

**Notes:**

1. This Site Development Plan for Building Permit covers the SU-1 for R-2 and SU-1 for Mixed Use (Residential) areas only of the approved Unser/McMahon Village Center North Site Development Plan for Subdivision. The property to the north of Night Whisper Road is part of the Ridgeview Village Subdivision and is zoned R-T; therefore no Site Plan for Building Permit is required. Lots 102-112 (a portion of these lots are zoned R-T) shall be governed by this Site Development Plan for Building Permit.
2. This Site Development Plan for Building Permit is delegated to the Development Review Board if developed at R-T densities or less. See Site Plan for Subdivision General Note #2.
3. The access policy for Unser Boulevard was amended by the UTPPB Resolution 2000-10 to allow a full access intersection on Unser Boulevard approximately 1,200 feet north of McMahon Boulevard, and two additional limited access points (right-in/right-out/left-in) on Unser Boulevard approximately 700 feet north and south of the Unser/McMahon intersection. This policy has been implemented through the full access intersection at Unser Boulevard and Night Whisper Road and the limited access point (between Tracts F-1 and H-1) west of Unser Boulevard. There shall be no direct access to Unser Boulevard.
4. Solid Waste: Each lot/home shall have a storage area for residential automated carts, not to be visible from the street.
5. Site lighting shall be shielded source with no light source visible from the site perimeter.
6. Setbacks shall be as follows: Front yard - 15 feet except garages shall be set back a minimum of 20 feet; Side yard - 5 feet; Rear yard - 15 feet.
7. Four foot sidewalks shall be provided along all residential streets.
8. Side yard walls provided adjacent to Pinon Verde and Bandelier Drives shall be split face concrete masonry unit (CMU) and shall be a height of 6 feet. It will be installed and paid for by the developer.

**APPROVALS**

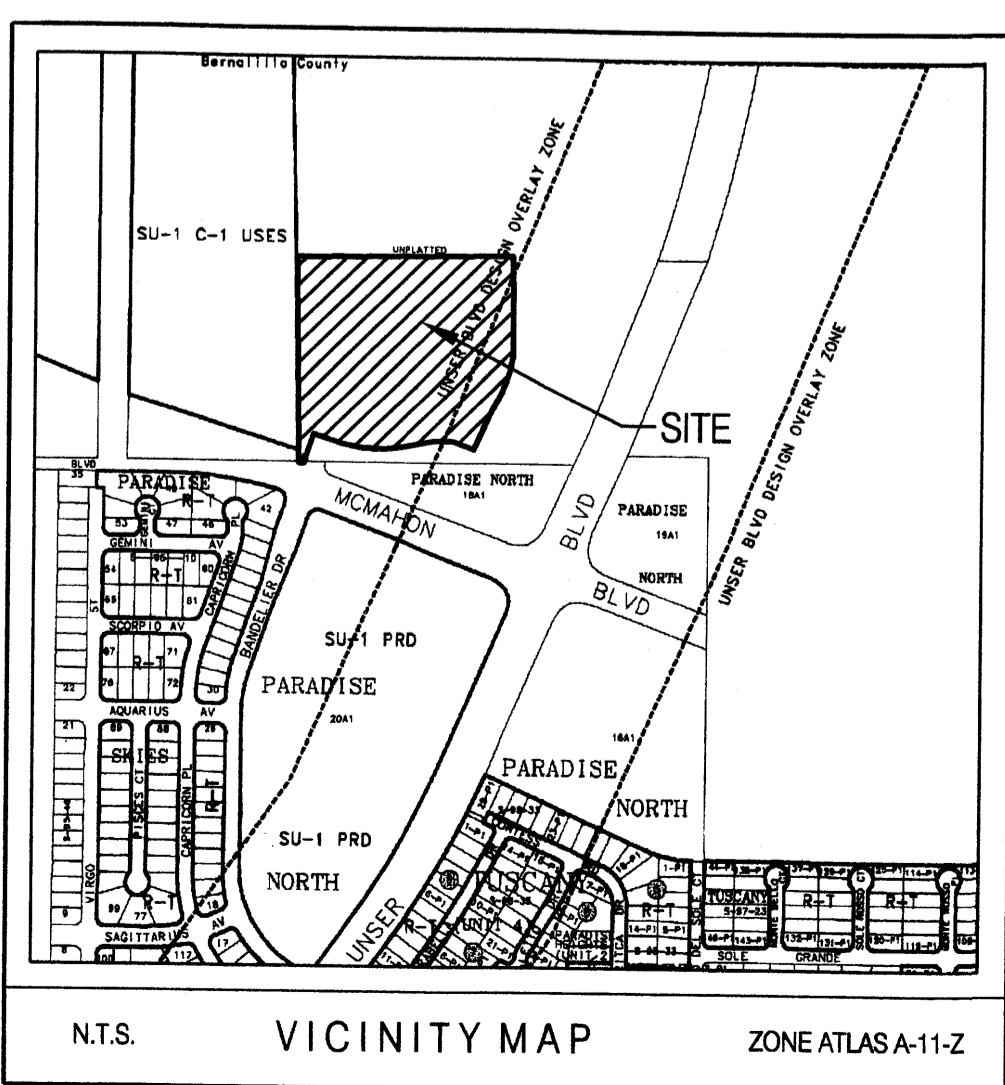
This Site Plan for Building Permit is consistent with the Site Plan for Subdivision approved by the Environmental Planning Commission on January 18, 2001 and Conditions of Approval have been met.  
 PROJECT: #1000936  
 DRB: #02DRB-00713  
 EPC: #00110-00000-01639, 00128-00000-01640

<i>Sharon Matson</i>	1/30/03
Planning Director	Date
<i>Rachel Dault</i>	6-05-02
Transportation Development	Date
<i>Brad L. Bigh</i>	1-28-03
City Engineer/AMAFCA	Date
<i>Roger A. Shuman</i>	6/5/02
Utility Development	Date
<i>Christina Sandora</i>	6/5/02
Parks and Recreation Department	Date
Solid Waste Department	Date

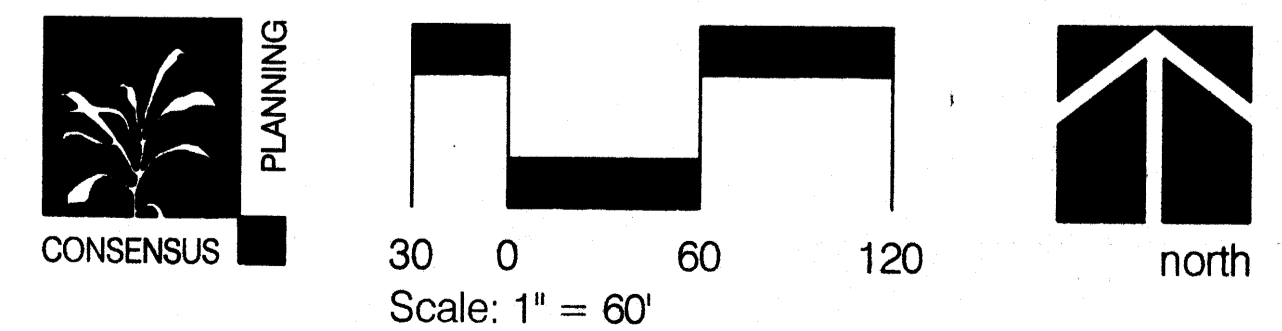
**Site Plan for Building Permit  
 RIDGEVIEW VILLAGE  
 SUBDIVISION**  
 at Unser/McMahon Village Center North

Prepared for:  
 Curb Inc.  
 6301 Indian School Road N.E.  
 Suite #208  
 Albuquerque, NM 87110

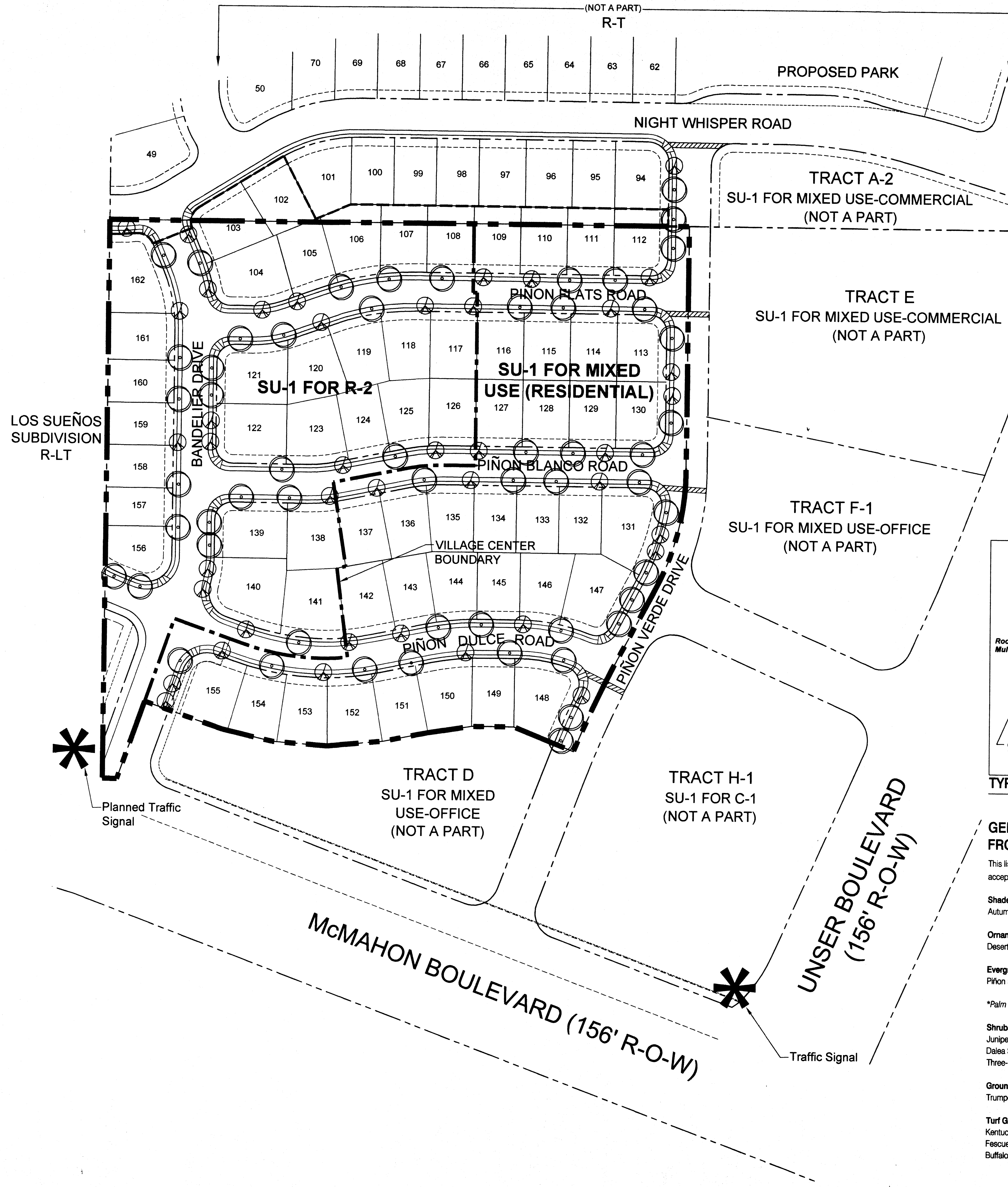
Prepared by:  
 Consensus Planning, Inc.  
 924 Park Avenue SW  
 Albuquerque, NM 87102  
 Community Sciences Corporation  
 4481 Corrales Road  
 Corrales, NM 87048



AED PLANS CHECKING OFFICE  
*R.C. Sanchez* 5-9-02  
 SIGNATURE



PROJECT 1000936



**LANDSCAPE CONCEPT**

The landscape Concept for Ridgeview Village in and immediately adjacent to the Unser/McMahon Village Center North has been developed to be consistent with the approved Site Plan for Subdivision approved by the Environmental Planning Commission on January 18, 2001.

**GENERAL**

The design and provision of landscaping for the Ridgeview Village Subdivision will be in conformance with the City of Albuquerque Zoning Code, Pollen Ordinance, and the Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

**STREET TREE ORDINANCE REQUIREMENTS**

Streets within the Ridgeview Village Subdivision are classified as local streets and do not fall under the requirements of the City of Albuquerque Street Tree Ordinance, however, per the Unser McMahon Village Center North Design Guidelines, street trees shall be installed by the builder. Street trees shall be along interior roads at a rate of one tree per single family residential lot. Street trees shall also be provided along Bandelier and Pinon Verde Drives at a rate of one per 25 linear feet, as defined by the approved Site Development Plan for Subdivision. Street trees are defined as being within 20 feet of the back of curb. They may either be randomly or consistently placed.

**STREET TREE PALETTE**

- Street tree shall be a minimum 2" caliper at installation.
- Chinese Pistache
- Golden Raintree

**UTILITY NOTES**

Due to the small scale, and in order to provide optimum legibility of the landscape plan, utility easements are not shown. The location of utility easements are as indicated on the Site Plan, Sheet 1.

**IRRIGATION SYSTEM**

Irrigation system shall consist of a fully automated sprinkler/drip irrigation system to irrigate tree, shrub, and groundcover planting areas. Irrigation for street trees shall be included as part of the irrigation system for individual lots.

**MAINTENANCE RESPONSIBILITY**

Maintenance of the landscaping and irrigation system shall be the responsibility of the individual Lot Owners. All planting areas will be maintained in a living, attractive, and weed free condition.

**MINIMUM FRONT YARD LANDSCAPE STANDARDS FOR RIDGEVIEW VILLAGE SUBDIVISION**

The following requirements for front yard landscaping are in addition to the street tree requirements outlined above.

- 1 Deciduous Shade Tree (min. 1-1/2" caliper)
- 8 Shrubs or Wild Flowers (min. 5 gallon)
- Turf Grass (sodded, min. 20% of the front yard landscape area)
- 1 Landscape Boulder (3x3' min.)

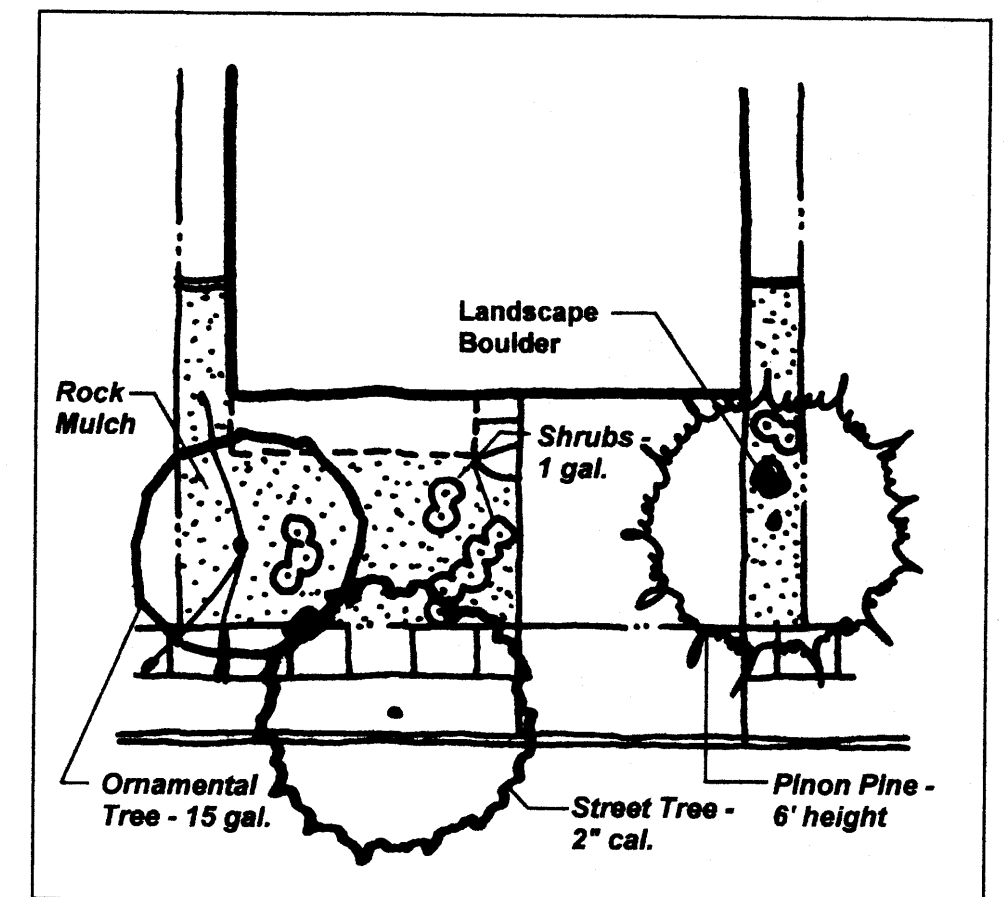
**OR**

- 1 Ornamental Tree (min. 15 gallon)
- 1 Piñon Pine (min. 6' height)
- 12 Shrubs or Wild Flowers (1 gallon)
- 1 Landscape Boulder (3x3' min.)

**In addition, all front yard landscaping shall be required to have the following:**

- 3/4" Santa Ana Tan Rock Mulch over filter fabric for all landscaped areas that are not covered with living vegetative groundcover
- Steel Header (as required between Turf and other landscaped areas)
- Irrigation System w/Automatic Timer

The following approved Accents can be used for front yard landscaping:  
 2"-4" Cobbles (max. 25% of Area), Bark Mulch (in tree wells only)



TYPICAL FRONT YARD LANDSCAPE PLAN  
N.T.S.

**GENERAL PLANT PALETTE FOR FRONT YARD LANDSCAPES**

This list is provided as a guide only. Additional plant materials included in the "Albuquerque Plant List" are acceptable subject to the Water Conservation Landscaping and Water Waste Ordinance.

- Shade Trees (1 1/2" caliper min.)\***  
 Autumn Purple Ash, Honeylocust species, Chinese Pistache, Golden Raintree, Purple Robe Locust

- Ornamental Trees (15 gallon min.)\***  
 Desert Willow, Chitalpa, New Mexico Olive, Flowering Pear, Flowering Plum, Chaste Tree

- Evergreen Trees (6' min. height)\***  
 Piñon Pine

\*Palm Yucca and Ocotillo shall not be used to fulfill the requirement for front yard trees.

