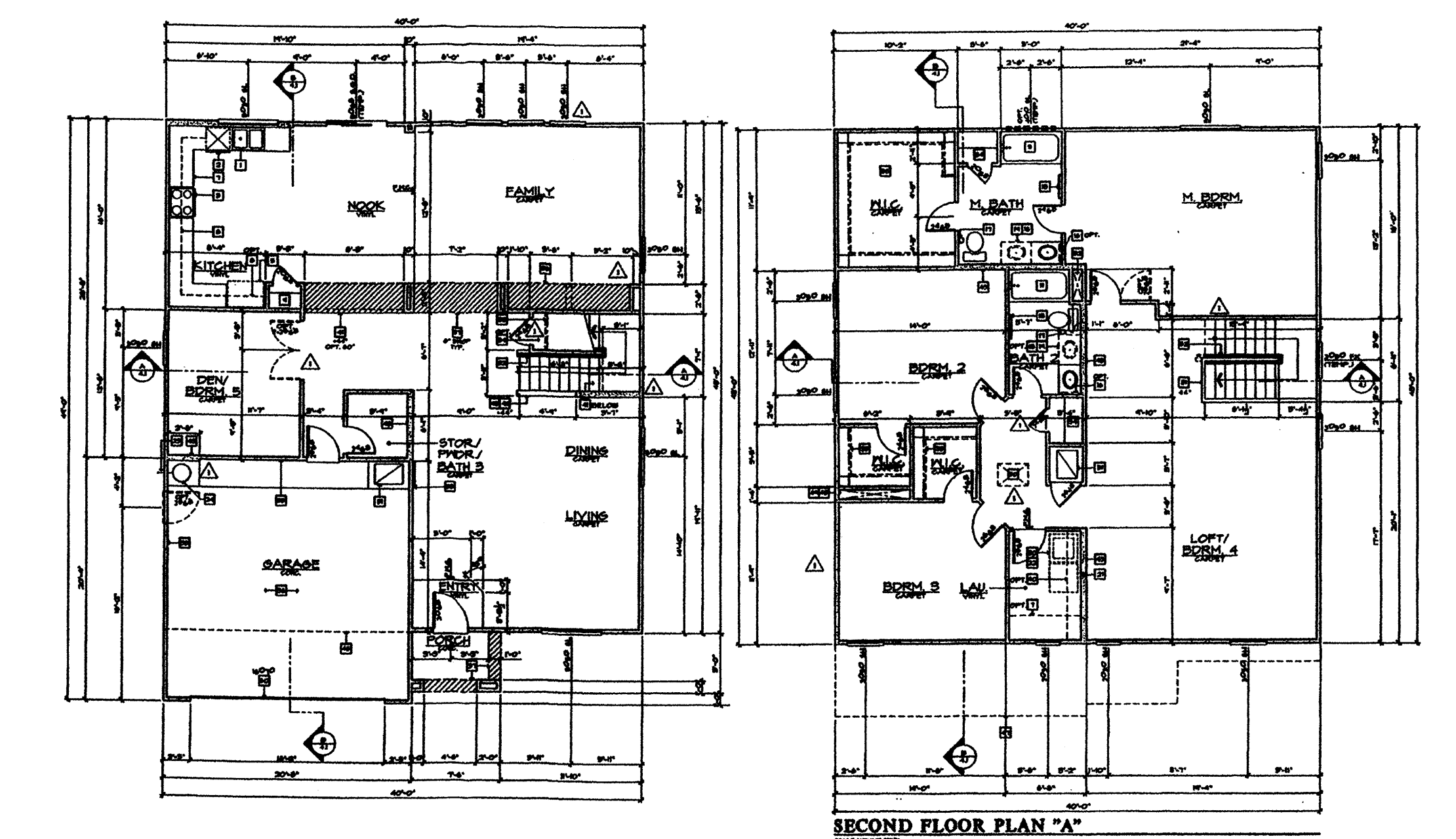
CRESTVIEW SUBDIVISION				
Building Elevations				
DATE:	12/02/2003	<i>community sciences corporation</i>	9 / 10	
SCALE:	As Shown			
DESIGNED:	J.T.S.	community sciences corporation		
DRAWN:	C.S.C.			
JOB NO.:	627-01	LAND PLANNING	ENGINEERING	SURVEYING
		P.O. Box 1328	Corrales, N.M. 87048	



