

Preliminary  
**Site Plan and Zone Map Amendment**

Scale 1" = 100'

**Proposed Zoning**

Commercial (C-2) (See General Note 2)	2.47 Acres ±
Commercial (C-1)	2.15 Acres ±
Residential (R-T)	23.27 Acres ±
<b>Total</b>	<b>37.89 Acres ±</b>
Residential (R-T)	23.27 Acres ±
190 Units/23.27 Acres = 8.17 DU/Acre	

**General Notes:**

- The required Traffic Impact Study (TIS) shall be deferred to the Site Plan for Building Permit submittals for Tracts B-1, B-2 and B-5. The TIS for Tracts B-1/B-2 shall include the townhouse development on Tracts B-3 and B-4.
- This request is proposing that some of the C-2 uses be restricted. The following permissive C-2 uses will not be permitted: Automobile body shop, Automotive sales, Bar, Carnival (outdoor), Circus (outdoor), Disco (no liquor), Firework sales, Mobile home sales, Mortuary, Nightclub, Parking lot or structure (as separate business), Rifle or pistol range (indoor), Trailer rental (for use elsewhere), and Trailer sales (mobile home and RV), off-premise signs, and freestanding cell towers. The following conditional uses within the C-2 zone are included as permissive uses, no other conditional uses within the C-2 zone shall be permitted: Apartments, assisted living, community residential program, and/or nursing homes; Townhouses; Brew pub; Printing, publishing, lithography; Retail store, business, or shops in which products may be manufactured or treated as an accessory use; Drive in restaurant and drive in drug store with prescription pick-up; Dry cleaning, laundry, clothes pressing; Outdoor vehicle storage as part of the warehouse, self storage use, including manager's dwelling unit; Retail sales of alcoholic drinks for consumption on premises where the portion of the building used for such business is within 500 feet of a residential zone; Sales of alcoholic drinks for consumption on premises shall be in restaurants only.
- Completion of a traffic impact study must be done prior to the submittal of a Site Plan for Building Permit for Tracts B-1, B-2 and/or B-5 regardless of the proposed land use.

**Site Development Plan for Subdivision:**

**Required Information for Tracts B-1 and B-2:**

**THE SITE:** The site contains 2.19 Acres and is currently zoned SU-1 for Limited IP Uses.

**PROPOSED USE:** The proposed zoning is SU-1 for C-1. There is no specific use proposed at this time. SU-1 designation requires that future Site Development Plans for Building Permit be reviewed and approved by the EPC.

**PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:** Vehicular Access to these tracts will be from Elizabeth Street only. No vehicular access is allowed from Southern Boulevard. Pedestrian Access shall be provided to Elizabeth Street, the proposed trail along Southern Boulevard, and to the neighborhood to the east. Pedestrian access shall be pursuant to a Site Development Plan for Building Permit.

**INTERNAL CIRCULATION REQUIREMENTS:** The internal layout for the site shall be pursuant to a Site Development Plan for Building Permit and shall be consistent with the Design Guidelines included herein.

**BUILDING HEIGHTS AND SETBACKS:** See Sheet 2, Design Guidelines.

**MAXIMUM FAR:** A maximum FAR of .35 shall be permitted on Tracts B-1 & B-2.

**LANDSCAPE PLAN:** See Sheet 2, Design Guidelines.

**Required Information for Tract B-5:**

**THE SITE:** The site contains 12.47 Acres and is currently zoned SU-1 for Limited IP Uses.

**PROPOSED USE:** The proposed zoning is SU-1 for restricted C-2 Uses (See General Note 2). There is no specific use proposed at this time. SU-1

designation requires that future Site Development Plans for Building Permit be reviewed and approved by the EPC.

**PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:** Vehicular Access to this tract will be from Southern Boulevard only. There is a proposed traffic signal at the intersection of Southern Boulevard, Juan Tabo southbound, and this site. Pedestrian Access shall be provided to the proposed trail along Southern Boulevard, and to the neighborhood to the west. Pedestrian access shall be pursuant to a Site Development Plan for Building Permit.

**INTERNAL CIRCULATION REQUIREMENTS:** The internal layout for the site shall be pursuant to a Site Development Plan for Building Permit and shall be consistent with the Design Guidelines included herein.

