

CODE INFORMATION

BUILDING CODE:
INTERNATIONAL BUILDING CODE 2009
PLUMBING CODE:
INTERNATIONAL PLUMBING CODE 2009
MECHANICAL CODE:
INTERNATIONAL MECHANICAL CODE 2009
ELECTRICAL CODE:
NATIONAL ELECTRICAL CODE 2011
FIRE CODE:
INTERNATIONAL FIRE CODE 2009

BUILDING DATA

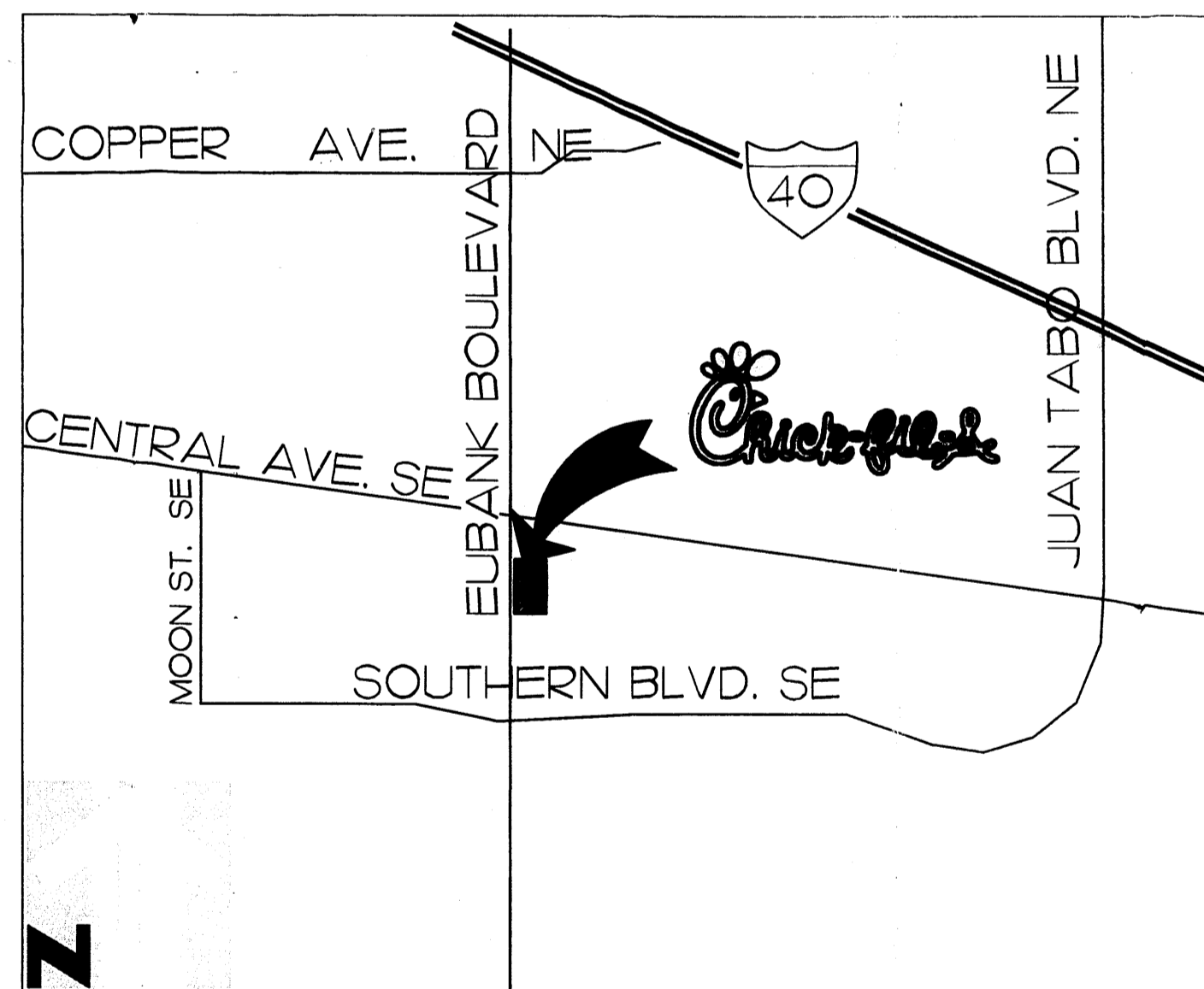
OCCUPANCY: A2 (RESTAURANT)
FIRE SPRINKLERED: YES
CONSTRUCTION TYPE: V-B
SITE AREA: 40,000 SF.
BUILDING AREA: 4,492 SF.
FAR: 11 2/3
ZONING: SU-2/EGC (EAST GATEWAY CORRIDOR ZONE)



5200 BUFFINGTON ROAD
ATLANTA, GEORGIA 30349-2998
PHONE: (404) 765-8000
FAX: (404) 684-8550

S08A

210 EUBANK BLVD. SE
ALBUQUERQUE, NM 87123



VICINITY MAP
NOT TO SCALE

Architect:
C.R.H.O.
195 SOUTH "C" STREET 200
TUSTIN, CA. 92780
PHONE: (714) 832-1834
FAX: (714) 832-1910
CONTACT: RUSSELL HATFIELD
E-MAIL: RUSSELL@CRHO.COM

Civil Engineer:
MERRICK AND COMPANY
5970 GREENWOOD PLAZA BLVD.
GREENWOOD VILLAGE, CO. 80111
PHONE: (303) 751-0741
CONTACT: TROY KELTS
E-MAIL: TROY.KELTS@MERRICK.COM

CROSS ACCESS EASEMENT:
DRIVEWAY EASEMENT AGREEMENT, DATED APRIL 06, 2000 AND RECORDED
JUNE 06, 2000 BOOK A6, PAGE 4682, BERNALILLO COUNTY, NEW MEXICO

Drawing Index

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- 1 SITE PLAN
- 2 LANDSCAPE PLAN
- 2A LANDSCAPE DETAILS
- 3 GRADING PLAN
- 4 UTILITY PLAN
- 5 PHOTOMETRIC SITE PLAN
- 6 EXTERIOR ELEVATIONS
- 7 EXTERIOR ELEVATIONS
- 8 REFUSE PLAN & ELEVATIONS
- 9 SITE DETAILS
- 10 EXHIBIT "A" DELIVERY TRUCK ROUTE

EXISTING SHOPPING CENTER PARKING:

EXISTING HOME DEPOT (OVERALL PARKING LOT AREA) PARKING SPACES = 717

* NOTE: 717 TOTAL PARKING SPACES INCLUDES 95 WITHIN CHICK-FIL-A PROPOSED DEVELOPMENT AREA.

HOME DEPOT REQUIRED PARKING STALLS:
102,025 SQ. FT. HOME DEPOT BUILDING 510
9,000 SQ. FT. EXISTING MISC. BUILDING 45
TOTAL REQUIRED PARKING SPACES PER CITY PARKING ORDINANCE = 555

* NOTE: 67 EXCESS PARKING SPACES AVAILABLE WITHIN THE HOME DEPOT PARCEL WITH THE REMOVAL OF 95 PARKING SPACES WITHIN CHICK-FIL-A PROPOSED DEVELOPMENT AREA.

CHICK-FIL-A WILL BE ELIMINATING 95 PARKING SPACES FROM THE TOTAL OVERALL LOT AREA. PROPOSED CHICK-FIL-A DEVELOPMENT WILL ADD 45 PARKING SPACES TO NEW LOT AREA RESULTING IN A TOTAL NET LOSS OF 50 PARKING SPACES BEING ELIMINATED FROM THE TOTAL OVERALL SHOPPING CENTER.

TOTAL OVERALL EXISTING PARKING SPACES = 717 SPACES
TOTAL OVERALL PARKING SPACES ELIMINATED BY CFA CARVE OUT = 50 SPACES
TOTAL OVERALL PARKING SPACES AFTER CFA DEVELOPMENT = 667 SPACES
TOTAL OVERALL PARKING SPACES REQUIRED BY CITY ORDINANCE = 555 SPACES

Chick-fil-A SITE PARKING REQUIREMENTS:

STANDARD SPACES REQUIRED: 1 SP. / 4 SEATS = 119 / 4 = 30 SP. REQ'D.
STANDARD SPACES PROVIDED: 42 SPACES
HANDICAP SPACES: 3 SPACES
TOTAL SPACES PROVIDED: 45 SPACES
MAXIMUM PARKING ALLOWED BY EGSDP 33 SPACES PLUS 50%: 49 SPACES
TOTAL MOTORCYCLE SPACES REQUIRED: 2 SPACES
TOTAL MOTORCYCLE SPACES PROVIDED: 2 SPACES
TOTAL BICYCLE SPACES REQUIRED - 1 PER 20 PARKING SPACES: 43/20 = 2.15
TOTAL BICYCLE SPACES PROVIDED: 5 SPACES

Landlord Notes:

1. CHICK-FIL-A CONTRACTOR SHALL CONTACT BOB BURNSIDE, CONSTRUCTION MANAGER AT THE HOME DEPOT, 2 WEEKS PRIOR TO PROJECT START DATE. 714-749-6993. SUPERINTENDENT SHALL SUPPLY BOB BURNSIDE WITH WEEKLY STATUS REPORTS AND PICTURES OF PROGRESS TO BOB_BURNSIDE@HOMEDEPOT.COM

Deviations Requested- Staff Summary Tables

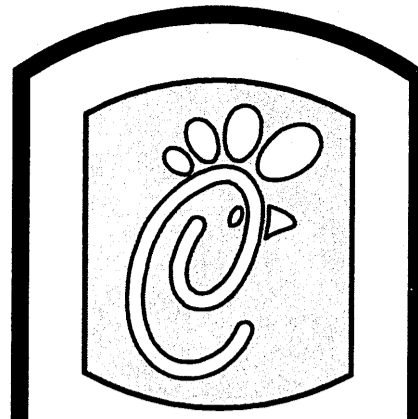
- Table 1: Commercial Building & Lot Standards -

#	Page	Name	Amount	Proposed	Difference between Required & Proposed	Deviation & Classification
1	5-36	Building Front Façade Lot Width Coverage	50% minimum	142.5 feet is 50%. 56 feet is proposed and is 20%	Lot is 285 feet wide, 142.5-56=86.5 feet difference, or 30%	30%- Major
2	5-36	Front Yard Setback	10 feet maximum	24.75 feet from building	14.75 feet, 147.5% of the standard.	50% deviation is 15 feet. The EPC cannot grant deviations > 50%.

- Table 2: General Design Regulations -

#	Page	Name	Amount	Proposed	Difference between Required & Proposed	Deviation Classification
3	5-46	Building Façade at Least 50% of Street Frontage	50% minimum	142.5 feet is 50%. 56 feet is proposed and is 20%	Lot is 285 feet wide, 142.5-56=86.5 feet difference, or 30%	30%- Major
4	5-48	Maximum Parking Allowed	ZC min plus 10% (33 spaces)	45 spaces.	12 extra spaces, a third of the standard.	36%- Major
5	5-55	Drive-up windows and Ordering Panels at Rear of Building	--	1 window at rear, 1 window at side, ordering panel at side	The side window and ordering panel should be at the rear of the building	non-dimensional standard requiring review
6	5-56	No portion of queuing lane within 40 feet of street-facing façades	--	Queuing lane is within 25 feet of street facing facade	Relocate queuing lane to another location (many available)	non-dimensional standard requiring review

Revised application is for 5 deviations instead of 6 (#2 is addressed). Three deviations (#s 1, 3 & 4) are still major in scope. Two deviations are still to non-dimensional standards.



5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark	Date	By
△	07/23/14	EF
△	08/27/14	EF
△	09/16/14	EF
△	09/26/14	EF
△	10/24/14	EF
△	11/07/14	EF
△	11/21/14	EF
△	12/22/14	CD
△	01/05/15	EF
△	01/09/15	CD
△	02/09/15	EF

C · R · H · O
Architecture Interior Planning
195 South "C" Street 200
Tustin, California 92780
714 832-1834
FAX 832-1910

STORE
CHICK-FIL-A #03235
RESTAURANT
CENTRAL & EUBANK
210 Eubank Blvd SE
ALBUQUERQUE, NM
87123

SHEET TITLE
TITLE SHEET

VERSION: HV1
ISSUE DATE: 07-2014

Job No. : 13-232
Store : 03235
Date : 3-26-14
Drawn By : ---
Checked By : ---

Sheet

0

10000897

GENERAL NOTES

- PERMANENT ACCESS DRIVE EASEMENT. THE "DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS REGARDING OUTPARCEL" (RECORDED AS DOCUMENT NO. 2012138716 ON THE 31ST DAY OF DECEMBER 2012) STATES WITHIN SECTION 3.2 THAT THE OWNER OF TRACT B-1-A-1 HEREBY GRANTS TO THE OUTPARCEL OWNER (TRACT B-1-A-2), AS GRANTEE FOR THE BENEFIT OF THE OUTPARCEL OWNER AND ITS RESPECTIVE PERMITTEES APPURTENANT TO THE OUTPARCEL, A PERPETUAL NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS BY VEHICULAR AND PEDESTRIAN TRAFFIC UPON, OVER AND ACROSS THAT PORTION OF THE COMMON AREA LOCATED ON THE HOME DEPOT PARCEL (TRACT B-1-A-1) SHOWN ON EXHIBIT "B" AS THE PERMANENT ACCESS DRIVE.
- RECIPROCAL STORM DRAINAGE EASEMENT. THE "DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS REGARDING OUTPARCEL" (RECORDED AS DOCUMENT NO. 2012138716 ON THE 31ST DAY OF DECEMBER 2012) STATES WITHIN SECTION 3.5 THAT THE OWNER OF TRACT B-1-A-1 AND THE OWNER OF TRACT B-1-A-2 RECIPROCALLY GRANT TO ONE ANOTHER "A NON-EXCLUSIVE AND PERPETUAL EASEMENT UNDER, THROUGH AND ACROSS THE COMMON AREA OF THE HOME DEPOT PARCEL (TRACT B-1-A-1) OR THE OUTPARCEL (TRACT B-1-A-2), AS APPLICABLE (EXCLUSIVE OF ANY PORTION WITHIN A BUILDING AREA), FOR THE INSTALLATION, OPERATION, MAINTENANCE, REPAIR AND REPLACEMENT OF UTILITY LINES."
- GRANT OF UTILITY EASEMENTS. THE "DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS REGARDING OUTPARCEL" (RECORDED AS DOCUMENT NO. 2012138716 ON THE 31ST DAY OF DECEMBER 2012) STATES WITHIN SECTION 3.1(a) THAT THE OWNER OF TRACT B-1-A-1 AND OWNER OF TRACT B-1-A-2 RECIPROCALLY GRANT TO ONE ANOTHER "A NON-EXCLUSIVE AND PERPETUAL EASEMENT UNDER, THROUGH AND ACROSS THE COMMON AREA OF THE HOME DEPOT PARCEL (TRACT B-1-A-1) OR THE OUTPARCEL (TRACT B-1-A-2), AS APPLICABLE (EXCLUSIVE OF ANY PORTION WITHIN A BUILDING AREA), FOR THE INSTALLATION, OPERATION, MAINTENANCE, REPAIR AND REPLACEMENT OF UTILITY LINES."
- THE "DRIVEWAY EASEMENT AGREEMENT" DATED JUNE 6, 2006 RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO AS DOCUMENT NO. 2006055083 (BOOK A-6, PAGE-4962) PROVIDES VEHICULAR AND PEDESTRIAN CROSS ACCESS EASEMENT BETWEEN LOT B-1-A-1 AND LOT B-1-A-2 AND THE "COSTCO PARCEL" LEGALLY DESCRIBED AS "TRACT A AND TRACT C-1 OF FLAT OF MANZANO 'MEBA'".
- ON ADJOINING TRACT A-1 OF THE COSTCO DEVELOPMENT FLAT THERE IS AN EXISTING 10'X185' PRIVATE ACCESS EASEMENT FOR THE BENEFIT AND USE OF TRACT B-1, VIDEO ADDITION, ALBUQUERQUE, NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE FLAT THERE OF, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON AUGUST 9, 1994 IN VOLUME 34C, FOLIO 263 FILED: FEBRUARY 20, 2001 (2001C-56).
- AS SHOWN ON THE FLAT FILED IN PLAT BOOK 34C, PAGE 263 THERE IS A RECIPROCAL ACCESS EASEMENT BY THE OWNER OF TRACT B1 AND THE OWNER OF TRACT D. EACH GRANTED TO THE OTHER RECIPROCAL EASEMENT FOR CROSS ACCESS AND VEHICULAR PARKING ON AND OVER TRACT B1 FOR THE BENEFIT OF TRACTS D AND ON AND OVER TRACT D FOR THE BENEFIT OF TRACT B1. THE OWNER OF TRACT B1 AND THE OWNER OF TRACT D GRANTED TO THE OWNER OF TRACT C VEHICULAR ACCESS ACROSS TRACTS B1 AND D RESPECTIVELY FOR PURPOSES OF INGRESS AND EGRESS.
- DESIGN GROUND-MOUNTED EQUIPMENT SCREENING TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES. REFER TO THE FPM ELECTRIC SERVICE GUIDE AT WWW.FPM.COM FOR SPECIFICATIONS.
- LOT NUMBERS TIED UPON RECORDATION OF PENDING SUBDIVISION FLAT.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR PERMANENT IMPROVEMENTS TO THE TRANSPORTATION FACILITIES ADJACENT TO THE PROPOSED SITE DEVELOPMENT PLAN AS MAY BE REQUIRED BY THE DEVELOPMENT REVIEW BOARD (DRB).
- SITE PLAN SHALL COMPLY AND BE IN ACCORDANCE WITH ALL APPLICABLE CITY OF ALBUQUERQUE REQUIREMENTS, INCLUDING THE DEVELOPMENT PROCESS MANUAL AND CURRENT ADA CRITERIA.
- AFFILIANT SHALL BE RESPONSIBLE TO ABIDE BY ANY CONDITIONS OR TERMS OF UTILITY EASEMENTS. AN EXISTING OVERHEAD ELECTRIC DISTRIBUTION IS LOCATED ALONG THE EAST SIDE OF EUBANK BOULEVARD NE AT THE PROJECT.

LEGEND

- PROPERTY LINE
- BUILDING LINE
- NEW CURBS
- NEW SIDEWALK
- EXISTING CURBS AND SIDEWALKS
- COLOR AND TEXTURED CONCRETE AT PEDESTRIAN CROSSING
- PARKING LIGHT FIXTURE
- EASEMENT

Deviations Requested- Staff Summary Tables

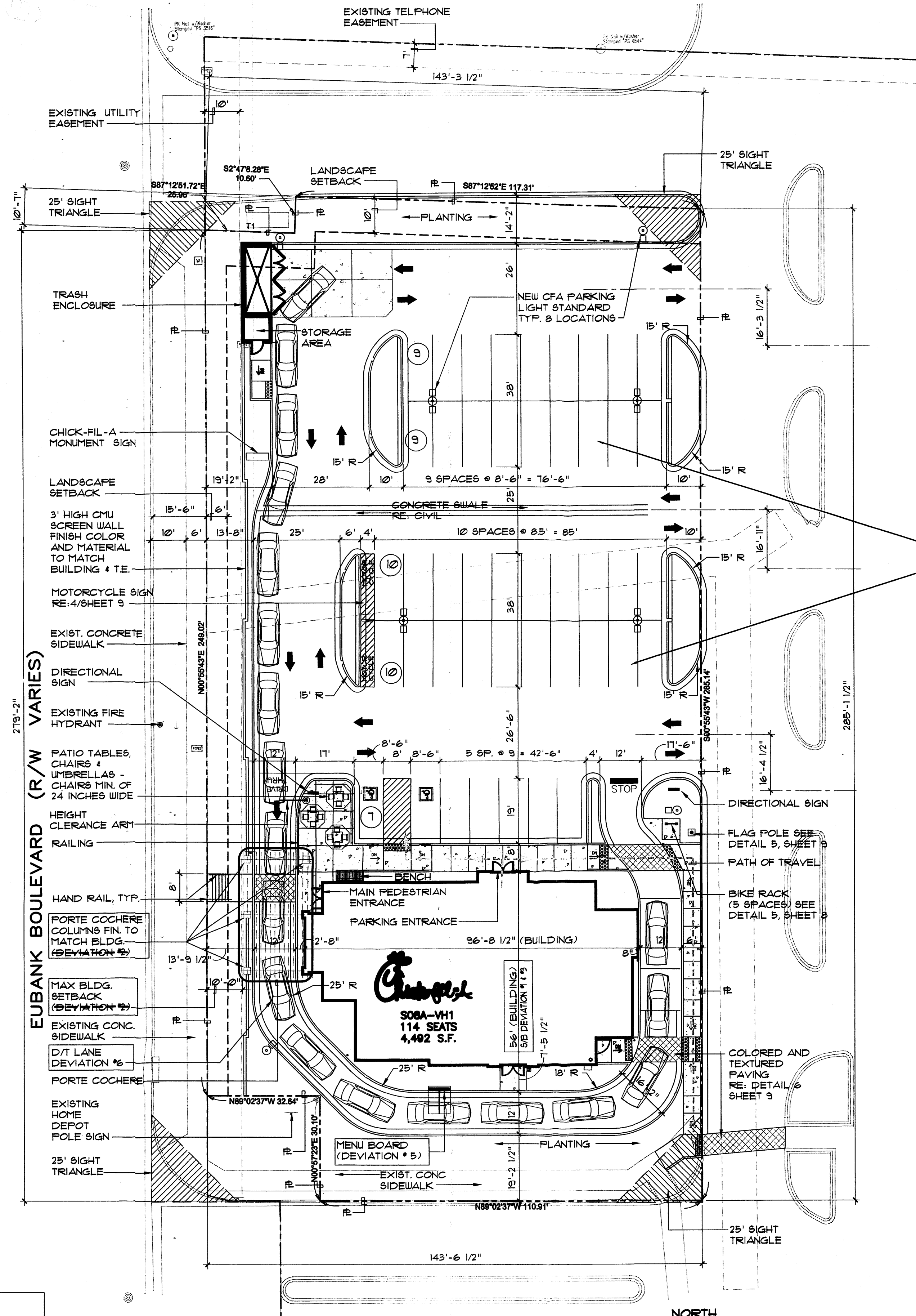
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PRELIMINARY SITE PLAN