- Shrubs (1 & 5 gallon)**  
 Juniper Species, Potentilla, Charnisa, Artemisia Species, Fourwing Saltbush, Red Yucca, Apache Plume, Dalea Species, Penstemon Species, Desert Spoon, Cotoneaster Species, Cherry Sage, Russian Sage, Three-leaf Sumac, Caryopteris, Yucca Species

- Groundcovers and Vines**  
 Trumpet Vine, Carolina Jessamine, Juniper species, Honeysuckle, Wisteria, Virginia Creeper

- Turf Grasses (Seed or Sod)**  
 Kentucky Bluegrass (Max. 20% of total landscape area)  
 Fescue (Max. 20% of total landscape area)  
 Buffalo/Blue Grama Grass

**Landscape Plan  
 RIDGEVIEW VILLAGE  
 SUBDIVISION**

at Unser/McMahon Village Center North

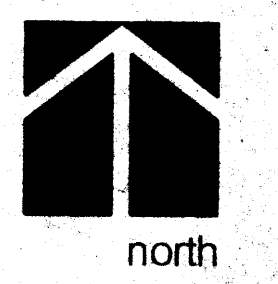
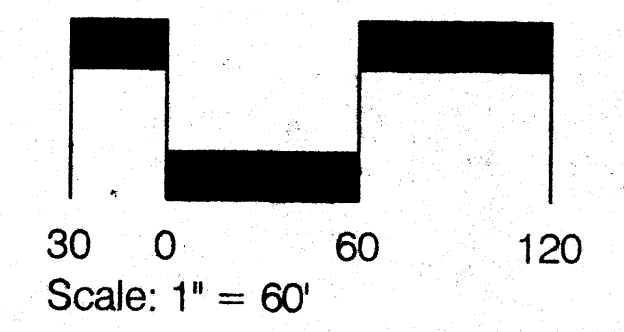
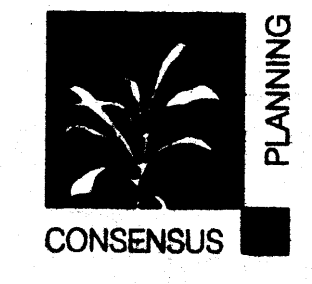
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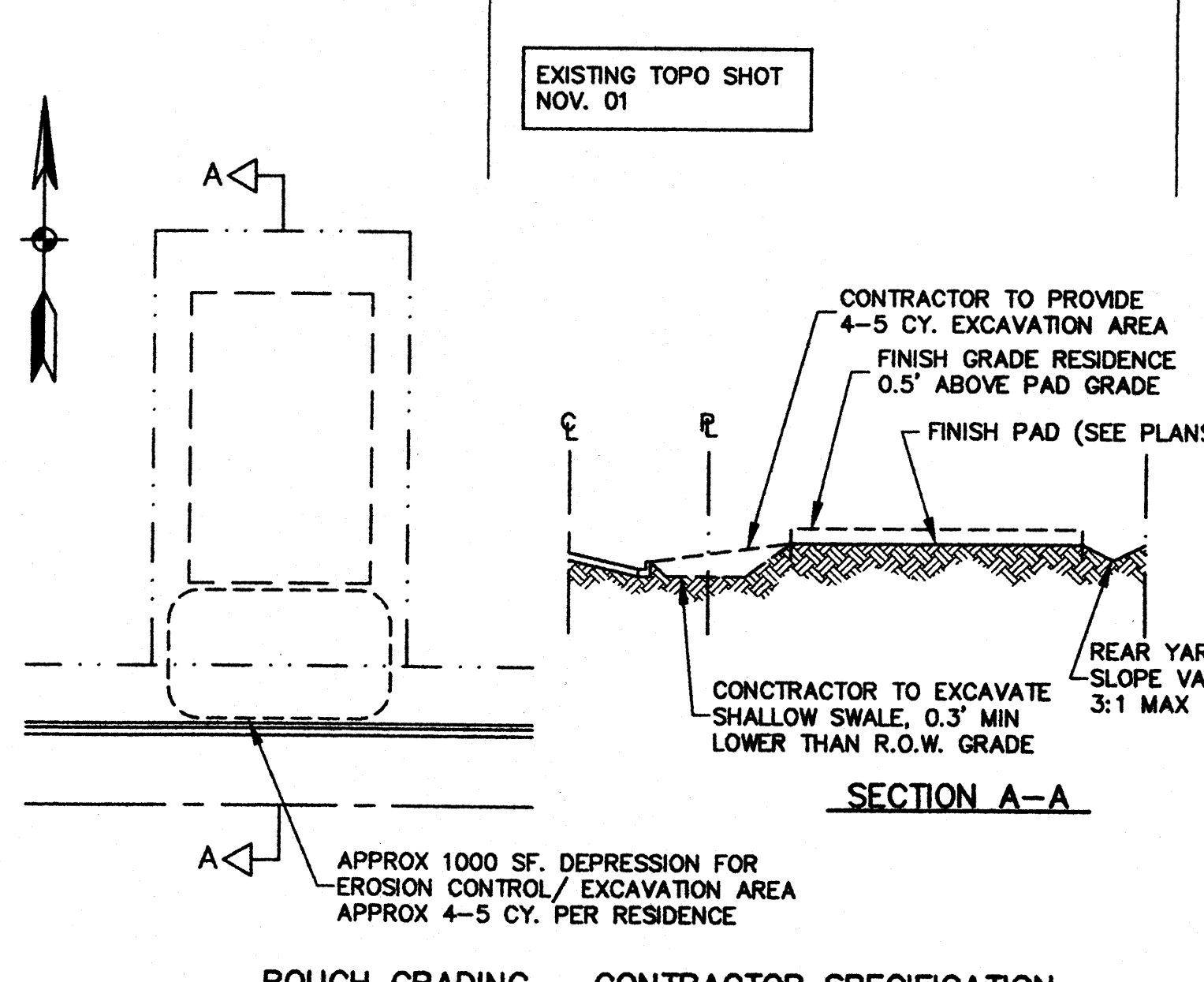
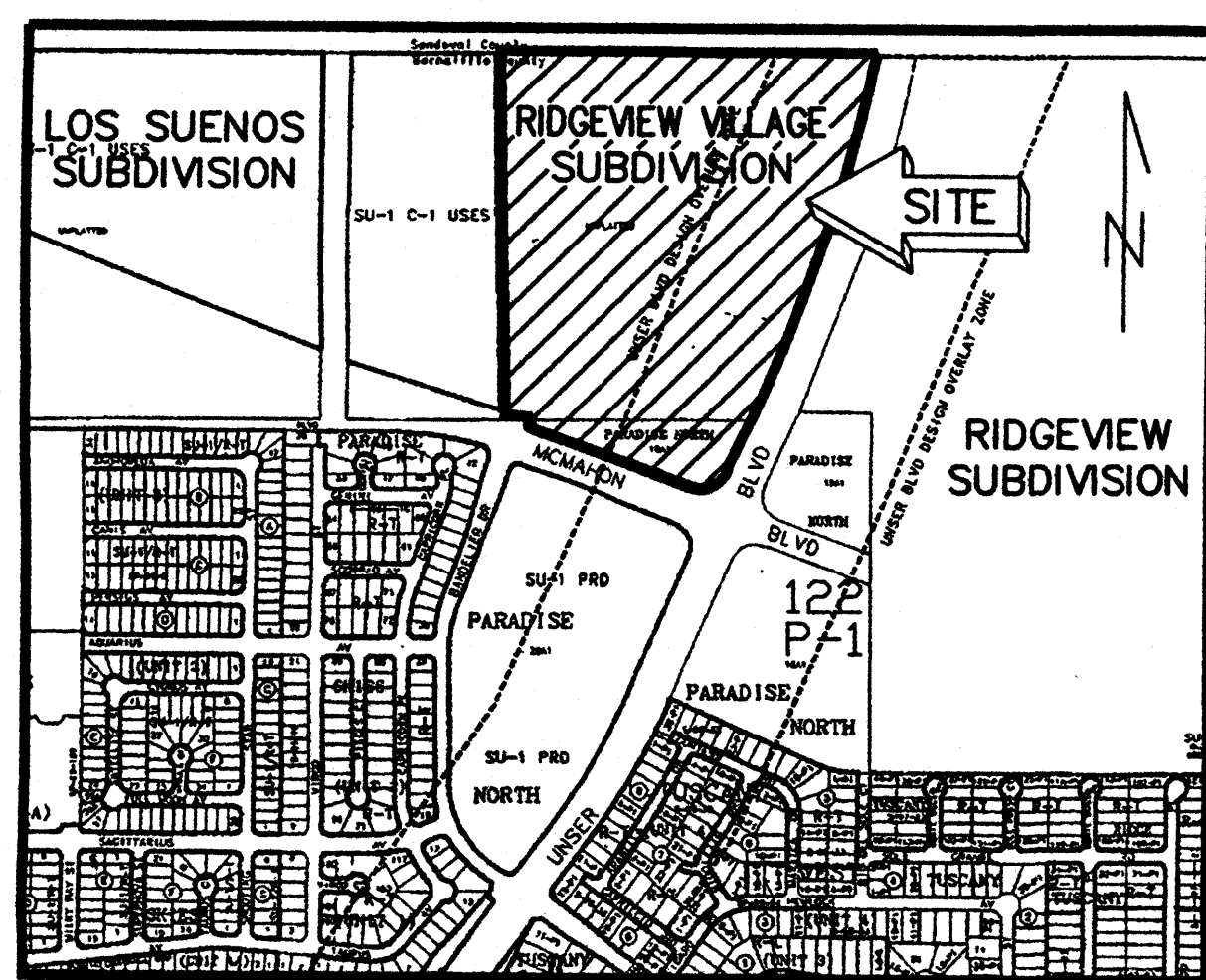
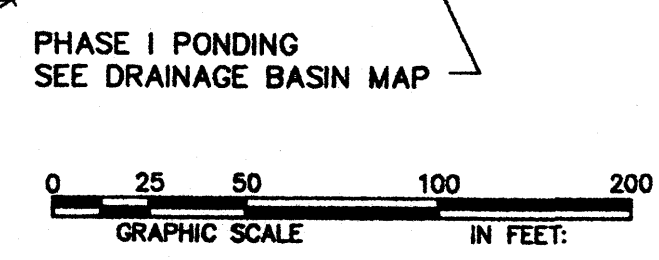
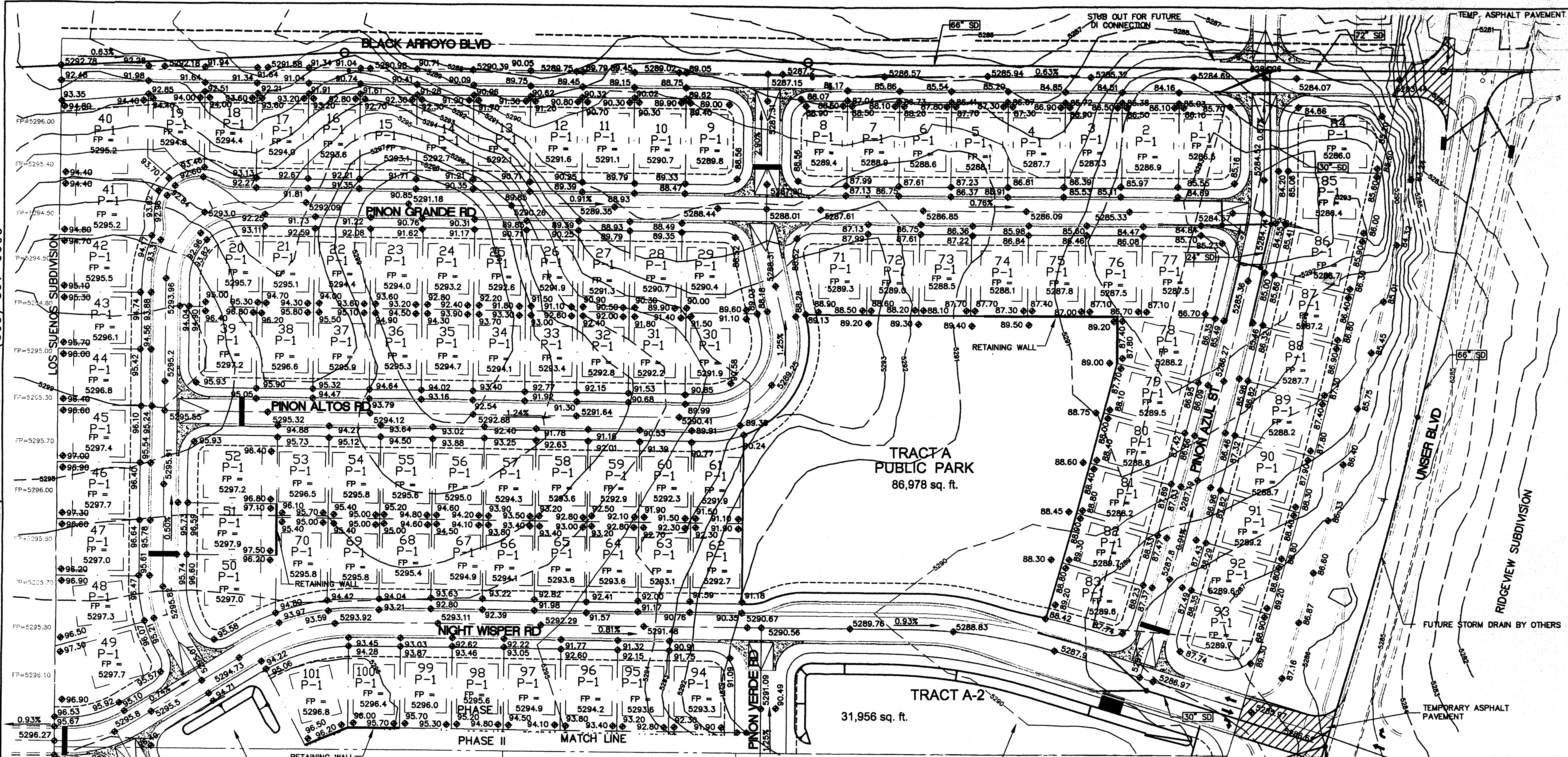
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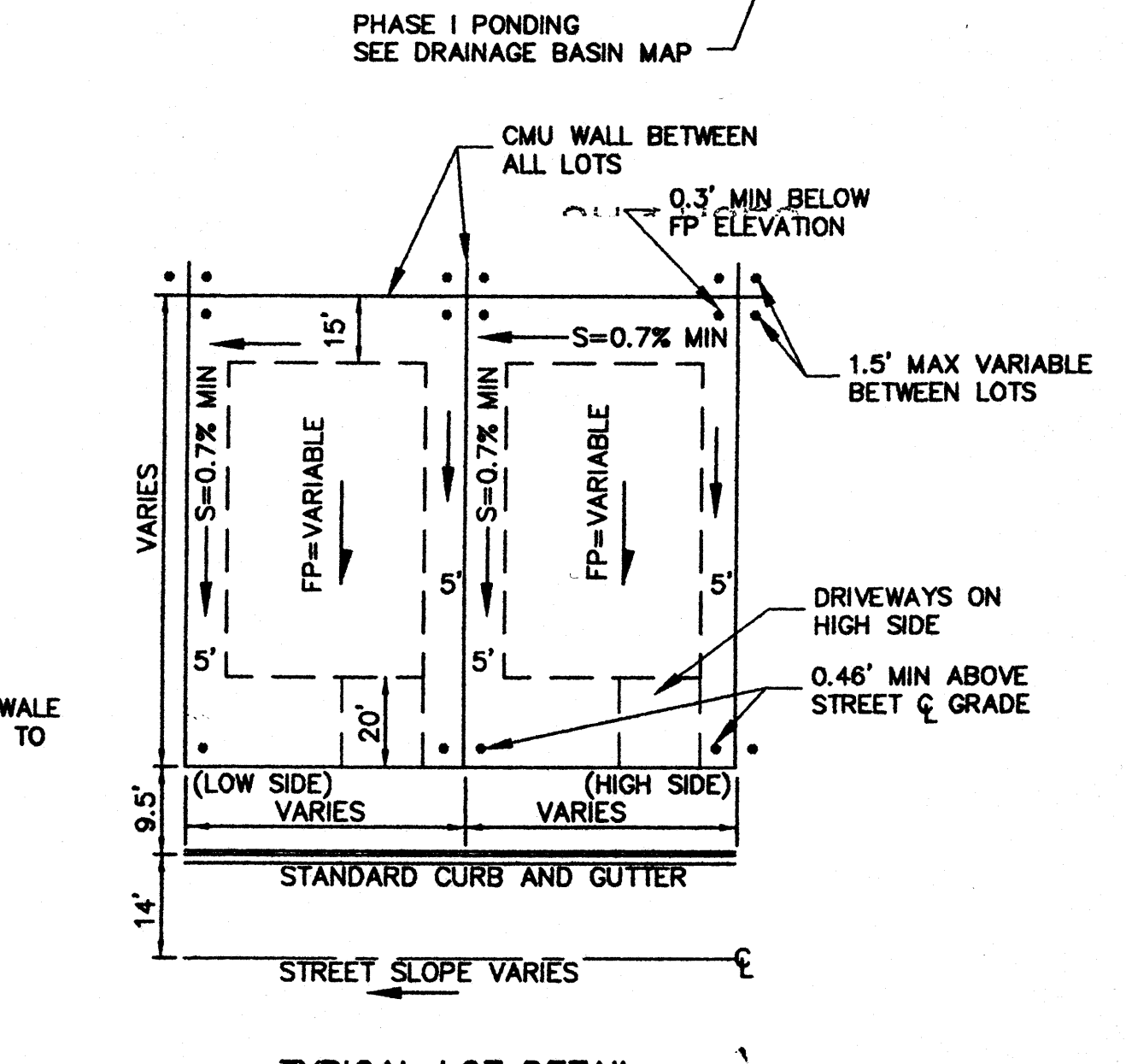
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 924 Park Avenue SW  
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Community Sciences Corporation  
 4481 Corrales Road  
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ROUGH GRADING - CONTRACTOR SPECIFICATION FOR EROSION CONTROL AND FRONT-YARD EXCAVATION AREA



TYPICAL LOT DETAIL FOR SINGLE FAMILY DETACHED DWELLINGS

**GRADING NOTES:**

1. CONTRACTOR SHALL FOLLOW THE RECOMMENDATION FOR SITE PREPARATION, VEGETATIVE REMOVAL AND CONSTRUCTION OF STRUCTURAL FILL DETAILED IN THE PROJECT SOILS INVESTIGATION REPORT. ALL FILL SHALL COMPLY WITH GEOTECHNICAL SOILS REPORT REQUIREMENTS, OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER IN THE FIELD.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ADEQUATE WIND-BORN DUST CONTROL PER BERNALILLO COUNTY REGULATIONS.