**BUILDING HEIGHTS AND SETBACKS:** See Sheet 2, Design Guidelines.

**MAXIMUM FAR:** A maximum FAR of .35 shall be permitted on Tract B-5.

**LANDSCAPE PLAN:** See Sheet 2, Design Guidelines.

**APPROVALS**

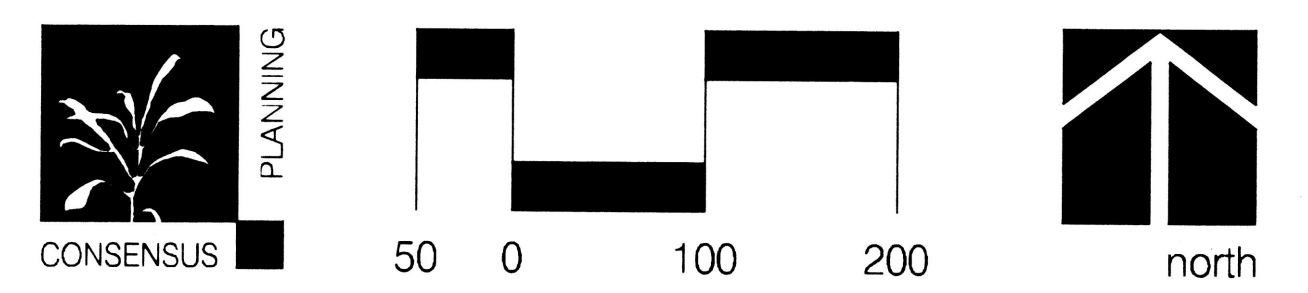
Planning Director	3/27/01
Transportation Development	3-01-01
City Engineer/AMAFCA	2/28/01
Utility Development	2/28/01
Parks and Recreation Department	3/6/01

PROJ 1000 933

# Miravista

Prepared for:  
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# DESIGN GUIDELINES

## INTRODUCTION

The purpose of these Design Guidelines is to provide a framework to assist developers and designers in understanding the developers' goals and objectives for high quality development within the Miravista Development (Tracts B1, B2 & B5). Where there is conflict between these guidelines and City regulations, the more restrictive shall apply.

The design guidelines include the following elements:

- STREETScape
- LANDSCAPE
- SETBACKS
- SITE PLANNING/ARCHITECTURE
- SIGNAGE
- LIGHTING

These design guidelines are organized into two separate categories:

1) standards (those which are required), and 2) guidelines (those which are encouraged but not required).

## STREETScape

The intent of these guidelines is to create a visually attractive and inviting streetscape for residents and visitors to the area. The effective use of screening devices at service functions such as parking lots, loading areas, refuse collection, and delivery/storage areas is essential in order to limit their adverse visual impact on surrounding developments and to create a pleasing streetscape environment. The guidelines established in the landscape and setback sections will provide the primary means to screening objectionable views and activities.

### Standards

- Pedestrian links between parking areas and buildings shall be clearly visible and highlighted with an alternative textured paving material and signage.
- Pedestrian pathways shall be provided to connect buildings on-site and to the adjacent streets. Trees shall be provided along pathways at an average spacing of 30 feet on center in 5 foot x 5 foot planters.
- Pedestrian pathways, at a minimum, shall be 10 feet wide where there is overlapping parking on two sides; 8 feet wide where there is parking on one side; and 6 feet wide where there is no adjacent parking.
- A 14 foot wide multi-purpose trail shall be provided along Southern Boulevard.
- All pedestrian pathways (sidewalks and trails) shall be designed to be accessible to the handicapped (see Americans with Disabilities Act criteria for barrier free design).

- A difference in paving material, color, or pattern shall be provided at entry drive crosswalks to bring attention visually and tactilely for safe pedestrian crossing.

### Guidelines

- Walls, fences, landscaping, and/or berming may be used for screening purposes. However, the intent is to keep walls and fences as low as possible while performing their screening and security functions. If walls are not required for a specific screening or security purpose, they should not be utilized.