1" = 20'-0"

Chick-fil-A SITE SPECIFIC PARKING CALCULATION

PATIO SEATING	12
REGULAR STALL SIZE	9'X19' & 8.5x19
COMPACT STALL SIZE	8'X15'
MOTORCYCLE PARKING	4'X8' MIN.
DRIVE AISLE	-
PARKING FORMULA	1/4 SEATS 119/4 = 30 STALL REQUIRED
PARKING REQUIRED	30
PARKING ALLOWED BY EGSDP 33 SPACES PLUS 50% (MAXIMUM)	48 SPACES (DEVIATION #4)
TOTAL PARKING PROVIDED	45 (DEVIATION #4)
MOTORCYCLE PARKING	2
HANDICAP PARKING	2
BICYCLE SPACES REQUIRED. 1 PER 20 PARKING SPACES 45/20 = 2.25	3
TOTAL BICYCLE PARKING PROVIDED	5

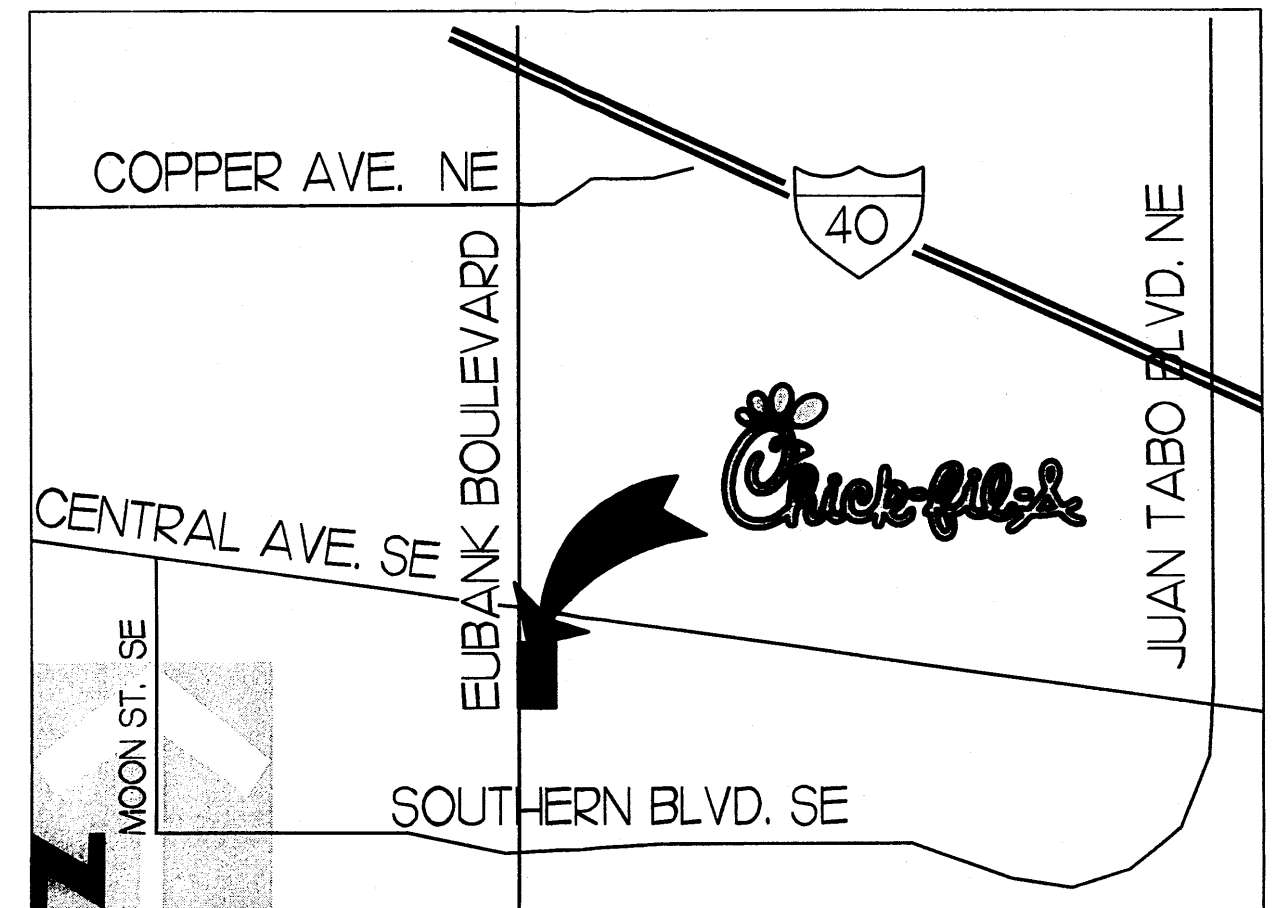
PARKING (DEVIATION #4)

PROJECT NUMBER: CHICK-FIL-A 1000897
 Application Number: 14 EPC-40027 9-11-14
 PLAT APPROVAL

City Approvals:

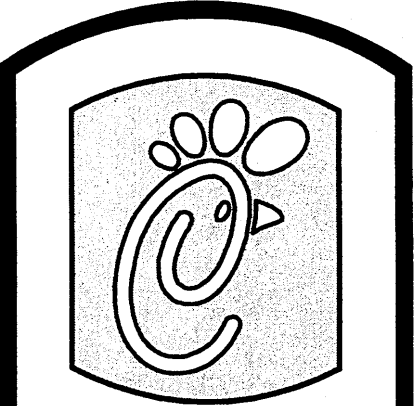
City Surveyor	NA	Date	
Real Property Division (conditional)	NA	Date	
Environmental Health Department (conditional)	NA	Date	
Traffic Engineering, Transportation Division	10-15-14	Date	10/15/14
ABC/Water	10-15-14	Date	10/15/14
Public Works Department	10-15-14	Date	10/15/14
AMAFCA	10-15-14	Date	10-15-14
City Engineer	10-15-14	Date	10-15-14
DRB Chairperson, Planning Department	3-9-15	Date	3-9-15

conditional (include signature line when applicable)
 * - if there is a vacation involved with the plat
 ** - if the plat involves any known or existing landfill issues
 revised 02/12/13



VICINITY MAP

NOT TO SCALE



5200 Buffington Rd.
 Atlanta Georgia,
 30349-2998

Revisions:

Mark	Date	By
△	08/27/14	EF
△	09/16/14	EF
△	08/26/14	EF
△	10/24/14	EF
△	11/07/14	EF
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△	12/22/14	EF
△	01/05/15	EF
△	01/09/15	EF
△	02/09/15	EF
△	02/17/15	EF

C · R · H · O

Architecture Interior Planning
 195 South "C" Street 200
 Tustin, California 92780
 714 832-1834
 FAX 832-1910

STORE
 CHICK-FIL-A #03235
 RESTAURANT
 CENTRAL & EUBANK

210 Eubank Blvd SE
 ALBUQUERQUE, NM
 87123

SHEET TITLE
 SITE PLAN

VERSION: HV1
 ISSUE DATE: 07-2014

Job No. : 13-232
 Store : 03235
 Date : 3-26-14

Drawn By : AM
 Checked By : RH

Sheet

Capital
 February
 2015

GENERAL NOTES

(Note: All references to "Contractor" are specific to "Landscape Contractor" unless notified as "General or other type of Contractor")

- CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF MATERIALS NEEDED TO COMPLETE THIS PLAN IN THE FIELD. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND CONDITIONS IN THE FIELD. GRAPHIC QTY'S PREVAIL OVER WRITTEN QTY'S. PRIOR TO COMMENCEMENT OF WORK THE LANDSCAPE CONTRACTOR SHALL CONTACT OWNERS REPRESENTATIVE FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING AND SCOPE OF WORK.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL LANDSCAPE SHOWN ON THIS PLAN. ANY DEFICIENCIES OR DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. ANY CHANGES FROM THE APPROVED PLANS MAY REQUIRE APPROVAL FROM THE CITY OR COUNTY PLANNING DEPARTMENTS.

LANDSCAPE CONTRACTOR TO PROVIDE ALL LABOR AND MATERIALS NECESSARY TO FURNISH SCOPE OF WORK AS SHOWN PER PLAN.
- EXISTING TOPSOIL IS TO BE STOCKPILED AND USED TO ESTABLISH FINAL GRADES WITHIN LANDSCAPE AREAS. ALL STOCKPILED SOIL MUST BE CLEAR OF WEEDS, ROCKS AND DEBRIS BEFORE REUSE. ALL BERMED PLANTING BEDS TO BE CREATED WITH IMPORTED TOPSOIL.
- GENERAL CONTRACTOR TO RE-SPREAD STOCKPILED SOIL AND ESTABLISH ROUGH GRADE CONDITIONS TO THE FOLLOWING SPECIFICATIONS:
A. 1" BELOW CURB FOR ALL SEEDED AREAS.
B. 2.5" BELOW CURB FOR ALL SODDED AREAS.
C. 4" BELOW CURB FOR ALL PLANTING, ROCK AND MULCH BEDS.
- CONTRACTOR TO TILL PARKING LOT ISLANDS TO A DEPTH OF 30".
- AMEND ALL PLANTING BEDS WITH CLASS 1 COMPOST. APPLY AT RATE OF 3 CYDS. PER 1000 SQUARE FEET TO ALL PLANTING BEDS AND MANICURED LAWN AREAS, AND 2 CYDS. PER 1000 SQUARE FEET FOR SEEDED AREAS. TILL, MIXING THOROUGHLY, INTO THE UPPER 8" OF SOIL.
- FINE GRADE TO BE ESTABLISHED BY LANDSCAPE CONTRACTOR. FINE GRADE SHALL BE FREE OF ROCKS AND DEBRIS. FINE GRADE IN SEED AREAS SHALL BE FREE FROM ROCKS AND DEBRIS 1/2" AND GREATER. FINE GRADE IN SODDED AREAS SHALL BE FREE FROM ROCKS AND DEBRIS 1/2" AND GREATER. CONTRACTOR TO REPORT ANY POOR DRAINAGE CONDITIONS PRIOR TO CONSTRUCTION.
- CONTRACTOR IS TO PROVIDE VERIFICATION THAT ALL SOD IS OF THE SPECIES SHOWN ON THIS PLAN. NO SUBSTITUTIONS WILL BE ALLOWED. SOD TO BE LAID WITH TIGHT STAGGERED EDGES AND BE ROLLED AFTER INSTALLATION. SEEDED AREAS CANNOT BE SUBSTITUTED WITH SOD.
- MULCHES: ALL PLANTING BEDS THAT CALL FOR WOOD/ORGANIC MULCH TO RECEIVE 4" ORGANIC SHREDDED BARK MULCH. SHREDDED MULCH IS TO BE OF FIBROUS MATERIAL, NOT CHIPS OR CHUNKS. NO FABRIC IS TO BE PLACED UNDER WOOD/ORGANIC MULCH. TREES IN TURF AND NATIVE GRASS AREAS TO RECEIVE 4" DIAMETER OF WOOD MULCH, 3" DEPTH. ALL MULCHED BEDS ARE TO BE SPRAYED WITH WATER AFTER INSTALLATION TO HELP MULCH TO MAT DOWN.

USE PERMEABLE FABRIC UNDERLAYMENT FOR ALL COBBLE/AGGREGATE AREAS WITH SLOPES 3:1 AND LESS. USE QUICK RELEASE ORGANIC PRE-EMERGENT HERBICIDE FOR ALL MULCHED AND PERENNIAL/PLANTING BEDS (AND FOR COBBLE/AGGREGATE AREAS WITH SLOPES EXCEEDING 3:1 GRADE).

SHRUBS AND GROUNDCOVERS IN NATIVE GRASS AREAS TO RECEIVE 3" DIAMETER OF WOOD MULCH, 3" DEEP. TREES IN COBBLE/ROCK MULCH TO RECEIVE 4" DIAMETER OF WOOD MULCH, 3" DEEP. SHRUBS AND GROUNDCOVERS IN COBBLE/ROCK MULCH AREAS TO RECEIVE 3" DIAMETER OF WOOD MULCH, 3" DEEP. NO FABRIC UNDERLAYMENT IN WOOD MULCH AREAS.

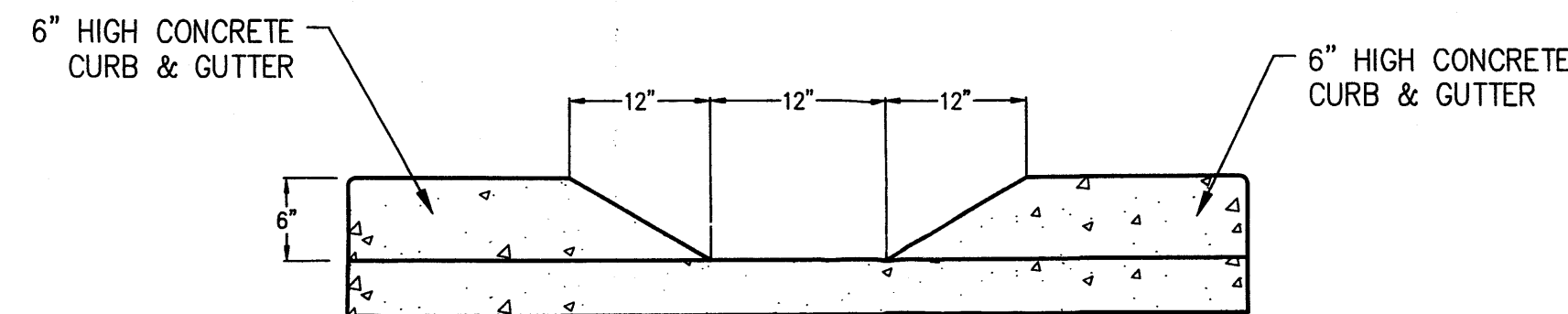
- SEED MIX INSTALLATION: CONTRACTOR TO DRILL SEED WITH BRILLION TYPE APPLICATOR AND APPLY 'SOIL GUARD' BONDED FIBER MATRIX (BFM), WHERE INDICATED PER PLAN AND SCHEDULES. APPLY SEED IN TWO DIRECTIONS (PERPENDICULAR OF THE OTHER) ADD SOIL GUARD BFM FOR DRILL SEEDING WHERE NOTED PER PLAN AND ON ALL SLOPES 5:1 TO 3:1. FOR AREAS WITH 3:1 SLOPES OR GREATER CONTRACTOR TO USE SOIL GUARD APPLICATION ONLY (IN LIEU OF HYDROMULCH) CONTRACTOR TO SPOT SEED NON-GERMINATING AREAS (3) MONTHS AFTER INITIAL SEED APPLICATION. CONTRACTOR TO RE-SEED ALL BARE AREAS (6"x6") AND GREATER AFTER (6) MONTHS FROM SEED GERMINATION OR AT THE BEGINNING OF THE FOLLOWING GROWING SEASON. PRIOR TO THE 11-MONTH WARRANTY INSPECTION RE-APPLY SOIL GUARD AND SEED MIX TO ALL BARE AREAS (6"x6" OR GREATER) AND TO ALL BARE AREAS (4"x4" OR GREATER) ON ALL SLOPES 3:1 AND GREATER.
- REMOVED DEAD TWIGS AND BRANCHES FROM ALL NEW AND EXISTING PLANT MATERIAL IN A MANNER THAT DOES NOT CHANGE THE NATURAL HABIT OF THE PLANT MATERIAL. SCARES OF 1" OR MORE SHALL BE PAINTED WITH ORGANIC TREE PAINT. CENTRAL LEADERS SHALL NOT BE REMOVED AT ANY TIME. NEWLY PLANTED TREES WITHOUT CENTRAL LEADERS WILL BE REJECTED.
- CONTRACTOR TO APPLY FERTILIZER IN SPRING & LATE SEPTEMBER. WATER THOROUGHLY AFTER APPLICATION OF FERTILIZERS.

ALL SEEDED AND SODDED AREAS TO HAVE RECOMMEND FERTILIZER APPLICATIONS ADDED 2 TO 3 WEEKS AFTER SEEDLING EMERGENCE. AND ONCE IN MID TO LATE JUNE, IN EARLY TO MID AUGUST, AND ONCE IN LATE SEPTEMBER. SEEDED AND SODDED AREAS ARE ALSO TO RECEIVE .5 LB. OF ELEMENTAL SULFUR (OR EQUIVALENT MATERIAL) PER 1,000 S.F. APPLIED IN LATE SEPTEMBER. WATER THOROUGHLY AFTER APPLICATION OF FERTILIZERS.
- ALL PLANT MATERIALS AND UTILITIES ARE SHOWN AT AN APPROXIMATE LOCATIONS. THE CONTRACTOR MAY NEED TO ADJUST LOCATIONS OF PLANT MATERIAL TO ADHERE TO SPECIFIC ON-SITE CONDITIONS AND CODE REQUIREMENTS. ALL TREES AND SHRUBS TO BE PLACED AT 2" MINIMUM BACK OF CURB. CONTRACTOR TO CALL FOR UTILITY LOCATES BEFORE PLANTING (TYP.) 1-800-922-1987, OR CALL 811 BEFORE YOU DIG!

COORDINATION WITH PNM IS NECESSARY FOR THIS PROJECT REGARDING PROPOSED TREE SPECIES, THE HEIGHT AT MATURITY AND TREE PLACEMENT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES TO AVOID INTERFERENCE WITH THE EXISTING ELECTRIC OVERHEAD AND UNDERGROUND DISTRIBUTION LINES ALONG THE EAST SIDE OF EUBANK BOULEVARD NE AT THE PROJECT SITE BOUNDARY. PNM'S LANDSCAPING PREFERENCE IS FOR TREES AND SHRUBS TO BE PLANTED OUTSIDE THE PNM EASEMENT; HOWEVER, IF WITHIN THE EASEMENT, TREES AND SHRUBS SHOULD BE PLANTED TO MINIMIZE EFFECTS ON ELECTRIC FACILITY MAINTENANCE AND REPAIR. NEW TREES PLANTED NEAR PNM FACILITIES SHOULD BE NO TALLER THAN 25 FEET IN HEIGHT AT MATURITY TO AVOID CONFLICTS WITH EXISTING ELECTRIC INFRASTRUCTURE.
- STEEL EDGING TO BE USED TO SEPARATE ALL TURF AND/OR SEEDED AREAS FROM PLANTING BEDS. USE PERFORATED EDGING SEGMENTS TO OBTAIN POSITIVE DRAINAGE FOR ALL DRAINAGE SWALES OR AREAS OF STANDING WATER.
- CONTRACTOR TO PROVIDE COBBLE & UNDERLAYMENT FOR BUILDING DRAINS AND SWALES THROUGH LANDSCAPED AREAS.

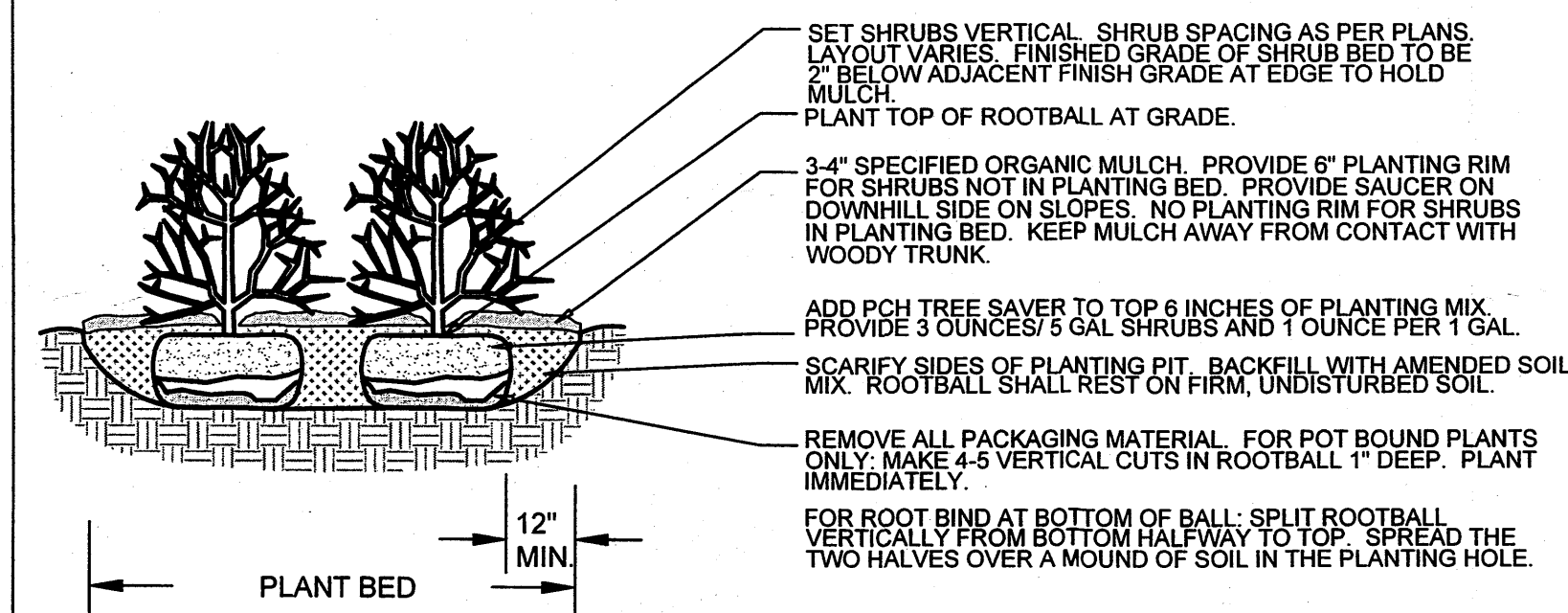
- ALL REQUIRED LANDSCAPING TO BE INSTALLED PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- NEW PLANT MATERIAL MUST COMPLY WITH CURRENT NEW MEXICO NURSERY ACT STANDARDS.
- CONTRACTOR IS RESPONSIBLE FOR CONTACTING LANDSCAPE ARCHITECT FOR ALL REQUIRED INSPECTIONS. PROVIDE AT LEAST 48 HOURS NOTICE TO SCHEDULE AN INSPECTION. REQUIRED INSPECTIONS INCLUDE A LANDSCAPE LAYOUT AND PLANT MATERIAL VERIFICATION AND PLACEMENT INSPECTION, IRRIGATION MAIN LINE INSPECTION, LANDSCAPE AND IRRIGATION PUNCH LIST INSPECTION, AND A LANDSCAPE AND IRRIGATION FINAL INSPECTION.
- CONTRACTOR IS TO PROVIDE A ONE YEAR WARRANTY ON ALL PLANT MATERIAL, TURF, IRRIGATION COMPONENTS, AND WORKMANSHIP. REPLACEMENT PLANT MATERIALS SHALL BE OF THE SAME SPECIES AND SIZE AS THE DECAYED OR DEAD PLANT MATERIAL. WARRANTY IS VOID IF PLANT MATERIAL ARE UNDER OR OVER-WATERED/FERTILIZED, DAMAGED BY VANDALISM OR NEGLECTED BY OWNER AFTER FINAL MAINTENANCE PERIOD AND FINAL ACCEPTANCE IS PROVIDED.