KB HOME, PLAN #240.2459



KB HOME, PLAN #240.2769



KB HOME, PLAN #240.3087

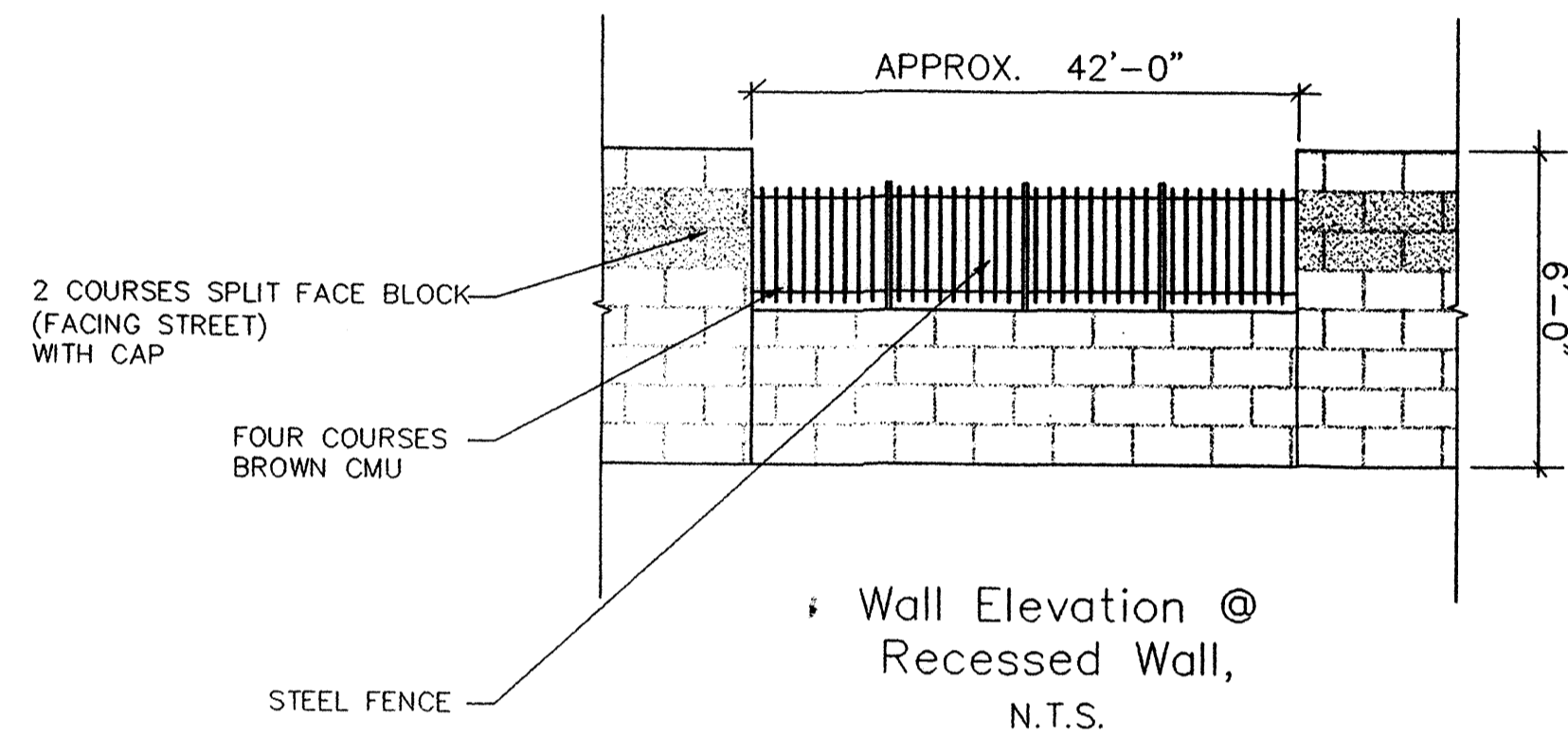
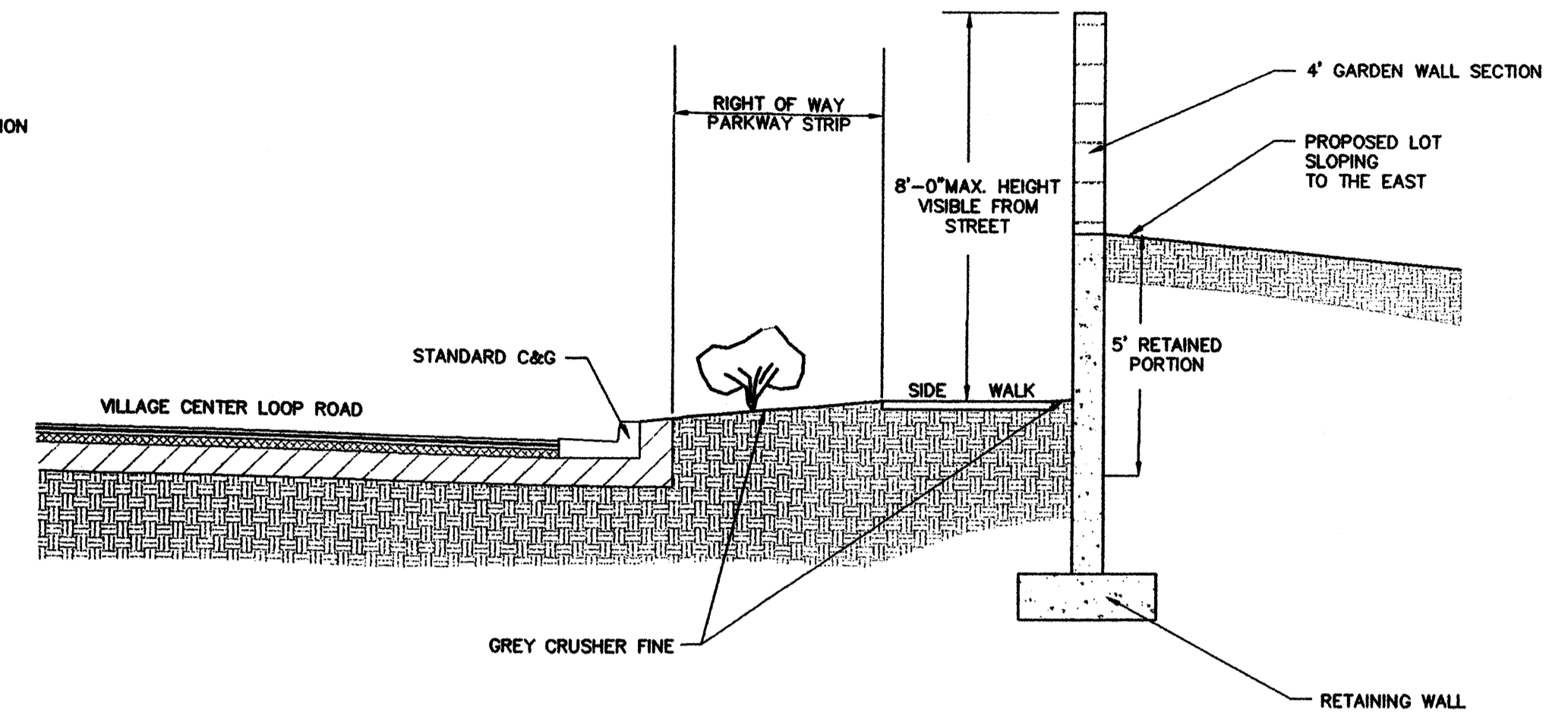
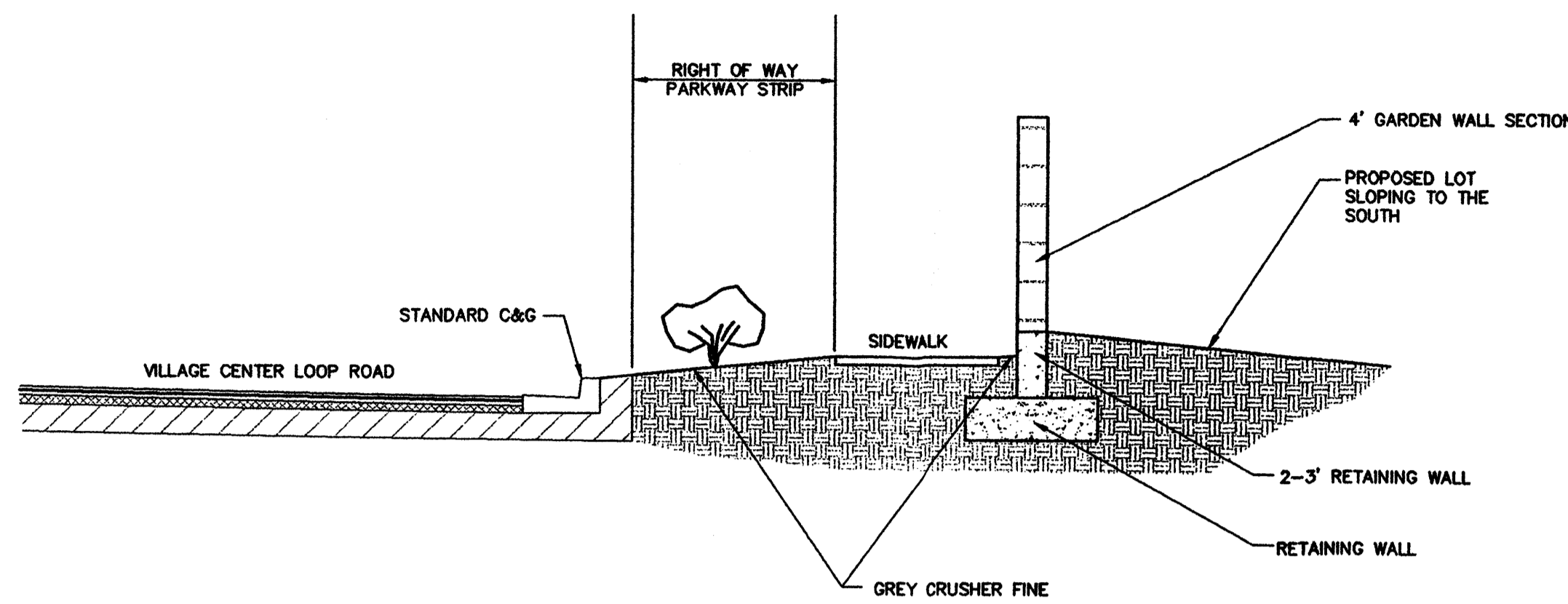
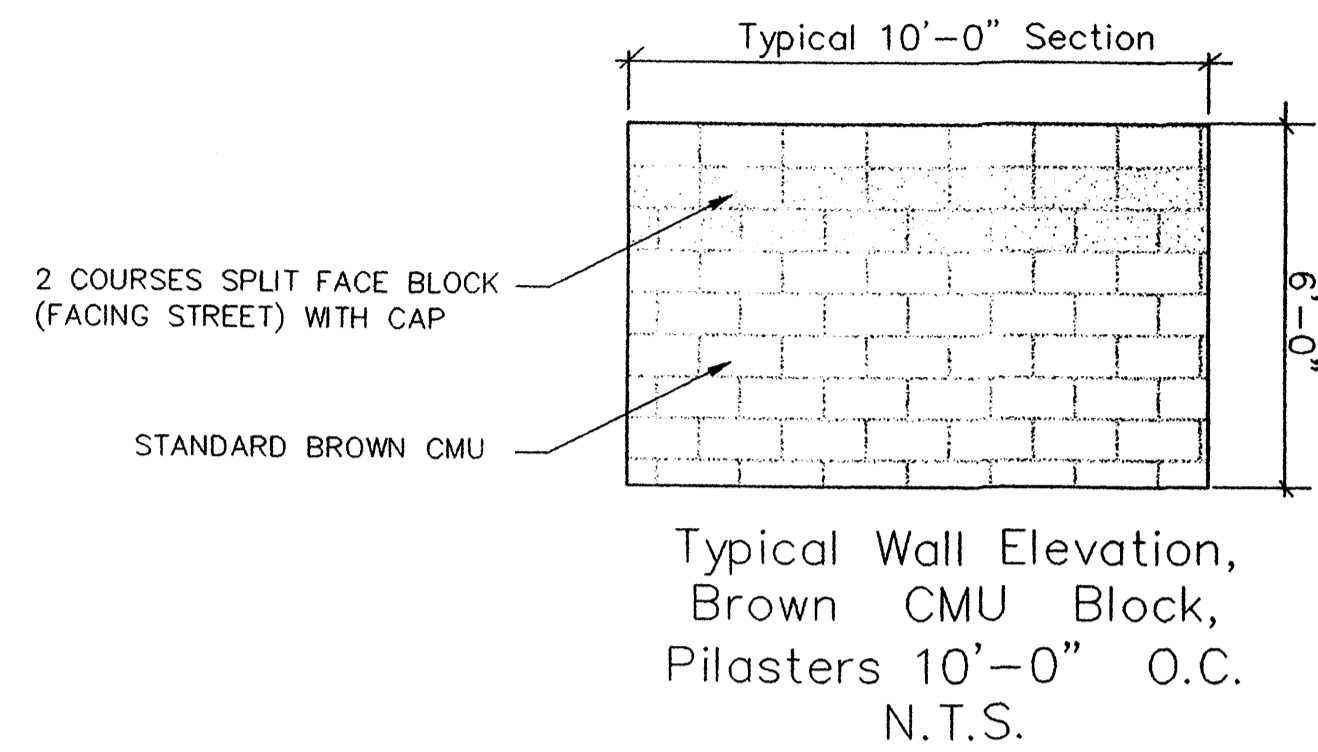
CRESTVIEW SUBDIVISION
Building Elevations