## LANDSCAPE

The landscape guidelines are intended to assist property owners in the development of an attractive streetscape and to help buffer non-residential uses from future residential uses. The landscape concept should provide a strong unifying element for the area. The plant materials selected should primarily be water conservative species. Landscape plans should employ xeriscape design principles. These guidelines are to be used as a supplement to the requirements in the City Water Conservation Landscaping and Water Waste Ordinance, the Pollen Ordinance, and other landscape regulations included in the City of Albuquerque Comprehensive City Zoning Code.

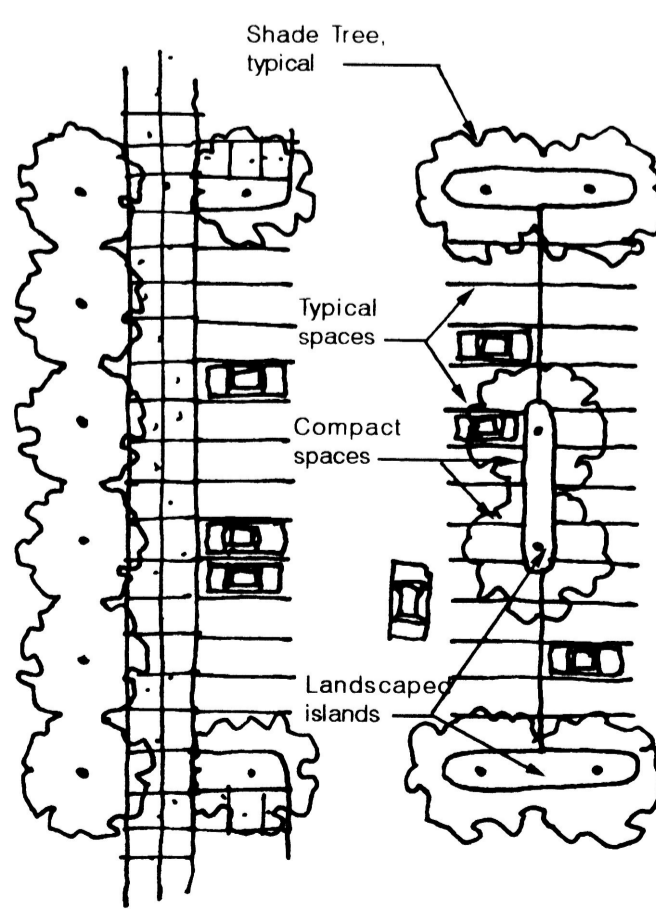
### Standards

#### Landscape Buffers

- Landscape materials shall be used as a transition between land uses, with specific attention given to the transition between commercial or office and residential uses. A minimum 10 foot landscaped buffer is required between commercial or office and residential uses. This buffer is to be accommodated on the commercial or office site.
- Landscape buffers shall consist primarily of evergreen trees (to maintain its screening ability on a year-round basis) that must be at least 8 feet tall when planted and be capable of reaching a mature height of 25 feet. Trees shall be spaced at a maximum of 25 feet on center.

#### Frequency of Plantings, Installation, and Size

- Street trees in accordance with Albuquerque City Code section 6-6-2-5 shall be provided at Gibson/Southern Boulevard.
- All streetscape, landscape, architectural, signage and lighting elements will be setback a minimum of 2' from the edge of the trail pavement.
- To shade and mitigate the negative visual impact of large expanses of pavement, off-street parking areas shall have one tree for each eight parking stalls with no stall being more than 70 feet from a tree trunk. A minimum of 75 percent of the required parking area trees shall be deciduous and have a mature canopy of at least 25 feet.
- A minimum of 15 percent of the site area (excluding the building square footage) shall be devoted to landscape materials, with an emphasis placed on streetside exposure.
- High water use turf grass areas shall not comprise greater than 20 percent of the landscape area. Turf grass shall not be planted on slopes greater than 4:1 to prevent water waste.



Parking areas shall have one tree for each eight parking stalls

- No turf shall be planted within 8 feet from the curb within the public right-of-way in order to avoid overspraying into the street. Turf areas within parking lots shall be a minimum of 15 feet in any dimension.
- Landscape areas shall be a minimum of 36 square feet and a minimum width of 6 feet.
- Seventy-five percent of the required landscape area shall be covered with living vegetative materials. The calculation to determine the landscaped area shall be based on the mature canopy size of all plant materials.
- All planting areas not covered with turf shall have a ground topping of crushed rock, river rock, or similar material that extends completely under the plant material.
- Disturbed or man-made slopes shall receive erosion control by use of plant material, revegetative seed mix, or similar landscape treatment which prevents soil erosion.
- An automatic underground irrigation system is required to support all required landscaping. Irrigation components should be checked periodically to ensure maximum efficiency.
- Appropriate landscape headers shall be used to separate the turf and groundcover areas. Headers should be 6' x 6' concrete, brick, or steel construction, or other material compatible with the landscape concept.