REMOVE ALL TREE STAKING MATERIALS AT END OF WARRANTY, PRIOR TO FINAL ACCEPTANCE.
- MAINTENANCE: THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER LANDSCAPE AND IRRIGATION MAINTENANCE OF THIS SITE AND ANY RIGHT OF WAY AREAS BETWEEN THE CURB AND PROPERTY LINES OF THIS SITE. MAINTENANCE OF THIS SITE INCLUDES, BUT IS NOT LIMITED TO, IRRIGATION INSPECTIONS AND ADJUSTMENTS, IRRIGATION SYSTEM SHUT DOWN AND START UP, IRRIGATION LEAK REPAIR, LANDSCAPE WEEDING, MOWING, SEEDING, FERTILIZATION, WOOD MULCH AND ROCK COVER REPLACEMENT, PRUNING, AND PLANT MATERIAL REPLACEMENT (INCLUDING ANNUAL BEDS). ALL MAINTENANCE SHOULD BE IN ACCORDANCE WITH STANDARDS SPECIFIED WITHIN THE "ALCC SPECIFICATIONS HANDBOOK" REVISED EDITION- 1996. OWNER SHOULD CONTACT LANDSCAPE CONTRACTOR OR LANDSCAPE ARCHITECT REGARDING ANY QUESTIONS RELATING TO THE LANDSCAPE OR IRRIGATION MAINTENANCE OF THIS SITE.



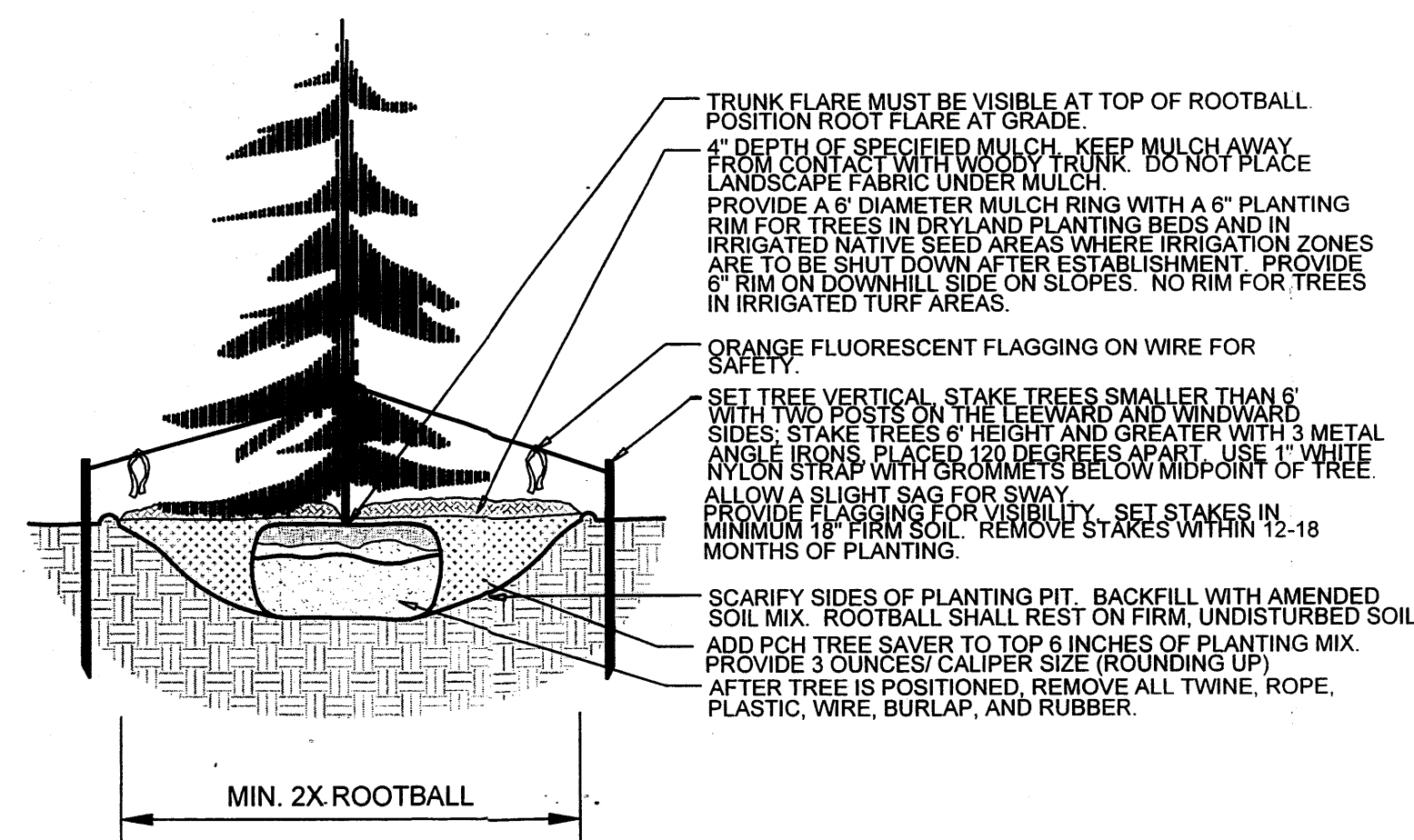
1 12" DRAINAGE CURB CUT DETAIL
NOT TO SCALE

- NOTES:
- PRUNE ONLY DEAD OR BROKEN BRANCHES AND WEAK OR NARROW CROTCHES.
 - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 - DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
 - AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL.
 - ALL SHRUBS IN ROCK AREAS TO RECEIVE SHREDDED MULCH RINGS.
 - DEEP WATER ALL PLANTS AT TIME OF PLANTING.



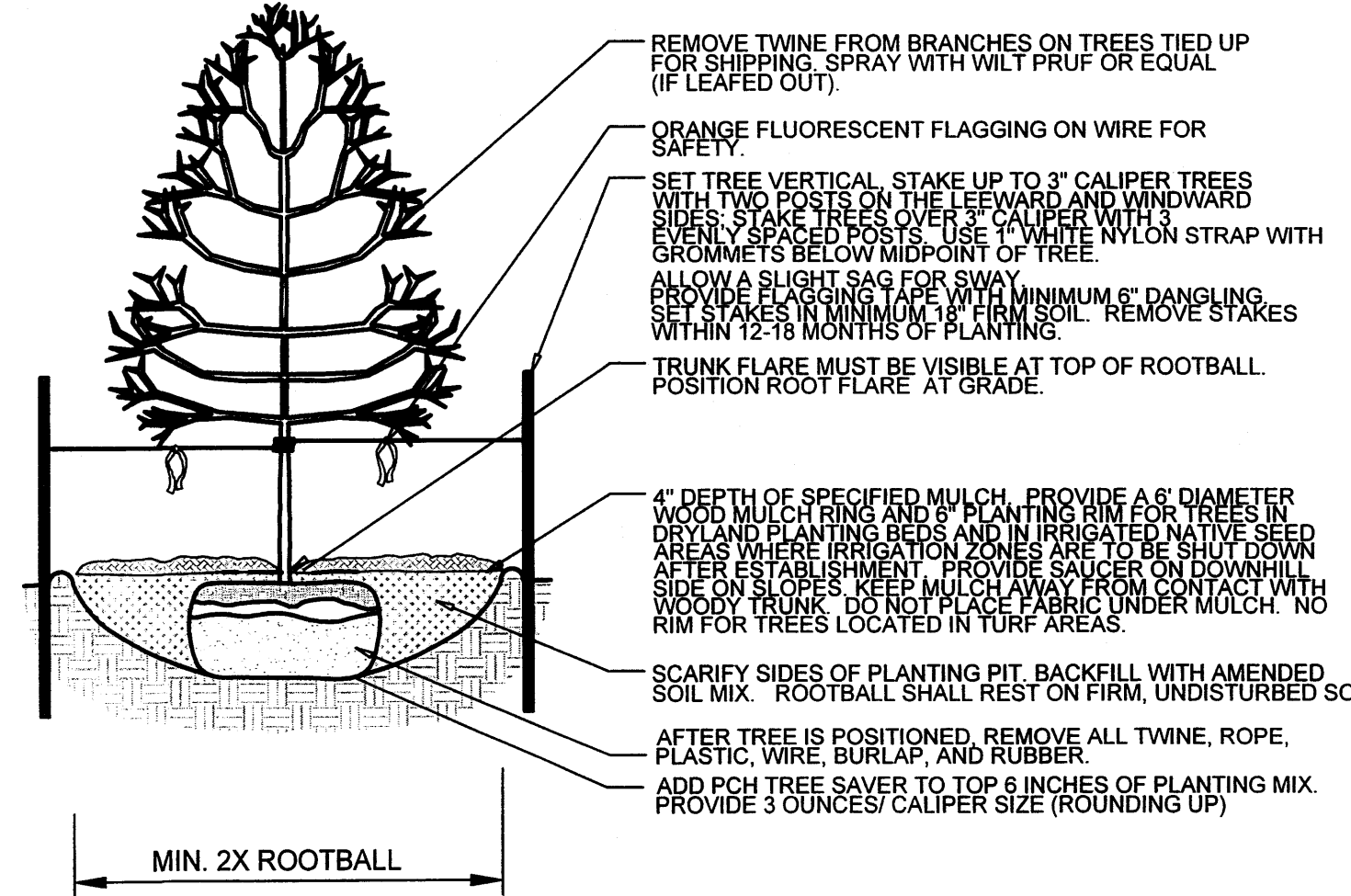
2 SHRUB PLANTING DETAIL
NOT TO SCALE SECTION

- NOTES:
- DO NOT REMOVE OR CUT LEADER.
 - PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
 - DO NOT REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNERS REPRESENTATIVE.
 - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 - AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL.
 - MARK THE NORTH SIDE OF TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
 - PINE AND SPRUCE TREES TO BE SPRAYED FOR IPS BARK BEETLE PRIOR TO PLANTING. COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING.
 - ALL TREES TO BE DEEP WATERED AT TIME OF PLANTING.



3 EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE SECTION

- NOTES:
- MARK THE NORTH SIDE OF TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
 - AT TIME OF PLANTING, DO NOT REMOVE OR CUT LEADER AND PRUNE ONLY DEAD OR BROKEN BRANCHES, CROSS OVER BRANCHES, AND WEAK OR NARROW CROTCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
 - STRUCTURAL PRUNING SHOULD NOT BEGIN UNTIL AFTER ESTABLISHMENT PERIOD, USUALLY TWO GROWING SEASONS.
 - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 - DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
 - AMENDED BACKFILL SHALL BE 1/3 COMPOST (PREFERABLY CLASSIFIED) AND 2/3 NATIVE AND/OR IMPORTED TOPSOIL.
 - WRAP TRUNK ON EXPOSED SITES AND SPECIES WITH THIN BARK. USE ELECTRICAL OR DUCT TAPE, NOT TWINE.
 - COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING.
 - DEEP WATER ALL PLANTS AT TIME OF PLANTING.



4 DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE SECTION

ALL PLANTS TO BE PLANTED TO ACCOMODATE AND MAXIMIZE RAINWATER HARVESTING DEPRESSIONS IN LANDSCAPE BEDS.

Deviations Requested- Staff Summary Tables

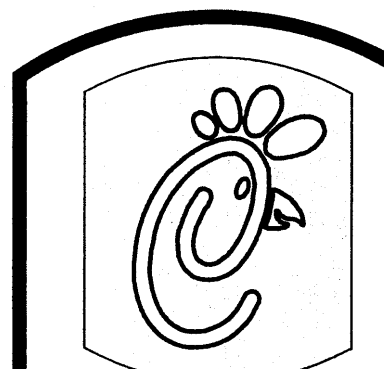
- Table 1: Commercial Building & Lot Standards -

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2	5-36	Front-Yard-Setback	40-foot maximum	24.75-foot from building	14.75-foot-147.5% of-the-standard.	50%-deviation-is-15 feet-The EPC cannot-grant deviations->50%*

- Table 2: General Design Regulations -

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4	5-48	Maximum Parking Allowed	2C min plus 10% (33 spaces)	45 spaces.	12 extra spaces, a third of the standard	36%- Major
5	5-55	Drive-up windows and Ordering Panels at Rear of Building	--	1 window at rear, 1 window at side, ordering panel at side	The side window and ordering panel should be at the rear of the building	non-dimensional standard requiring review
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Chick-fil-A
5200 Buffington Rd.
Atlanta, Georgia
30349-2998

Revisions:

Mark Date By
△ 07/23/14 JO

Mark Date By
△ 08/27/14 JO

Mark Date By
△ 09/16/14 JO

Mark Date By
△ 09/26/14 JO

Mark Date By
△ 10/24/14 JO

Mark Date By
△ 11/07/14 JO

Mark Date By
△ 11/21/14 JO

Mark Date By
△ 12/22/14 JO

Mark Date By
△ 01/05/15 JO

Mark Date By
△ 01/09/15 JO

Mark Date By
△ 02/09/15 JO

Catharina Behr 2-25-15

MERRICK & COMPANY
5970 GREENWOOD PLAZA BLVD
GREENWOOD VILLAGE, CO 80111
303-751-0741

STORE
CHICK-FIL-A
FSU #03235
CENTRAL & EUBANK
210 EUBANK BOULEVARD SE
ALBUQUERQUE, NM
87123

SHEET TITLE

LANDSCAPE
PLAN
DETAILS

DWG EDITION

Job No. : 65118257
Store : 03235
Date : 04/10/14
Drawn By : JRO
Checked By: NAM

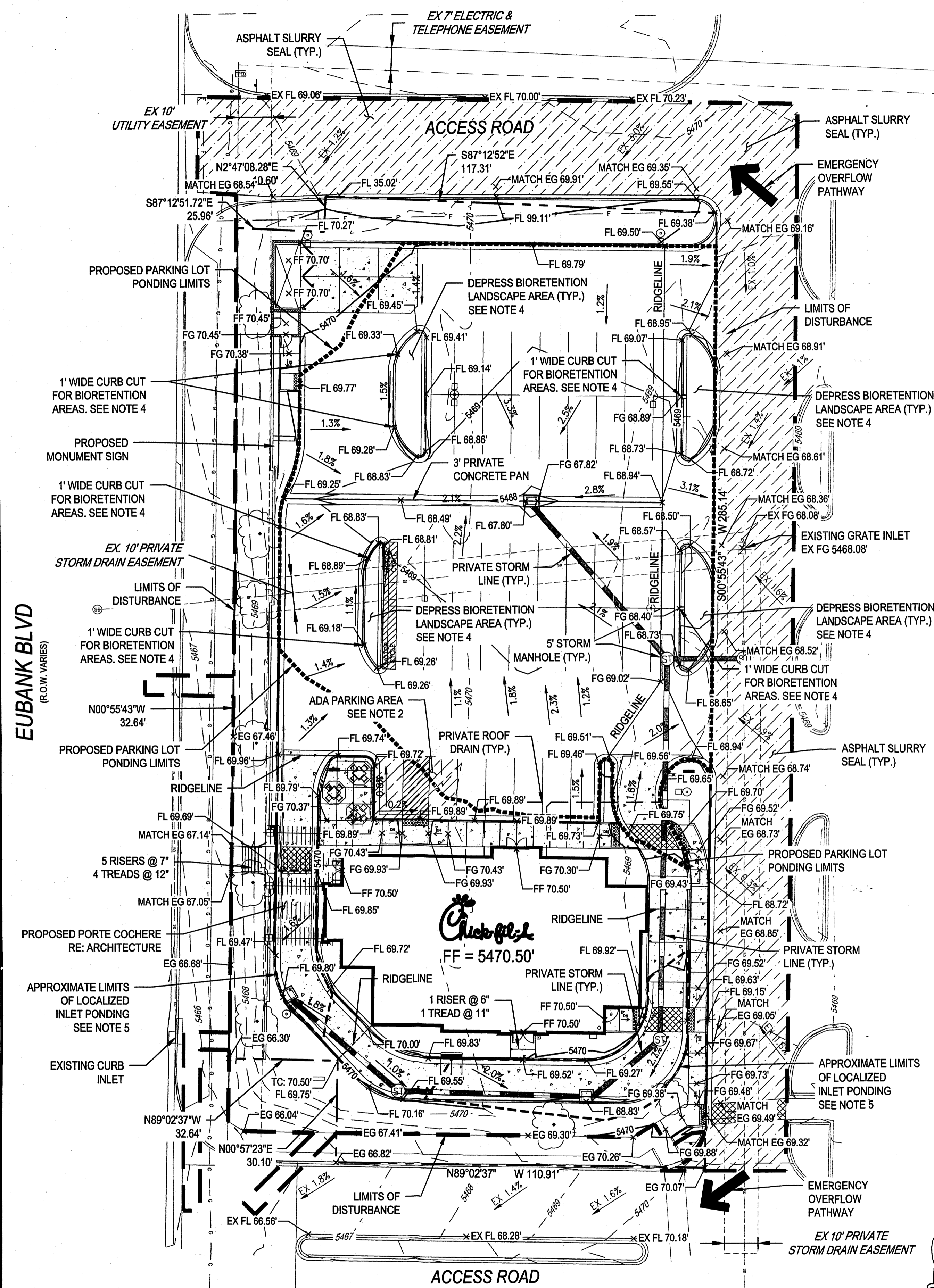
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2A