3. CONTRACTOR MUST OBTAIN TOP SOIL DISTURBANCE PERMIT PRIOR TO MASS GRADING OPERATION.
4. INDIVIDUAL LOT DRAINAGE MUST BE DIRECTED TO DESIGNATED DRAINAGE FACILITIES OR TO THE PUBLIC STREET. NO DRAINAGE IS ALLOWED TO TRANSFER FROM ONE PRIVATE LOT TO ANOTHER EXCEPT AS NOTED ON THE GRADING PLAN VIA PRIVATE DRAINAGE EASEMENTS.
5. ALL SIDE AND REAR YARDS MUST BE GRADED IN ACCORDANCE WITH SECTION TYPICAL LOT DETAILS.
6. EROSION CONTROL BERMS ARE TO REMAIN IN PLACE ON INDIVIDUAL LOTS UNTIL FINAL GRADING FOR HOUSE CONSTRUCTION.

**LEGEND**

- TC=98.43 PROPOSED TOP OF CURB ELEVATION
- 98.0 PROPOSED SPOT ELEVATION
- 98.0 EXISTING SPOT ELEVATION (GRID & TC)
- PROPOSED CONCRETE VALLEY GUTTER
- TEMPORARY PAVING
- PROPOSED CURB & GUTTER
- FUTURE UNSER BLVD (BY OTHERS)
- EXISTING CONTOUR W/ INDEX ELEVATION
- FLOW ARROW
- PROPOSED STORM DRAIN WITH MANHOLE & INLETS
- PROPOSED STORM SEWER CATCH BASIN
- PROPOSED WATER BLOCK
- BASIN BOUNDARY
- SUB BASIN BOUNDARY
- PHASE LINE
- RETAINING WALL

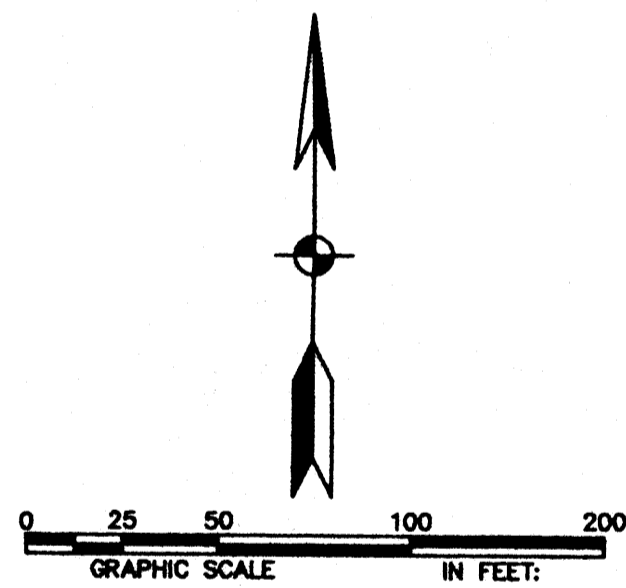
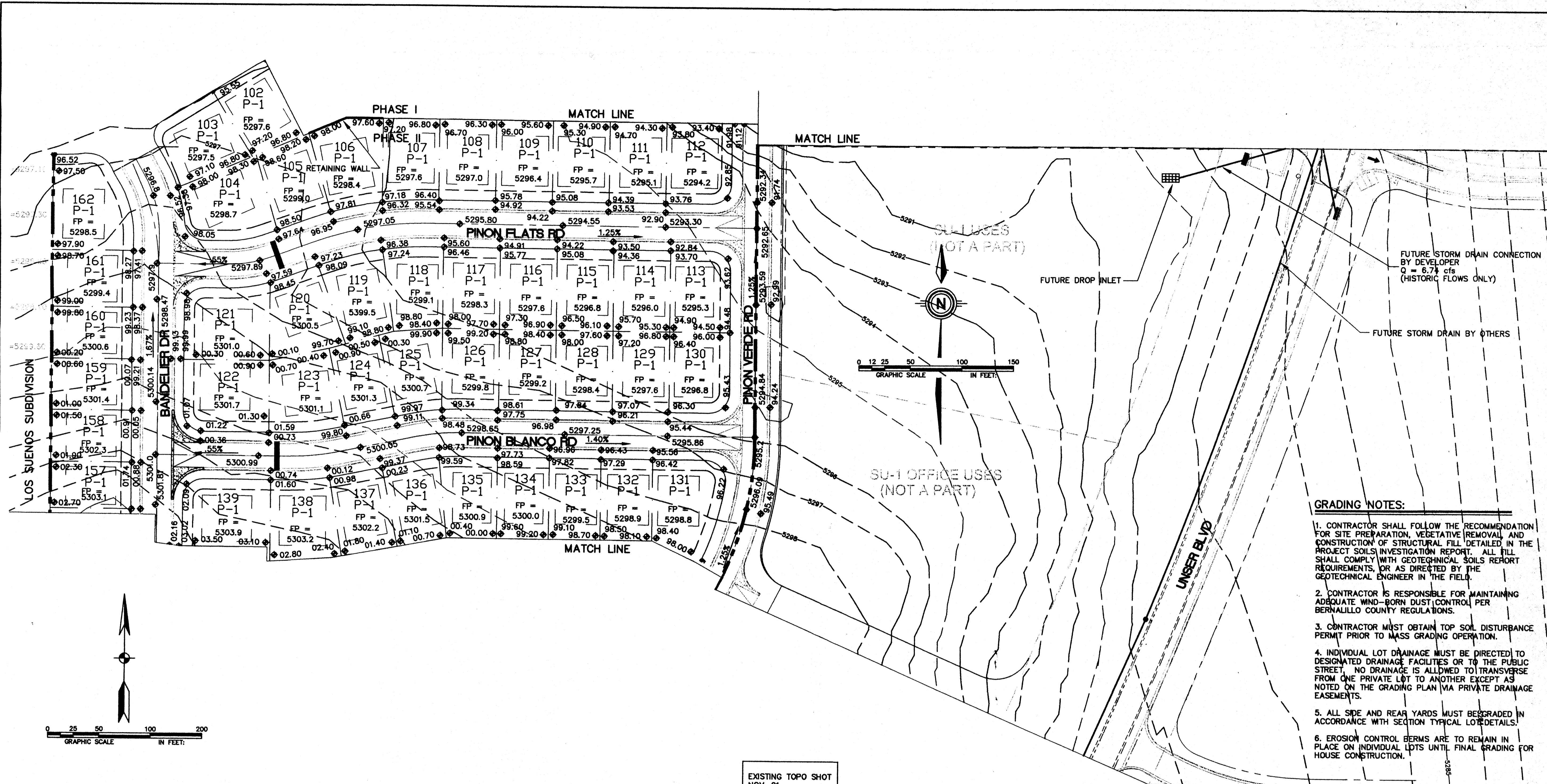
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<p><b>PROJECT NO.</b> N291-33-130</p> <p><b>MAP NO.</b> _____</p> <p><b>SHEET</b> 1 <b>OF</b> 3</p>										

**Community Sciences Corporation**

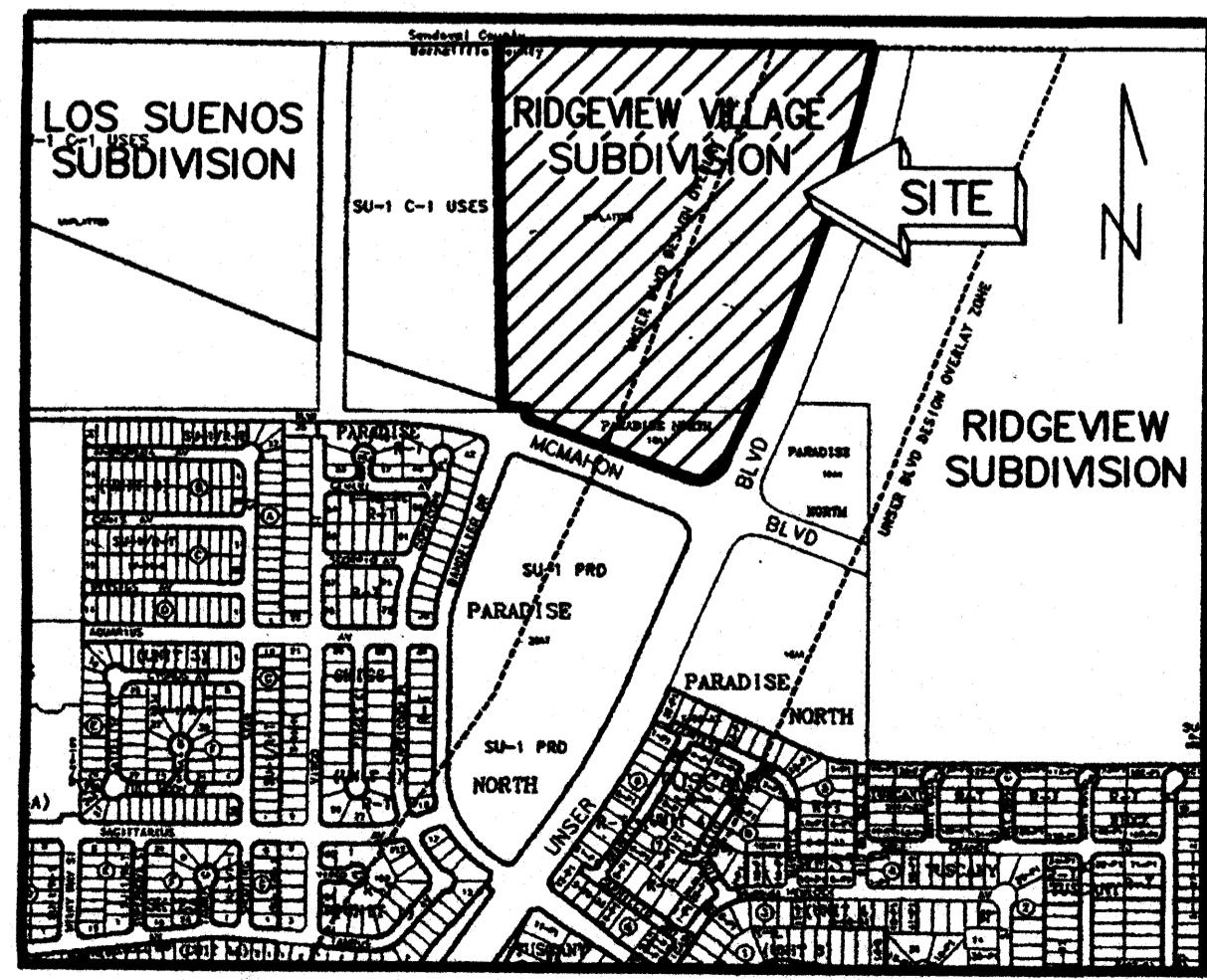
ENGINEERING

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP

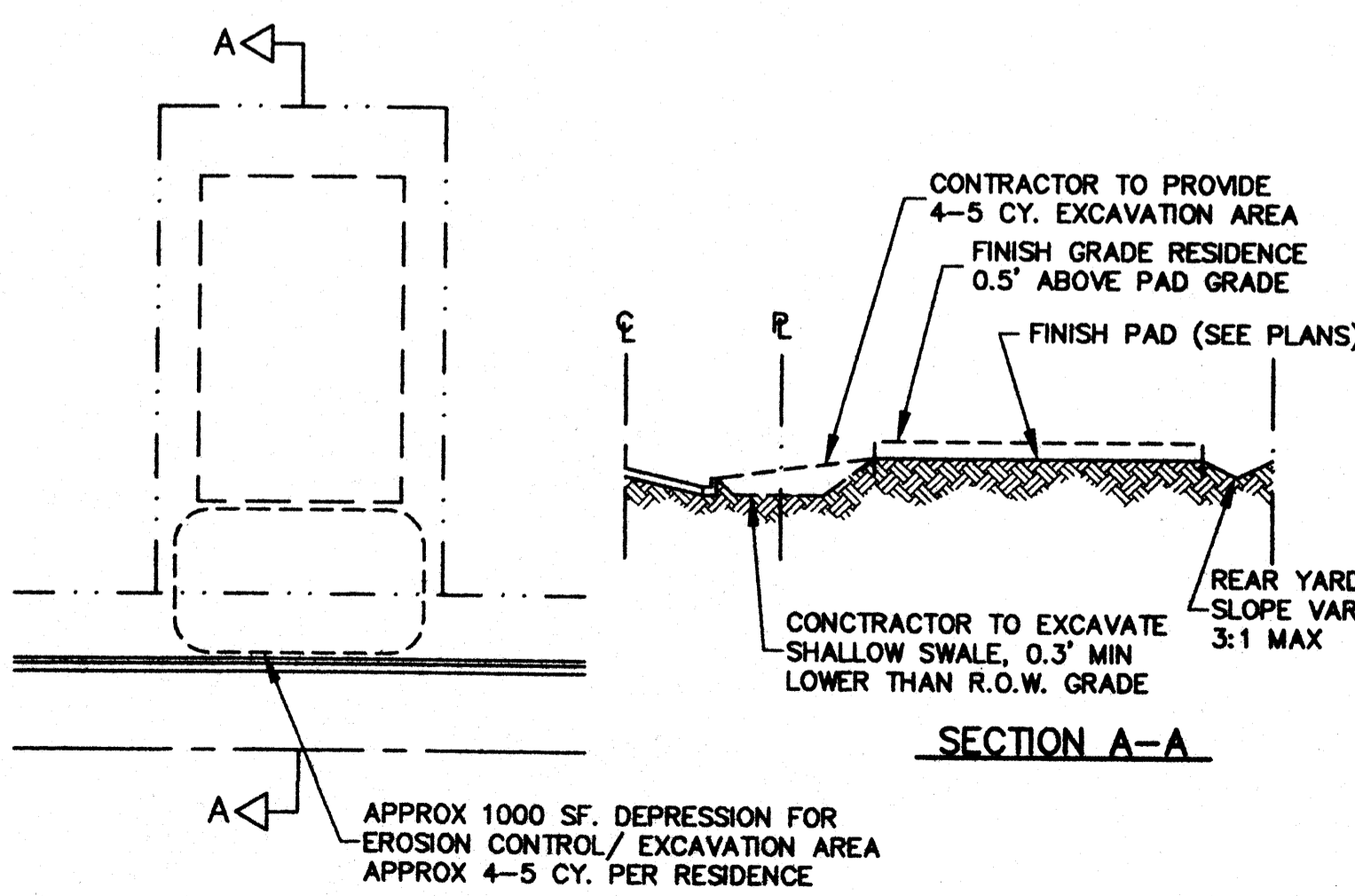
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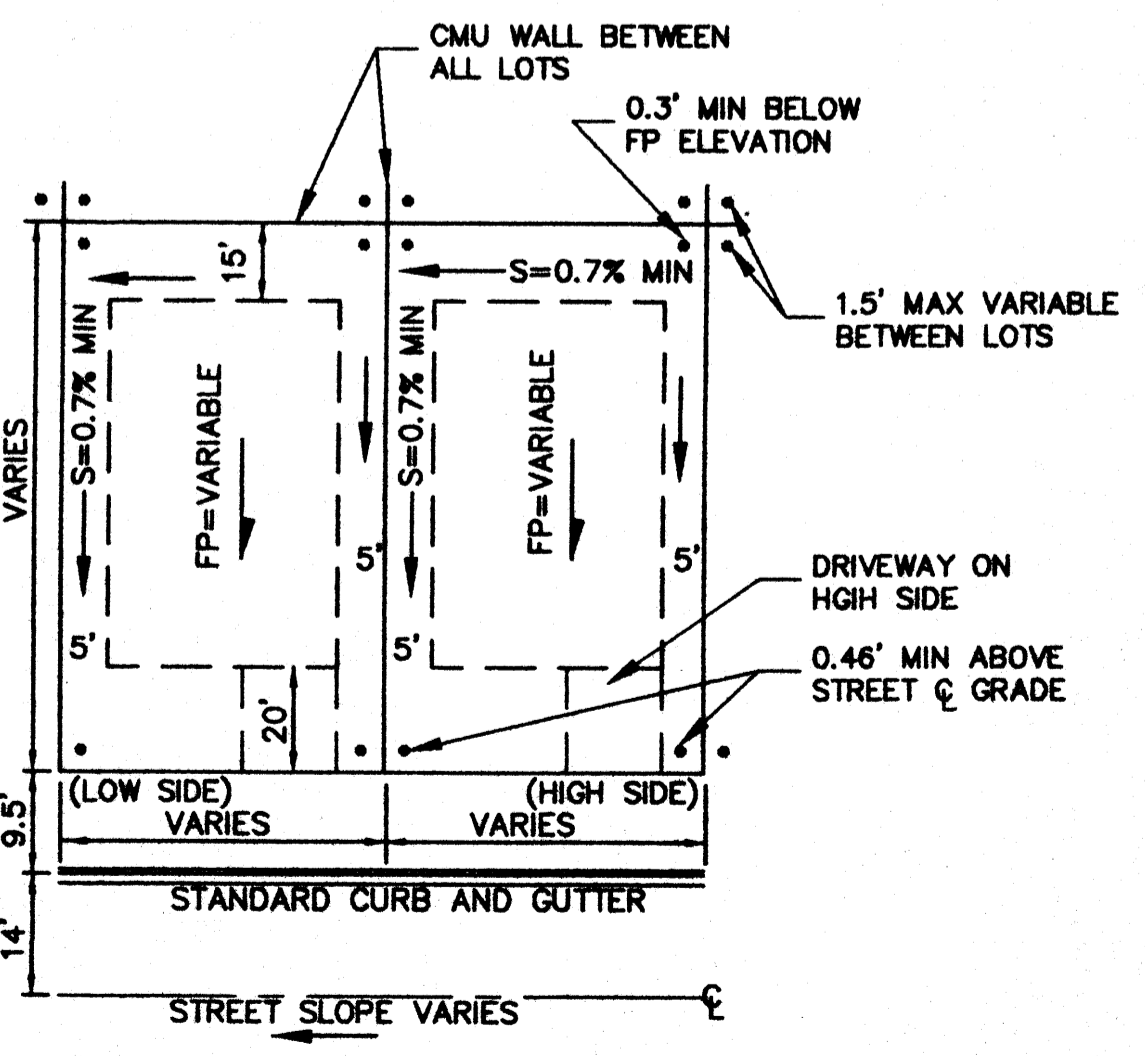
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VICINITY MAP  
NTS