### Suggested Plant Palette

The suggested plant materials for this project were selected based on qualities such as cold hardiness, fast growth rate, minimal maintenance requirements, water conservation, and aesthetic appeal.

#### Street Trees

Fraxinus spp.	Ash varieties
Gleditsia spp.	Honeylocust varieties
Pinus nigra	Austrian Pine
Pistachia chinensis	Chinese Pistache
Platanus wrightii	Arizona Sycamore
Prunus spp.	Flowering Plum varieties
Robinia x ambigua	Purple Robe Locust

#### General Use Plant Materials

##### Trees

Chilopsis linearis	Desert Willow
Chitalpa tashkentensis	Chitalpa
Cupressocyparis leylandii	Leyland Cypress
Forestiera neomexicana	New Mexico Olive
Fraxinus spp.	Ash varieties
Gleditsia spp.	Honey Locust varieties
Koelreuteria paniculata	Goldenrain Tree
Pinus edulis	Pinon Pine
Pinus nigra	Austrian Pine
Platanus acerifolia	London Planetree
Pyrus calleryana	Ornamental Pear
Vitex agnus - castus	Chaste Tree

##### Shrubs, Groundcovers, Flowers, and Vines

Artemisia filifolia	Sand Sage
Artemisia tridentata	Big Leaf Sage
Baccharis pilularis	Dwarf Coyotebush
Berberis thunbergii	Japanese Barberry
Caesalpinia gilliesii	Bird of Paradise
Caryopteris clandonensis	Blue Mist
Chrysothamnus nauseosus	Chamisa
Clematis ligusticifolia	Western Virginsbower
Cotoneaster spp.	Cotoneaster varieties
Dalea spp.	Dalea varieties
Hesperaloe parviflora	Red Yucca
Juniperus chinensis spp.	Juniper varieties
Juniperus horizontalis spp.	Juniper varieties
Juniperus sabina spp.	Juniper varieties
Lonicera japonica 'Halliana'	Hall's Honeysuckle
Parthenocissus inserta	Virginia Creeper
Perovskia atriplicifolia	Russian Sage
Photinia Fraseri	Photinia
Potentilla fruticosa	Shrubby Cinquefoil
Raphiolepis indica	India Hawthorn
Rhus trilobata	Threeleaf Sumac
Rosmarinus officinalis	Rosemary
Salvia greggii	Cherry Sage

##### Ornamental Grasses

Miscanthus sinensis	Maiden Grass
Muhlenbergia spp.	Muhly Grass
Pennisetum spp.	Fountain Grass
Stipa tenuissima	Threadgrass
Buchloe dactyloides	Buffalo Grass
Bouteloua gracilis	Blue Grama
Festuca spp.	Tall Fescue varieties
Poa spp.	Kentucky Bluegrass varieties

## SETBACKS

The use of building and parking area setbacks provides space for the creation of visually attractive streetscapes and will help ensure the project's aesthetic appeal. Areas within these setbacks shall include pedestrian walkways, screening elements, and landscaping.

### Standards

#### Building setbacks

- 10 feet from the right-of-way line of roadways
- 10 feet from the property line of an adjacent commercial or office zone

#### Parking Area Setbacks

To allow for an appropriately sized landscape buffer adjacent to roadways, parking areas shall be setback as follows:

- 10 feet from the right-of-way line of roadways

## SITE PLANNING/ARCHITECTURE

### Site Planning

In order to encourage a pedestrian-friendly environment within the Miravista Development, special attention should be paid to the relationship between buildings and streets. Pedestrian activity is encouraged where pedestrian connections between the structure and the street are clearly identified and inviting.