Landscape Architecture
Land Planning
Irrigation System Design

Natura
Design Solutions

5539 Coll Dr. Longmont, CO 80503
(303) 443-0388 / nrdonin@gmail.com

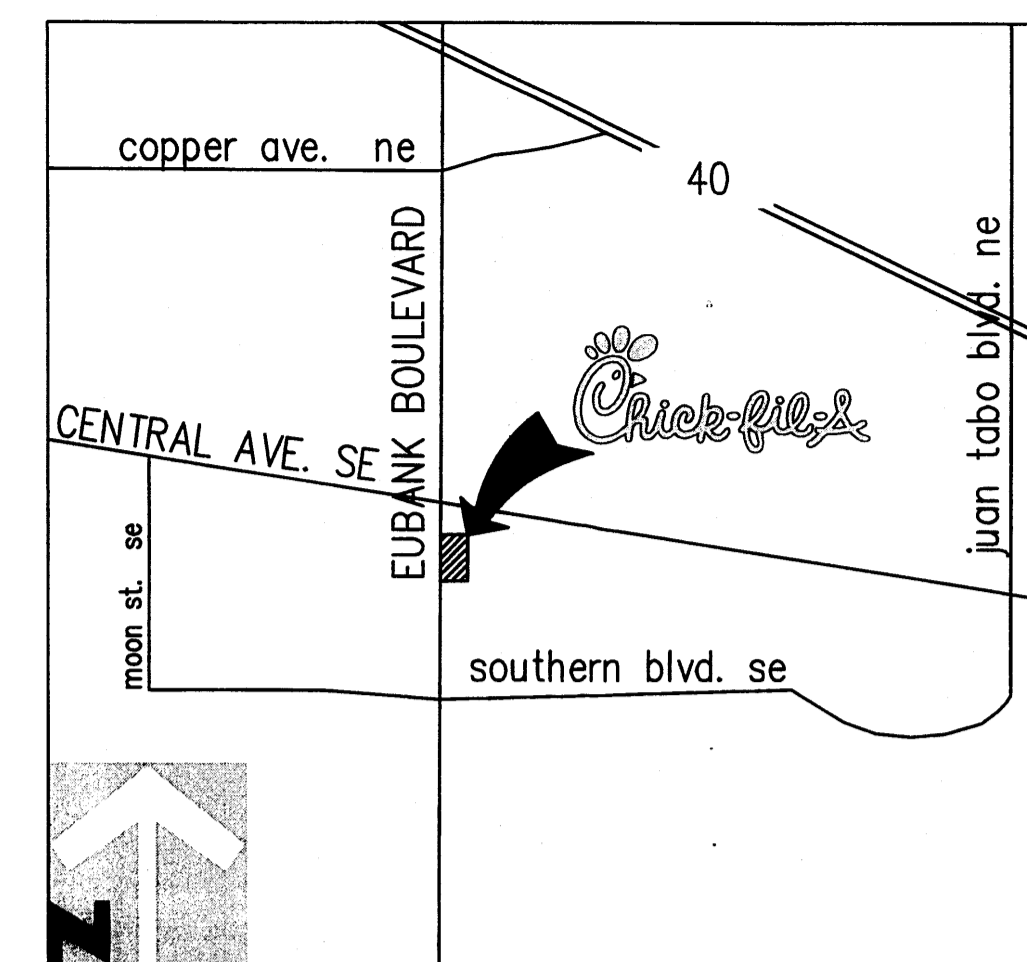


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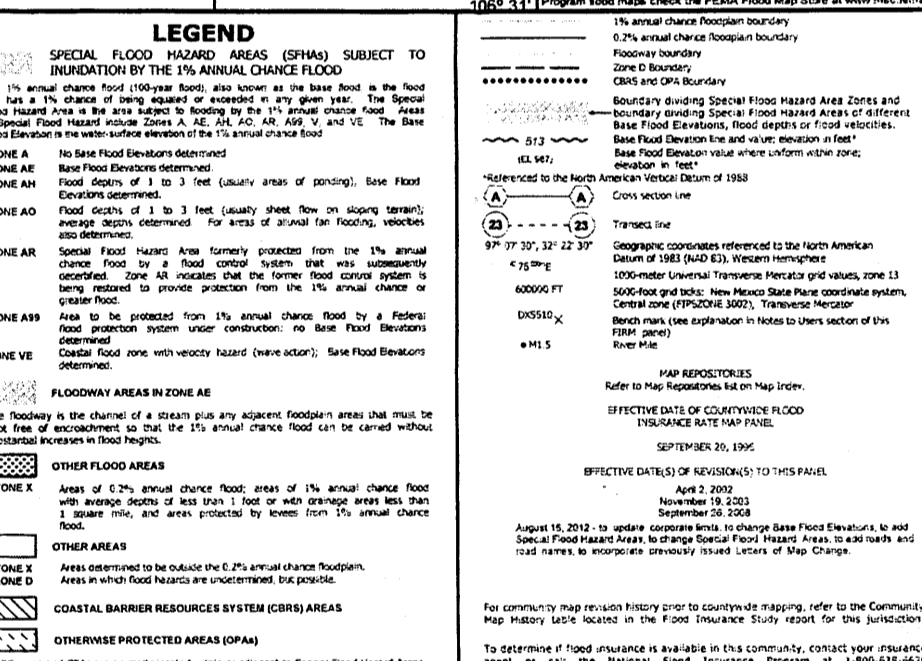
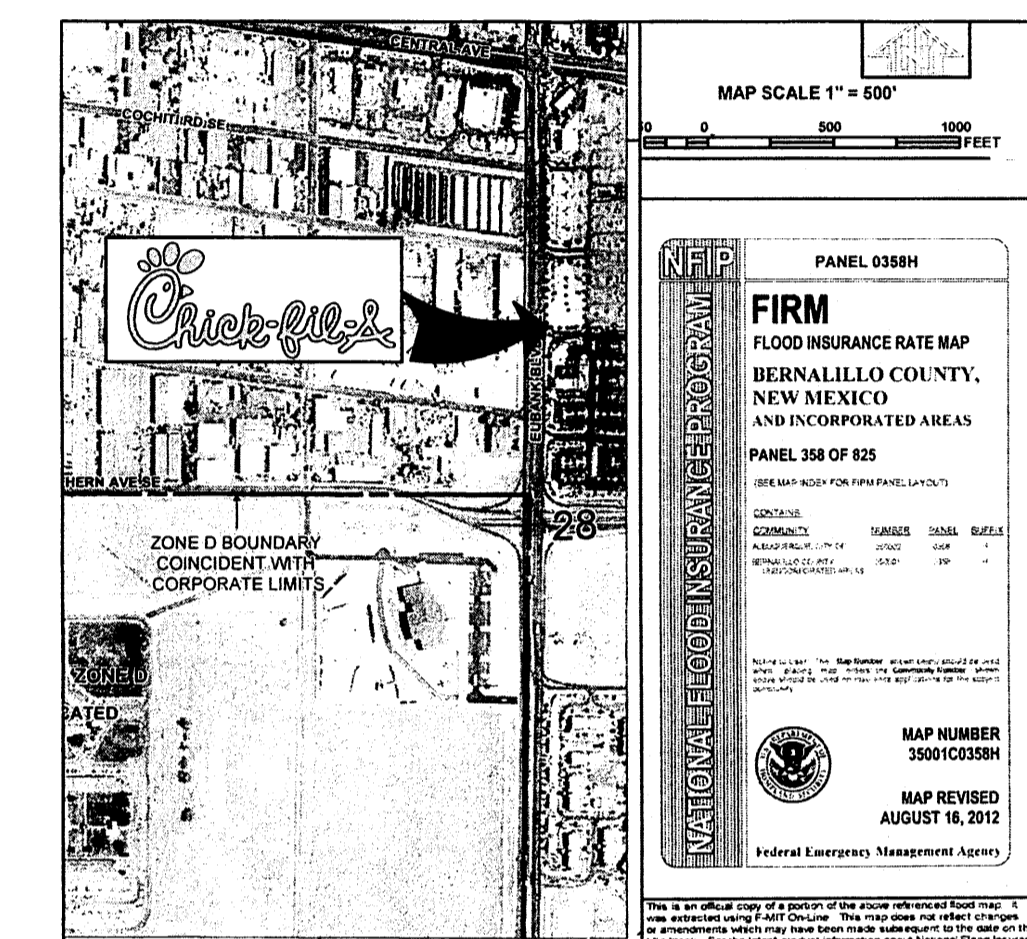
- PROPERTY LINE
- PARKING LOT PONDING LIMITS
- STORM INLET PONDING LIMITS
- LIMITS OF DISTURBANCE
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- FL 69.41' x FLOWLINE SPOT ELEVATION
- FF 70.50' x FINISHED FLOOR SPOT ELEVATION
- FG 70.39' x FINISHED GRADE SPOT ELEVATION
- TC 70.50' x TOP OF CURB SPOT ELEVATION
- EG 69.57' x EXISTING GRADE SPOT ELEVATION
- EX FL 70.18' x EXISTING FLOWLINE SPOT ELEVATION
- 1.1% PROPOSED SLOPE ARROWS
- 0.5% EXISTING SLOPE ARROWS
- PROPOSED LIGHT POLE
- COLORED & TEXTURED CONCRETE RE: ARCHITECTURE
- ASPHALT SLURRY SEAL AREA
- PROPOSED STORM MANHOLE
- PROPOSED STORM INLET
- EMERGENCY OVERFLOW PATHWAY

NOTES:

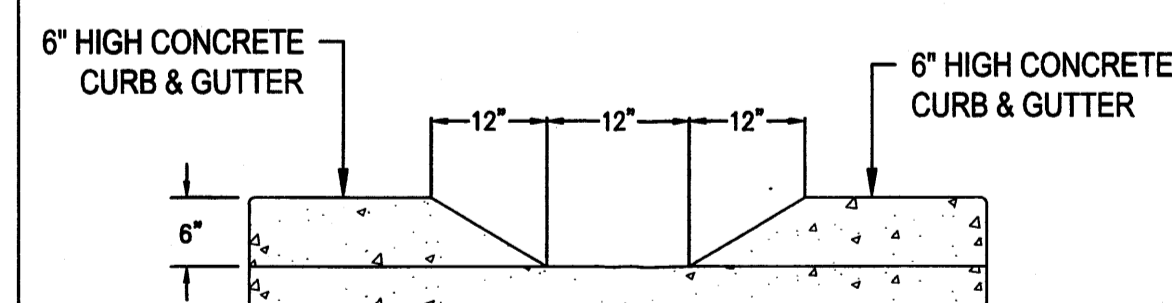
1. ALL ELEVATIONS SHOWN ARE 54XX.XX'
2. ADA PARKING STALLS SHALL HAVE A MAXIMUM OF 2.0% SLOPE IN ANY DIRECTION. REFER TO SHEET 4 - UTILITY PLAN FOR FURTHER INFORMATION ON EXISTING AND PROPOSED UTILITIES.
3. CURB CUTS TO ALLOW FOR SURFACE RUNOFF TO FLOW INTO DEPRESSED COLLECTION AREAS IN PLANTER ISLANDS. REFER TO LANDSCAPE PLAN FOR FURTHER INFORMATION ON BIORETENTION / ON-SITE WATER HARVESTING AREAS & PLANTINGS TO BE UTILIZED.
4. LOCALIZED INLET PONDING DEPTH TO BE A MAXIMUM OF 12 INCHES.
5. ALL PROPOSED CONSTRUCTION WILL OCCUR INSIDE LIMITS OF DISTURBANCE. EXISTING SITE FEATURES OUTSIDE LIMITS OF DISTURBANCE TO REMAIN.
6. ALL OFF-SITE WORK WILL BE COORDINATED WITH HOME DEPOT. ALL UTILITY WORK TO OCCUR DURING OFF-PEAK HOURS TO MINIMIZE DISRUPTION TO HOME DEPOT OPERATION.



1 VICINITY MAP
NOT TO SCALE



2 FLOOD INSURANCE MAP
NOT TO SCALE



3 12" DRAINAGE CURB CUT DETAIL
NOT TO SCALE

DRAINAGE NARRATIVE DESCRIPTION

THE SITE IS CURRENTLY A PAVED PARKING LOT WITH NUMEROUS LANDSCAPE ISLANDS. THE SITE GENERALLY SLOPES FROM WEST TO EAST TOWARDS THE EXISTING GRATE INLET LOCATED IN THE DRIVE AISLE IMMEDIATELY EAST OF THE PROJECT SITE. EXISTING SLOPES WITHIN THE PARKING LOT ARE LESS THAN 2%. EXISTING SIDEWALK SURROUNDS THE SITE TO THE WEST AND SOUTH. THESE SIDEWALK ELEVATIONS ARE CONSIDERABLY LOWER THAN THE PARKING LOT, WITH A 2-3 FOOT DIFFERENCE IN ELEVATION. THE MAJOR TOPOGRAPHIC ITEM LOCATED WITHIN 100 FEET OF THE SITE IS THE EXISTING GRATE INLET LOCATED IN THE DRIVE AISLE DIRECTLY EAST OF THE SITE. THE EXISTING CONDITIONS ALLOW FOR CONSIDERABLE PARKING LOT PONDING AROUND THIS INLET, ENCROACHING APPROXIMATELY 85 FEET ONTO THE SITE. THE CURRENT PONDING VOLUME LOCATED ON SITE IS APPROXIMATELY 17,766 CUBIC FEET. THERE IS ALSO AN EXISTING INLET ALONG THE EAST CURBLINE OF EUBANK BOULEVARD LOCATED IN THE SOUTHWEST CORNER OF THE SITE.

THE PROPOSED GRADING WILL IMPROVE THE EXISTING DRAINAGE CONDITIONS FOR THE PROJECT SITE. AN ON-SITE STORM SEWER SYSTEM WILL BETTER ROUTE RUNOFF TO THE EXISTING STORM SEWER SYSTEM. A SERIES OF PVC PIPES & STORM STRUCTURES WILL BE UTILIZED TO CAPTURE DEVELOPED RUNOFF. MOST IMPORTANTLY, THE PROPOSED GRADING CONCEPT WILL INCREASE THE AMOUNT OF PONDING FOR THE PROPOSED CONDITION. THE PARKING LOT PONDING WILL BE CENTERED AROUND THE PROPOSED STORM INLET, LOCATED AT LOW POINT OF THE PROPOSED CONCRETE PAN. THIS WILL ALLOW FOR A MAJORITY OF THE PONDING VOLUME TO BE CONTAINED IN THE PARKING LOT, AS WELL AS ALLOW FOR INCREASED SLOPES ON SITE. LOCALIZED INLET PONDING AROUND THE OTHER PROPOSED STORM INLETS, WITH A MAXIMUM DEPTH OF 12 INCHES, WILL ADD ADDITIONAL PONDING VOLUME FOR THE PROPOSED CONDITION. THE AMOUNT OF PONDING VOLUME PROVIDED WILL BE APPROXIMATELY 18,350 CUBIC FEET, WHILE SIMULTANEOUSLY DECREASING THE 100 YEAR PONDING ELEVATION. PER THE APPROVED DRAINAGE REPORT, A DISCHARGE RATE OF 0.3 CFS PER ACRE WILL BE MAINTAINED FOR THE SITE. THE EXISTING ORIFICE PLATE WILL BE UTILIZED, AS THE PROPOSED STORM SEWER WILL CONNECT TO THE EXISTING SYSTEM UPSTREAM OF THIS ORIFICE PLATE. WITH THESE PROPOSED ENHANCEMENTS, WITH AN EMPHASIS ON AT A MINIMUM MAINTAINING A PONDING VOLUME NEUTRAL CONCEPT, THE PROPOSED CHICK-FIL-A WILL IMPROVE THE EXISTING DRAINAGE CONDITIONS FOR THE PROJECT SITE.

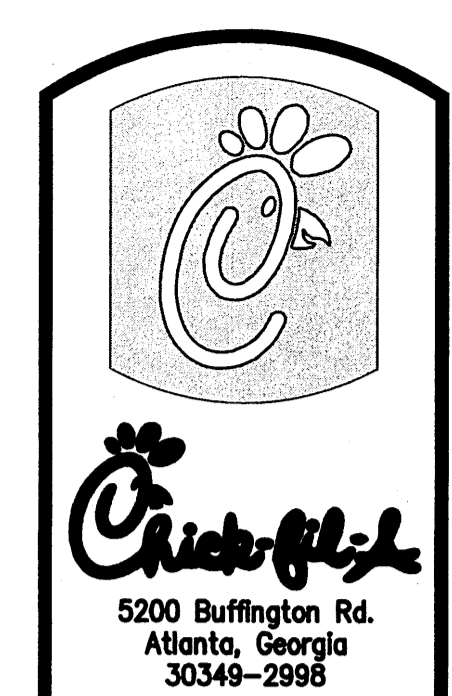
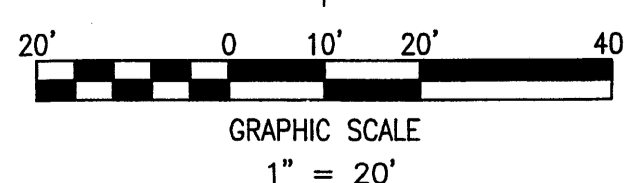
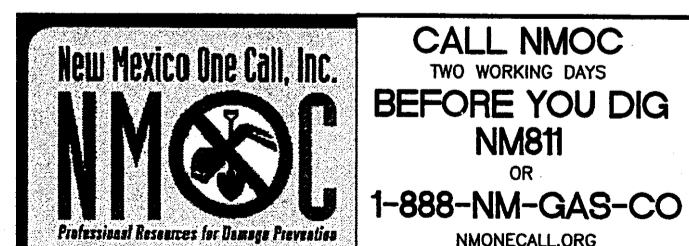
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- Table 2: General Design Regulations -

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Revisions:

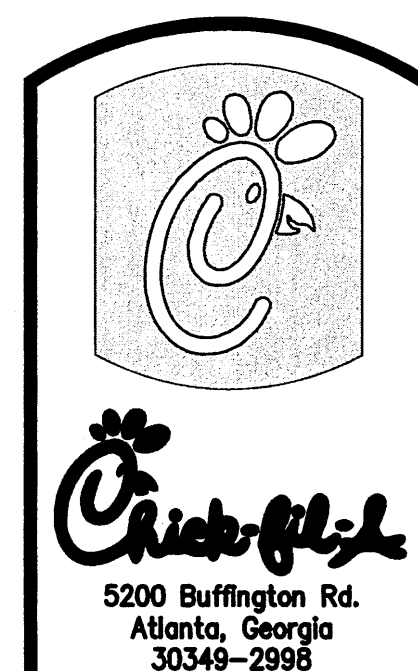
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△	09/28/14	EF
△	10/24/14	EF
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△	11/21/14	EF
△	12/22/14	EF
△	01/05/15	EF
△	01/09/15	EF
△	02/09/15	EF



STORE CHICK-FIL-A FSU #03235 CENTRAL & EUBANK 210 EUBANK BOULEVARD SE ALBUQUERQUE, NM 87123

SHEET TITLE GRADING PLAN

DWG EDITION --- Job No. :65118257 Store : 03235 Date :04/10/14 Drawn By : JD Checked By : TDK Sheet



5200 Buffington Rd.
Atlanta, Georgia
30349-2998

Revisions:

Mark	Date	By
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△	10/24/14	EF
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△	02/09/15	EF

MERRICK & COMPANY
5970 GREENWOOD PLAZA BLVD B0111
GREENWOOD VILLAGE, CO 80111
303-751-0741

STORE
CHICK-FIL-A
FSU #03235
CENTRAL & EUBANK
210 EUBANK
BOULEVARD SE
ALBUQUERQUE, NM
87123

SHEET TITLE
UTILITY PLAN

DWG EDITION ---

Job No. : 65118257
Store : 03235
Date : 04/10/14
Drawn By : JD
Checked By : TDK

Sheet
4

PLUMBING SITE PLAN DESIGN NOTES & KEY PLAN

- 1 1/2" TYPE K COPPER DOMESTIC WATER SERVICE (PRIVATE)
- 2 1/2" WATER METER (PRIVATE)
- 3 DOMESTIC WATER SERVICE CONNECTION TO EXISTING STUB
- 4 4" D.I.P. FIRE SERVICE (PRIVATE)
- 5 PRIVATE FIRE SERVICE CONNECTION TO EX WATER STUB
- 6 4" PVC RESTROOM WASTE SERVICE LINE (PRIVATE)
- 7 GREASE INTERCEPTOR
- 8 3" VENT LINE
- 9 4" PVC KITCHEN WASTE LINE (PRIVATE)
- 10 4" ONE-WAY CLEANOUT (TRAFFIC RATED) (PRIVATE)
- 11 4" TWO-WAY CLEANOUT (TRAFFIC RATED) (PRIVATE)
- 12 4" PVC WASTEWATER SERVICE LINE (PRIVATE)
- 13 4" WASTEWATER SERVICE CONNECTION TO EX SANITARY SEWER MAIN
- 14 6" PVC ROOF DRAIN PIPE (PRIVATE)
- 15 6" ROOF DRAIN CONNECTION TO PROPOSED STORM SEWER
- 16 3/4" TYPE K COPPER WATER SERVICE TO YARD HYDRANT (PRIVATE)
- 17 3/4" YARD HYDRANT (PRIVATE)
- 18 ELECTRIC TRANSFORMER
- 19 ELECTRIC SERVICE LINE
- 20 ELECTRIC METER
- 21 GAS METER
- 22 GAS SERVICE LINE
- 23 TELEPHONE SERVICE LINE
- 24 FIRE DEPARTMENT CONNECTION
- 25 KNOX BOX
- 26 CONNECT TO IRRIGATION SYSTEM
- 27 TYPE C STORM SEWER INLET (PRIVATE)
- 28 TYPE D STORM SEWER INLET (PRIVATE)
- 29 18" PVC STORM SEWER LINE (PRIVATE)
- 30 5'Ø STORM SEWER MANHOLE (PRIVATE)
- 30A 5'Ø STORM SEWER MANHOLE CONNECTION TO EX STORM MAIN (PRIVATE)
- 31 EXISTING ORIFICE PLATE ON OUTFALL OF EX GRATE INLET
- 32 3' WIDE CONCRETE PAN
- 33 1' WIDE CURB CUT FOR SURFACE RUNOFF TO BIORETENTION / ON-SITE WATER HARVESTING LANDSCAPE AREAS. SEE DETAIL 1
- 34 EX LIGHT POLE TO BE REMOVED
- 35 EX LIGHT POLE TO BE PROTECTED IN PLACE
- 36 PROPOSED LIGHT POLE
- 37 BIO-RETENTION / ON-SITE WATER HARVESTING AREA RE: LANDSCAPE
- 38 TRASH ENCLOSURE DRAIN. CONNECT TO PROPOSED SANITARY SEWER SYSTEM
- 39 COLORED & TEXTURED CONCRETE AT PEDESTRIAN CROSSING. RE: ARCHITECTURE

UTILITY LEGEND:

- F PROPOSED FIRE SERVICE
- RD PROPOSED ROOF DRAIN
- WTR PROPOSED WATER MAIN
- SAN PROPOSED SANITARY SEWER
- G PROPOSED GAS
- E PROPOSED ELECTRIC
- T PROPOSED TELEPHONE
- PROPOSED STORM LINE
- WATER METER
- GREASE TRAP
- STORM INLET
- STORM MANHOLE
- PROPOSED LIGHT POLE
- COLORED & TEXTURED CONCRETE
- EXISTING STORM MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING STORM INLET
- EX FIRE HYDRANT
- EX LIGHT POLE
- EX SPRINKLER CONTROL VALVE/BOX
- EX WATER METER
- EX OVERHEAD ELECTRIC LINE
- EX UNDERGROUND ELECTRIC LINE
- EX WATER LINE
- EX TELEPHONE SERVICE LINE
- EX STORM LINE
- EX SANITARY SEWER LINE
- EX FIRE LINE
- EX GAS LINE

MATERIALS TABLE

TYPE	QUANTITY	TYPE	QUANTITY
4" D.I.P.	62 LINEAR FEET	5'Ø STORM SEWER MANHOLE	4
3/4" TYPE K COPPER PIPE	223 LINEAR FEET	TYPE C STORM SEWER INLET	2
1-1/2" TYPE K COPPER	102 LINEAR FEET	TYPE D STORM SEWER INLET	1
4" PVC SANITARY	237 LINEAR FEET	ONE-WAY CLEANOUT	5
3" PVC SANITARY	118 LINEAR FEET	TWO-WAY CLEANOUT	4
6" PVC ROOF DRAIN	75 LINEAR FEET	CURB CUTS	6
GAS SERVICE	125 LINEAR FEET		
ELECTRIC SERVICE	45 LINEAR FEET		
TELEPHONE SERVICE	121 LINEAR FEET		
18" PVC STORM PIPE	305 LINEAR FEET		