DATE: 12/02/2005
SCALE: As Shown
DESIGNER: J.T.S.
DRAWN: C.S.C.
JOB NO.: 627-01

community sciences corporation

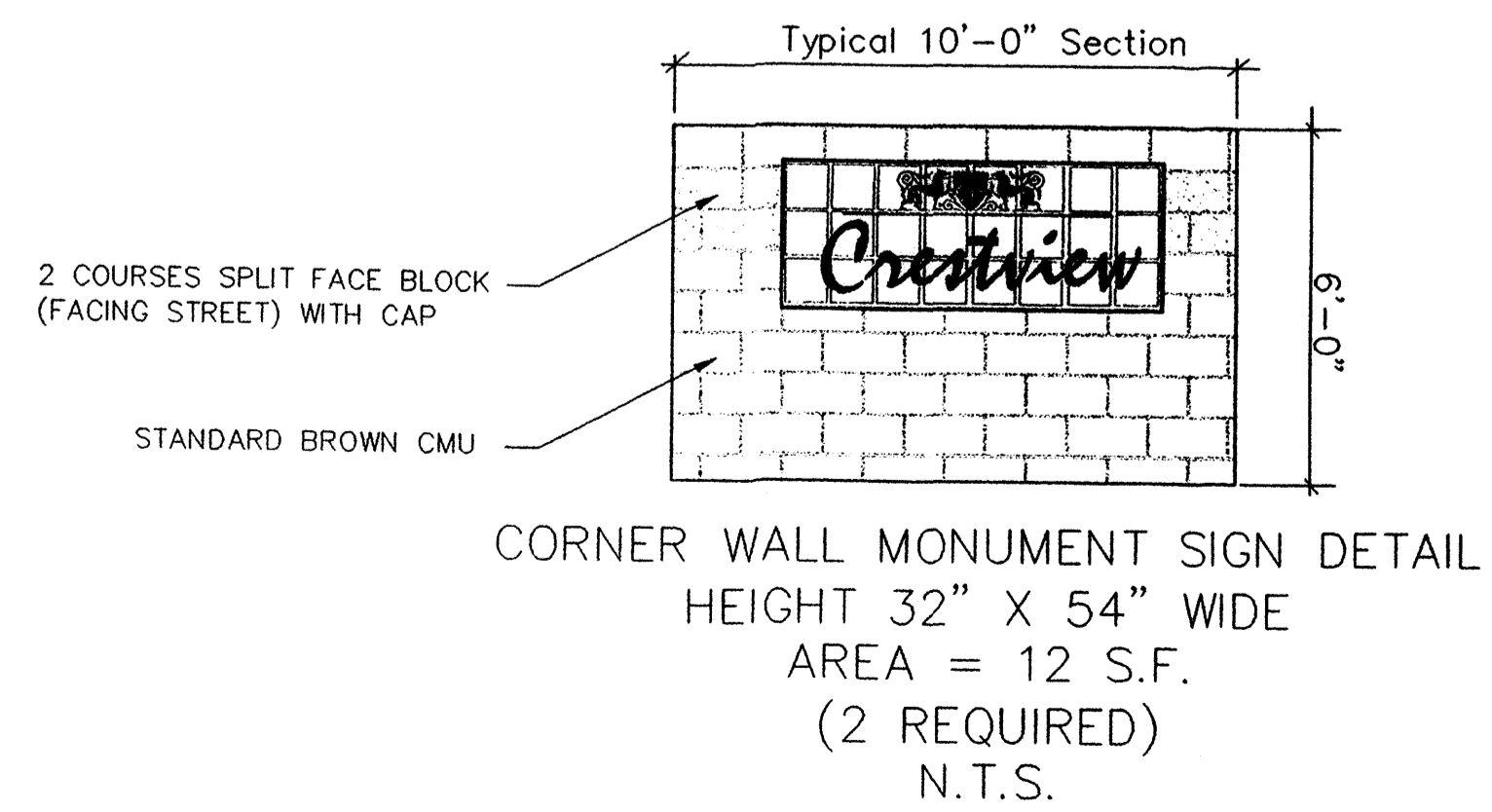
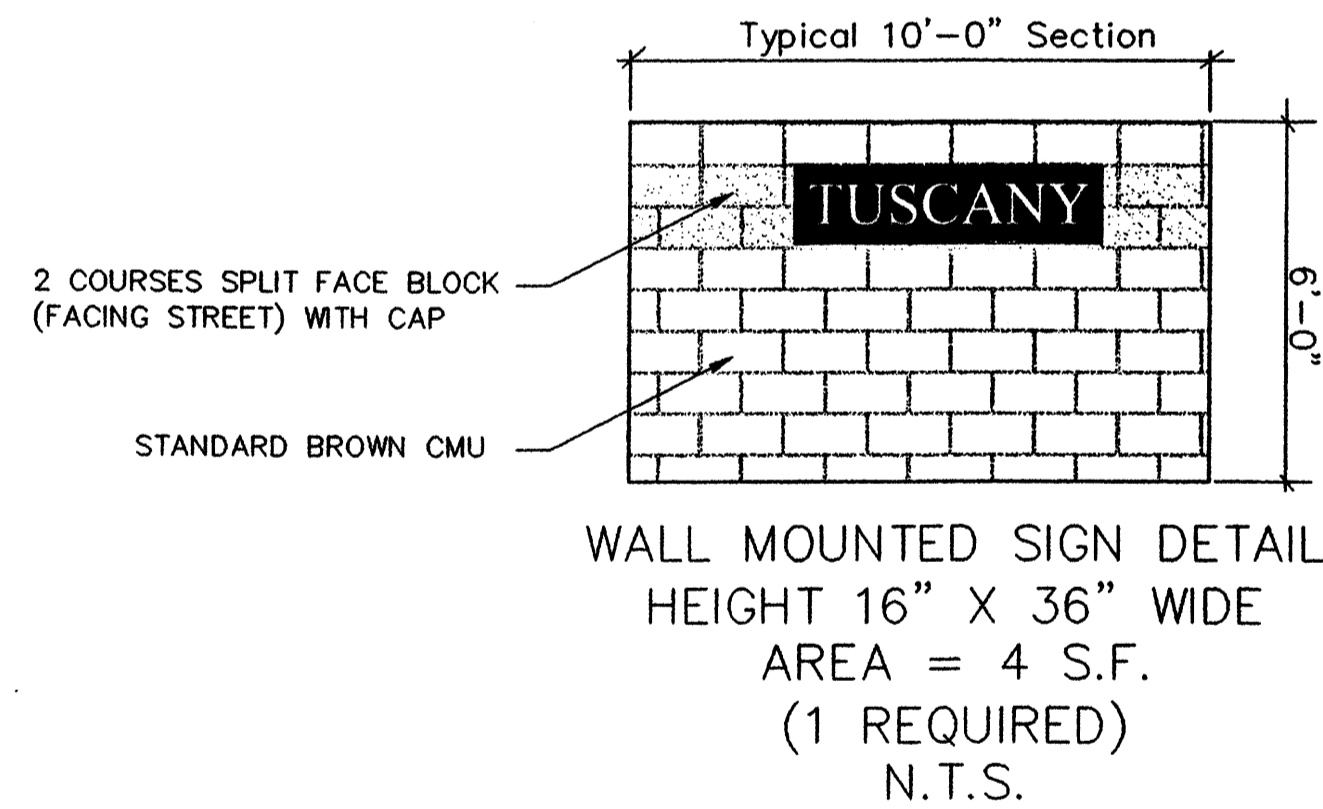
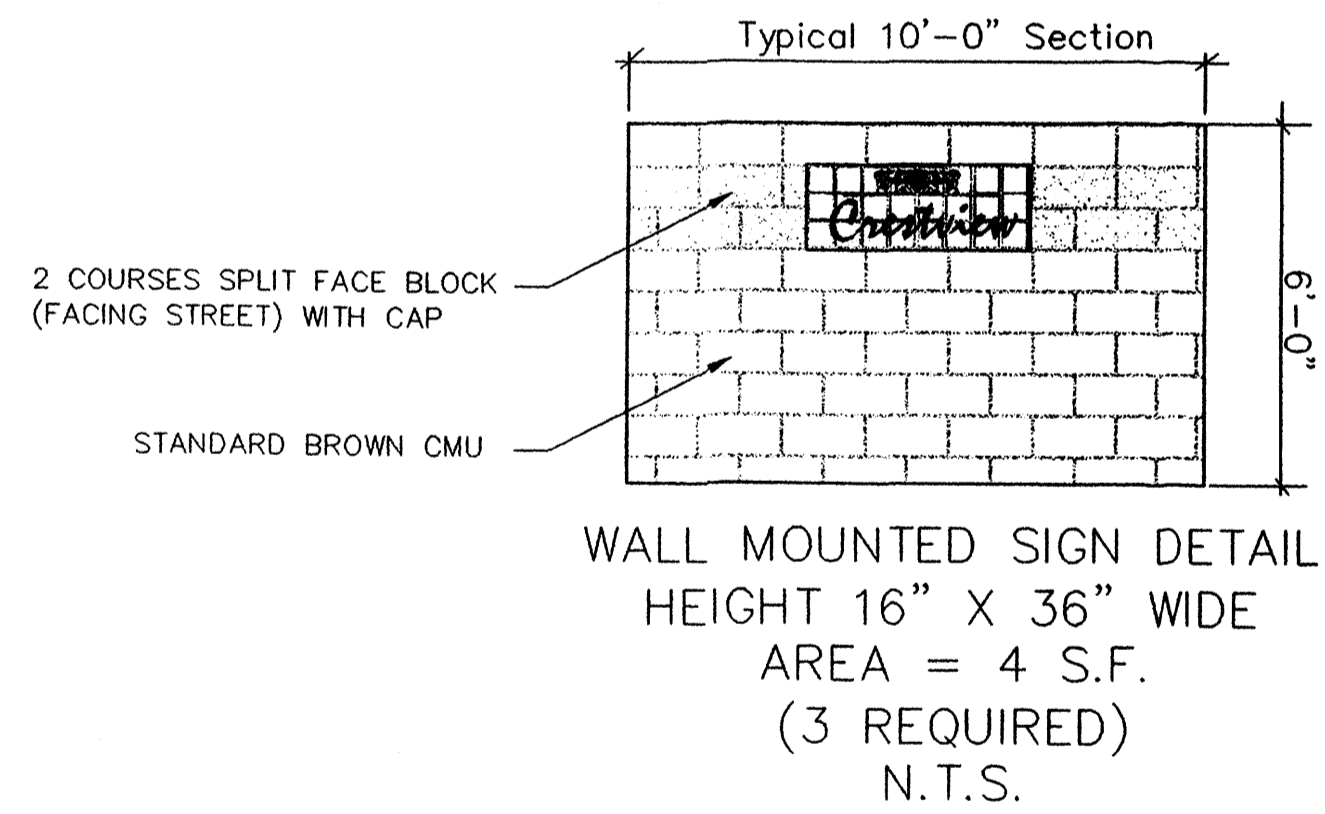
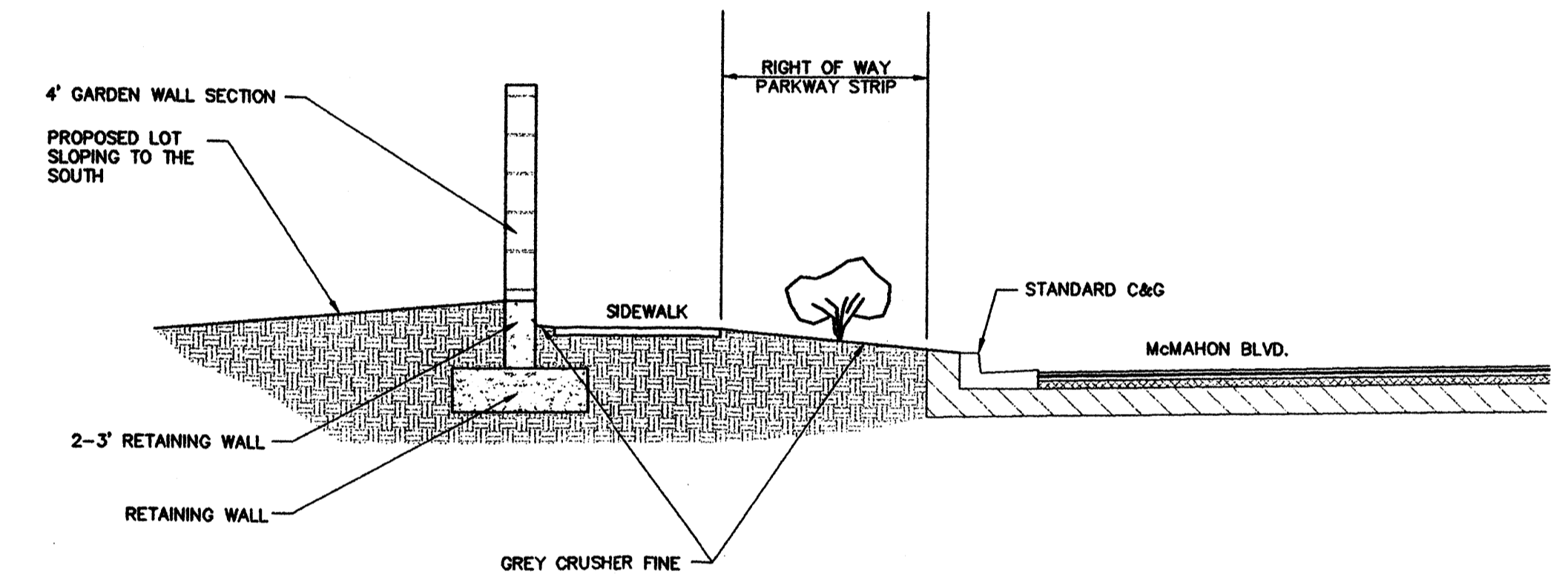
LAND PLANNING ENGINEERING SURVEYING
P.O. Box 1328 Corrales, N.M. 87048