### Standards

- Structures and on-site circulation systems shall be located to minimize pedestrian/vehicle conflicts. Pedestrian access shall be provided to link structures to pedestrian pathways.
- Sidewalks along the entry facade of all buildings shall be 15 feet wide with a minimum 6 foot wide clear path. Walkways shall be covered with portals, canopies and/or shade trees (25 foot average spacing in 5 foot by 5 foot planters).
- The maximum number of parking spaces shall be the minimum number required by the Zoning Code plus 10 percent.
- Parking areas shall be broken up through the use of convenient and logical pedestrian connections.
- Entryways shall be clearly defined and linked to the pedestrian pathways.
- Drive-thru facilities shall be designed so that they do not interfere with main pedestrianways or create conflicts between pedestrians and vehicles.

- No refuse collection areas shall be allowed between any street and building front. All refuse containers shall be screened within a minimum of a 6 foot tall enclosure that is large enough to contain all refuse generated between collections. The design and materials for refuse collection enclosures shall be compatible with the architectural theme of the site.

- Parking areas shall be screened from adjacent streets and properties by providing a landscape strip between parking lots and public rights-of-way. The landscape strip shall be a minimum of 10 feet in width and shall be designed with a combination of plant materials, walls or fences, and/or earthen berming. Such screening shall have a minimum height of 3 feet.

- Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or plant materials when viewed from the public right-of-way. Screening materials shall not limit access for maintenance purposes by utility companies.

- The heated enclosure for above-ground back flow prevention devices shall be constructed of materials compatible with the architectural materials used for the building. If pre-fabricated fiberglass enclosures are used, they shall be appropriately screened from view by walls and/or plant materials.

### Architectural

Specific architectural style shall not be dictated. The design should demonstrate a high quality aesthetic character throughout the site. Architectural design should respond to local climate, views, solar access, and aesthetic considerations.

### Standards

- Buildings and structures shall comply with all City Zoning and Building Codes.
- The maximum building height for commercial and office uses shall be 32 feet.
- Building design and construction should be used to create a structure that is attractive on all sides, rather than placing all emphasis on the front elevation of the structure. Finished building materials shall be applied to all exterior sides of buildings and structures.
- Businesses with drive-thru facilities shall provide canopies which are architecturally tied to the building.
- Any accessory buildings and enclosures, whether attached or detached from the main building, shall be of similar compatible design and materials.
- All rooftop equipment shall be screened from the public view by materials of the same nature as the basic materials of the building. The building parapet shall be the same height or taller than all rooftop equipment.
- Pre-engineered metal buildings with masonry or equivalent skin applied to facades are prohibited.

Design elements that are undesirable and prohibited include:

- Highly reflective surfaces
- Exposed, untreated precision block walls
- Chain link fencing, barbed wire, or concertina wire
- Attached mansard roofs on small portions of the roofline
- Corrugated metal (metal roofs are exempt)
- Plastic/vinyl facias or awnings
- Plastic/vinyl fencing

- Streetside facades shall have varied setbacks with wall planes not running in one continuous direction for more than 100 feet without a change in architectural treatment. The staggering of planes is important to create pockets of light and shadow, and to provide relief from monotonous expanses of building facade. The staggering of planes shall be a minimum of 6 feet.

- Any cellular communication towers/facilities proposed for the site shall be architecturally integrated into the site.

## SIGNAGE

These signage standards were developed to regulate the size, location, type, and quality of sign elements within the Costco Development. They are to be used in conjunction with the City Comprehensive Zoning Ordinance.

A properly implemented signage program will serve several important functions:

- Direct and inform visitors
- Provide circulation requirements and restrictions
- Provide for public safety and minimize confusion of traffic control
- Complement the visual character of the area

### Standards

- No sign shall overhang the public right-of-way or extend above the building roof line.

- One free-standing, two-sided sign is allowed for any one premise with street frontage of 100 feet or less. No more than two free-standing, two-sided signs are allowed for any one premise with street frontage of 100 feet or more. Free-standing signs are limited to a maximum sign face of 75 square feet and shall not exceed 8 feet above adjacent finished grade.

- Facade mounted signs shall not exceed 6 percent of the facade area to which it is attached. Sign letters shall be channelized, neon, or painted. Backlit illuminated panels are not allowed, except for company/business logos. The maximum height for individual letters is 3 feet.