Deviations Requested- Staff Summary Tables

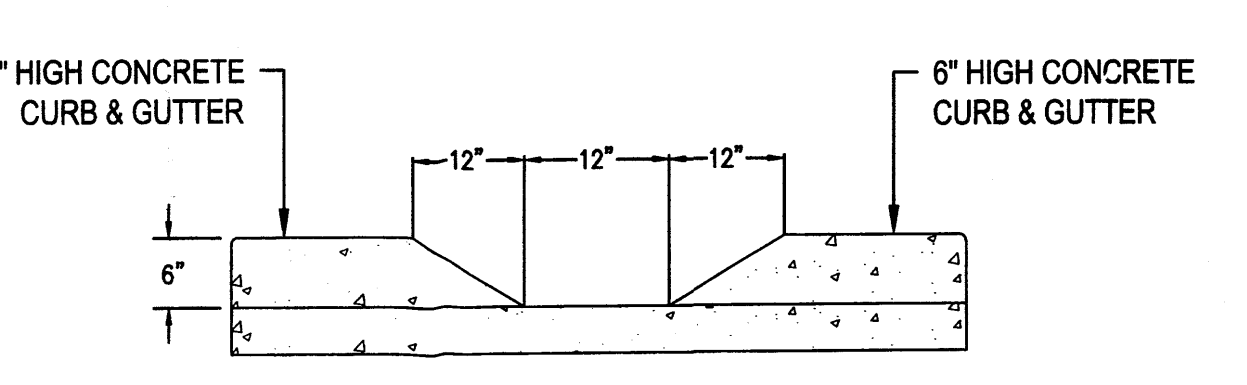
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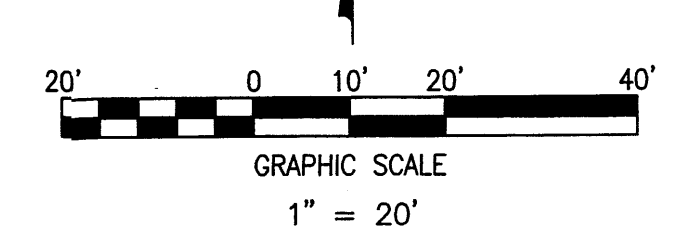
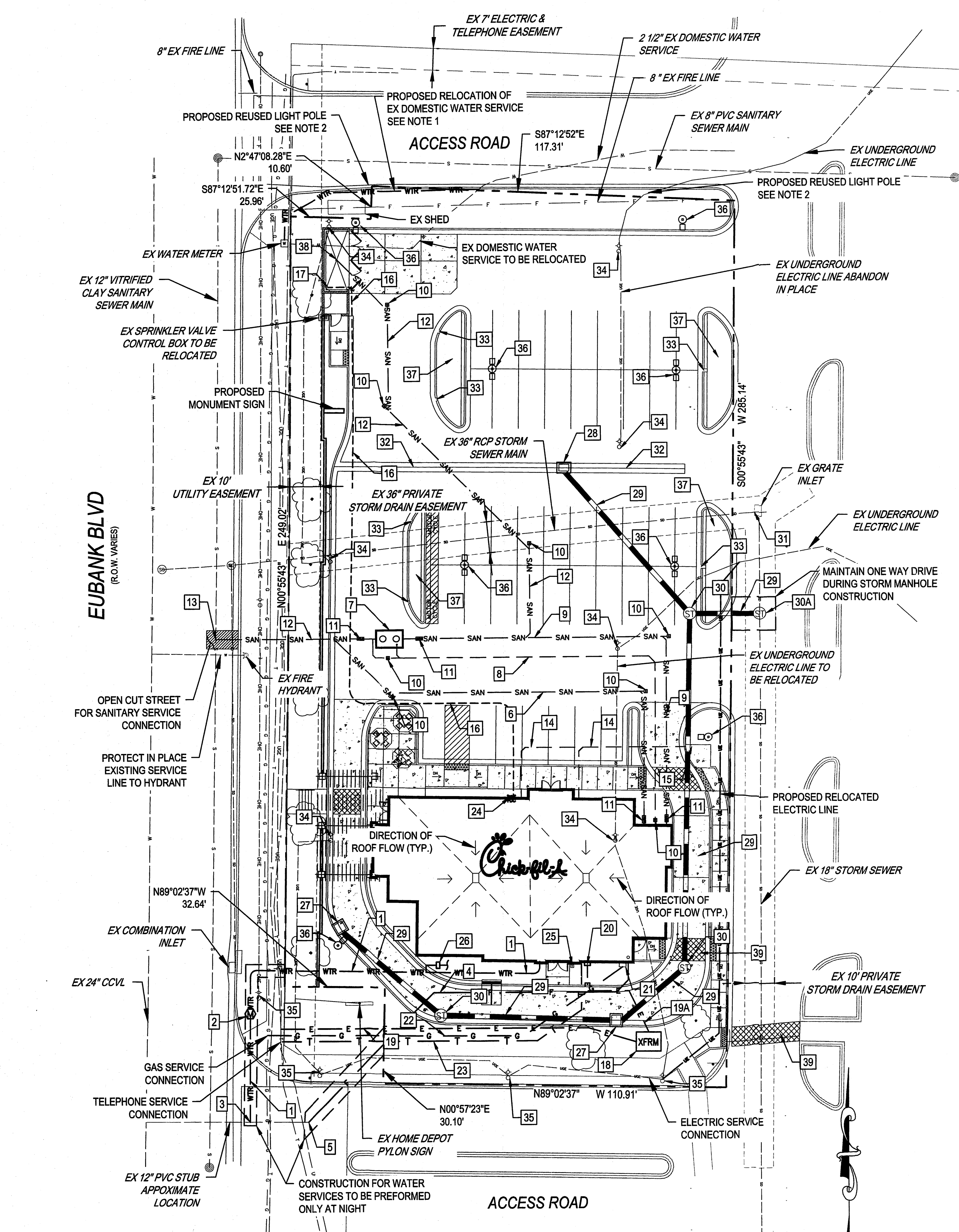
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12" DRAINAGE CURB CUT DETAIL
NOT TO SCALE

- NOTE:**
1. CONTRACTOR TO USE EXTREME CAUTION IN THIS AREA TO ENSURE THAT THE EXISTING SHED WILL BE PROTECTED IN PLACE. CONTRACTOR TO COORDINATE WITH HOME DEPOT STORE MANAGER TO LIMIT THE AMOUNT OF DISTURBANCE TO HOME DEPOT OPERATION. WORK CAN BE COMPLETED AT NIGHT BETWEEN 10PM & 6AM IF NEEDED.
 2. FOR EXISTING LIGHT POLES TO BE REMOVED CONTRACTOR TO PRESERVE & SAVE LIGHT POLES AND FIXTURES. LIGHT POLES REMOVED ALONG EUBANK TO BE REUSED FOR INSTALLATION OF LIGHT POLES ALONG NORTH ACCESS. ALL OTHER LIGHT POLES AND FIXTURES TO BE RETURNED TO HOME DEPOT.

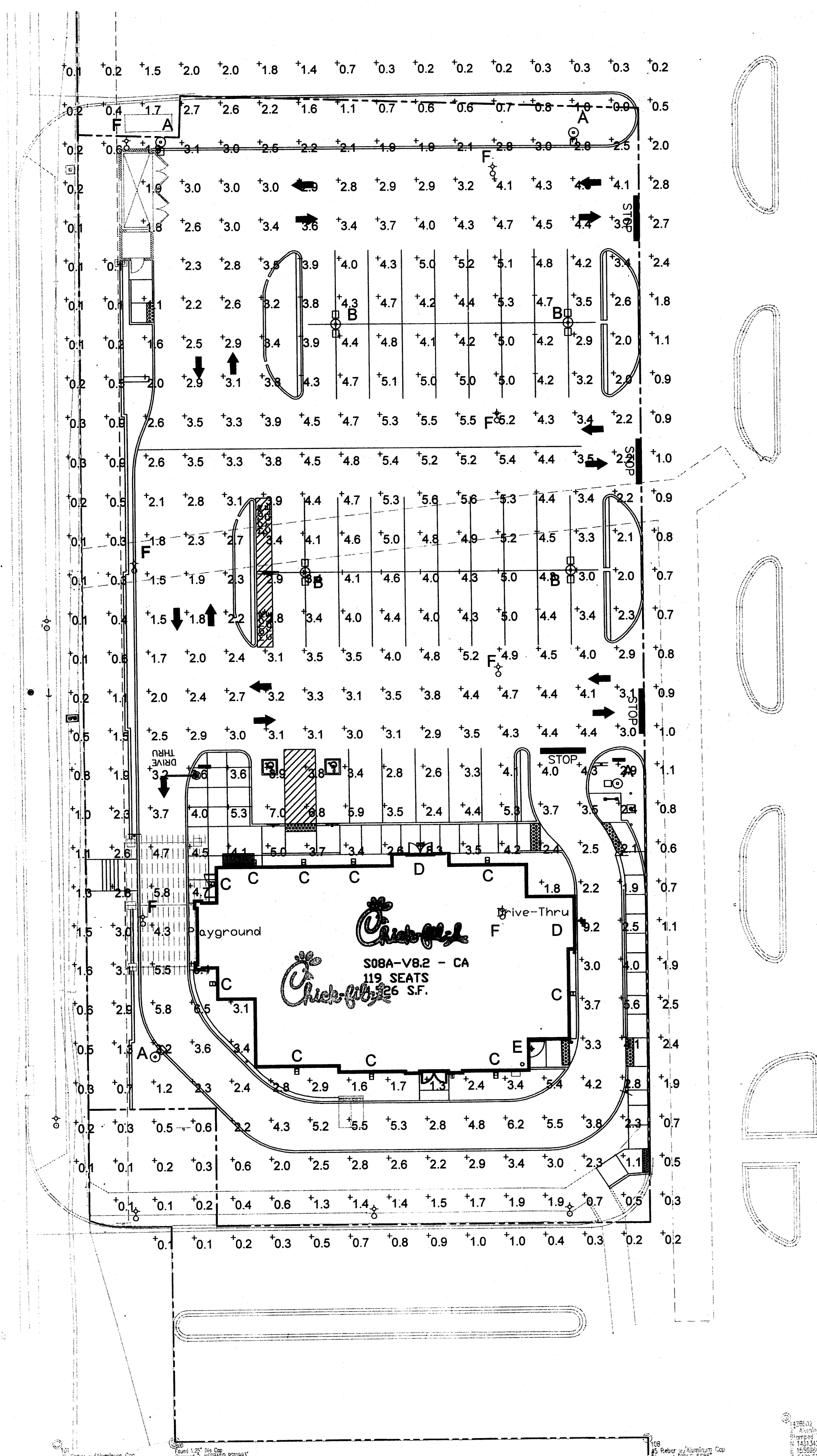


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Luminaire Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	4	Lithonia Lighting @ 20'-0" A.F.G.	DSX1 LED 60C 1000 30K T4M MVOLT HS	DSX1 LED WITH (2) 30 LED LIGHT ENGINES, TYPE T4M OPTIC, 3000K, @ 1000mA WITH HOUSE SIDE SHIELD	LED	1	DSX1_LED_60C_1000_30K_T4_M_MVOLT_HS.ies	10260.38	0.86	209
	B	4	Lithonia Lighting @ 20'-0" A.F.G.	DSX1 LED 60C 1000 30K T5M MVOLT	DSX1 LED WITH (2) 30 LED LIGHT ENGINES, TYPE T5M OPTIC, 3000K, @ 1000mA	LED	1	DSX1_LED_60C_1000_30K_T5_M_MVOLT.ies	15131.7	0.86	418
	C	10	Bega-US @ 15'-0" A.F.G.	L6854LED	Cast aluminum housing, clear patterned glass upper lens ab ove formed semi-specular aluminum reflector, clear glass enclosure	36 white LEDs	1	6854LED.ies	2039.282	0.95	42.63
	D	2	Gotham Architectural Lighting @ 8'-6" A.F.F.	AFV 32TRT 4AR MVOLT	OPEN 4" VERTICAL FLUORESCENT 32 WATT DOWNLIGHT.	ONE 32-WATT COMPACT FLUORESCENT, VERTICAL BASEUP, POS.	1	AFV_32TRT_4AR_MVOLT.ies	2400	0.95	33
	E	1	Lithonia Lighting @ 10'-4" A.F.F.	TWA 50M	GENERAL PURPOSE BUILDING MOUNTED LUMINAIRE, 50W MH, W/ CLEAR LAMP.	ONE 50-WATT CLEAR ED-17 METAL HALIDE, TILTED 22-DEG.	1	TWA_50M.ies	3500	0.95	72
	F	7	Existing fixture to be removed/relocated		FIXTURES TO BE REMOVED/ RELOCATED NOT INCLUDED IN PHOTOMETRIC CALCULATION						

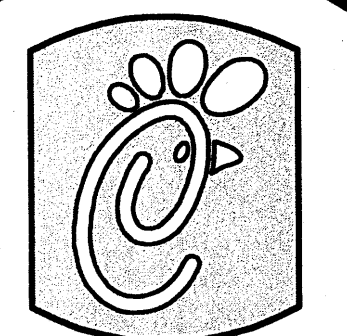
Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
Calc Zone #1	+	2.8 fc	9.2 fc	0.0 fc	N/A	N/A	0.3:1

EUBANK BOULEVARD (R/W VARIES)



NOTE:
 1. ALL LIGHTS WITHIN THE OUTLOT WILL BE ON THE OUTLOT SYSTEM.
 2. THE HOME DEPOT & PYLON SIGNS WILL REMAIN OPERATIONAL DURING CONSTRUCTION

I PRELIMINARY PHOTOMETRIC SITE PLAN
 1" = 20'-0"



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Revisions:

Mark Date By
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Mark Date By
 08/27/14 EF

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 09/16/14 EF

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 09/26/14 EF

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SHEET TITLE
 PHOTOMETRIC
 SITE PLAN

VERSION: HV1
 ISSUE DATE: 07-2014

Job No. : 13-232

Store : 03235

Date : 3-26-14

Drawn By : ---

Checked By: ---

Sheet
5

Deviations Requested- Staff Summary Tables

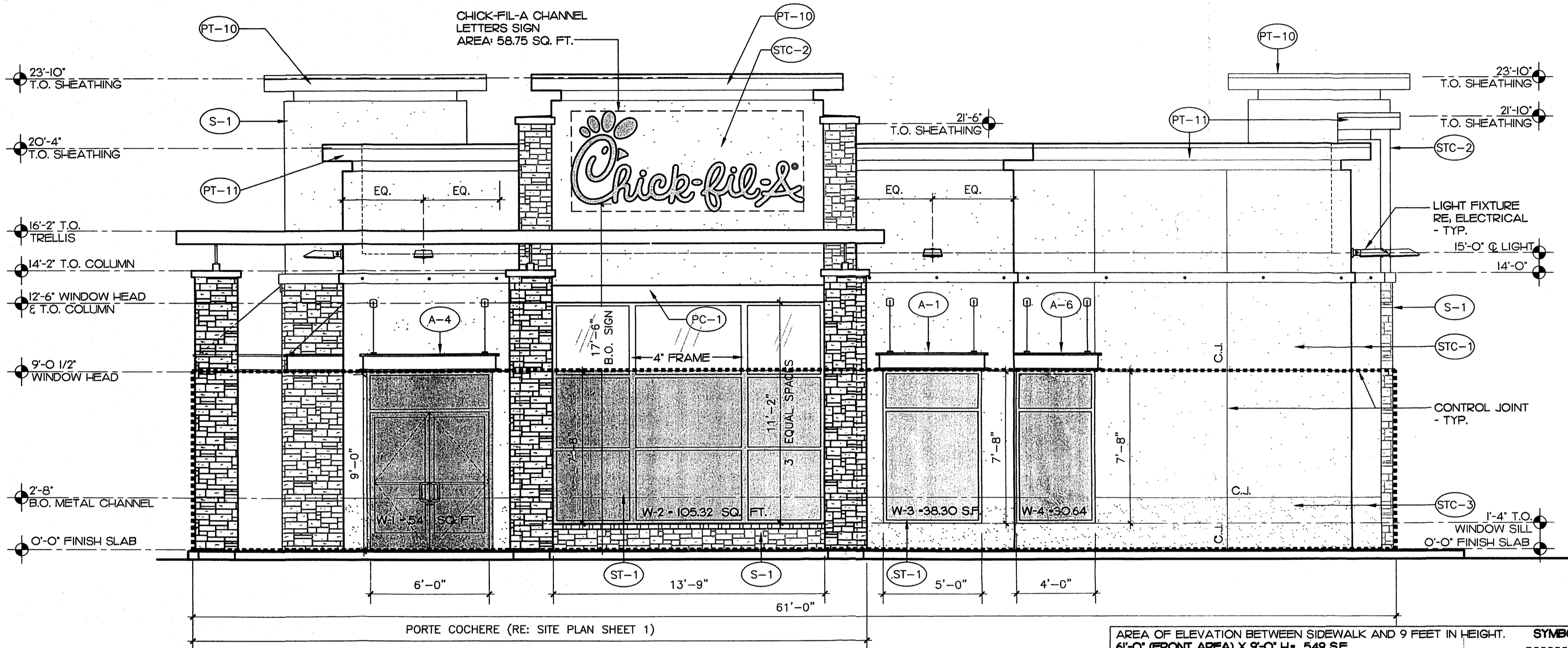
- Table 1: Commercial Building & Lot Standards -

#	Page	Requirement Name	Amount	Proposed	Difference between Required & Proposed	Deviation & Classification
1	5-36	Building Front Façade Lot Width Coverage	50% minimum	142.5 feet is 50%. 56 feet is proposed and is 20%	Lot is 285 feet wide. 142.5-56=86.5 feet difference, or 30%	30%- Major
2	5-36	Front Yard Setback	10 feet maximum	24.75 feet from building	14.75 feet, 147.5% of the standard.	50% deviation is 15 feet. The EPC cannot grant deviations >50%*

- Table 2: General Design Regulations -

#	Page	Requirement Name	Amount	Proposed	Difference between Required & Proposed	Deviation Classification
3	5-46	Building Façade at Least 50% of Street Frontage	50% minimum	142.5 feet is 50%. 56 feet is proposed and is 20%	Lot is 285 feet wide. 142.5-56=86.5 feet difference, or 30%	30%- Major
4	5-48	Maximum Parking Allowed	ZC min plus 10% (33 spaces)	45 spaces.	12 extra spaces, a third of the standard	36%- Major
5	5-55	Drive-up windows and Ordering Panels at Rear of Building	--	1 window at rear, 1 window at side, ordering panel at side	The side window and ordering panel should be at the rear of the building	non-dimensional standard requiring review
6	5-56	No portion of queuing lane within 40 feet of street-facing façades	--	Queuing lane is within 25 feet of street facing facade	Relocate queuing lane to another location (many available)	non-dimensional standard requiring review

Revised application is for 5 deviations instead of 6 (#2 is addressed). Three deviations (#s 1, 3 & 4) are still major in scope. Two deviations are still to non-dimensional standards.

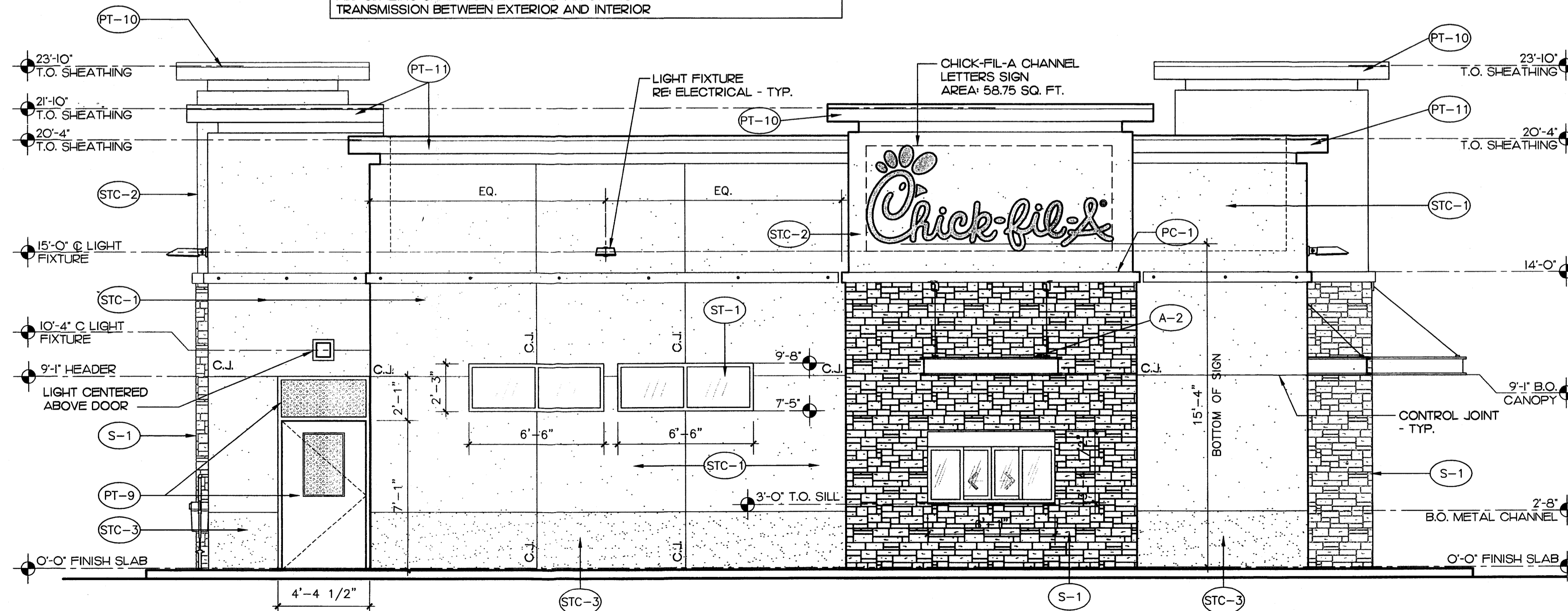


1 WEST ELEVATION (FRONT ELEVATION)
1/4" = 1'-0"

AREA OF ELEVATION BETWEEN SIDEWALK AND 9 FEET IN HEIGHT.
6'-0" (FRONT AREA) X 9'-0" H = 549 SF.