10/10



SECTION A-A
Average Height Wall Section
At Village Center Loop Road,
N.T.S.

SECTION B-B
Highest Wall Section,
N.T.S.



DATE: 11/2003
SCALE: N/A
DESIGNED: REH
DRAWN: MYH
CHECKED BY: WHH

Community Sciences Corporation
LAND PLANNING ENGINEERING SURVEYING
P.O. Box 1325 Corvallis, OR 97331

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEERS STAMP & SIGNATURE		APPROVALS	ENGINEER	DATE	*****		
		DRC Chairman			APPROVED FOR CONSTRUCTION		
		Transportation					
		Water/Wastewater					
		Hydrology					
		C.I.P.					
		Constr. Mngmt.			City Engineer		Date
		Constr. Coord.					
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DESIGN GUIDELINES

THE PURPOSE OF THESE DESIGN GUIDELINES IS TO PROVIDE DEVELOPERS AND DESIGNERS WITH AN UNDERSTANDING OF DEVELOPMENT GUIDELINES FOR THE FINE PROPERTY. THESE GUIDELINES APPLY TO THE PORTION OF THE PROPERTY LOCATED WITHIN THE UNSERMCMAHON VILLAGE CENTER AND SU-1 PROPERTIES. THESE GUIDELINES ADDRESS THE ISSUES OF OPPORTUNITIES, LIGHTING, SIGNAGE, ARCHITECTURAL DESIGN, WALLS/SCREENING, AND LANDSCAPE. THEY ARE DESIGNED TO BE CONSISTENT WITH THE FINDINGS AND CONDITIONS OF APPROVAL ESTABLISHED BY THE ENVIRONMENTAL PLANNING COMMISSION ON JUNE 24, 1999 (Z-98-31) AND AS AMENDED BY SPECIFIC DEVELOPMENT APPROVALS: THE WESTSIDE/MCMAHON CORRIDOR TRANSPORTATION AND LAND USE GUIDE (APRIL 1999); AND THE WEST SIDE STRATEGIC PLAN. THESE GUIDELINES ALSO REFERENCE THE UNSERMCMAHON VILLAGE CENTER PLAN, SITE PLAN FOR SUBDIVISION, SUBMITTED ON AUGUST 26, 1999.