- No off-premise signs are allowed except for traffic safety signs, street signs, or location markers or directory maps.

- All signage shall be designed to be consistent with and complement the materials, color, and the architectural style of the building or site location.

- Free-standing signs shall be placed at the back of the public right-of-way line and outside of the safety vision triangle at all entries and intersections.

- No signage is allowed that uses flashing, oscillating, occultating, revolving, blinking, or audible devices. No banners, pennants, ribbons, or streamers are allowed except for thematic special events and with prior approval by City of Albuquerque Zoning Department.

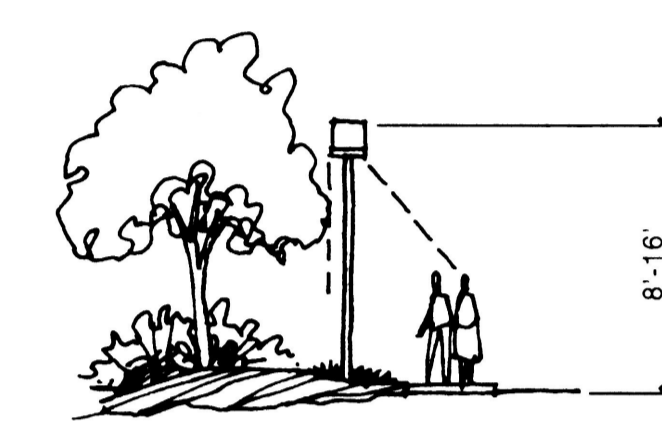
- Free-standing signs shall be designed that do not require any external bracing, angle-iron supports, guy wires or similar devices. Pole-mounted signs are not allowed.

### Guidelines

- Free-standing monument style signs are encouraged, particularly for multi-tenant commercial/office development.

## LIGHTING

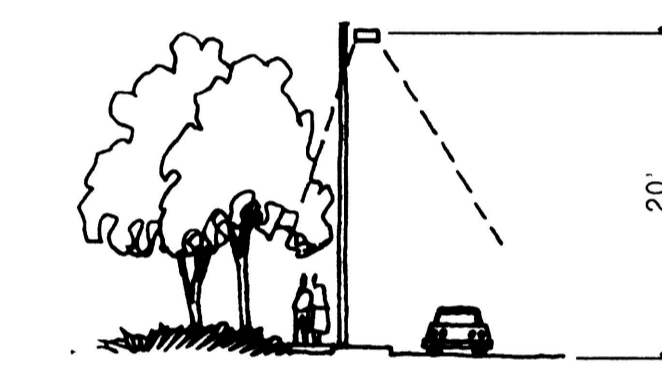
In order to enhance the safety, security, and visual aesthetics, careful consideration must be given to lighting design and preservation of a dark "night sky".



Pedestrian Scale Lighting

### Standards

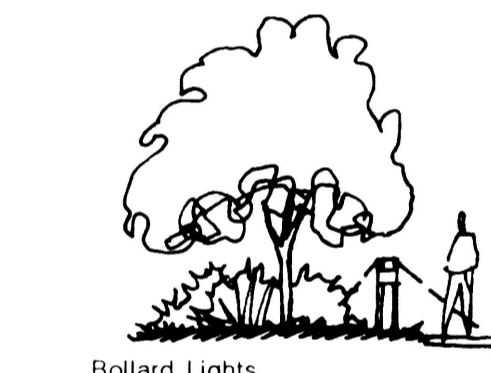
- Placement of fixtures and standards shall conform to state and local safety and illumination requirements.
- Individual site lighting standards shall blend with the architectural character of the building and other site fixtures.
- Search lights, spotlights, and floodlights are prohibited.
- All outdoor light fixtures shall be fully shielded and equipped with automatic timing devices.



Outdoor Light Poles

### Guidelines

- Area lighting is encouraged to highlight public spaces and walkways. The use of pedestrian scale lighting, such as bollard lights or wall pocket lights, is encouraged to accent pedestrian zones.
- Harsh, white metal halide lighting should be avoided. Soft incandescent or halogen light fixtures are encouraged.



Bollard Lights



Wall Pocket Lights

In order to enhance the safety, security, and visual aesthetics, careful consideration must be given to lighting design.

# Miravista

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