WINDOW COVERAGE
 W-1 6'-0" W. X 9'-0" H = 54.0 SF.
 W-2 13'-9" W. X 7'-8" H = 105.32 SF.
 W-3 5'-0" W. X 7'-8" H = 38.30 SF.
 W-4 4'-0" W. X 7'-8" H = 30.64 SF.
TOTAL WINDOW COV = 228.26 SF / 549 = 41.57%

ALL GLAZING SHALL BE CLEAR AND ALLOW LIGHT TRANSMISSION BETWEEN EXTERIOR AND INTERIOR



2 EAST ELEVATION
1/4" = 1'-0"

EXTERIOR FINISHES - FOR STD REFRONTGLAZING - SEE GLASS SCHEDULE & INTERIOR ELEVATIONS		
STC-1	STUCCO #1 TO MATCH SHERWIN WILLIAMS #SW7565 'OYSIER BAR'	A-1 ALUMINUM AWNING - LO OVER BLADE COLOR - DARK BRO NZE SIZE 5'-8" LENGTH (V.L.F.) X 3'-0" DEPTH
STC-2	STUCCO #2 TO MATCH SHERWIN WILLIAMS #SW7549 'STUDIO TAUPE'	A-2 ALUMINUM AWNING - COVERED COLOR - DARK BRO NZE SIZE 6'-9" LENGTH (V.L.F.) X 4'-6" DEPTH
STC-3	STUCCO #3 TO MATCH SHERWIN WILLIAMS #SW2823 'ROCKWOOD CLAY'	A-3 ALUMINUM AWNING - LO OVER BLADE COLOR - DARK BRO NZE SIZE 11'-3" LENGTH (V.L.F.) X 3'-0" DEPTH
SF1	STD REFRONT YK - YES 45 COLOR - DARK BRO NZE (MATE)	A-4 ALUMINUM AWNING - COVERED COLOR - DARK BRO NZE SIZE 7'-0" LENGTH (V.L.F.) X 4'-6" DEPTH
PF7	PAINT #7 SHERWIN WILLIAMS, #SW2807 'ROCKWOOD (MEDIUM BRO WN)' SEMI-GLOSS FINISH	A-5 ALUMINUM AWNING - COVERED COLOR - DARK BRO NZE SIZE 8'-0" LENGTH (V.L.F.) X 4'-6" DEPTH
PF9	PAINT #9 SHERWIN WILLIAMS - SHER-CRYL HIGH PERFORMAN E ACRYLIC #B66-350 COLOR - DARK BRO NZE (SEMI-GLOSS)	A-6 ALUMINUM AWNING - LO OVER BLADE COLOR - DARK BRO NZE SIZE 4'-5" LENGTH (V.L.F.) X 3'-0" DEPTH
PT10	PAINT #10 SHERWIN WILLIAMS - #SW7549 'STUDIO TAUPE', FLAT FINISH	S-1 STONE VENER CORONADO STONE PRO-LEDGE 'CROSSROADS'
PT11	PAINT #11 SHERWIN WILLIAMS - #SW7565 'OYSIER BAR', FLAT FINISH	

SIGN NOTES

BODY: S/F CUSTOM FABRICATED ALUMINUM CABINET CONSTRUCTED OF .040 WITH .080 ALUMINUM BACKS. ALUMINUM RETURNS STAPLED TO BACKS.

FACES: .1875 ROHM E HAAS #2793 RED ACRYLIC

RETURNS: 5" DEEP RETURNS PAINTED TO MATCH BUILDING SURFACE.

STANDOFF: 1/2" STAND OFF HARDWARE

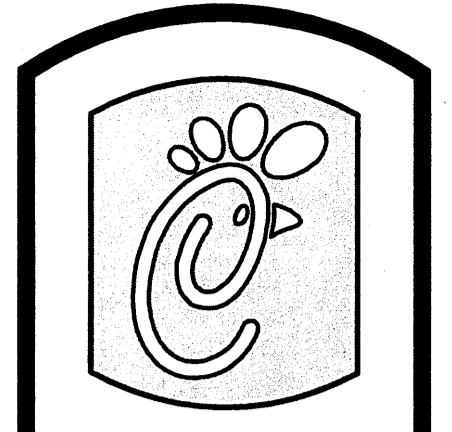
REGISTERED: .1875 CLEAR ACRYLIC FLAG WITH ARLON #2500-253 CARDINAL RED VINYL ATTACHED TO BACK OF 'A'

ILLUMINATION: RED LED LIGHTING WITH REMOTE TRANSFORMERS.

SIGNAGE IN THE SU-2/EG-C ZONE REFERS TO THE CH-ZONE AND THE GENERAL SIGNAGE REGULATIONS, EXCEPT THAT THE LETTER HEIGHT IS NOT REGULATED.

NOTES

- ADVERTISING SIGNAGE ON WINDOWS SHALL NOT BE ALLOWED PER EGSD REQUIREMENTS
- ALL ROOF TOP EQUIPMENT SHALL BE BEHIND PARAPETS AND BELOW TOP OF PARAPETS



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△	09/26/14	EF
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SHEET TITLE
EXTERIOR
ELEVATIONS

VERSION: HV1
ISSUE DATE: 07-2014

Job No. : 13-232
Store : 03235
Date : 3-26-14
Drawn By :
Checked By: R.H.

Sheet

Deviations Requested- Staff Summary Tables

- Table 1: Commercial Building & Lot Standards -

#	Page	Requirement Name	Amount	Proposed	Difference between Required & Proposed	Deviation & Classification
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2	5-36	Front Yard Setback	10 feet maximum	24.75 feet from building	14.75 feet, 147.5% of the standard.	50% deviation is 15 feet. The EPC cannot grant deviations > 50%.

SIGN NOTES:

BODY: S/F CUSTOM FABRICATED ALUMINUM CABINET CONSTRUCTED OF .040 WITH 0.80 ALUMINUM BACKS. ALUMINUM RETURNS STAPLED TO BACKS.

FACES: .1875 ROHM & HAAS #2793 RED ACRYLIC

RETURNS: 5" DEEP RETURNS PAINTED TO MATCH BUILDING SURFACE.

STANDOFF: 1/2" STAND OFF HARDWARE

REGISTERED: .1875 CLEAR ACRYLIC FLAC WITH ARLO #2500-253 CARDINAL RED VINYL ATTACHED TO BACK OF "A"

ILLUMINATION: RED LED LIGHTING WITH REMOTE TRANSFORMERS.

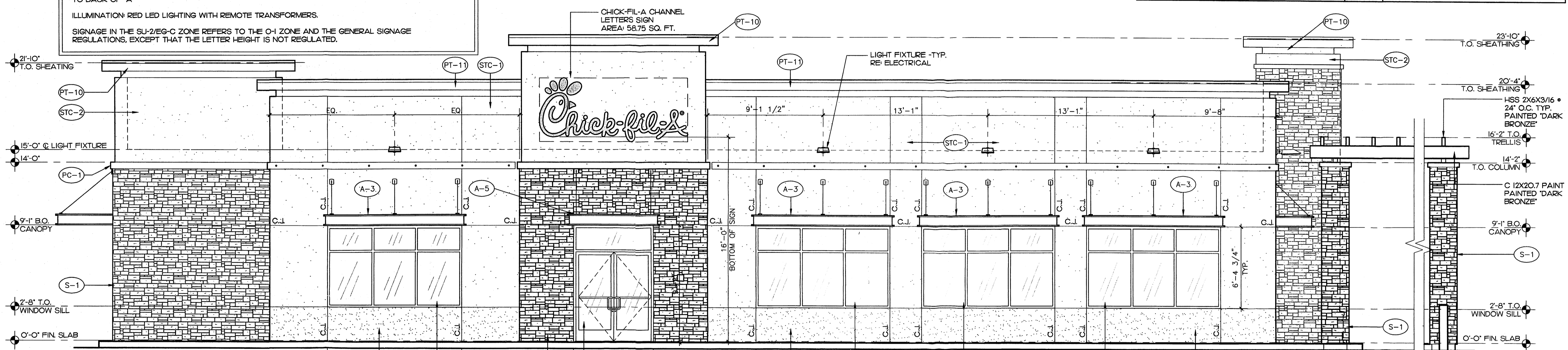
SIGNAGE IN THE SU-2/EG-C ZONE REFERS TO THE O-1 ZONE AND THE GENERAL SIGNAGE REGULATIONS, EXCEPT THAT THE LETTER HEIGHT IS NOT REGULATED.

- Table 2: General Design Regulations -

#	Page	Requirement Name	Amount	Proposed	Difference between Required & Proposed	Deviation Classification
3	5-46	Building Façade at Least 50% of Street Frontage	50% minimum	142.5 feet is 50%. 56 feet is proposed and is 20%	Lot is 285 feet wide. 142.5-56=86.5 feet difference, or 30%	30%- Major
4	5-48	Maximum Parking Allowed	ZC min plus 10% (33 spaces)	45 spaces.	12 extra spaces, a third of the standard	36%- Major
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6	5-56	No portion of queuing lane within 40 feet of street-facing façades	--	Queuing lane is within 25 feet of street facing facade	Relocate queuing lane to another location (many available)	non-dimensional standard requiring review

Revised application is for 5 deviations instead of 6 (#2 is addressed). Three deviations (#s 1, 3 & 4) are still major in scope. Two deviations are still to non-dimensional standards.

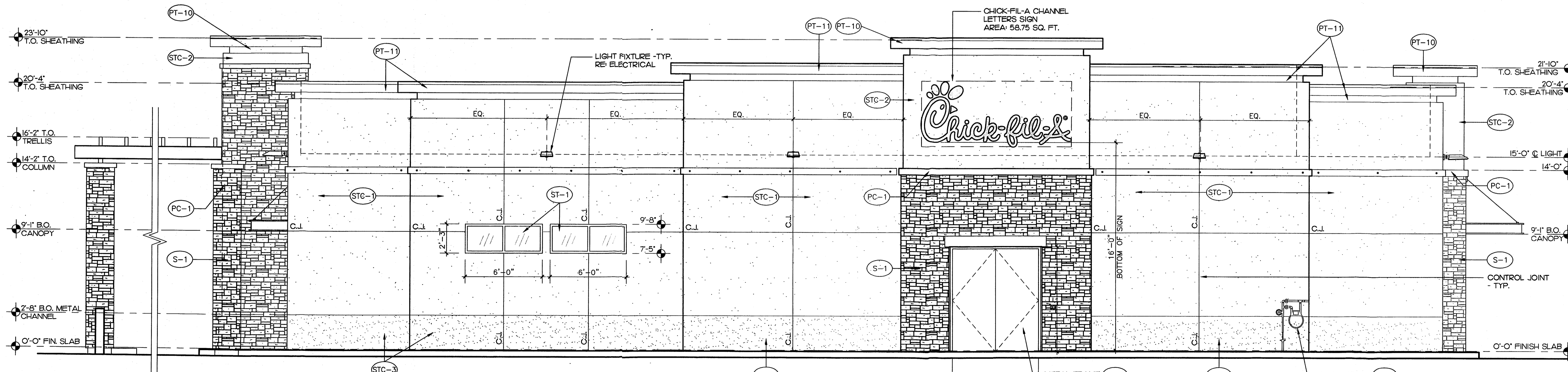
EXTERIOR FINISHES - FOR STD REFRONTG LAZING - SEE GLASS SCHEDULE & INTERIOR ELEVATIONS			
(SIC-1)	SUCCO #1 TO MATCH SHERWIN WILLIAMS # SW7565 'OYSIER BAR'	(A-1)	ALUMINUM AWNING - LO UVER BLADE COLOR - DARK BRONZE SIZE 5'-8" LENGTH (V.L.F.) x 3'-0" DEPTH
(SIC-2)	SUCCO #2 TO MATCH SHERWIN WILLIAMS # SW7549 'STUDIO TAUPE'	(A-2)	ALUMINUM AWNING - COVERED COLOR - DARK BRONZE SIZE 6'-9" LENGTH (V.L.F.) x 4'-6" DEPTH
(SIC-3)	SUCCO #3 TO MATCH SHERWIN WILLIAMS # SW2823 'ROCKWOOD CLAY'	(A-3)	ALUMINUM AWNING - LO UVER BLADE COLOR - DARK BRONZE SIZE 11'-3" LENGTH (V.L.F.) x 3'-0" DEPTH
(SF1)	STD REFRONT YKK - YES 45 COLOR - DARK BRONZE (MATE)	(A-4)	ALUMINUM AWNING - COVERED COLOR - DARK BRONZE SIZE 7'-0" LENGTH (V.L.F.) x 4'-6" DEPTH
(PT7)	PAINT #7 SHERWIN WILLIAMS, # SW2807 'ROCKWOOD (MEDIUM BROWN)' SEMI GLOSS FINISH	(A-5)	ALUMINUM AWNING - COVERED COLOR - DARK BRONZE SIZE 8'-0" LENGTH (V.L.F.) x 4'-6" DEPTH
(PT9)	PAINT #9 SHERWIN WILLIAMS - SHER-CRYLIGH PERFORMANCE ACRYLIC # B66-350 COLOR - DARK BRONZE (SEMI GLOSS)	(A-6)	ALUMINUM AWNING - LO UVER BLADE COLOR - DARK BRONZE SIZE 4'-5" LENGTH (V.L.F.) x 3'-0" DEPTH
(PT10)	PAINT #10 SHERWIN WILLIAMS - # SW 7549 'STUDIO TAUPE', FLAT FINISH	(S-1)	STONE VENEER COLOR NADO STONE PRO-LEDGE 'COROSSO ADS'
(PT11)	PAINT #11 SHERWIN WILLIAMS - # SW7565 'OYSIER BAR', FLAT FINISH		



1 NORTH ELEVATION

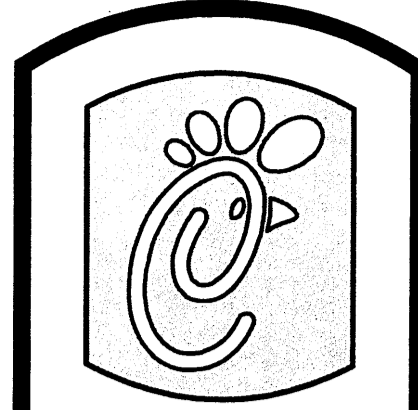
1/4" = 1'-0"

NOTES:
 1. ADVERTISING SIGNAGE ON WINDOWS SHALL NOT BE ALLOWED PER EGSDP REQUIREMENTS
 2. ALL ROOF TOP EQUIPMENT SHALL BE BEHIND PARAPETS AND BELOW TOP OF PARAPETS



2 SOUTH ELEVATION

1/4" = 1'-0"



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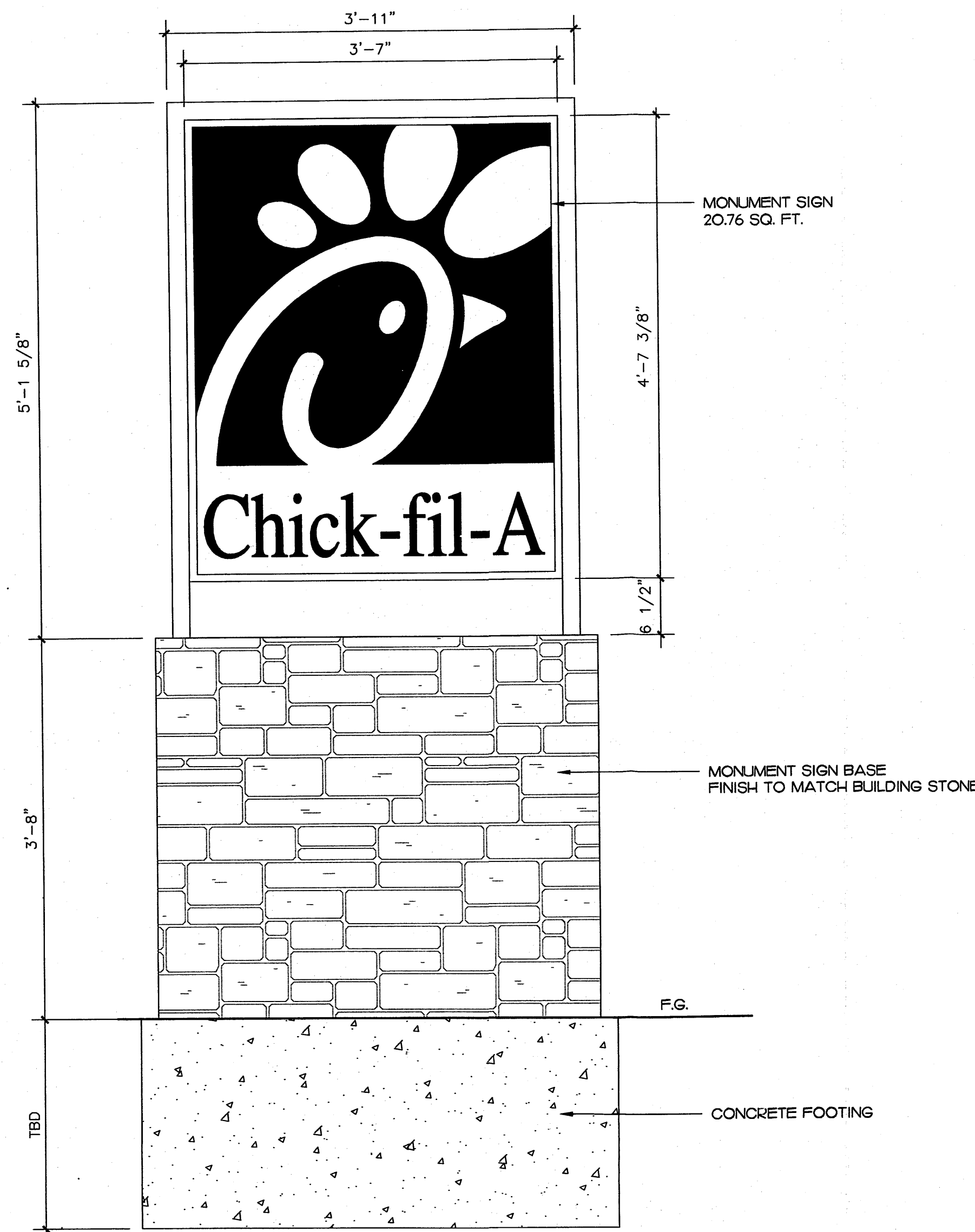
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SHEET TITLE
 EXTERIOR
 ELEVATION

VERSION: HV1
 ISSUE DATE: 07-2014

Job No. : 13-232
 Store : 03235
 Date : 3-26-14
 Drawn By :
 Checked By : R.H.

Sheet



SIGN SPECIFICATIONS:

MAIN CABINET: FABRICATED O80 ALUMINUM 1'-3" DEEP, WITH 1/2" RETAINERS AND RETURN'S PAINTED DARK BRONZE.

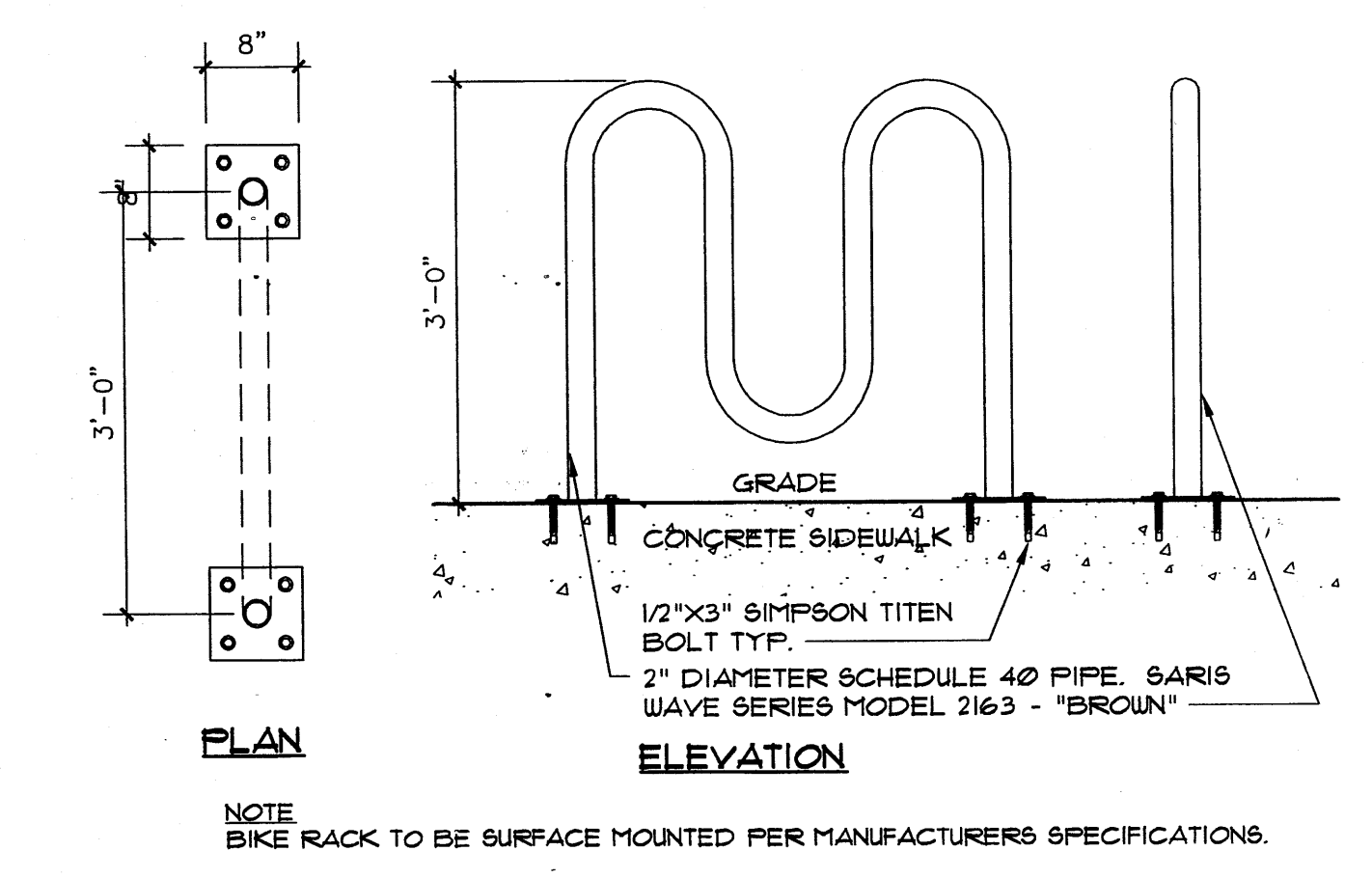
FACES: MAIN CABINET WHITE LEXAN WITH APPLIED FIRST SURFACE 3M RED #3630-53 TRANSLUCENT VINYL.