A BULK LAND PLAT HAS BEEN RECORDED ON JANUARY 11, 2002, VOL. 2002, FOLIO 16. THIS PLAT AND SUBSEQUENT AMENDMENTS DEFINE ZONE BOUNDARY LINES OF PARCELS A THROUGH F.

THESE DESIGN GUIDELINES LIST REQUIRED DEVELOPMENT STANDARDS TO ENSURE COMPATIBILITY WITHIN THE SUBDIVISION AND WITHIN THE VILLAGE CENTER. THESE GUIDELINES ARE NOT MEANT TO CURTAIL CREATIVITY, BUT TO CONVEY TO THE DEVELOPMENT A SENSE OF MEANING AND PLACE.

SITE DESIGN

ENTRANCES FROM MAJOR STREETS PROVIDE AN AREA FOR A STRONG VISUAL IMPACT AND A UNIFIED PROJECT IDENTIFICATION, CREATE A SENSE OF ARRIVAL, AND PROVIDE A SPACE FOR ACTIVITIES THAT BENEFIT THE EXTENDED COMMUNITY. THESE AREAS WILL BE DESIGNED TO FOSTER PEDESTRIAN CONNECTIVITY AND PROVIDE MULTI-MODAL LINKAGES BETWEEN RESIDENTIAL AND COMMERCIAL/RETAIL SITES. ALL AREAS DESIGNED FOR PUBLIC AMENITIES SHALL BE PROVIDED ADEQUATE SHADE FROM INTENSE SUNLIGHT BY LANDSCAPING OR ARCHITECTURAL DEVICES. PLAZA AREAS SHALL HAVE A MINIMUM DIMENSION OF 30 FEET IN DEPTH AND SHALL HAVE A MINIMUM SQUARE FOOTAGE OF 1000 SQUARE FEET.

COMMERCIAL ENTRIES TO THE PROJECT SHALL BE CLEARLY DEFINED AND CONSISTENT IN THEME FROM EXTERNAL AND INTERNAL POINTS OF VIEW. PASSAGES INTO THE SITE SHALL BE OPEN AND VISIBLE FROM THE STREET, WITH AMPLE LIGHTING AND WELL-PLACED LANDSCAPING ELEMENTS. THERE SHALL BE A MINIMUM OF 15-FOOT WIDE SIDEWALKS AT ALL ENTRY FACADES FOR COMMERCIAL BUILDINGS WITH SHADE CANOPIES.

BUILDINGS AND STRUCTURES ERECTED WITHIN THE SITE SHALL COMPLY WITH ALL CITY OF ALBUQUERQUE ZONING AND BUILDING CODES, AS WELL AS OTHER LOCAL CODES AND ORDINANCES.

ALL COMMERCIAL BUILDINGS SHALL BE CONNECTED TO THE INTERNAL STREET AND THE EXTERNAL STREETS WITH PEDESTRIAN WAYS WITH 6-FOOT CLEAR SIDEWALKS WITH SHADE TREES IN 5 X 5 PLANTERS, 25 FEET ON CENTER.

ALL PARKING IN COMMERCIAL AND MULTI-FAMILY RESIDENTIAL PARCELS SHALL BE SCREENED BY BUILDINGS OR A COMBINATION OF LANDSCAPING ELEMENTS, AND WALLS OR FENCES. ALL PARKING REQUIREMENTS SHALL REFLECT THE ZONING CODE MINIMUM AS THE MAXIMUM PLUS 10 %.

ROAD LAYOUT

THE LAYOUT OF ROADWAYS IS THE PREREQUISITE TO USING ANY SPACE. WITHOUT THE ABILITY TO ENTER OR TO MOVE WITHIN IT, TO RECEIVE AND TRANSMIT INFORMATION AND GOODS, SPACE IS OF NO VALUE. A SITE MUST HAVE AN ACCESS SYSTEM CAPABLE OF SAFE AND DIRECT VEHICULAR AND PEDESTRIAN TRAVEL.

THERE WILL BE ONE FULL ACCESS AT STREET "A" (VILLAGE LOOP ROAD) TO MCMAHON BLVD. FROM THIS INTERSECTION, STREET "A" WILL PROVIDE MAJOR ACCESS TO THIS DEVELOPMENT.

RIGHT IN/RIGHT OUT ACCESS TO MCMAHON SHALL BE PROVIDED AT THE WESTERN MOST BOUNDARY OF THE SITE. TO THE NORTH, BOTH SIDEWALK AND RT-DUT ACCESS SHALL BE DESIGNATED SHARED ACCESS, INTENDED TO ALSO SERVE PROPERTIES TO THE WEST.

THE ROADWAY LAYOUT FOR MCMAHON BLVD SHALL FOLLOW THE CROSS-SECTION DEPICTED IN THE WESTSIDE/MCMAHON CORRIDOR PLAN (EXHIBIT 2-7), AND CITY CONSTRUCTION DOCUMENTS.

CROSSWALK MATERIALS AT INTERSECTIONS SHALL BE DISTINGUISHED FROM THE ROADWAY MATERIAL WITH STRIPING OR TEXTURED CONCRETE TO ELIMINATE THE CONCERNS OF UNEVEN SURFACES AND CREVICES AND TO PROVIDE DEFINITION OF THE CROSSING.

PEDESTRIAN CONNECTIONS AND TRAILS

PEDESTRIAN CONNECTIONS PROVIDE DIRECT ACCESS BETWEEN LAND USES WITHIN THE UNSERMCMAHON VILLAGE CENTER AND TO THE SURROUNDING NEIGHBORHOODS. THE FOLLOWING CRITERIA SERVES TO CREATE A PEDESTRIAN FRIENDLY ENVIRONMENT AND PROMOTE ALTERNATIVE MODES OF TRAVEL.

A MEANDERING, MINIMUM 10 FOOT WIDE MULTI-PURPOSE TRAIL PER CITY STANDARDS SHALL BE PROVIDED WITHIN THE 50 FOOT GAS LINE EASEMENT ALONG THE NORTH SIDE OF THE 156 FOOT MCMAHON RIGHT-OF-WAY TO AFFORD CONNECTIONS TO THE UNSERMCMAHON VILLAGE CENTER AND SURROUNDING NEIGHBORHOODS. THIS OFF-STREET TRAIL SHALL REPLACE THE REQUIREMENT FOR AN ARTERIAL SIDEWALK ALONG THIS SIDE OF MCMAHON BLVD. A 6 FOOT SIDEWALK SHALL BE PROVIDED ALONG THE SOUTH SIDE OF MCMAHON BLVD. A SIDEWALK ALONG THE WEST SIDE OF STREET "A" SHALL BE PROVIDED WITHIN THE PUBLIC RIGHT-OF-WAY TO ACCESS COMMERCIAL AND OFFICE SITES.

A FOUR-FOOT SIDEWALK SHALL BE PROVIDED ALONG ONE OR BOTH SIDES OF STREETS LOCATED WITHIN THE SINGLE-FAMILY RESIDENTIAL AREA. (WITH THE EXCEPTION OF STUB STREET ENDS).

PEDESTRIAN CONNECTIONS SHALL BE PROVIDED FROM THE RESIDENTIAL PARCELS TO THE OFFICE/COMMERCIAL AREA BY SIDEWALK LINKAGES, AS WELL AS BY THE TRAIL NETWORK WITHIN THE 50-FOOT GAS LINE EASEMENT. CONNECTIONS THROUGH THE COMMERCIAL AREAS SHALL BE LIGHTED AND LANDSCAPED.

OFF-STREET PEDESTRIAN CONNECTIONS SHALL HAVE A MINIMUM 20-FOOT WIDE EASEMENT WITH A TRAIL OF AT LEAST 10-FOOT WIDTH, MAINTAINED BY THE RESPECTIVE PROPERTY INTERESTS.