ROUGH GRADING - CONTRACTOR SPECIFICATION  
FOR EROSION CONTROL AND FRONT-YARD EXCAVATION AREA  
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TYPICAL LOT DETAIL  
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- SD 42° STORM DRAIN WITH MANHOLE & INLETS
- SD 90° PROPOSED STORM DRAIN
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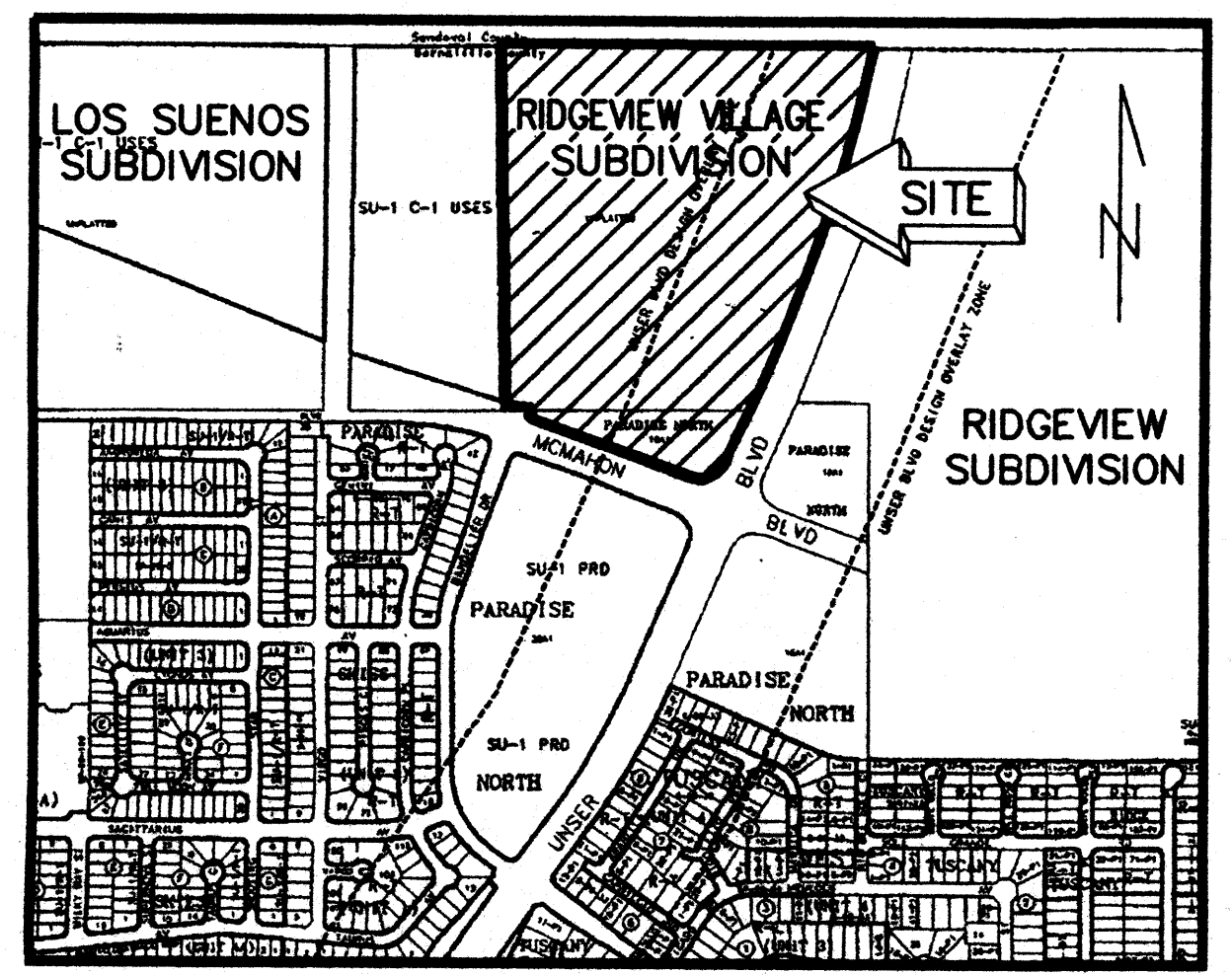
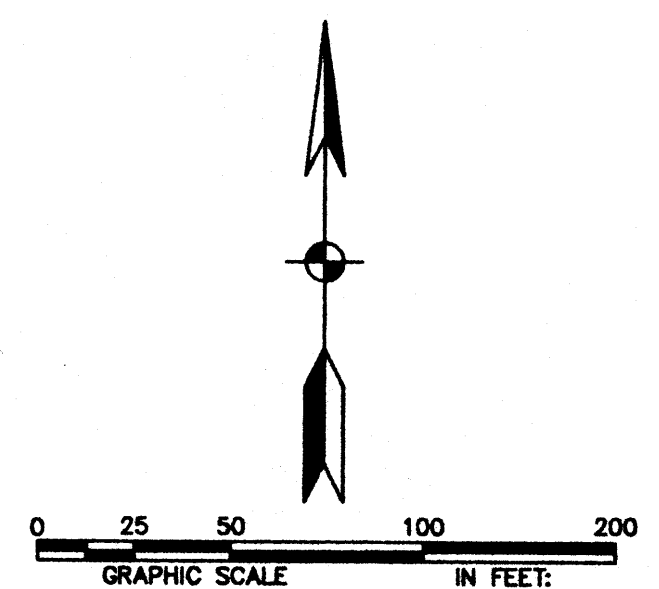
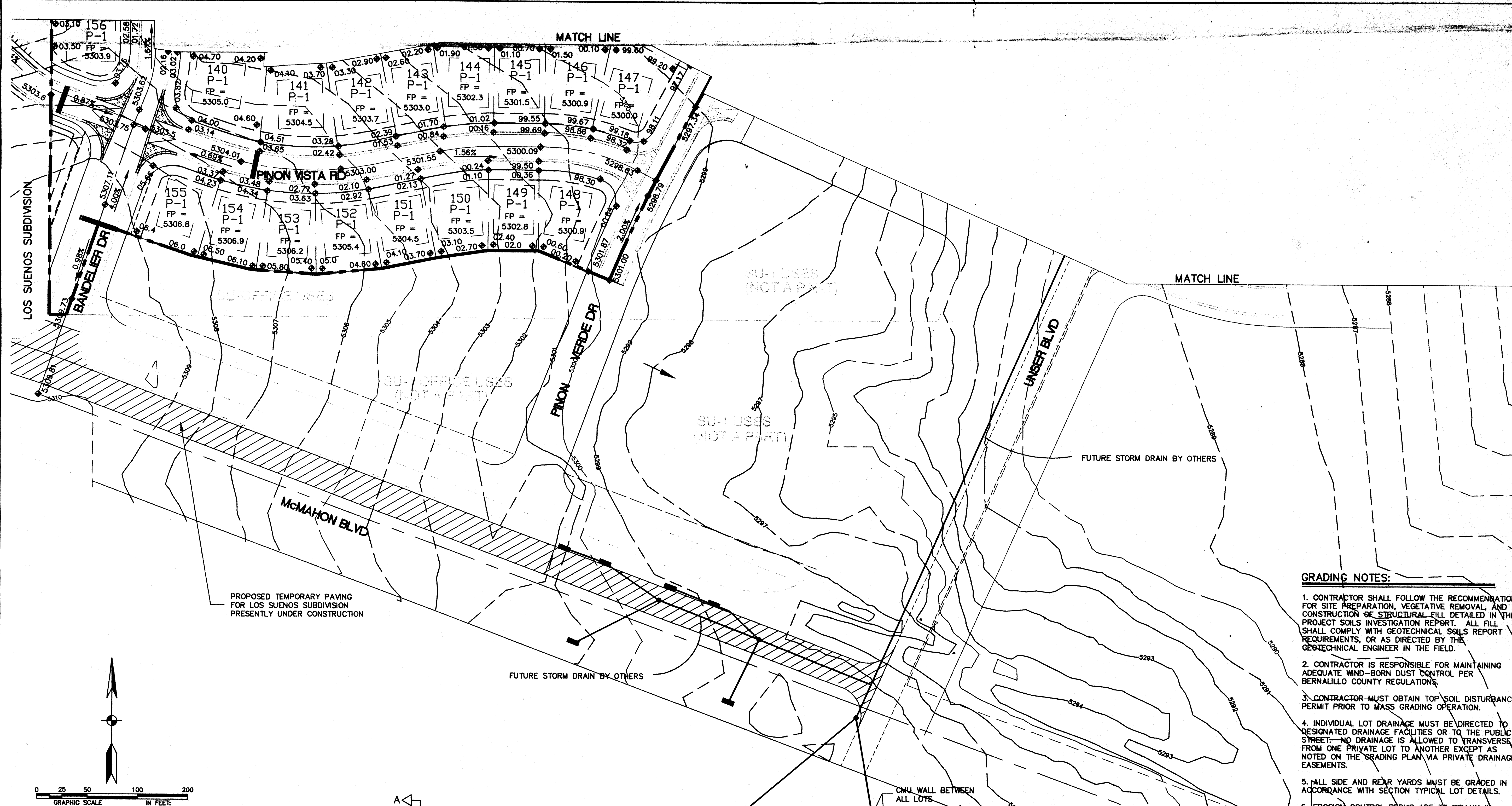
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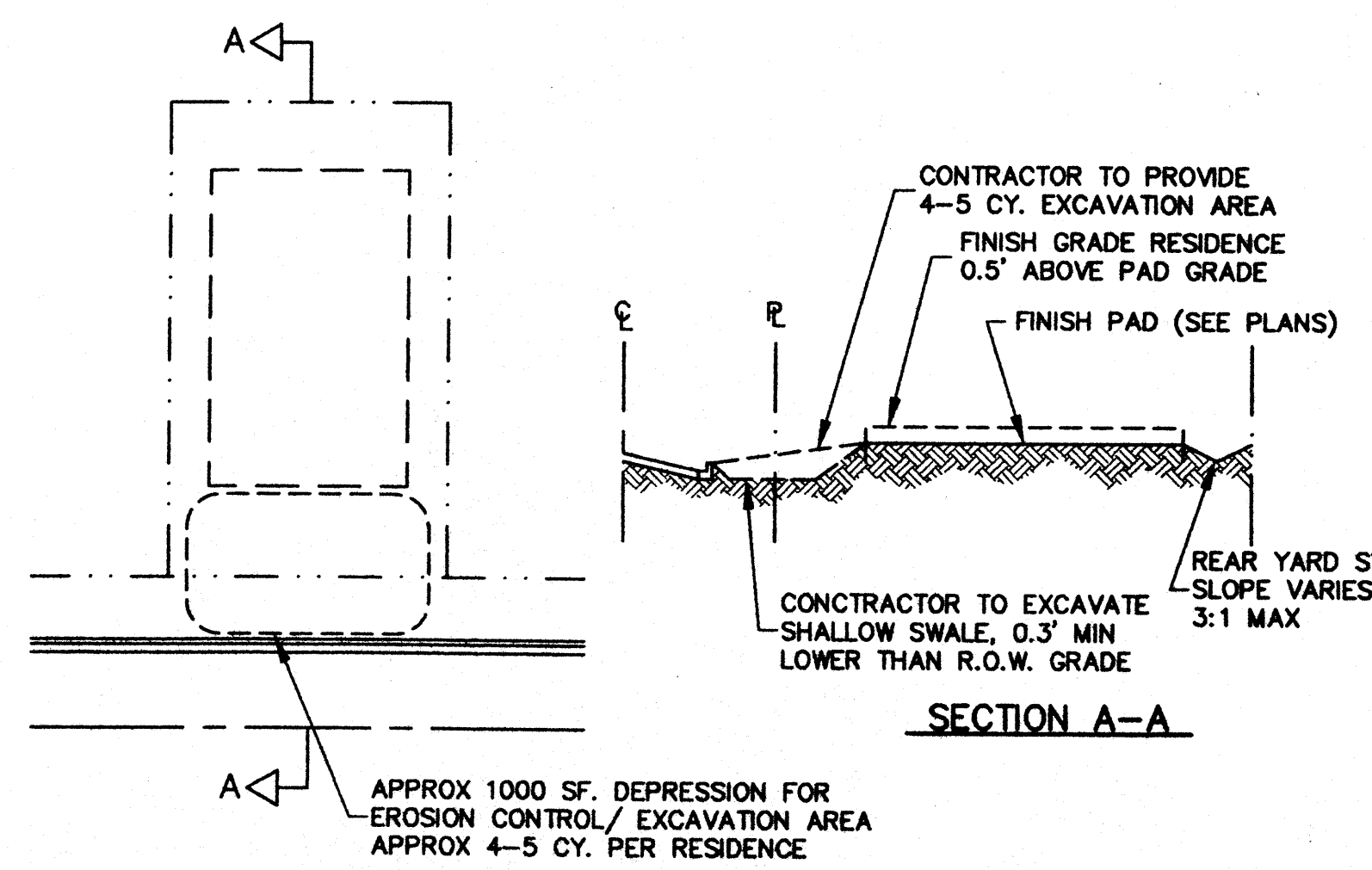
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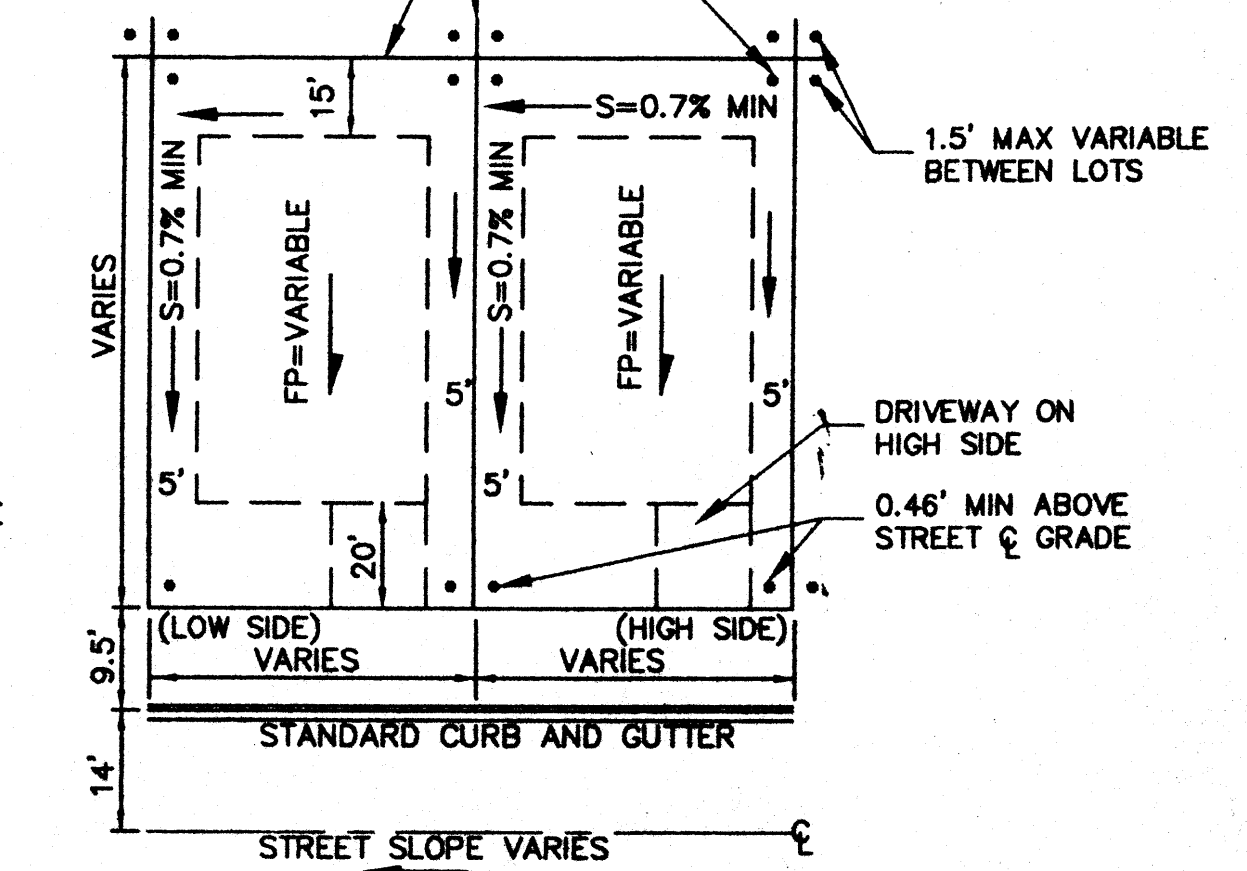
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TITLE: RIDGEVIEW VILLAGE SUBDIVISION ULTIMATE GRADING AND DRAINAGE PLAN			
PROJECT NO. N291-33-130		MAP NO.	
SHEET 2		OF 3	