ILLUMINATION: INTERNAL T12 CW/HO FLOURESCENT LAMPS FOR MAIN CABINET.

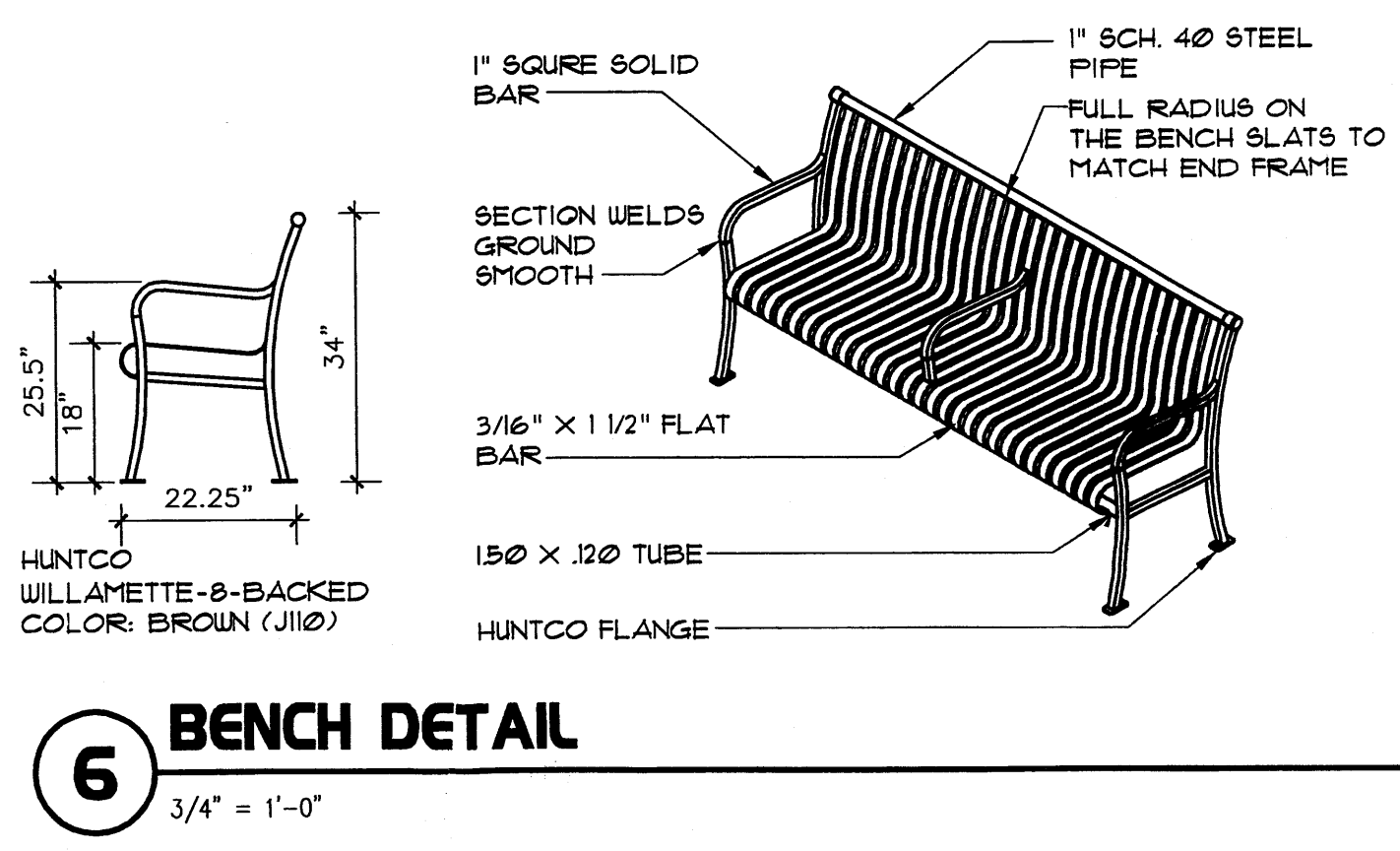
BASE: ALUMINUM FRAME CLAD IN HARDI BACKER BOARD AND STONE VENEER TO MATCH BUILDING (TO BE DONE BY OTHERS)

SWITCH: COVERED DISCONNECT SWITCH.

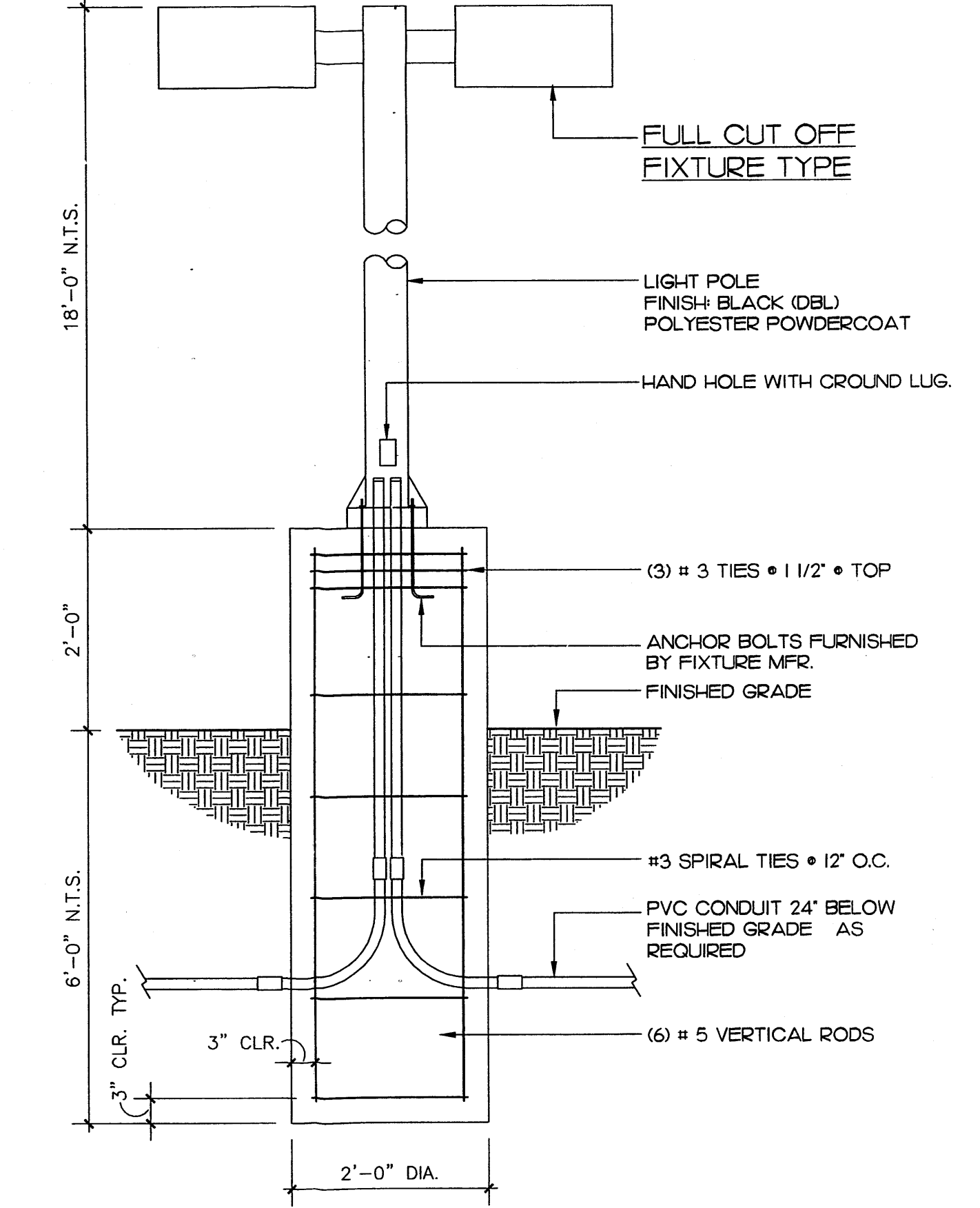
8 POLE BASE DETAIL
3/4" = 1'-0"



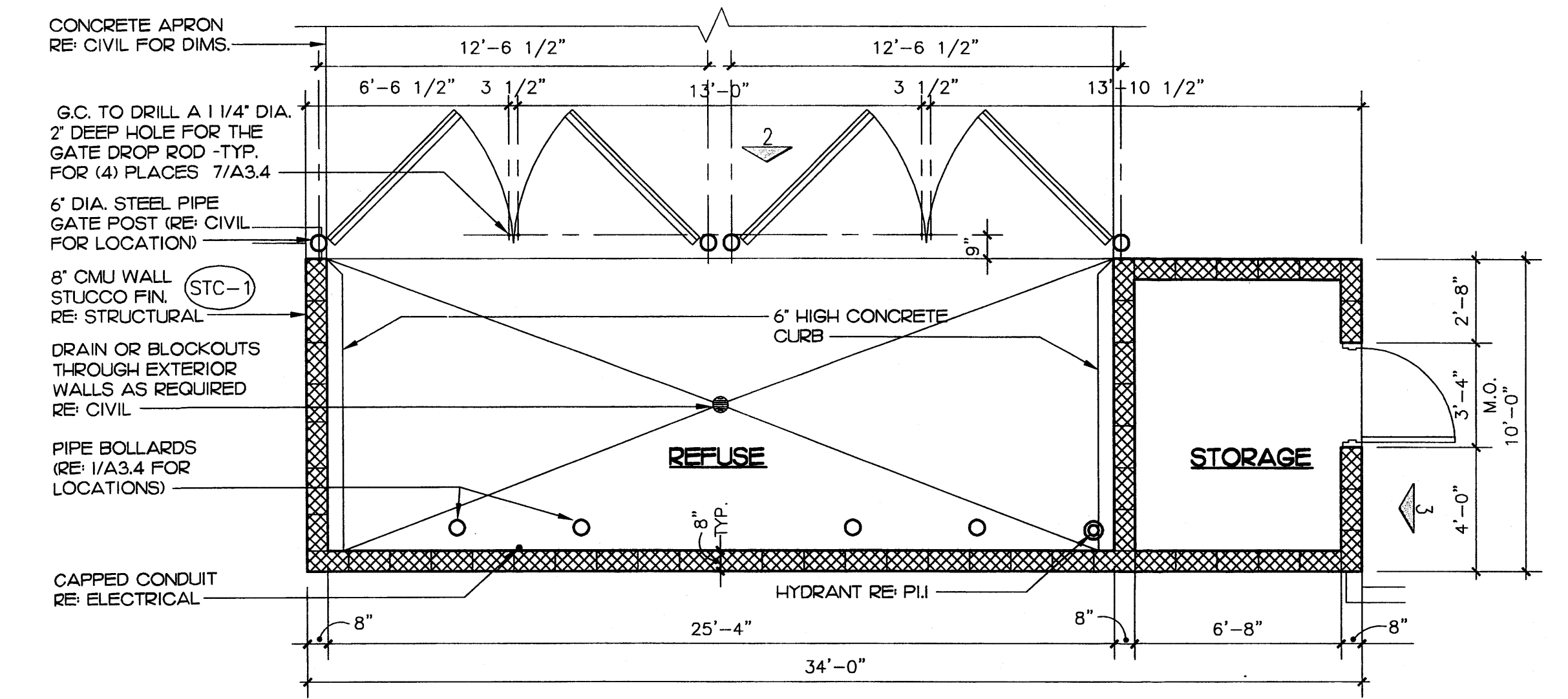
5 SURFACE MOUNTED BIKE RACK DETAIL
3/4" = 1'-0"



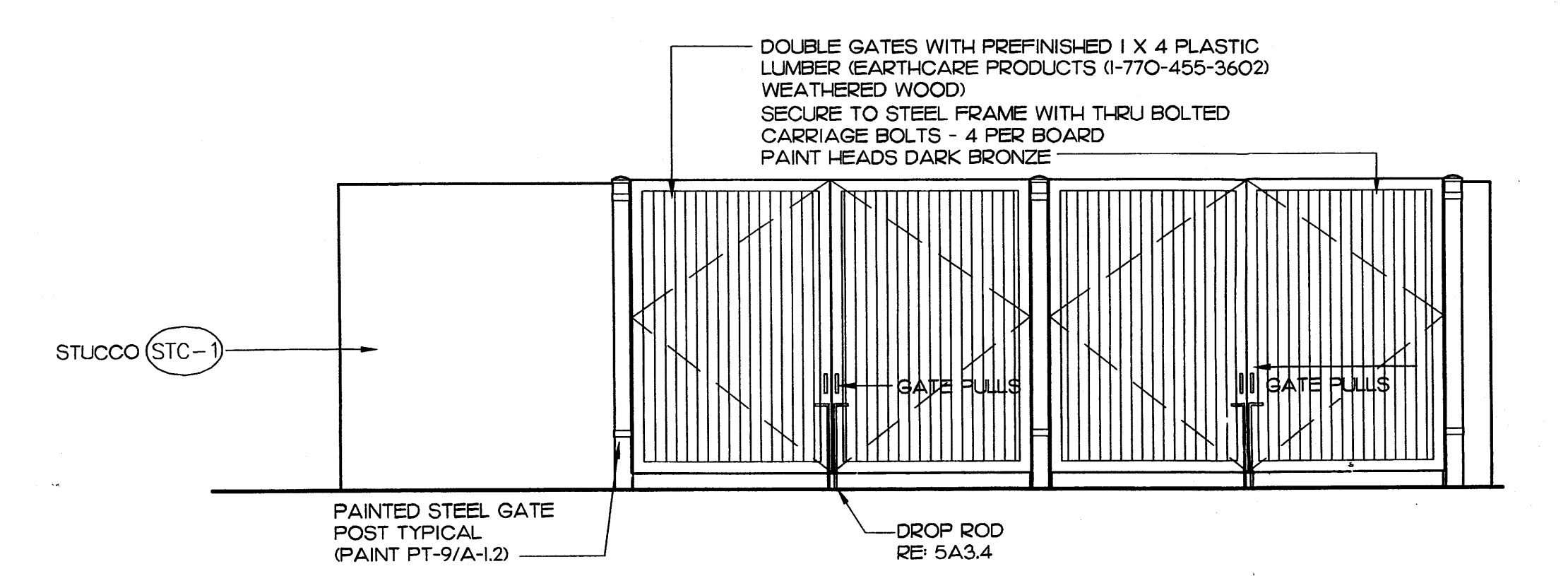
6 BENCH DETAIL
3/4" = 1'-0"



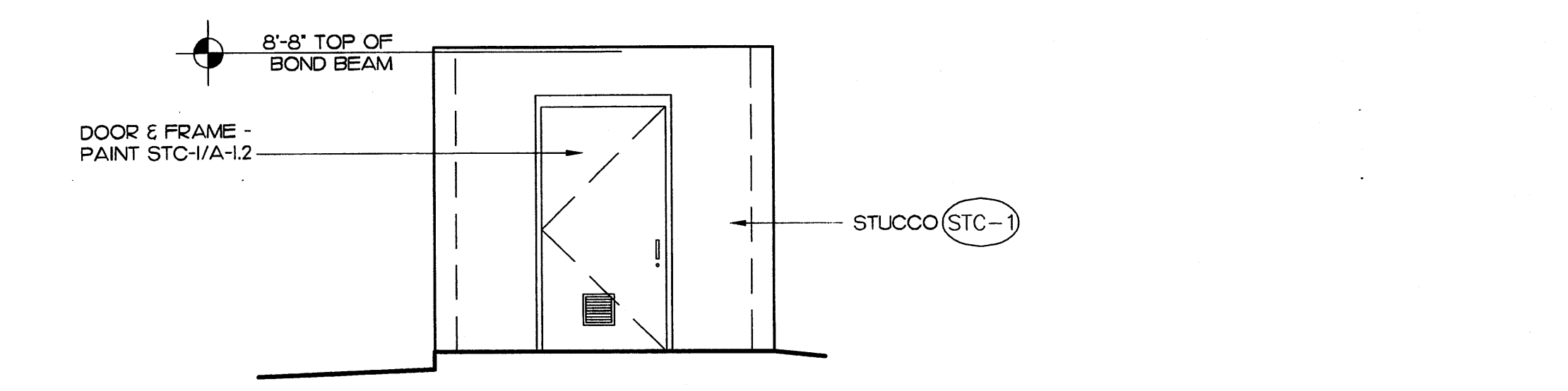
7 POLE BASE DETAIL
3/4" = 1'-0"



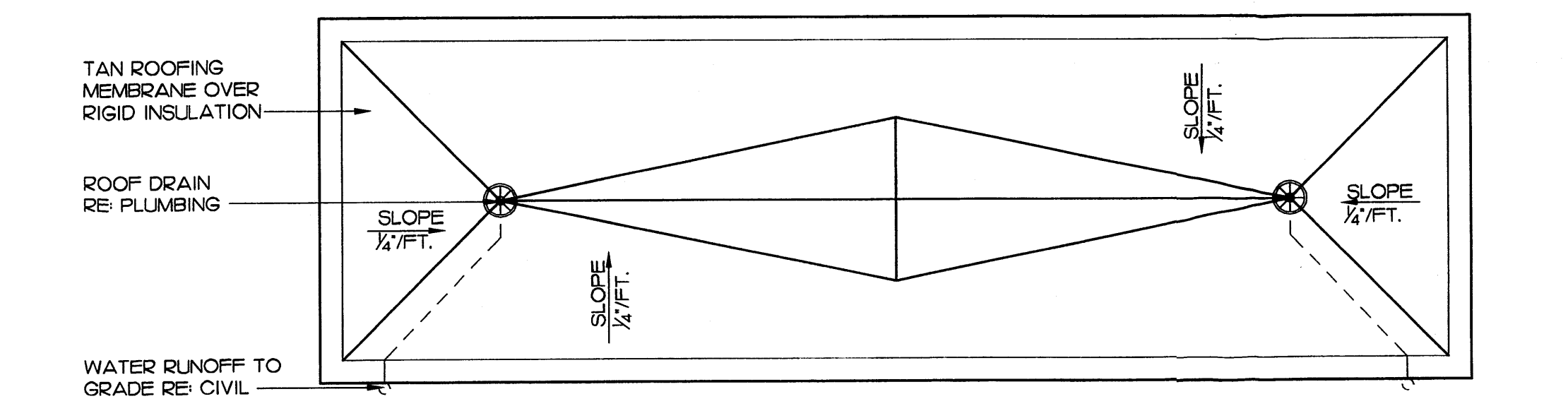
1 FLOOR PLAN
1/4" = 1'-0"



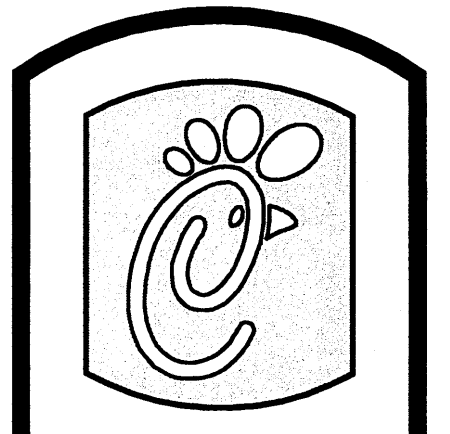
2 FRONT ELEVATION
1/4" = 1'-0"