BICYCLE PARKING SHALL BE PROVIDED TO PROMOTE ALTERNATIVE VEHICLE USE AS FOLLOWS: OFFICE AND COMMERCIAL AREAS SHALL PROVIDE 1 BICYCLE RACK PER 20 PARKING SPACES FOR EMPLOYEES. MULTI-FAMILY RESIDENTIAL AREAS DEVELOPED AS APARTMENTS SHALL PROVIDE 1 SPACE PER 2 DWELLING UNITS FOR THEIR RESIDENTS.

ALL COMMERCIAL PEDESTRIAN CONNECTIONS ADJACENT TO PARKING AREAS ARE DESIGNATED AS 8-FOOT SIDEWALKS 6-FEET WITH SHADE TREES AT 25 FEET ON CENTER IN 5 X 5 PLANTERS OR IN LANDSCAPING AREAS. IN CASES WHERE A SIDEWALK IS ADJACENT TO OR WITHIN A RIGHT-OF-WAY, SAID TREES WILL NOT BE IN ADDITION TO REQUIRED STREET TREES.

THE MAXIMUM SLOPE OF TRAILS AND WALKWAYS SHALL MEET A.D.A. REQUIREMENTS. PRIVATE PEDESTRIAN LINKAGES SHALL ALIGN WITH PUBLIC PATHS TO CONNECT AND INTEGRATE THE SITE.

TRANSPORTATION DEMAND MANAGEMENT (TDM)

THIS SITE PLAN FOR SUBDIVISION CONTAINS THREE DISTINCT LAND USES, SU1 FOR C-1, SU1 FOR R-2, AND RL.T. TDM PROGRAMS ARE BEST USED FOR EMPLOYMENT CENTERS OR CENTERS OF COMMERCE. ONLY ONE AREA WITHIN THIS SITE WILL BE A COMMERCIAL/OFFICE AREA (CONTAINING A MAX. OF 11 ACRES), THE USE OF TDM MEASURES FOR THIS SITE SHALL BE AS GUIDELINES. AS SUCH, THE FOLLOWING INFORMATION WAS EXTRACTED FROM THE UNSERMCMAHON VILLAGE CENTER NORTH SITE PLAN FOR SUBDIVISION. THE FUTURE EMPLOYERS THAT LOCATE WITHIN THE VILLAGE ADJACENT AREA AT MCMAHON AND UNSER WHO HAVE MORE THAN 50 EMPLOYEES SHOULD SET UP A TDM PROGRAM. THE PURPOSE OF THE TDM PLAN IS TO PROVIDE EMPLOYEES WITH ALTERNATIVES TO THE SINGLE-OCCUPANCY VEHICLE AS A MEANS TO COMMUTE FROM HOME. THE FOLLOWING ELEMENTS WILL BE PART OF A TDM EFFORT AT THIS ADJACENT AREA AT MCMAHON AND UNSER:

ON PARCELS WITH BUSINESSES THAT HAVE MORE THAN 50 EMPLOYEES, LOCKERS, SHOWERS, AND BICYCLE LOCKERS SHOULD BE AVAILABLE ON EACH PARCEL FOR THOSE EMPLOYEES WHO WISH TO JOG, WALK OR BICYCLE TO WORK VIA ONE OF THE BICYCLE TRAILS THAT ARE IN CLOSE PROXIMITY TO THIS SITE.

BUSINESSES WITH MORE THAN 50 EMPLOYEES SHOULD CONSIDER APPOINTING A COMMUTER MANAGEMENT COORDINATOR (CMC) FOR THE PURPOSES OF FACILITATING CARPOOLS AND PROVIDING PREMIUM PARKING SPACES FOR THOSE EMPLOYEES WHO PARTICIPATE.

BUSINESSES WITH MORE THAN 50 EMPLOYEES SHOULD PROVIDE BULLETIN BOARD SPACE IN THEIR EMPLOYEE BREAKROOM AS AN "INFORMATION CENTER" WHERE MATERIAL, PARTICULARLY RELEVANT CITY TRANSIT INFORMATION, POLICIES AND PLANS CAN BE POSTED.

THE CMC COORDINATOR FOR EACH EMPLOYER WITH MORE THAN 50 EMPLOYEES WILL ALSO BE THE CONTACT PERSON WITH CITY TRANSIT AND ENVIRONMENTAL HEALTH DEPARTMENTS FOR UPDATES, TECHNICAL ASSISTANCE, ETC.

A TRANSPORTATION DEMAND MANAGEMENT PLAN SHOULD BE DEVELOPED WITH THE TRANSIT DEPARTMENT ONCE A THRESHOLD OF 100 EMPLOYEES AT THE COMMERCIAL CENTER IS REACHED. A TRANSPORTATION MANAGEMENT ASSOCIATION SHOULD BE ORGANIZED FOR ALL OF THE BUSINESSES WITHIN THE COMMERCIAL CENTER.

A TRANSPORTATION DEMAND MANAGEMENT PLAN SHOULD BE DEVELOPED WITH THE TRANSIT DEPARTMENT ONCE A THRESHOLD OF 100 EMPLOYEES AT AN OFFICE DEVELOPMENT IS REACHED.

AS PART OF THE TDM PROGRAM, CITY TRANSIT'S RESPONSIBILITIES INCLUDE:

PROVIDE BUS ROUTES AND STOP FACILITIES ALONG MCMAHON BOULEVARD, OUTSIDE THE UNSERMCMAHON VILLAGE CENTER, IN PROXIMITY TO THE INTERSECTION OF STREET "A" AND MCMAHON. MINIMUM IMPROVEMENTS SHALL INCLUDE SHELTER AND BENCH FACILITIES.

PROVIDE A BUS STOP WITHIN PARCEL A WITHIN THE UNSERMCMAHON VILLAGE CENTER. MINIMUM IMPROVEMENTS SHALL INCLUDE SHELTER, BENCH, LIGHTING BICYCLE STORAGE FACILITIES AND LANDSCAPING.

BUILDING SETBACKS

THE SETBACK REQUIREMENTS FOR BUILDINGS SERVE TO CREATE AN ENHANCED OPEN SPACE FOR PEDESTRIAN WALKWAYS AND ATTRACTIVE STREETSAPES. THESE SETBACK REQUIREMENTS ARE DESIGNED TO INTERNALIZE PARKING AND PROVIDE ACCESS ADJACENT TO THE STREETS. IF AN OMISSION OR CONFLICT IN THIS PROVISION EXISTS, THE ZONING CODE (RO 1974, 7-14-3, AS AMENDED) MINIMUM SETBACKS APPLY AS FOLLOWS: COMMERCIAL/OFFICE LAND USE, C1/O1; APARTMENTS, R-2 ZONE; SINGLE FAMILY, RT ZONE.

BUILDINGS IN COMMERCIAL AND OFFICE ZONES (PARCELS A, B, D AND E) SHALL HAVE MINIMUM SETBACKS AS DESCRIBED: 25-FOET FROM THE EXISTING GAS LINE EASEMENT ALONG THE NORTH SIDE OF MCMAHON BLVD. 40-FOET FROM THE R.O.W. LINE OF STREET A. 15-FOET FROM THE PROPERTY LINE OF A COMMERCIAL ZONE OR ZERO FEET, IF ATTACHED. 5-FOET FROM SIDE-STREETS - PARCEL F (NOTE: IF NOT IN CONFLICT WITH EASEMENTS BUILDINGS IN THE MULTI-FAMILY PARCEL (PARCEL F) ADJACENT TO MCMAHON BLVD, IF DEVELOPED AS APARTMENTS, SHALL HAVE A MINIMUM BUILDING SETBACK OF 25 FEET FROM THE RIGHT-OF-WAY AND SHALL BE LANDSCAPED.

BUILDINGS IN SINGLE-FAMILY PARCELS (PARCEL C, PERMISSIVE USE), SHALL HAVE SETBACKS AS REQUIRED BY THE CITY OF ALBUQUERQUE ZONING CODE, RL.T STANDARDS.