VICINITY MAP  
NTS



ROUGH GRADING - CONTRACTOR SPECIFICATION  
FOR EROSION CONTROL AND FRONT-YARD EXCAVATION AREA  
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TYPICAL LOT DETAIL  
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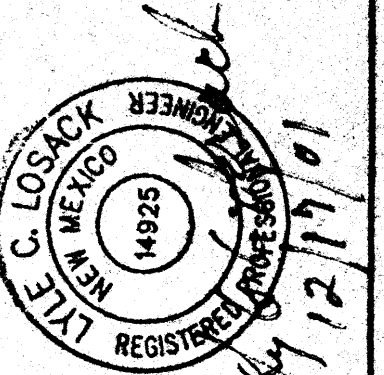
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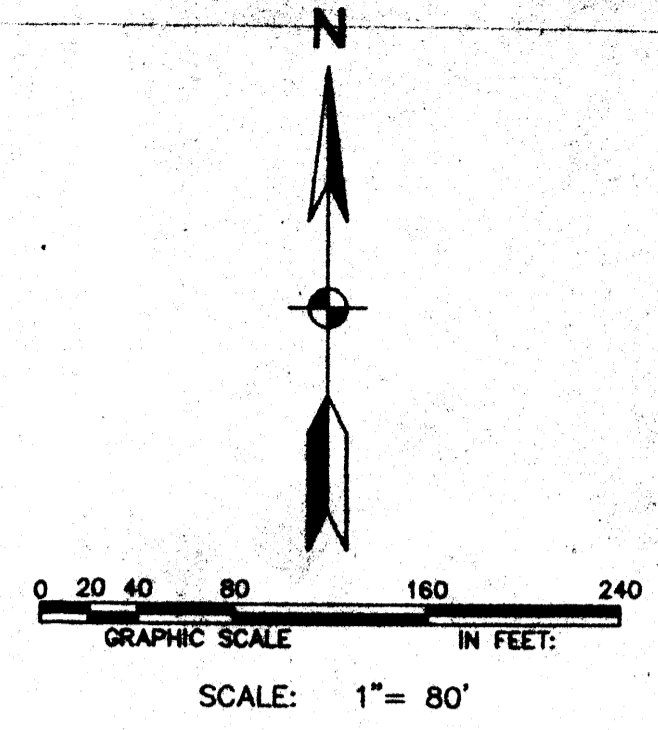
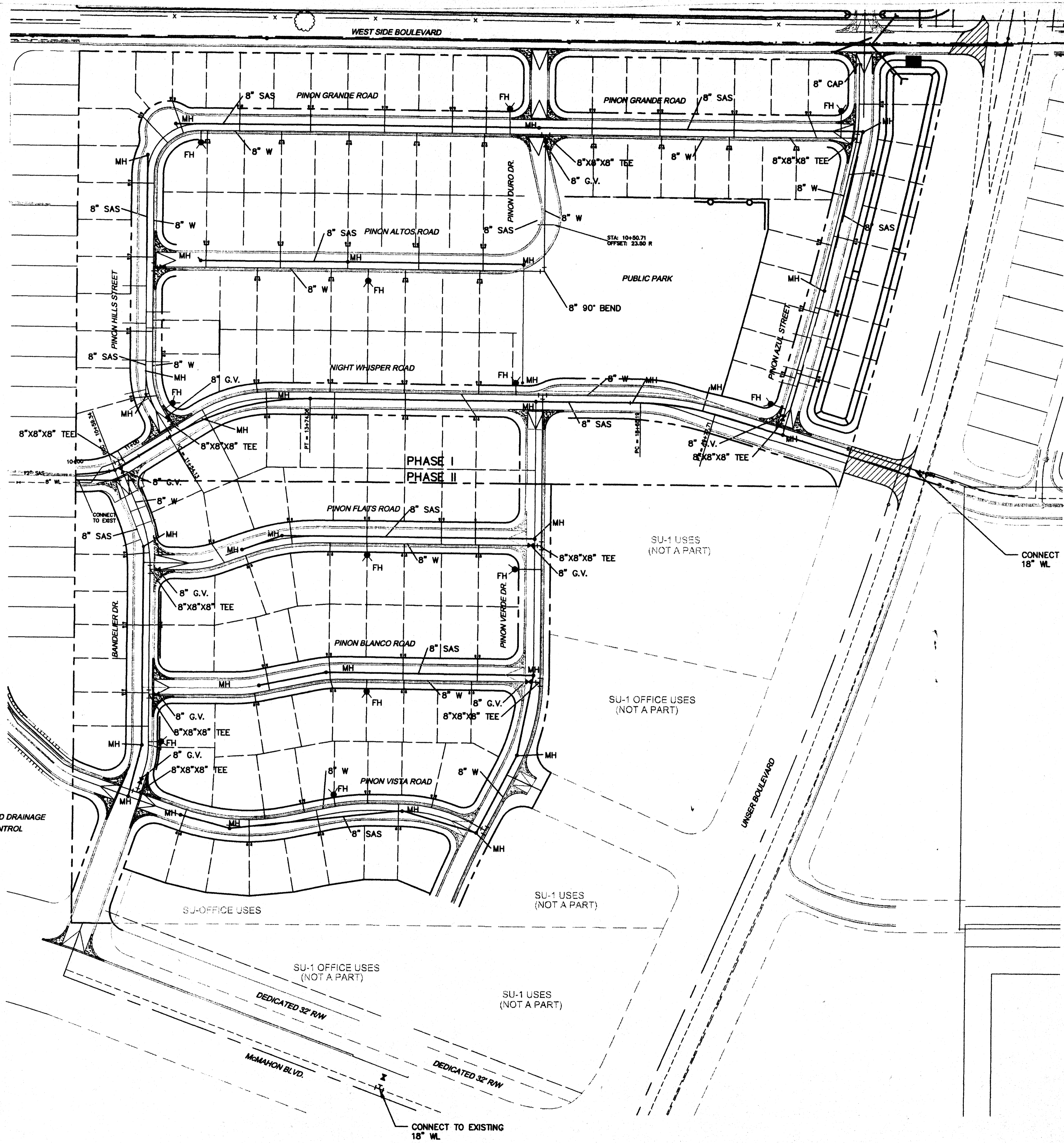
  

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DRAWN BY	REH	DATE	12/2001
CHECKED BY	LCL	DATE	12/2001

PROJECT NO.	N291-33-130	MAP NO.		SHEET	3	OF	3
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- LEGEND**
- SAS 8" - PROPOSED SANITARY SEWER LINE
  - SAS 8" - EXISTING SANITARY SEWER LINE
  - - PROPOSED SANITARY SEWER MANHOLE
  - - EXISTING SANITARY SEWER MANHOLE
  - W 8" - PROPOSED WATERLINE
  - W 8" - EXISTING WATERLINE
  - FH - PROPOSED FIRE HYDRANT
  - SMH - PROPOSED STORM DRAIN MANHOLE
  - ⊗ - PROPOSED GATE VALVE
  - ⊕ - PROPOSED TEE
  - ⊕ - PROPOSED SEWER SERVICE
  - ⊕ - PROPOSED DUAL WATER SERVICE
  - - - - PHASE LINE
  - - EXISTING FIRE HYDRANT
  - - OVERHEAD ELECTRICAL LINE
  - ⊗ - PROPOSED STREET LIGHT
  - ⊗ - EXISTING STREET LIGHT
  - - EXISTING GAS LINE
  - - EXISTING POWER POLE
  - - EXISTING GATE VALVE

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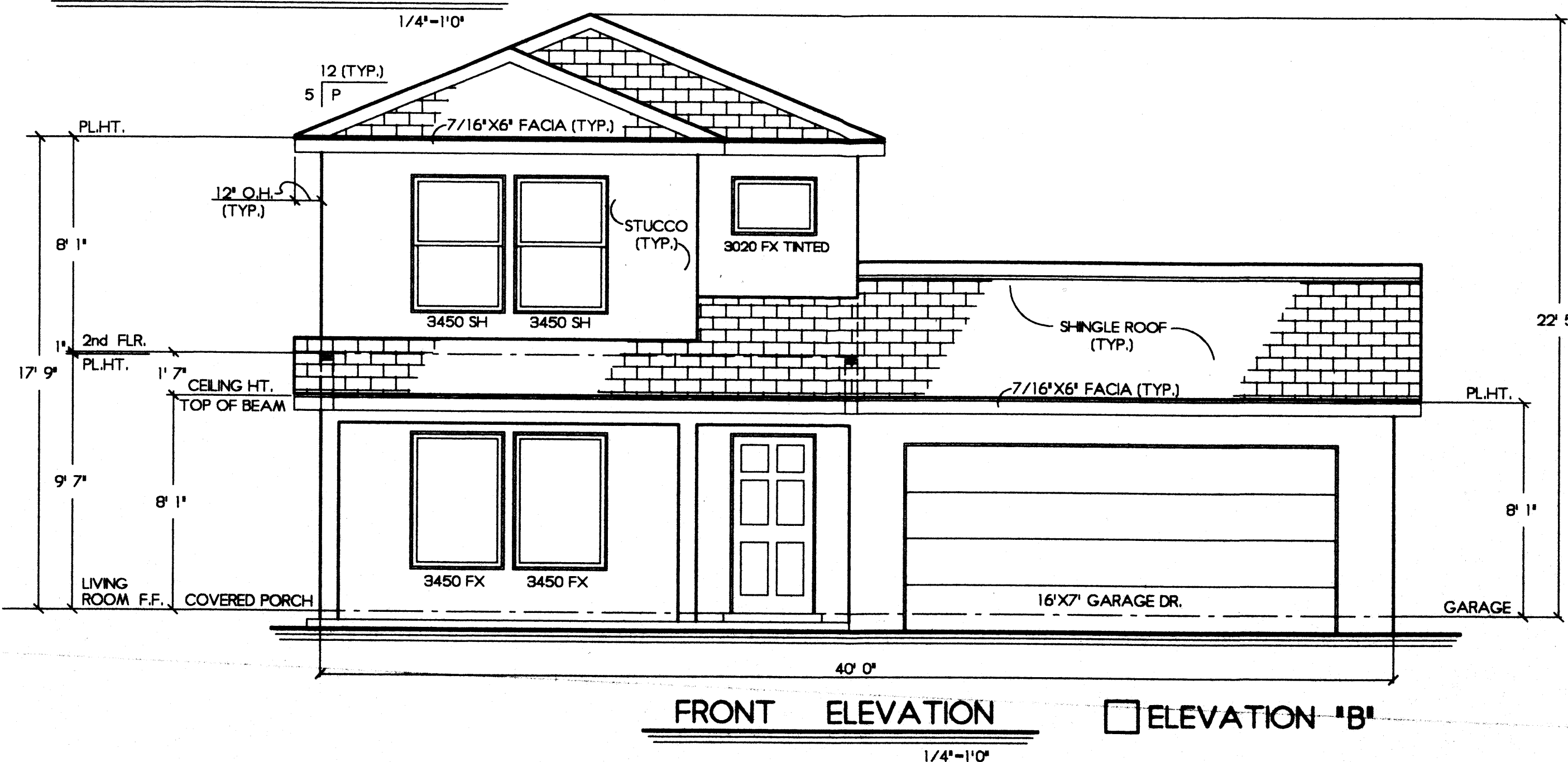
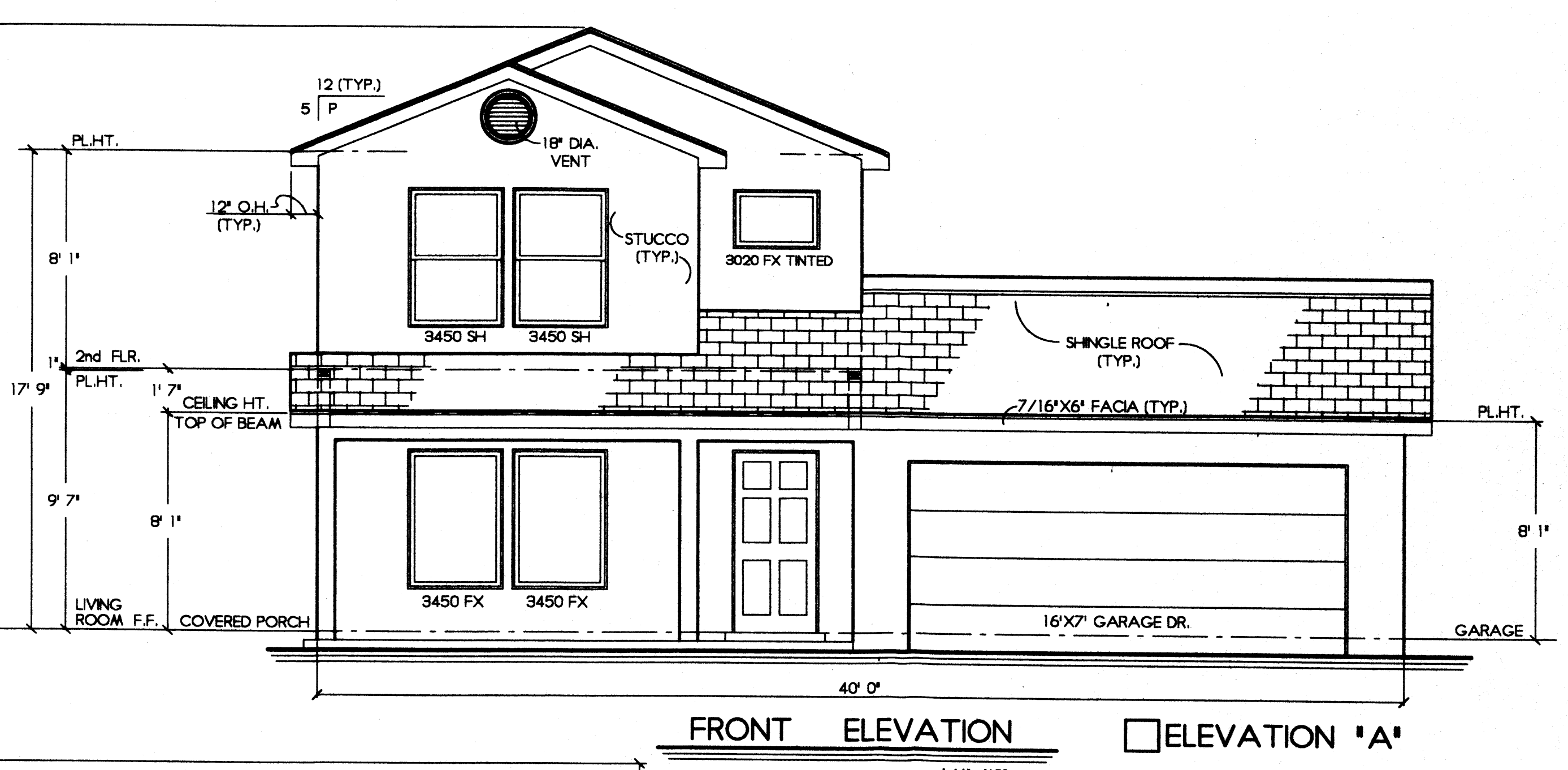
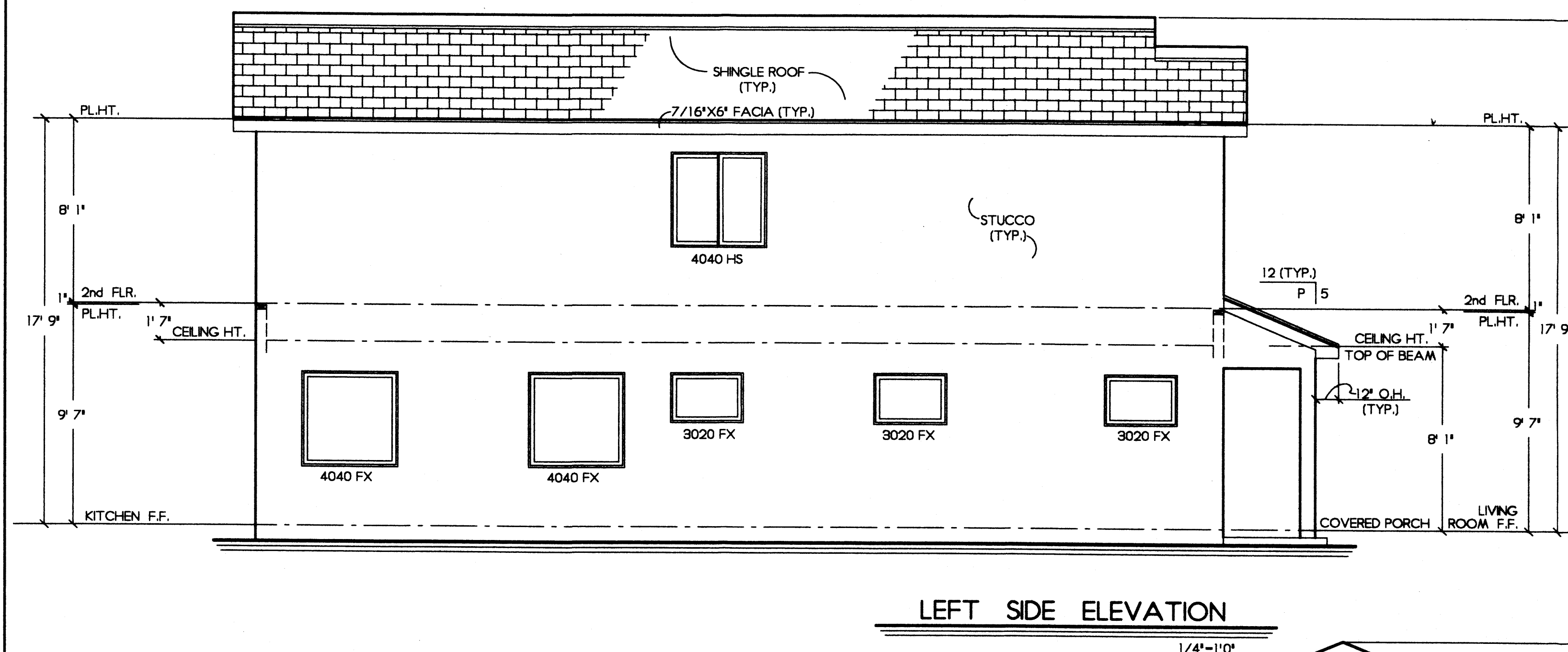
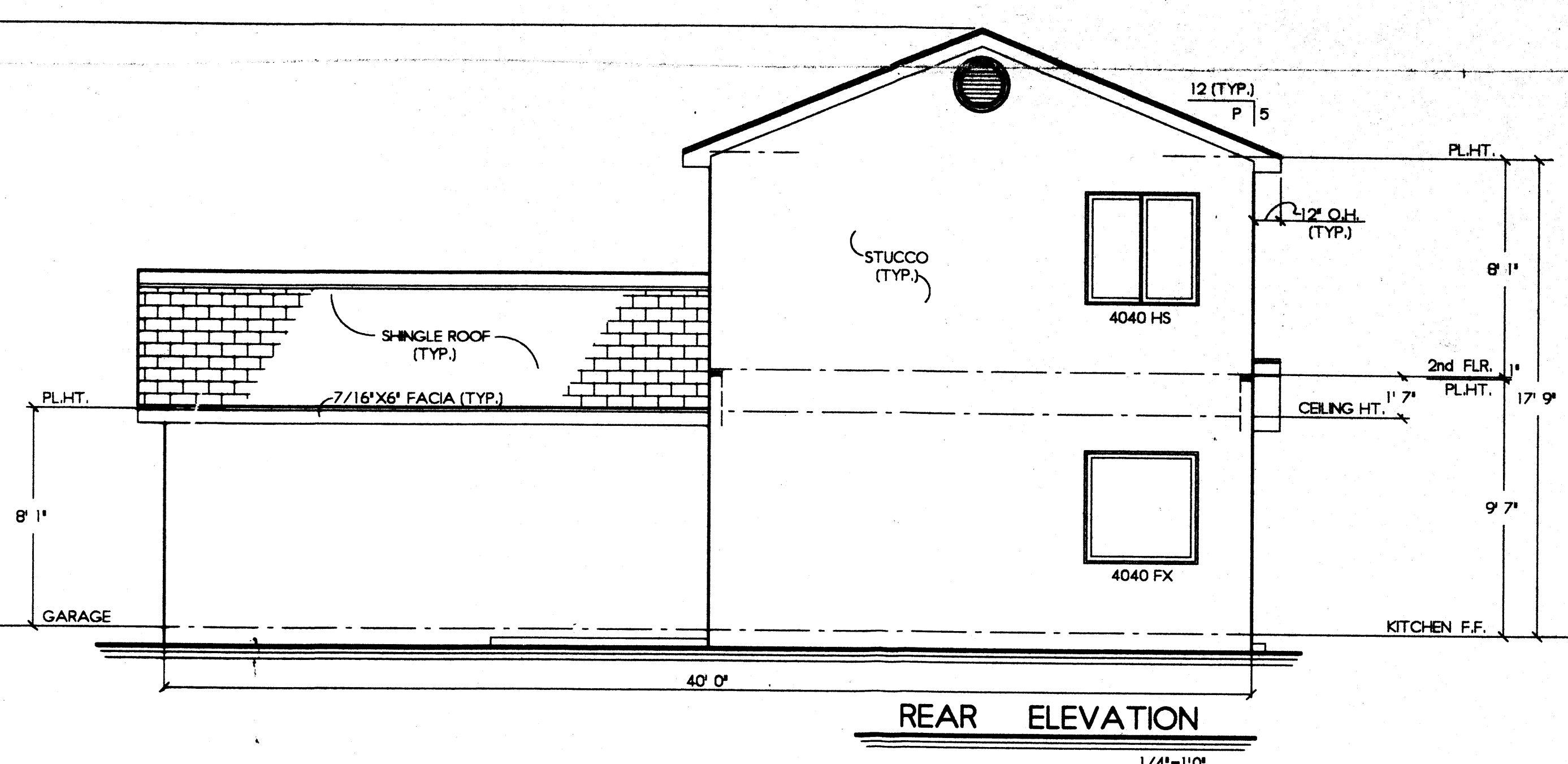
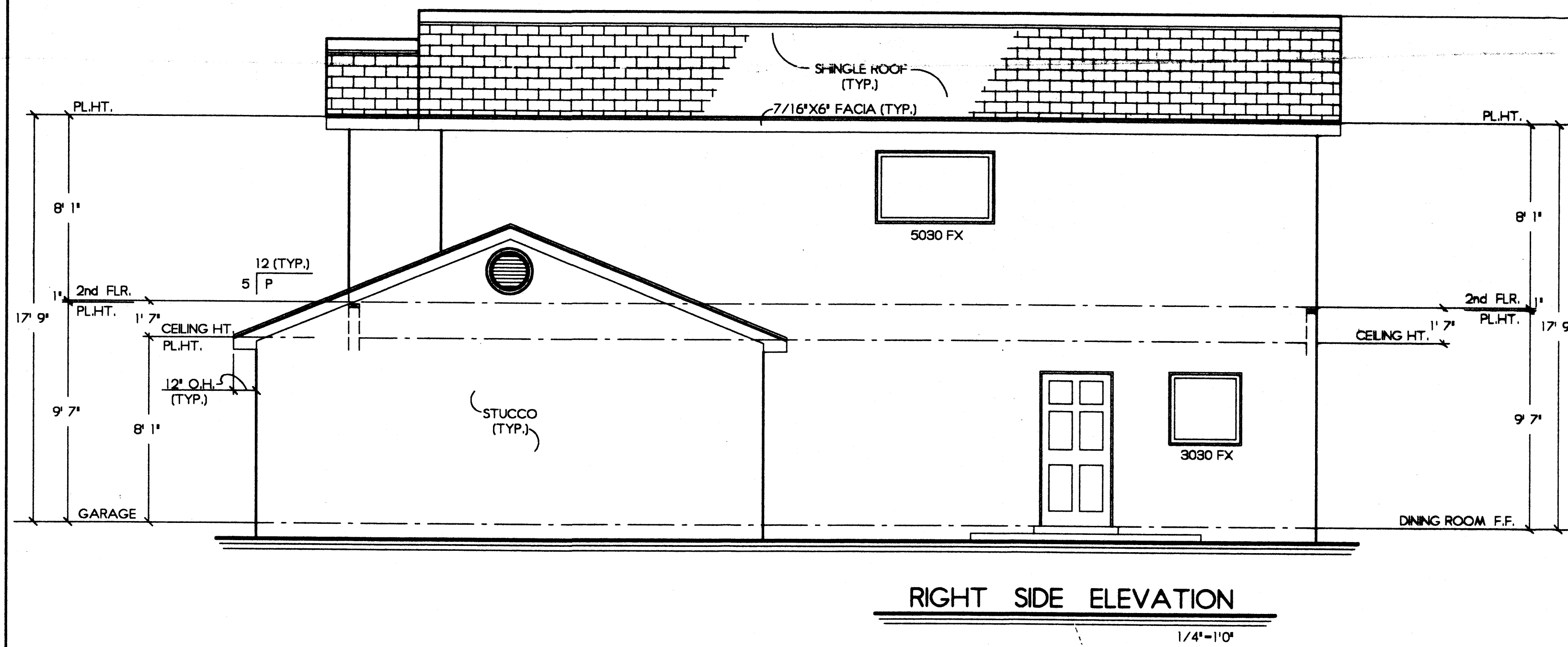
**Community Sciences Corporation**  
 LAND PLANNING P.O. Box 1328  
 ENGINEERING Corrales, N.M. 87018  
 SURVEYING Corrales, N.M. 87018