3 SIDE ELEVATION
1/4" = 1'-0"



4 ROOF PLAN
1/4" = 1'-0"



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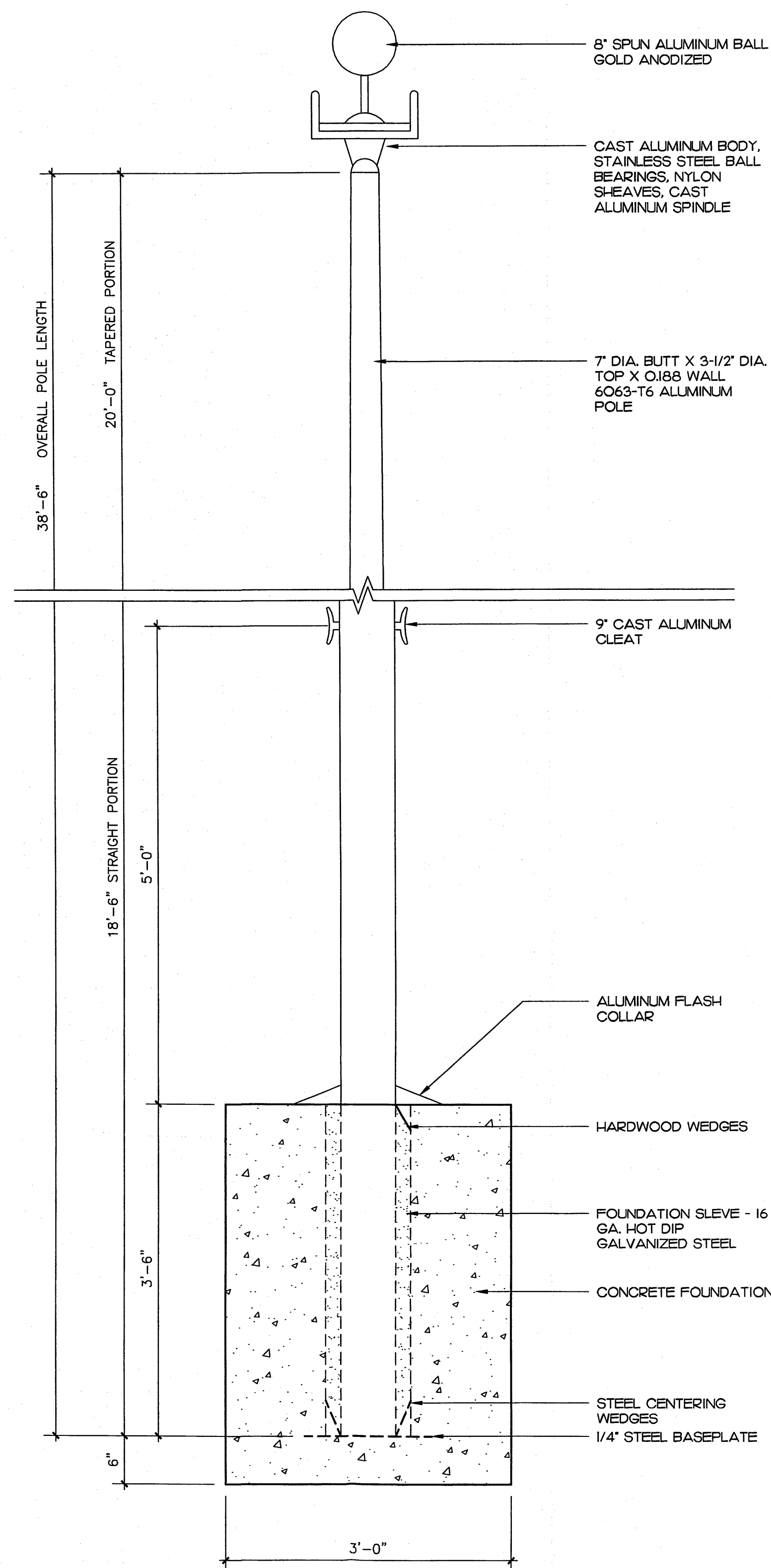
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SHEET TITLE
REFUSE
ENCLOSURE

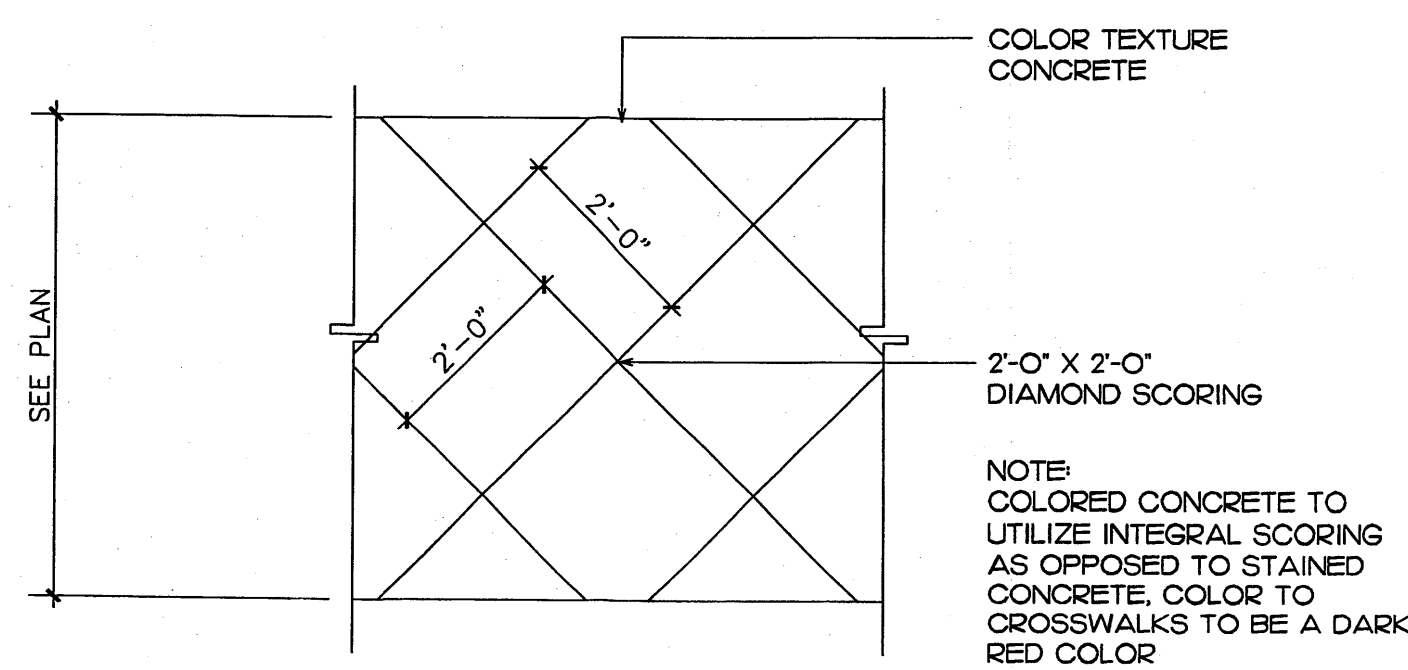
VERSION: HV1
ISSUE DATE: 07-2014

Job No. : 13-232
Store : 03235
Date : 3-26-14
Drawn By : A.M.
Checked By: R.H.

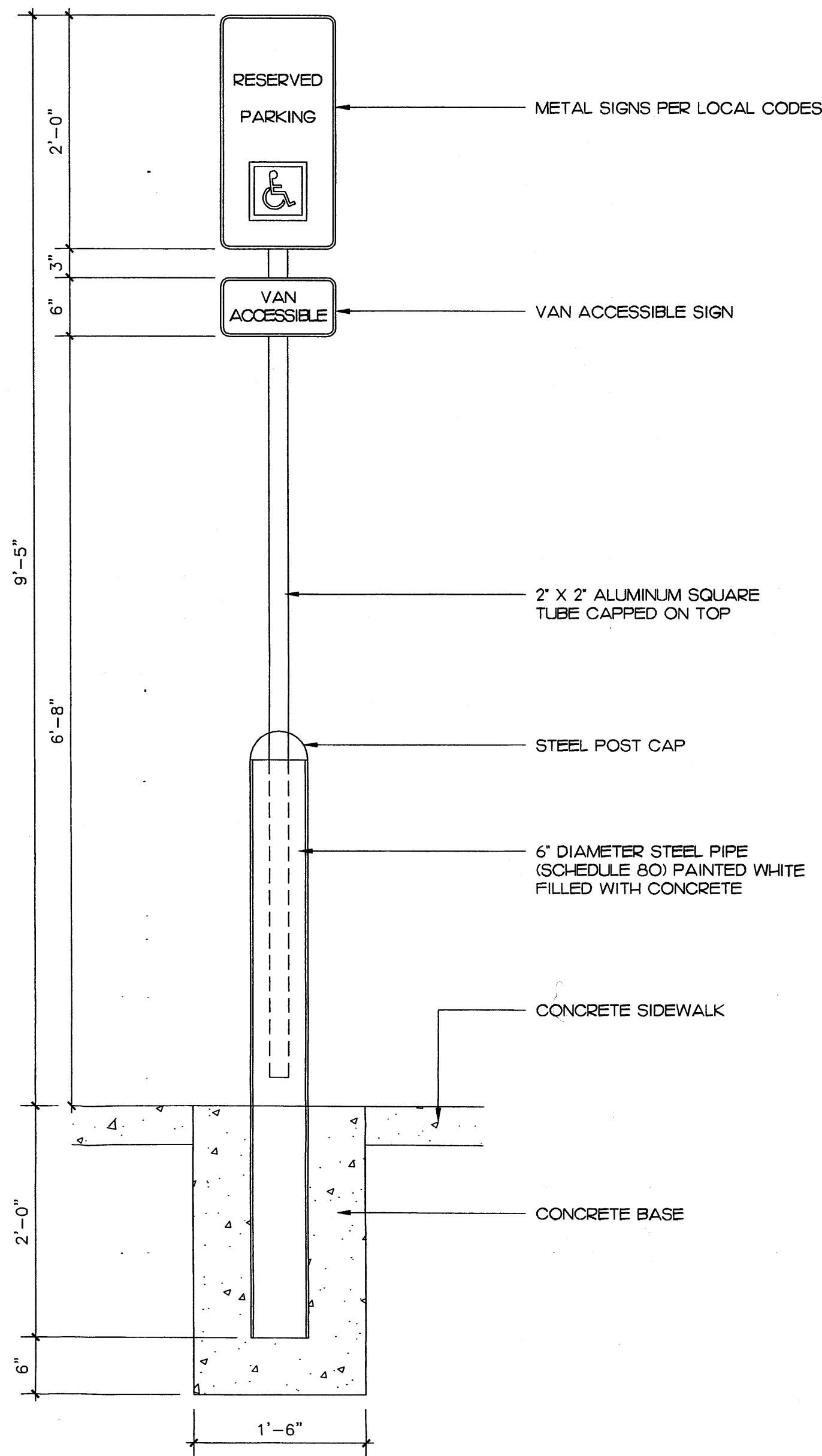
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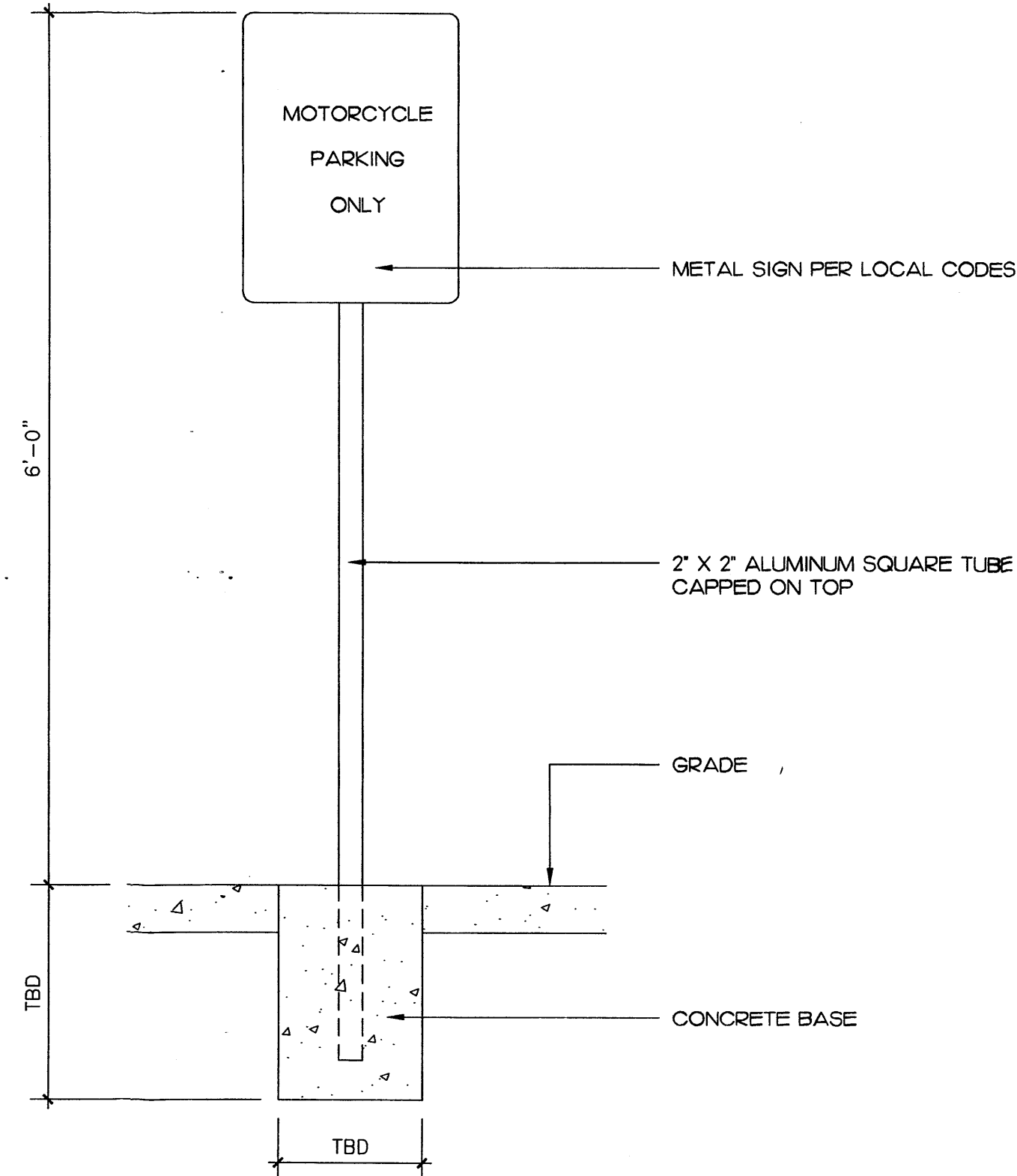
5 FLAG POLE DETAIL
1" = 1'-0"



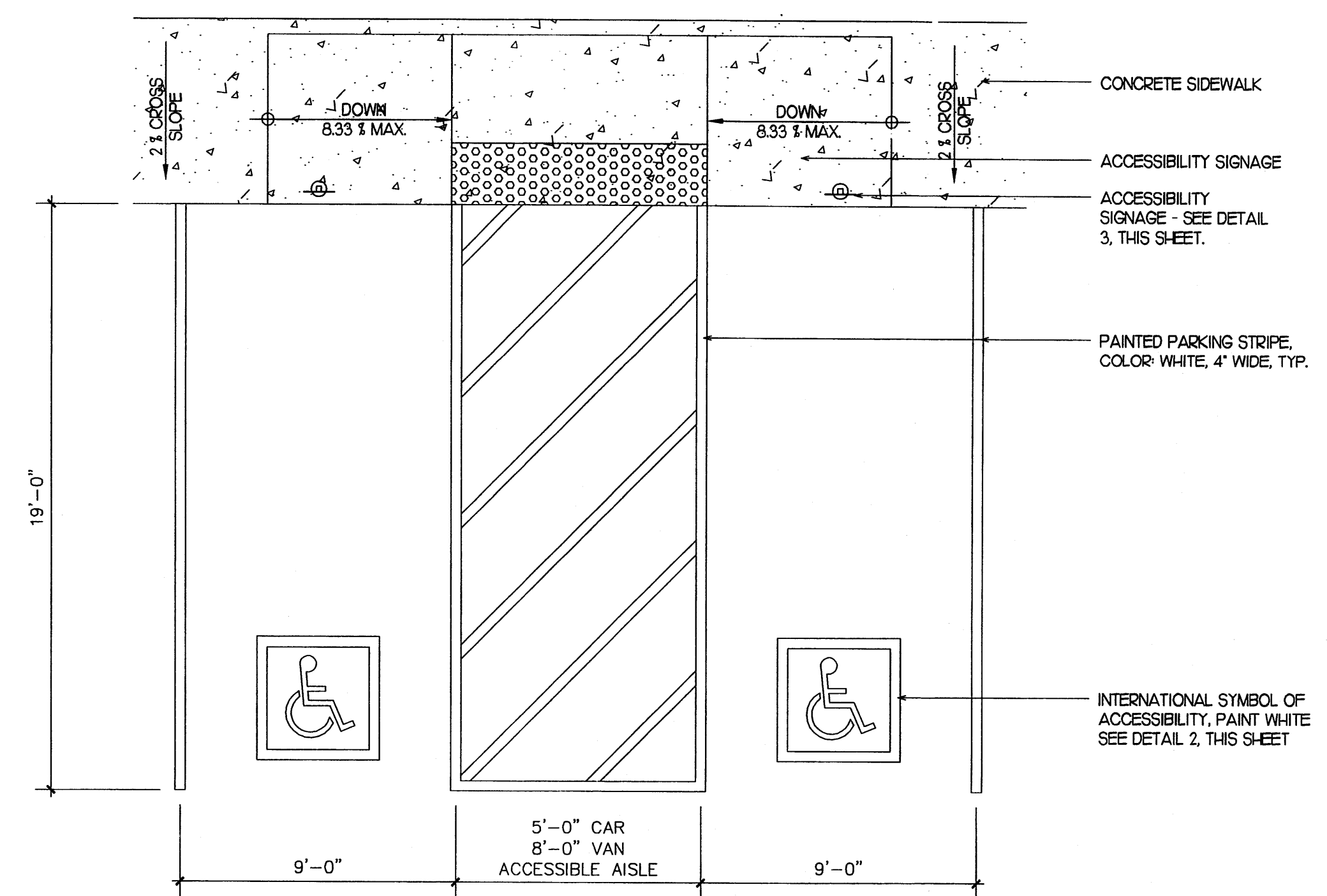
6 SPECIAL PAVING DETAIL
1" = 1'-0"



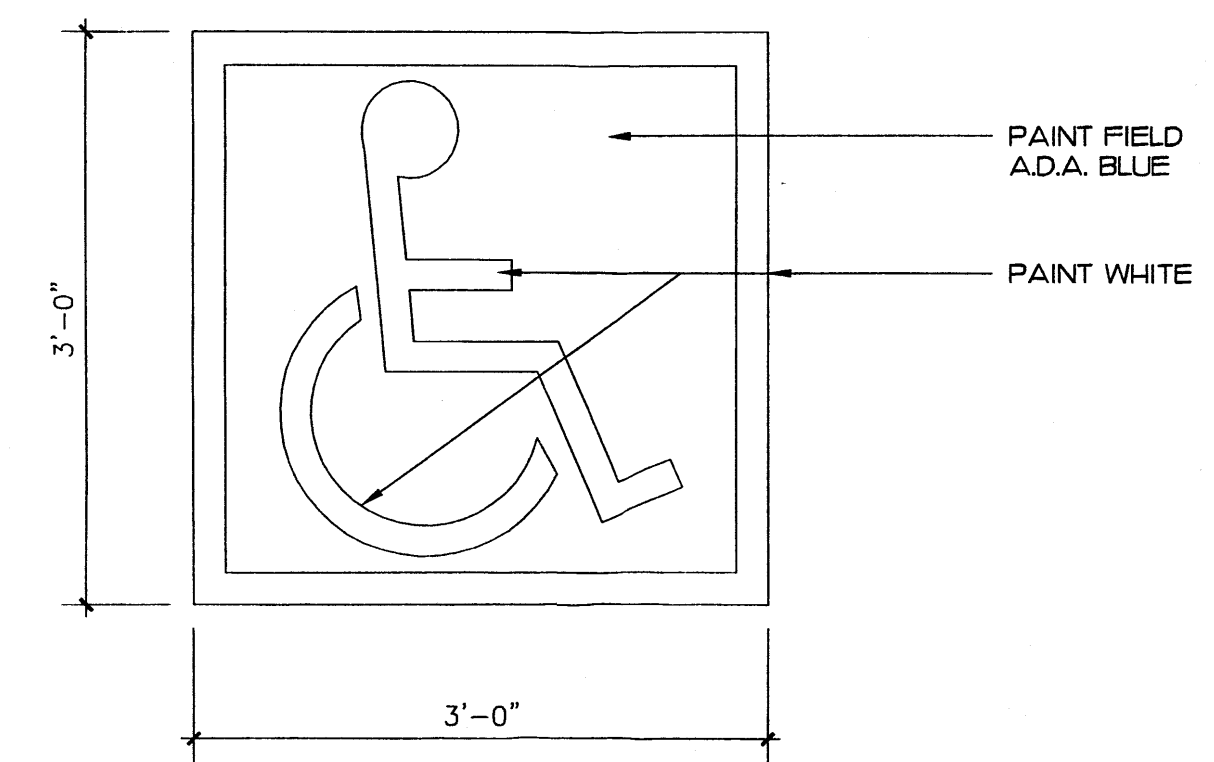
3 HANDICAP SIGN
1" = 1'-0"



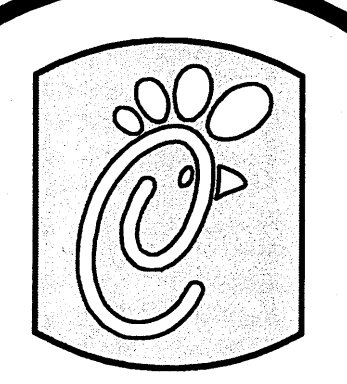
4 MOTORCYCLE SIGN DETAIL
1" = 1'-0"



1 PARKING STALL DETAIL
1/4" = 1'-0"



2 ACCESSIBLE PAVEMENT MARKING
1" = 1'-0"



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△	01/09/15	CD
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STORE
CHICK-FIL-A #03235
RESTAURANT
CENTRAL & EUBANK

210 Eubank Blvd SE
ALBUQUERQUE, NM
87123

SHEET TITLE
SITE DETAILS

VERSION: HV1
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