PARCELS DEVELOPED AS SINGLE FAMILY (PARCEL F, PERMISSIVE USE) SHALL HAVE MINIMUM SETBACKS AS FOLLOWS: FRONT, TO GARAGE, 20 FEET; FRONT, TO PRINCIPAL STRUCTURE, 15 FEET; SIDE, TO INTERIOR STREET, 10 FEET; REAR, 15 FEET OR AN AVERAGE OF 15 FEET IF SKEWED, MEASURED FROM PROJECTIONS OF SIDELINE SETBACKS; SIDEYARD 5 FEET. THE SIDEYARD SETBACK COULD BE REDUCED TO ZERO FEET FOR ATTACHED BUILDINGS, IN ACCORDANCE WITH THE RT ZONE. UNLESS ATTACHED WALL, ALL PRINCIPAL BUILDINGS MUST MAINTAIN A MINIMUM 10 FOOT HORIZONTAL SEPARATION FROM OTHER PRINCIPAL BUILDINGS. PORCHES ARE ALLOWED TO ENCRACH UP TO 6 FEET INTO THE FRONT AND REAR SETBACKS.

THE MINIMUM SETBACK OF COMMERCIAL BUILDING ENTRIES FROM STREET "A" TO THE FRONT ENTRY OF THE BUILDING SHALL BE 40 FEET.

ALL BUILDING SETBACKS SHALL BE LANDSCAPED ACCORDING TO THE LANDSCAPE GUIDELINES FOUND HEREIN AND CONFORMING TO THE CITY'S STREET TREE ORDINANCE (MCMAHON BOULEVARD).

CLEAR SIGHT SETBACKS FOR WALLS, SIGNS AND SPECIAL TREATMENT AREAS AT SECONDARY INTERSECTIONS SHALL BE 35-FOET FROM THE RIGHT-OF-WAY LINE.

PERIMETER AWNINGS, PORTALS, PORCHES, OPEN-AIR PATIOS, GARDEN COURT WALLS, FIREPLACES AND OVERHANGS SHALL BE ALLOWED WITHIN SETBACKS. NO PLASTIC OR VINYL BUILDING PANELS OR AWNINGS SHALL BE PERMITTED.

OFF-STREET PARKING

THE FOLLOWING DESIGN CRITERIA SERVES TO MINIMIZE THE NEGATIVE IMPACT OF LARGE, EXPANSIVE PARKING AREAS THROUGH LANDSCAPING, SITE LOCATION AND ARRANGEMENT.

PER THE CITY ZONING CODE, 1 PARKING SPACE PER 200 SQUARE FEET OF LEASABLE SPACE IS REQUIRED FOR OFFICE AND COMMERCIAL PARCELS. (PARCELS A, B, C AND E).

THE PARKING REQUIREMENT FOR MULTI-FAMILY RESIDENCES IS 1 PARKING SPACE PER BATH, BUT NO LESS THAN 1.5 SPACES PER UNIT. (PARCELS F, IF DEVELOPED AS APARTMENTS). IF DEVELOPED AS SINGLE FAMILY, 1 SPACE PER BATH, A MINIMUM OF TWO.

BICYCLE PARKING FOR MULTI-FAMILY RESIDENTS SHALL BE PROVIDED TO PROMOTE ALTERNATIVE VEHICLE USE. BICYCLE LOCKER REQUIREMENTS ARE 1 SPACE PER 2 DWELLING UNITS FOR MULTI-FAMILY RESIDENTIAL LAND USE.

PARKING SHALL BE DISTRIBUTED AMONG SEVERAL PARKING COURTS IN EACH PARCEL AND SHALL BE ARRANGED BEHIND BUILDINGS OR BE SCREENED FROM SURROUNDING NEIGHBORHOODS. SCREENING MAY INCLUDE EARTH BERMS, PERIMETER OR RETAINING WALLS, LANDSCAPING AND/OR BUILDINGS.

LANDSCAPED ISLANDS SHALL BE DISTRIBUTED THROUGHOUT PARKING AREAS, AND A 8-FOOT MINIMUM SIDEWALK SHALL BE PROVIDED ADJACENT TO PARKING LOTS. ISLANDS SHALL INCLUDE AT LEAST 1 TREE FOR EVERY 20 PARKING SPACES AND THE MAXIMUM DISTANCE FROM ANY PARKING SPACE TO A TREE SHALL BE 90 FEET.

THERE SHALL BE BARRIER CURBS AROUND ALL PARKING AREAS IN ORDER TO PROTECT LANDSCAPING FROM VEHICLES.

ALL PARKING AREAS SHALL BE SETBACK A MINIMUM OF 15 FEET FROM THE RIGHT-OF-WAY LINE.

THERE SHALL BE NO PARKING REQUIREMENT APPLIED TO ANY SECOND FLOOR HOUSING ABOVE RETAIL.

SITE/BUILDING LIGHTING

LIGHTING SERVES TO ENHANCE THE SAFETY, SECURITY, AND VISUAL AESTHETICS OF THE PROPERTY. IT IS IMPORTANT TO CONSIDER THE LOCATION OF LIGHTING, THE HEIGHT AND PLACEMENT, AND DESIGN PREREQUISITES FOR ILLUMINATION.

LIGHTING SHALL BE A MAXIMUM OF 20-FEET FOR LIGHT STANDARDS AND 16-FOET WITHIN 100 FEET OF RESIDENTIAL DEVELOPMENTS; THE EXCEPTION BEING RESIDENTIAL USES ABOVE RETAIL SHOPS.

SODIUM LIGHTING IS NOT ACCEPTABLE.

STREET LIGHTING OTHER THAN AT PRIVATE LANES SHALL BE SHELLED SOURCE, AND THE COLOR, STYLE AND DESIGN OF FIXTURES MUST BE CONSISTENT AND RELATE STYLISTICALLY TO THE ARCHITECTURE OF THE SITE AND SURROUNDING BUILDINGS.

SIGNAGE AND GRAPHICS

THE FOLLOWING SIGNAGE CRITERIA CREATES A SENSE OF ARRIVAL TO THE SITE AND ESTABLISHES A QUALITY VISUAL IMPACT. IT PROVIDES DIRECTION AND INFORMATION AS TO CIRCULATION WITHIN AND AROUND THE DEVELOPMENT.

ALL FREESTANDING SIGNS SHALL BE MONUMENT OR WALL-MOUNTED SIGNS ONLY.

TWO MONUMENT OR FREESTANDING SIGNS WILL BE ALLOWED ON MCMAHON BLVD AS "LANDMARKS" IDENTIFYING THE COMMERCIAL CENTER AND MULTI-FAMILY RESIDENTIAL SITE AND SHALL BE OF SIMILAR DESIGN AND MATERIALS AS THE BUILDINGS. THE MAXIMUM MONUMENT SIGN HEIGHT SHALL BE 10 FEET.

BUILDING MOUNTED SIGNS SHALL BE A MAXIMUM OF 6 % OF THE BUILDING FRONTAGE AND SHALL NOT FACE ABUTTING SINGLE FAMILY RESIDENTIAL WITH FRONT YARDS ADJACENT.

SIGNS PERPENDICULAR TO A BUILDING ELEVATION SHALL ONLY OCCUR UNDER AN AWNING OR CANOPY/PORTEL AND SHALL NOT BE MORE THAN 8 SQUARE FEET. THESE SIGNS MAY NOT PROJECT PAST THE OVERHANG.

INDIVIDUAL CHANNEL AND NEON LETTERS SHALL BE PERMITTED AT A MAXIMUM HEIGHT OF 2 FEET PER LETTER.

PROHIBITED SIGNAGE INCLUDES THE FOLLOWING: THOSE CONSISTING OF BANNERS, PENNANTS, RIBBONS, STREAMERS, STRINGS OF LIGHT BULBS AND SPINNERS (EXCEPT DURING HOLIDAYS OR SPECIAL THEMATIC EVENTS); BRASHLY COLORED SIGNS WITH MOVING OR FLASHING LIGHTS; ANIMATED SIGNS; PORTABLE SIGNS; OFF-PREMISE SIGNS; BACKLIT PLASTIC/VINYL SIGNS EXCEPT FOR LOGO DESIGNS. NO SIGN MAY OVERHANG A RIGHT-OF-WAY OR PROPERTY LINE.

PERIMETER WALLS AND SCREENING, COMMERCIAL/OFFICE LAND USE

A SET OF DESIGN GUIDELINES, "DESIGN MANUAL FOR SUBDIVISION ACCESS AND PERIMETER WALLS", HAVE BEEN ADOPTED BY THE CITY OF ALBUQUERQUE PERTAINING TO ACCESS AND WALLS TO ENHANCE PUBLIC SAFETY AND IMPROVE THE VISUAL QUALITY OF THE STREETSAPES. THESE GUIDELINES SHALL BE INCORPORATED INTO THIS DEVELOPMENT IN ORDER TO BETTER DEFINE SPACES, BE VISUALLY ATTRACTIVE, AND TO COMPLEMENT THE SITE AND SURROUNDING DEVELOPMENTS. THE INTENT OF THESE GUIDELINES IS TO PROVIDE SUPPLEMENTAL IMPUT FOR SCREENING, SERVICE FUNCTIONS, AND SECURITY.