CITY OF ALBUQUERQUE  
 PUBLIC WORKS DEPARTMENT  
 ENGINEERING DEVELOPMENT GROUP

TITLE: **RIDGEVIEW VILLAGE SUBDIVISION  
 COMPOSITE UTILITY PLAN**

Design Review Committee	City Engineer Approval	No./Day/Yr	No./Day/Yr
City Project No.	Zone Map No.	Sheet	of
N291-33-150		18	28

SURVEY INFORMATION		FIELD NOTES		ENGINEER'S SEAL		AS BUILT INFORMATION	
NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
1	COMMUNITY SCIENCES						
BENCH MARKS		ACS STATION "SANDBERN"		CONTRACTOR		MICRO-FILM INFORMATION	
NAD 1927 NADSP C		X=361854.29 Y=1534209.29		NAD 1983 NADSP C CORPSCON		X=1502101.6571 Y=1544274.4482	
		CONVERGENCE 16" 01.4" (1983)		COMB. SCALE FACTOR = 0.99966079		ELEV. (NAD) 1927: 5455.33 (NAD 1983)	



**RIDGE VIEW VILLAGE  
SUBDIVISION**

ROOF COLORS AND MATERIALS: ASPHALT SHINGLES,  
TAMKO ROOFING PRODUCTS, SERIES: GLASS-SEAL,  
RUSTIC SLATE, TWEED BLEND, WEATHERED WOOD,  
RUSTIC HICKORY, RUSTIC CEDAR, AND DORFORD GREY.  
TRIM COLOR: WHITE  
STUCCO COLORS: SONNEBORN DESERT LACE, LUNA,  
TORREON, PALOMA, AMARILLA, AND SUEDE.

NOTE: WINDOW SIZE IS ROUGH OPENING

**NOTE:**  
FOR FRONT ELEVATION  
CHECK (✓) OPTION BOX   
EXAMPLE: OPTION 'A'

PLAN 80  
PLAN: 21084  
JOB NO.: 21084  
COMPUTER: E-PLAN-80/FCD

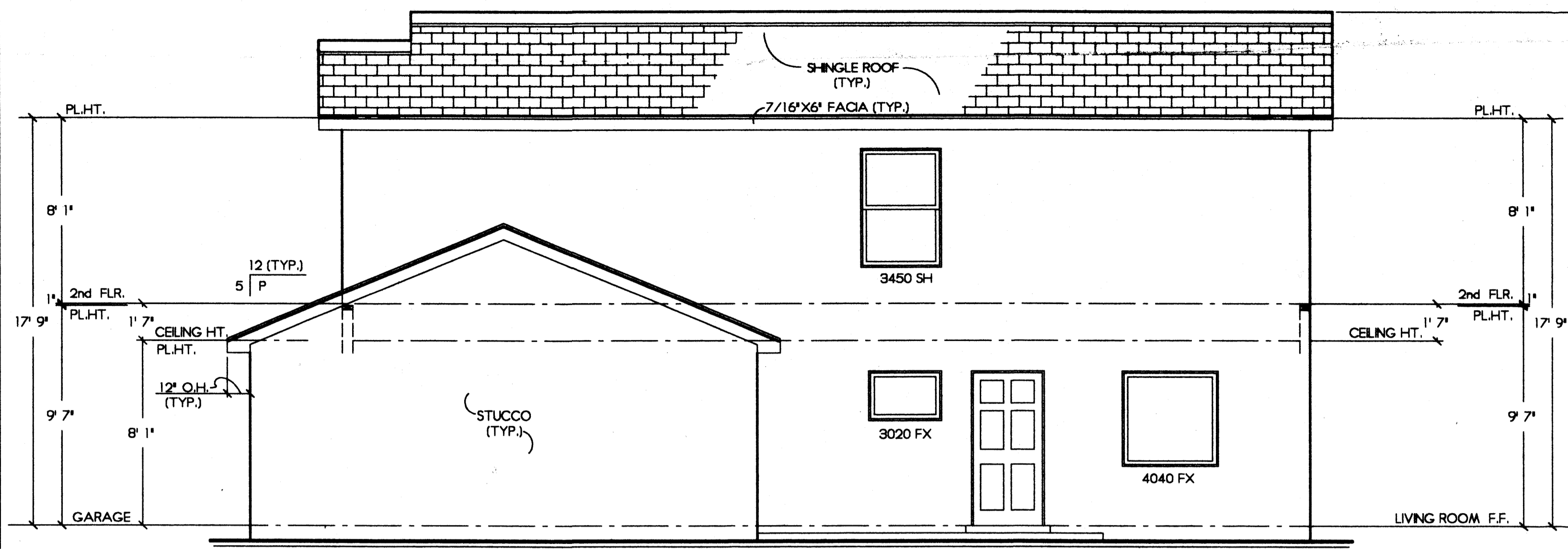
REVISIONS	31 JAN 02	22 FEB 02	06 MAY 02
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1/4"=1'0"

ELEVATION PLANS PLAN 80

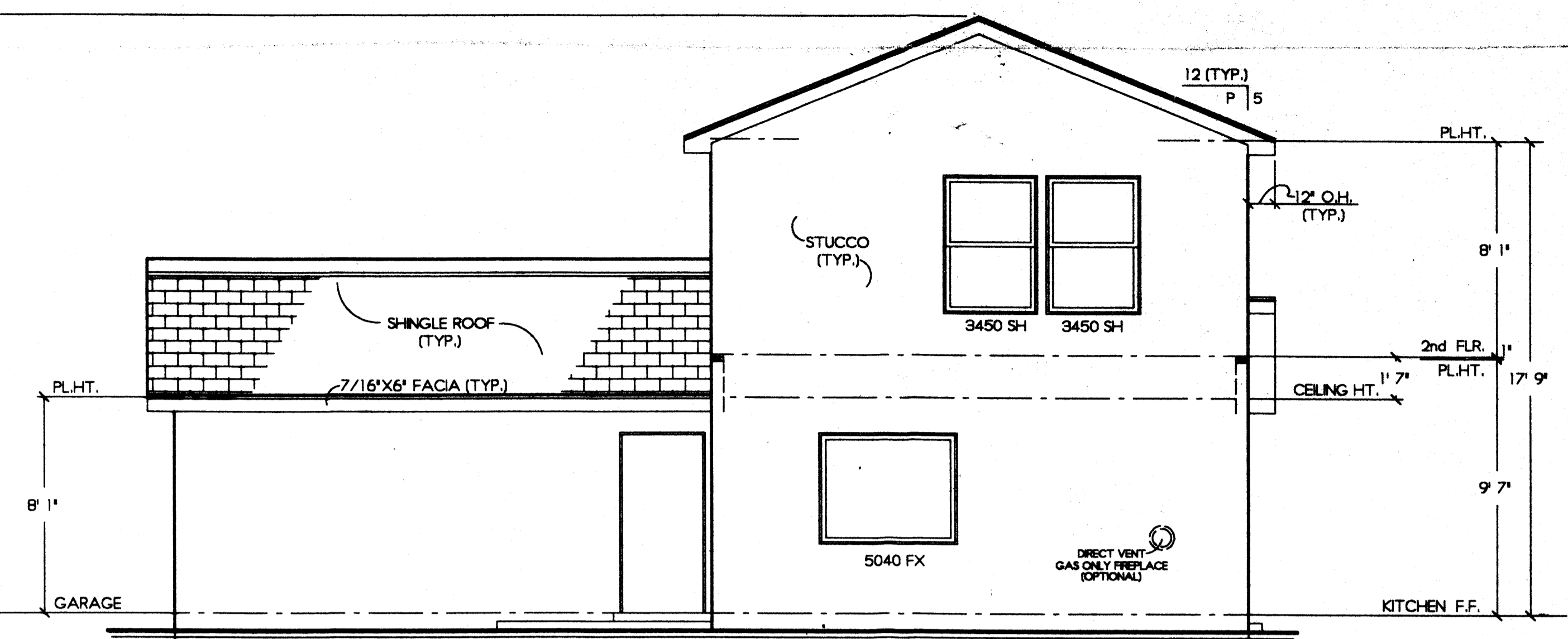
ARTISTIC HOMES

SANDIA DESIGNERS  
298-2842  
Albuquerque, New Mexico  
COPYRIGHT 2002



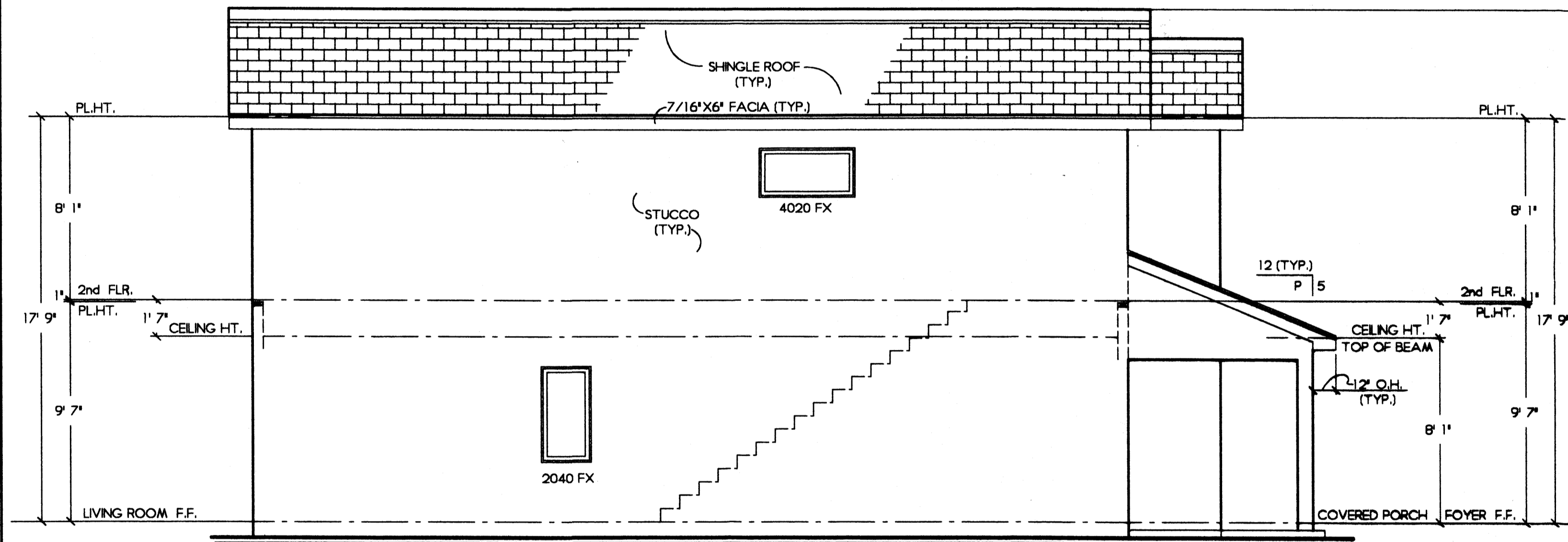
RIGHT SIDE ELEVATION

1/4"=1'0"



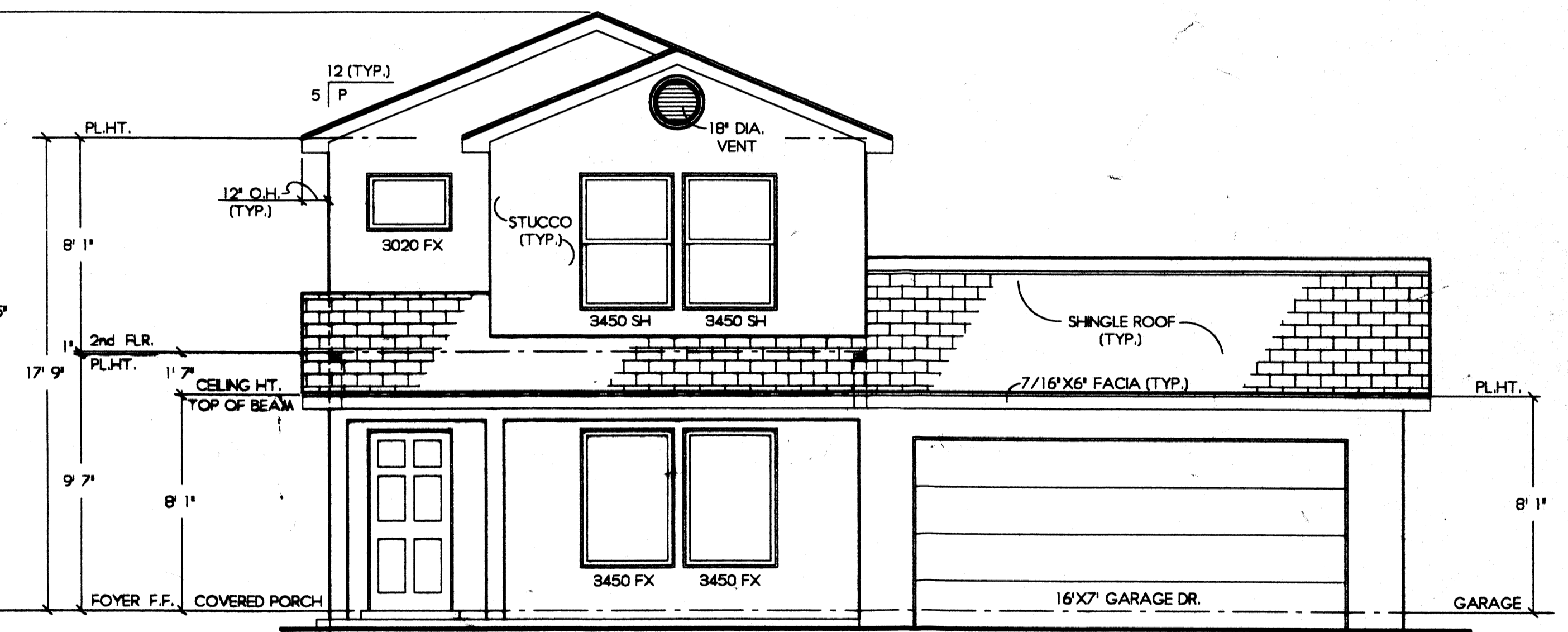
REAR ELEVATION

1/4"=1'0"



LEFT SIDE ELEVATION

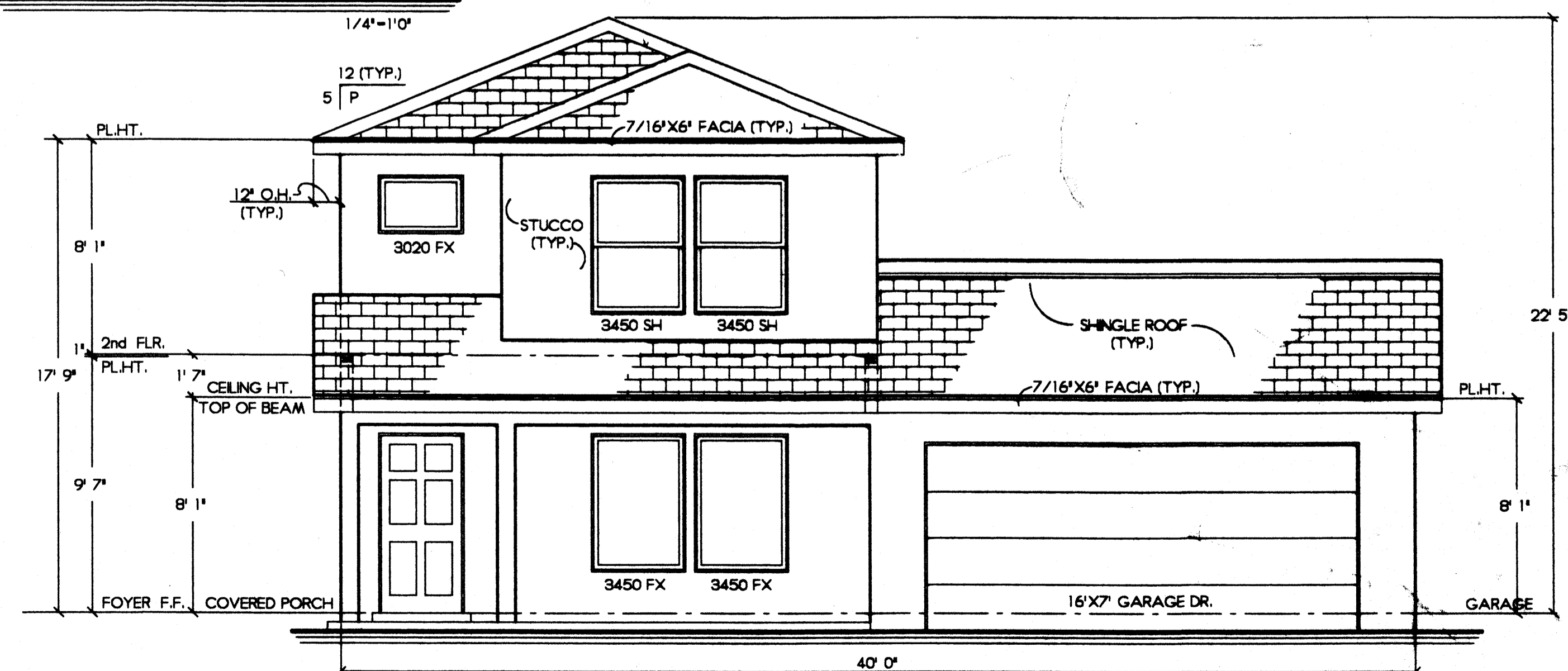
1/4"=1'0"



FRONT ELEVATION

1/4"=1'0"

ELEVATION 'A'



FRONT ELEVATION

ELEVATION 'B'

1/4"=1'0"

PLAN 81  
 PLAN: 22001  
 JOB NO.: E-PLN-81.FCD  
 COMPUTER: E-PLN-81.FCD

REVISIONS:  
 1/4"=1'0"  
 ELEVATION PLANS  
 ARTISTIC HOMES PLAN 81

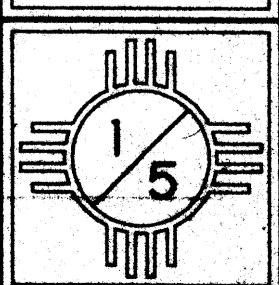
SANDIA DESIGNERS  
 298-2842  
 Albuquerque, New Mexico  
 COPYRIGHT 2002

RIDGE VIEW VILLAGE  
 SUBDIVISION

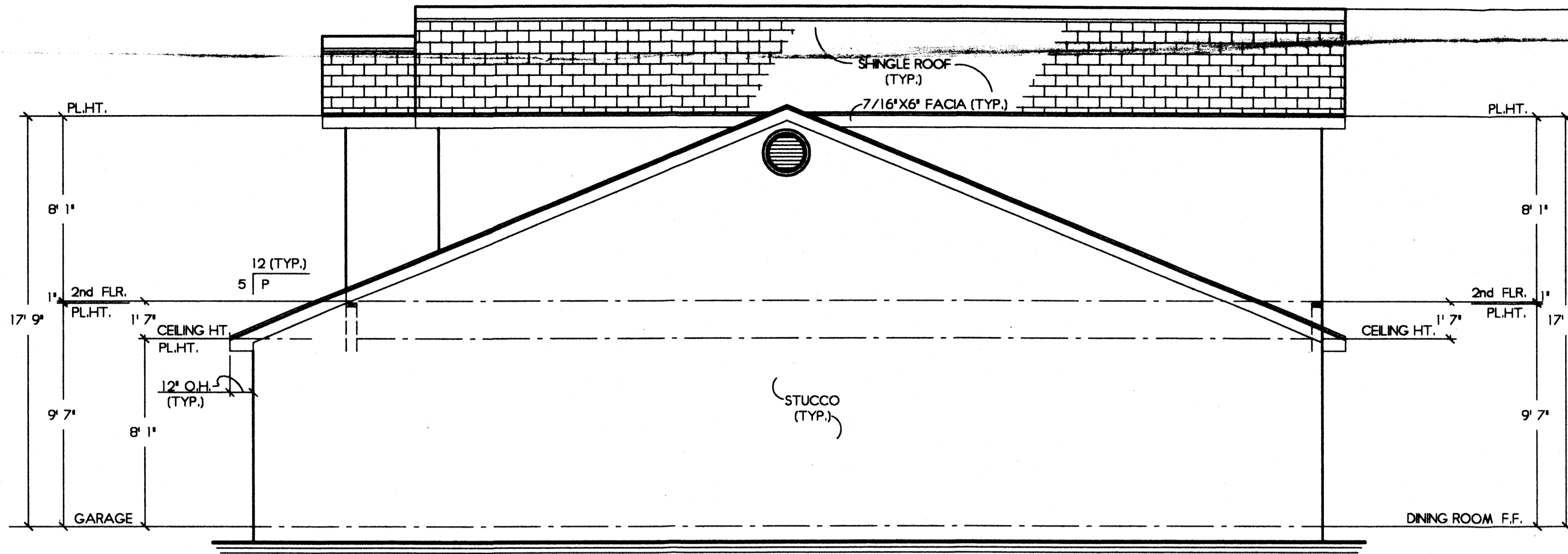
ROOF COLORS AND MATERIALS: ASPHALT SHINGLES;  
 TAMKO ROOFING PRODUCTS, SERIES: GLASS-SEAL;  
 RUSTIC SLATE, TWEEED BLEND, WEATHERED WOOD;  
 RUSTIC HICKORY, RUSTIC CEDAR, AND OXFORD GREY.  
 TRIM COLOR: WHITE  
 STUCCO COLORS: SONNEBORN: DESERT LACE, LUNA,  
 TORREON, PALOMA, AMARILLA, AND SUEDE

NOTE: WINDOW SIZE IS ROUGH OPENING

NOTE:  
 FOR FRONT ELEVATION  
 CHECK (✓) OPTION BOX  
 EXAMPLE: OPTION A

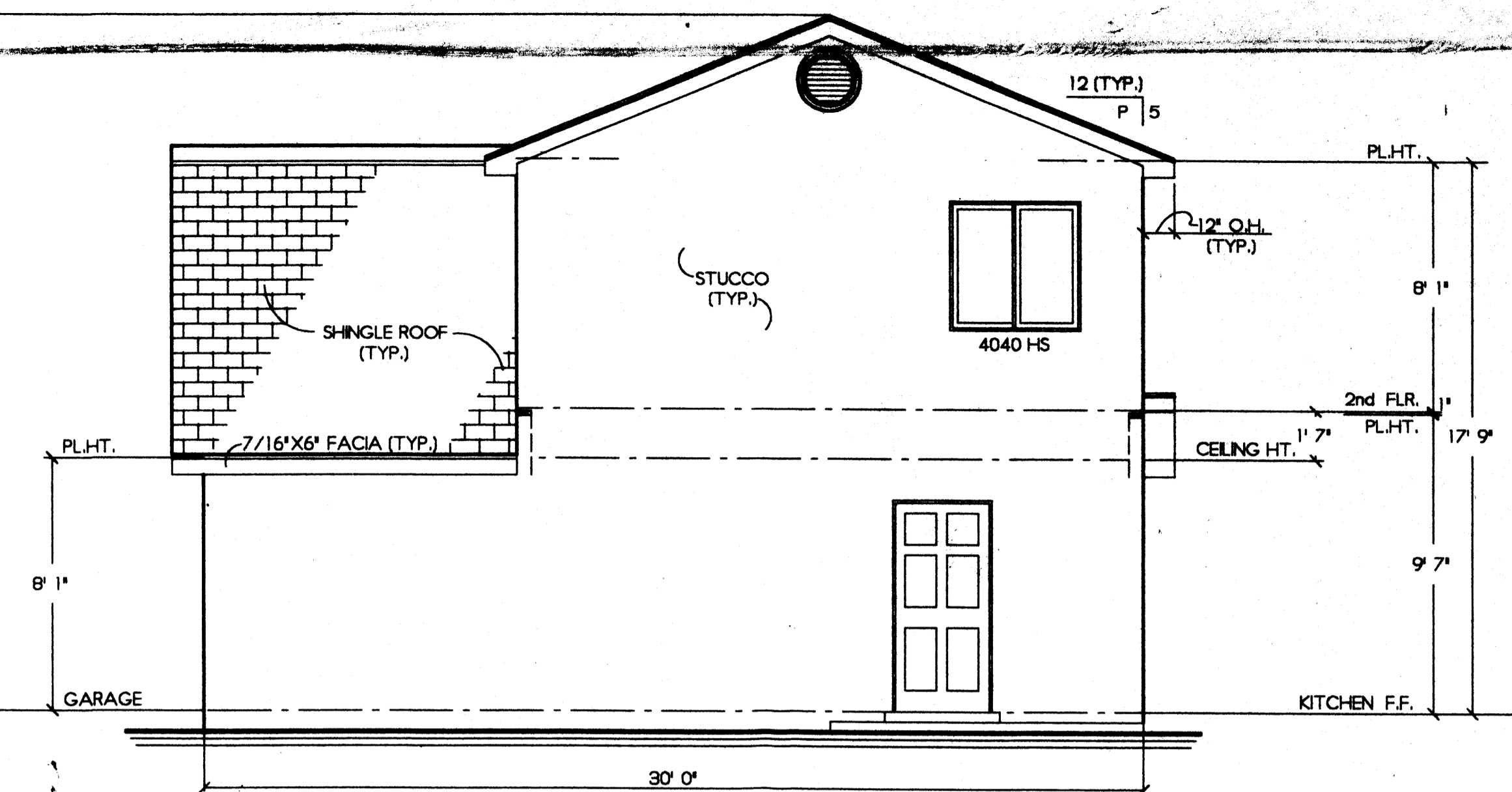






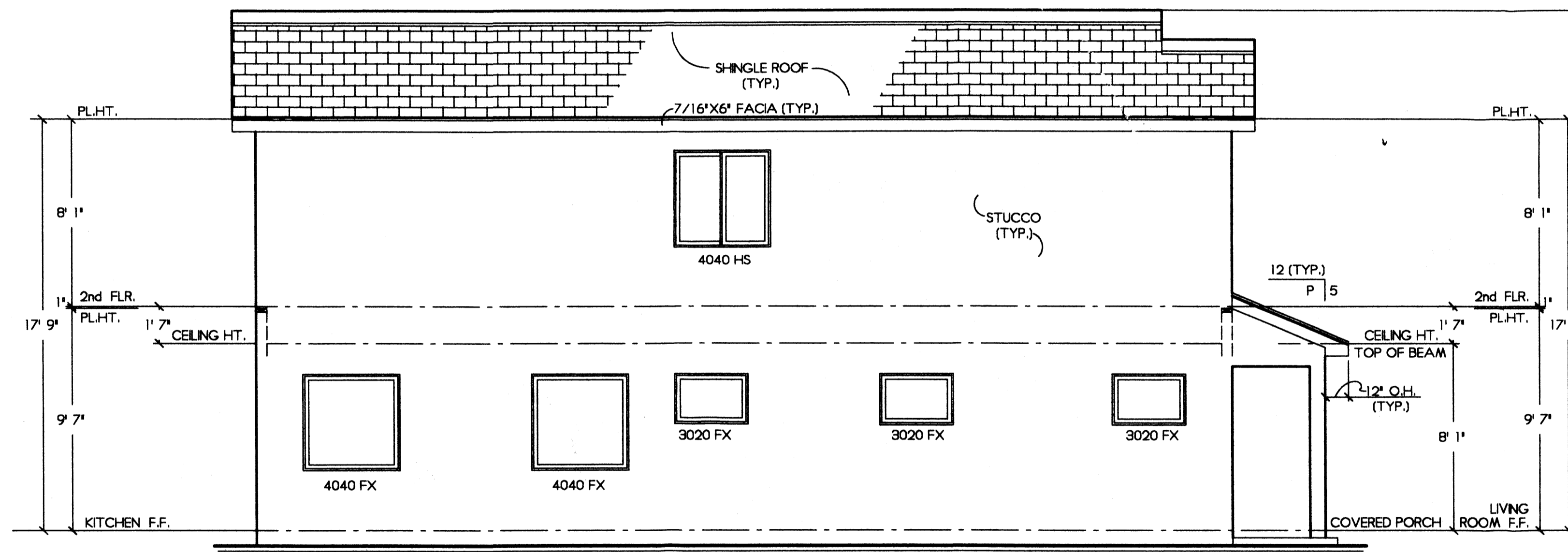
**RIGHT SIDE ELEVATION**

1/4"=1'0"