MECHANICAL EQUIPMENT AND/OR REFUSE ENCLOSURES, WITHIN C1 USES WHETHER ON ROOF AREAS OR AT STREET LEVEL, SHALL BE FULLY SCREENED FROM PEDESTRIANS AND MOTORISTS. THE SCREENING SHALL BE GREATER THAN OR EQUAL TO THE TOP OF ALL HVAC EQUIPMENT, INCLUDING SCREEN WALLS. THE WALLS SHALL BE MADE WITH COMPATIBLE MATERIALS AND DESIGNED TO INTEGRATE ARCHITECTURALLY INTO THE BUILDING.

ALL LOADING DOCKS SHALL BE SCREENED AND COVERED WITH ARCHITECTURALLY INTEGRATED WALLS AND ROOFS. PASSENGER LOADING AREAS DO NOT REQUIRE SCREENING.

ANY EXTERIOR STORAGE AND SALES AREA SHALL BE ARCHITECTURALLY INTEGRATED TO THE MAIN BUILDING BY USE OF WALLS, ROOFS AND FENCING.

THE USE OF CHAINLINK, RAZOR WIRE, BARBED WIRE, OR VINYL FENCING SHALL NOT BE PERMITTED.

AUTOMATED RESIDENTIAL CART STORAGE AREAS (REFUSE) SHALL NOT BE VISIBLE FROM THE STREET OR FROM INSIDE A GARAGE. ALL COMMERCIAL REFUSE BINS OR DEVICES SHALL BE ENCLOSED WITHIN A SOLID WALL, WITH GATES AND ORIENTATION ACCEPTABLE TO THE SOLID WASTE MANAGEMENT DEPARTMENT.

PERIMETER WALLS AND SCREENING, RESIDENTIAL

PERIMETER WALLS SURROUNDING PROJECTS ARE PERMITTED. PERIMETER WALLS ADJACENT TO MCMAHON BOULEVARD ARE REQUIRED. PEDESTRIAN ACCESS PENETRATIONS SHALL BE MAINTAINED AND THE USE OF WROUGHT-IRON OR ROLLED-STEEL FENCING IS ENCOURAGED AT SELECT LOCATIONS FOR SIGHT LINES AND VISUAL RELIEF.

ARCHITECTURAL DESIGN

THE ARCHITECTURAL STYLE SHALL NOT BE DESIGNATED BY THESE GUIDELINES. CLOSE ATTENTION SHOULD BE GIVEN TO PRESERVING AESTHETIC AMENITIES; LANDSCAPING AND BUILDING STYLES REFLECTING REGIONAL CHARACTERISTICS.

BUILDING ELEMENTS, SUCH AS WINDOWS, DISPLAYS, AND ENTRIES, IN THE COMMERCIAL AREA (PARCELS A, B, C AND E) SHALL BE ORIENTED BOTH EXTERNALLY TO THE STREETSAPES AND INTERNALLY TOWARDS PUBLIC AREAS. WINDOWS AT ENTRANCES MAY BE A COMBINATION OF SHOP WINDOWS OR VIEWING WINDOWS PLACED ON AVERAGE OF 30-FEET ON CENTER.

BUILDINGS LOCATED IN THE COMMERCIAL/OFFICE PARCEL AND MULTI-FAMILY LAND USE SHOULD BE ORIENTED TO FRONT ALONG MCMAHON BLVD AND STREET "A".

MAXIMUM BUILDING HEIGHTS ARE 26-FOET IN ACCORDANCE WITH THE PROVISIONS OF THE ZONING CODE, C-1 ZONE.

ALL CANOPIES, ROOF STRUCTURES AND DESIGN ELEMENTS OF RELATED BUILDINGS SHALL BE ARCHITECTURALLY INTEGRATED TO THE MAIN BUILDING DESIGN.

BUILDINGS IN THE COMMERCIAL/OFFICE PARCELS (PARCELS A, B, C AND E) MAY BE MIXED USE STRUCTURES ACCOMMODATING RETAIL STORES BELOW AND OFFICES/APARTMENTS ABOVE.

ANY CELL TOWERS SHALL BE CONCEALED AND/OR INTEGRATED INTO THE SURROUNDING ARCHITECTURE.

GENERIC FRANCHISE ELEVATION DESIGNS ARE NOT ENCOURAGED.

BUILDING MATERIALS PROHIBITED AS THE MAIN ARCHITECTURAL FEATURE INCLUDE THE FOLLOWING:

- EXPOSED, UNTREATED MASONRY BLOCK OR WOOD WALLS
- HIGHLY REFLECTIVE SURFACES
- METAL PANELING AS A DOMINANT MATERIAL
- MATERIALS WITH HIGH MAINTENANCE REQUIREMENTS

BLACK OR DARK COLORED ROOFING IS DISCOURAGED DUE TO SOLAR HEAT GAIN.

RESIDENTIAL PORCHES

TO ENCOURAGE STREETSAPES VARIETY AND TO PROMOTE COMMUNITY INTERACTIONS, COVERED OR UNCOVERED PORCHES MAY ENCRACH UP TO 6 FEET INTO THE MINIMUM FRONT OR REAR BUILDING SETBACK AREAS AS HEREIN SPECIFIED IN PARCEL F.

LANDSCAPE MAINTENANCE

COMMERCIAL/OFFICE PARCELS (PARCELS A, B, C AND E) AND R2 PARCEL F, IF DEVELOPED AS APARTMENTS, SHALL MAINTAIN ALL ON-PREMISES LANDSCAPING, PEDESTRIAN BUFFERS, TRAILS AND ADJACENT PUBLIC RIGHT OF WAY IMPROVEMENTS, INCLUDING STREET TREES.

SINGLE FAMILY LAND USE (RT, PERMISSIVE) SHALL MAINTAIN ALL ON-PREMISES LANDSCAPING, INCLUDING STREET TREES.

PEDESTRIAN TRAILS, NORTH-SIDE MCMAHON BOULEVARD ARE WITHIN CITY RIGHT-OF-WAY AND WILL BE MAINTAINED BY THEM. THIS DOES NOT PRECLUDE ENCRACHMENT AGREEMENTS ALLOWING COMMERCIAL TRACTS TO UNDERTAKE OR AUGMENT MAINTENANCE RESPONSIBILITIES.

PEDESTRIAN TRAIL (EASEMENT OR SEPARATE TRACT) WITHIN PARCEL F TO BE MAINTAINED BY APARTMENT PROJECT(S) OR, IF DEVELOPED AS SINGLE FAMILY, BY AN ASSOCIATION OR FUNDED COMMUNITY TRUST. THIS DOES NOT PRECLUDE MAINTENANCE RESPONSIBILITIES BEING ASSIGNED TO CHERS (SUCH AS THE TUSCANY LANDSCAPE AND MAINTENANCE ASSOCIATION OR COMMERCIAL DEVELOPMENT PROJECTS) IF SO AGREED.

THE CITY'S WATER CONSERVATION ORDINANCE APPLIES TO ALL LANDSCAPING.

LAND USE:

IN ACCORDANCE WITH THE ZONING CODE (RO 1974, 7-14-3, ARTICLE 16, AS AMENDED) THE FOLLOWING LAND USES (ZONING DISTRICTS) GOVERN:

PARCEL A - C1 AND O1 LAND USE, PERMISSIVE AND CONDITIONAL USES.

PARCEL B - C1 AND O1 LAND USE, PERMISSIVE AND CONDITIONAL USES.

PARCEL C - C1 AND O1 LAND USE, PERMISSIVE AND CONDITIONAL USES.

PARCEL D - RT, PERMISSIVE AND CONDITIONAL USES.

PARCEL E - C1 AND O1 LAND USE, PERMISSIVE AND CONDITIONAL USES.

PARCEL F - R2, PERMISSIVE AND CONDITIONAL USES.

	CRESTVIEW SUBDIVISION Design Guidelines		SHEET 12 OF 12
	DATE: 12/08/2003 SCALE: As Shown DESIGNED: J.T.S. DRAWN: C.S.C.		
JOB NO.: 627-02			