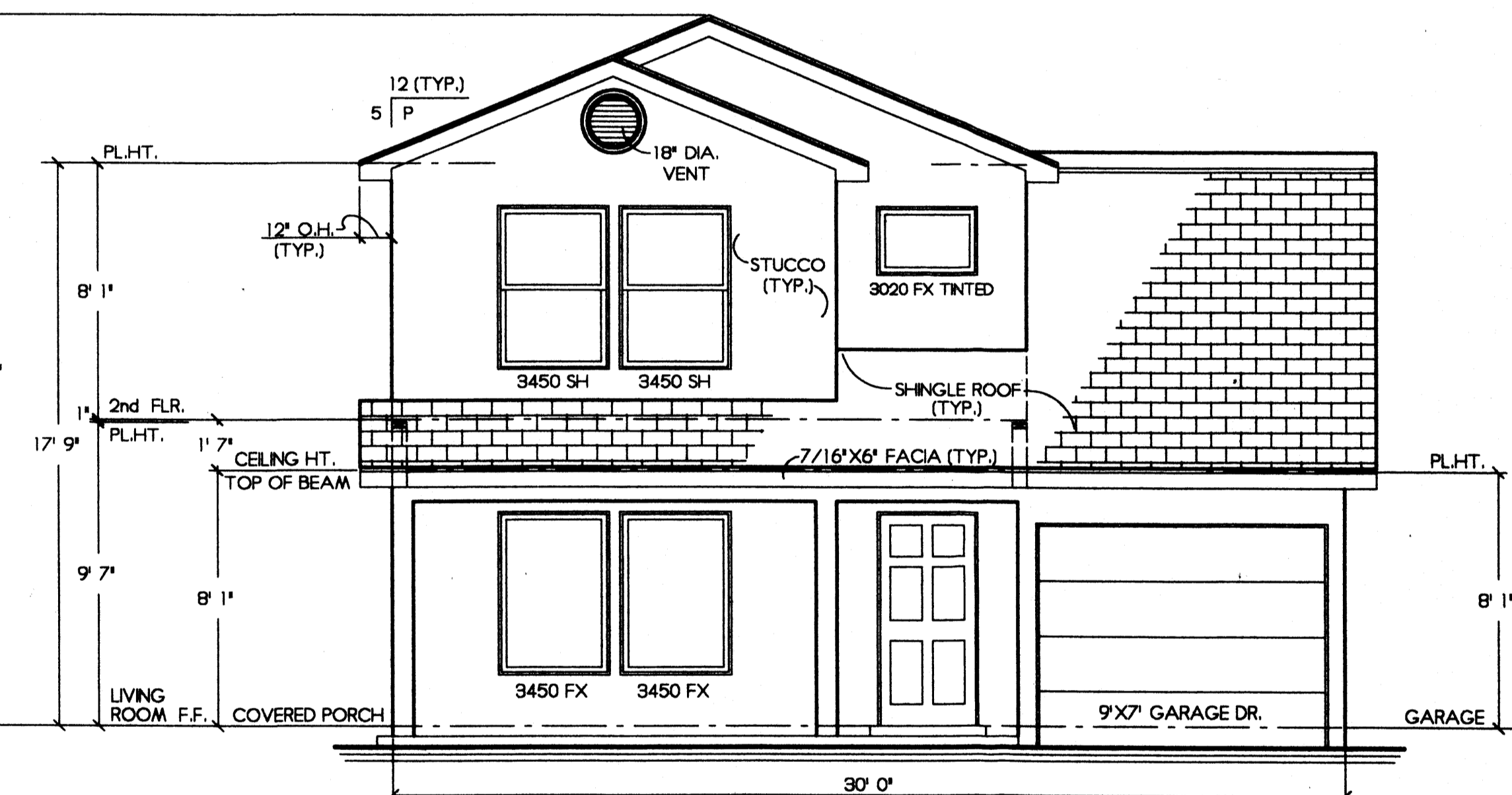
**REAR ELEVATION**

1/4"=1'0"



**LEFT SIDE ELEVATION**

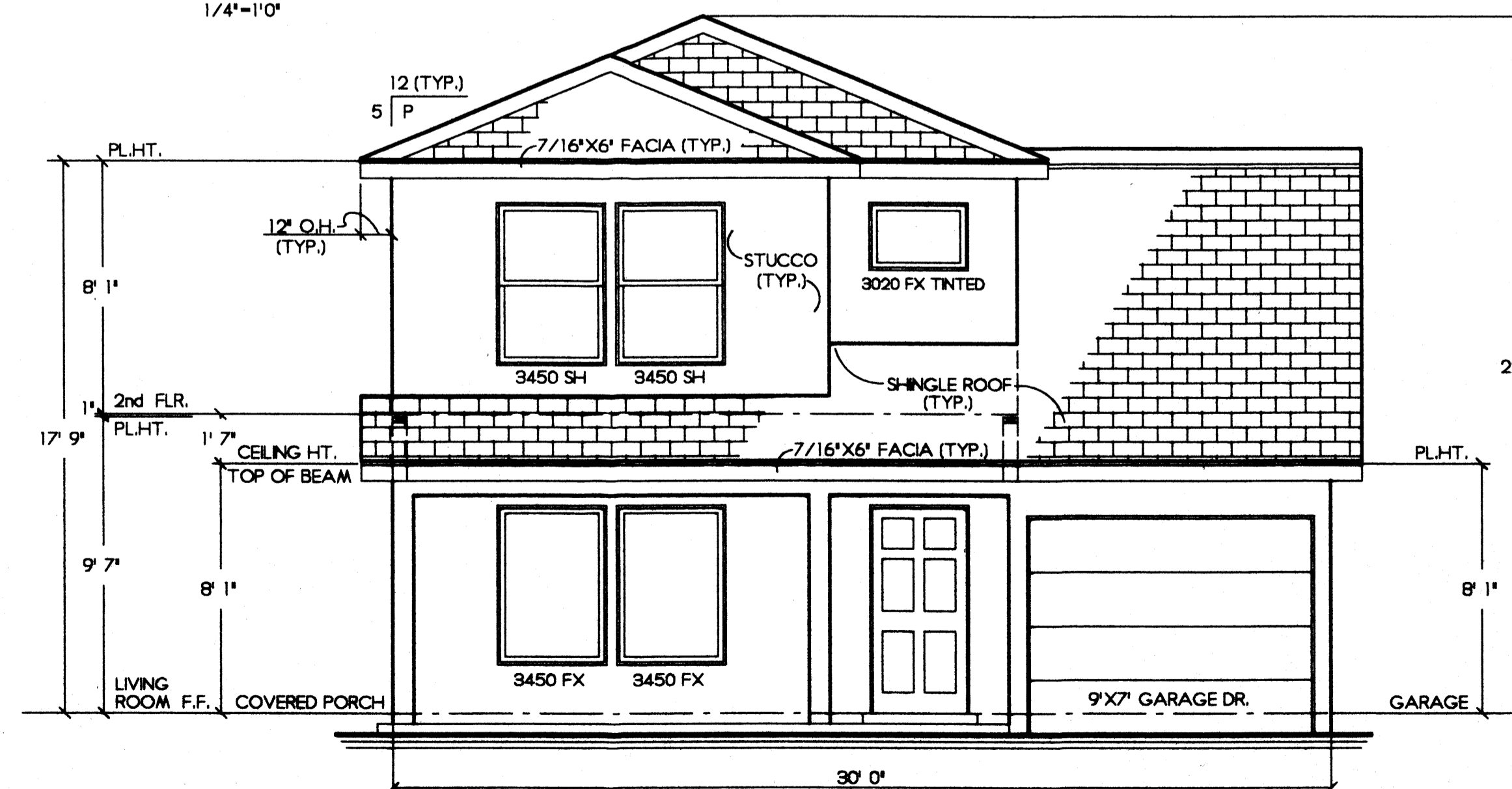
1/4"=1'0"



**FRONT ELEVATION**

1/4"=1'0"

ELEVATION 'A'



**FRONT ELEVATION**

1/4"=1'0"

ELEVATION 'B'

E-PLAN-84  
PLAN: 22028  
JOB NO.:  
COMPUTER: E-PLN-84.FCD

ARTIST'S  
1 MAY 02  
6 MAY 02

1/4"=1'0"  
E-PLAN-84

ELEVATION PLANS  
ARTISTIC HOMES

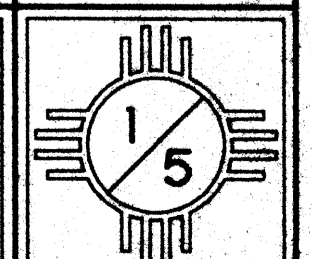
SANDIA DESIGNERS  
298-2842  
Albuquerque, New Mexico  
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**RIDGE VIEW VILLAGE SUBDIVISION**

ROOF COLORS AND MATERIALS: ASPHALT SHINGLES; TAMKO ROOFING PRODUCTS, SERIES: GLASS-SEAL; RUSTIC SLATE, TWEEED BLEND, WEATHERED WOOD; RUSTIC HICKORY, RUSTIC CEDAR, AND OXFORD GREY. TRIM COLOR: WHITE. STUCCO COLORS: SONNEBORN, DESERT LACE, LUNA, TORREON, PALOMA, AMARILLA, AND SUEDE.

NOTE: WINDOW SIZE IS ROUGH OPENING

**NOTE:**  
FOR FRONT ELEVATION  
CHECK (✓) OPTION BOX   
EXAMPLE: OPTION A



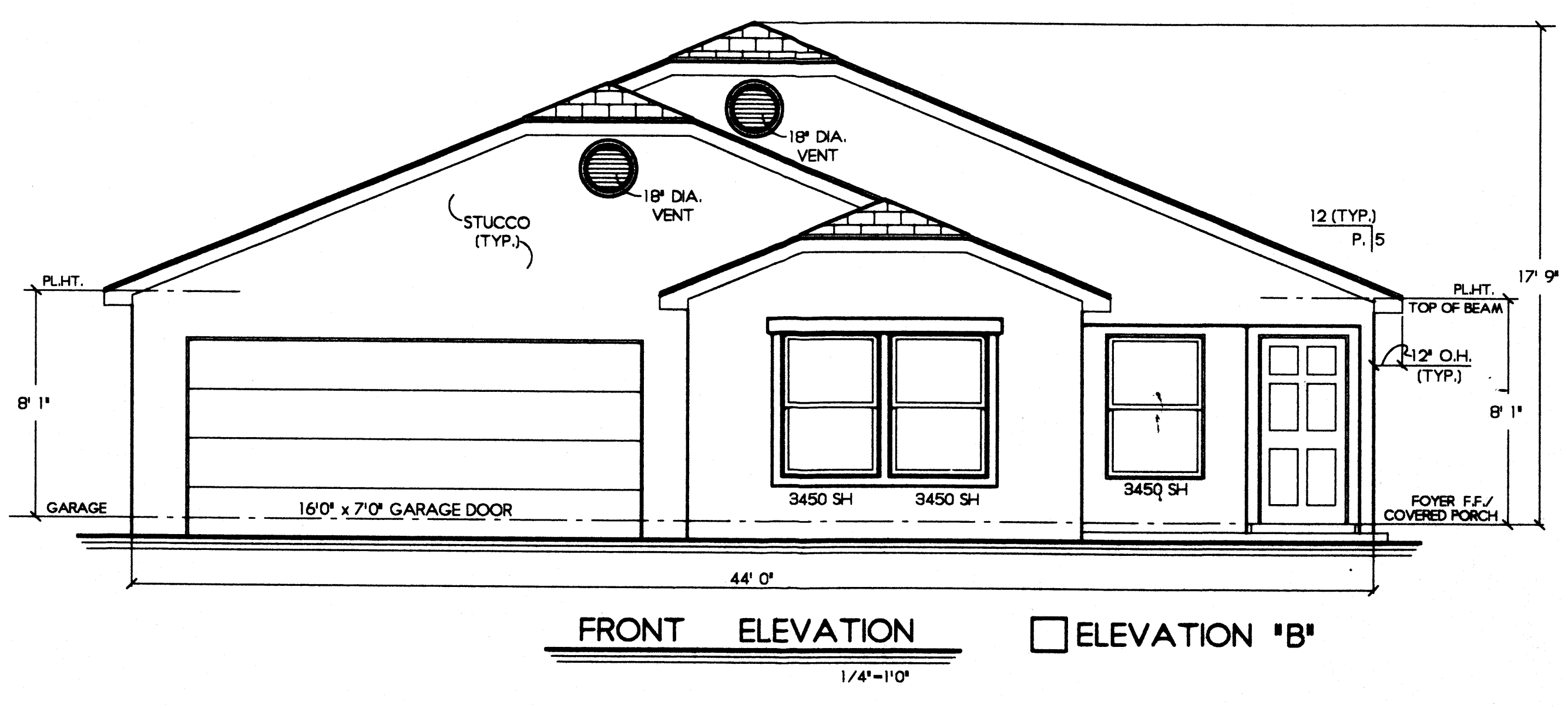
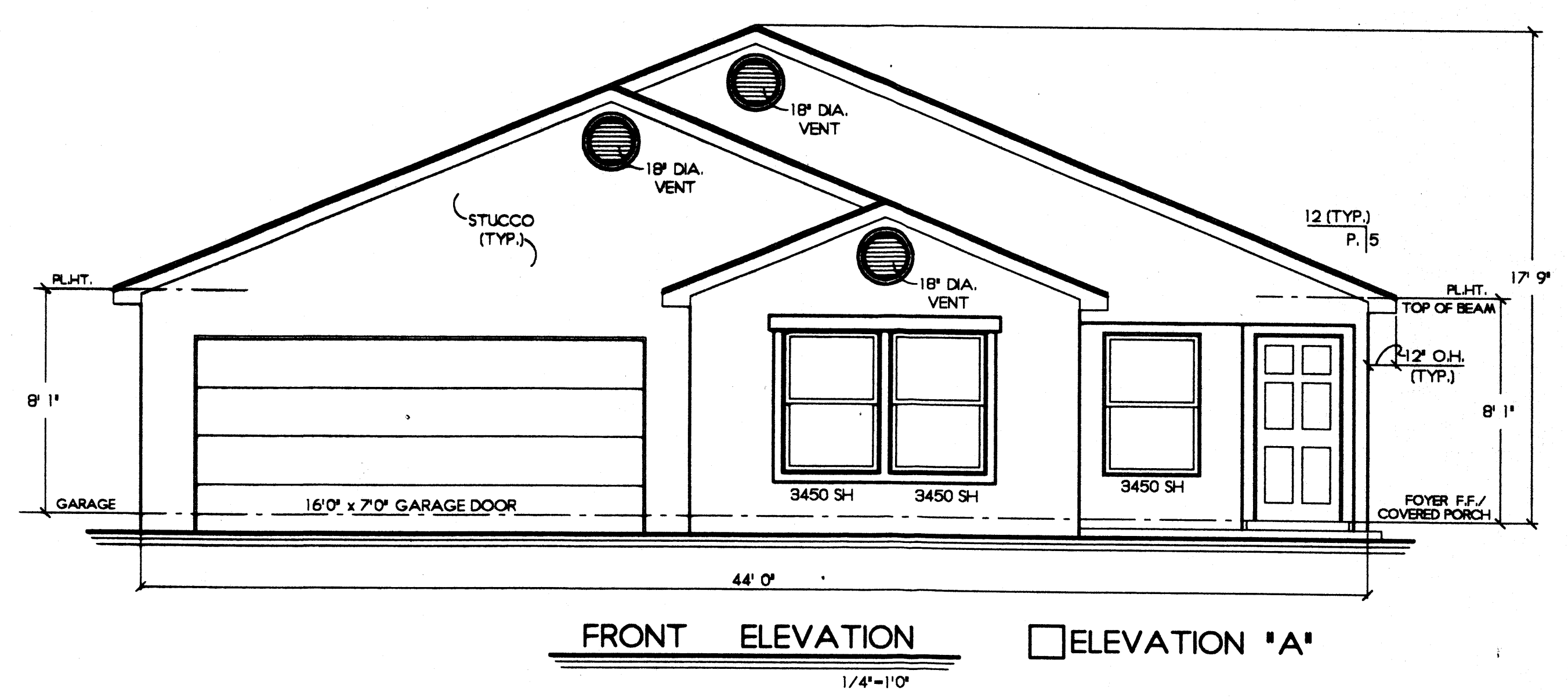
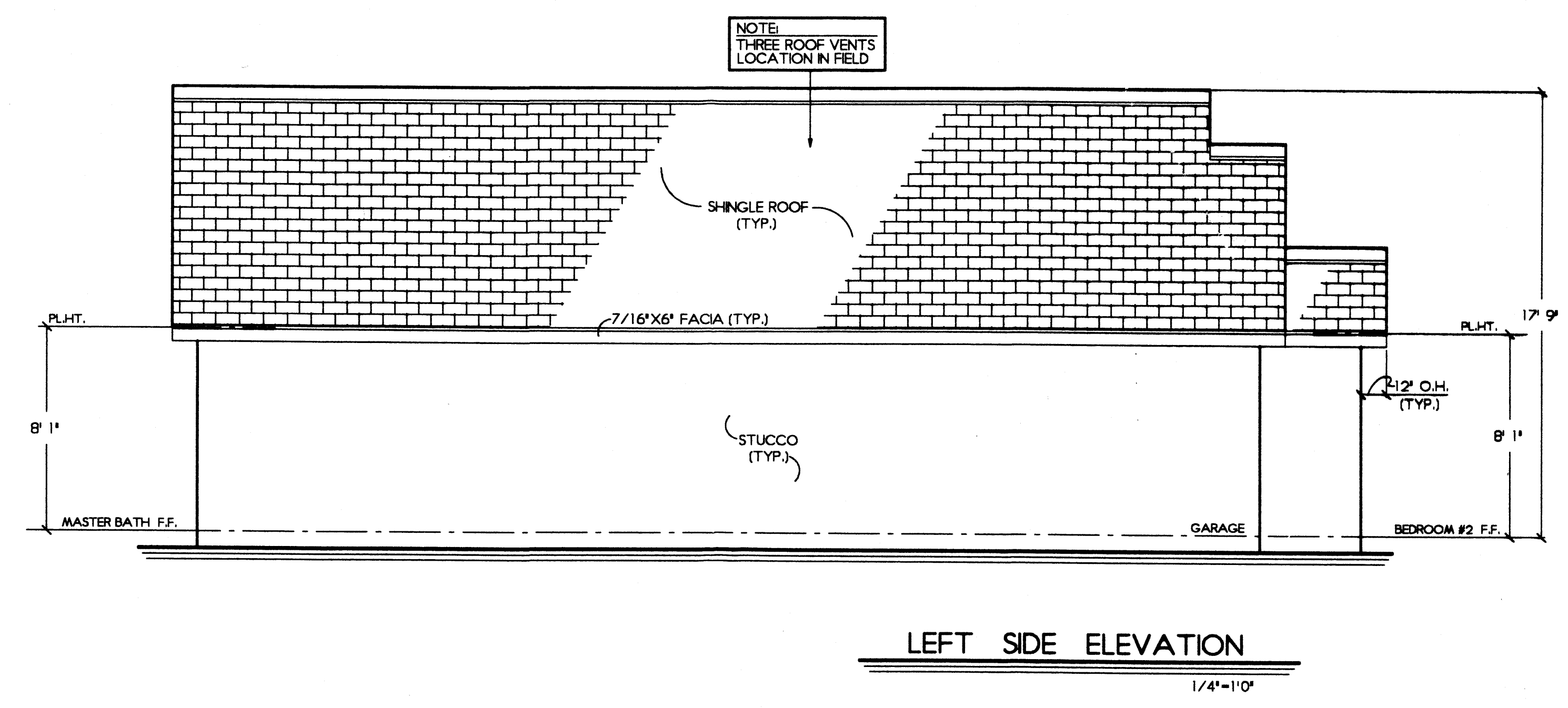
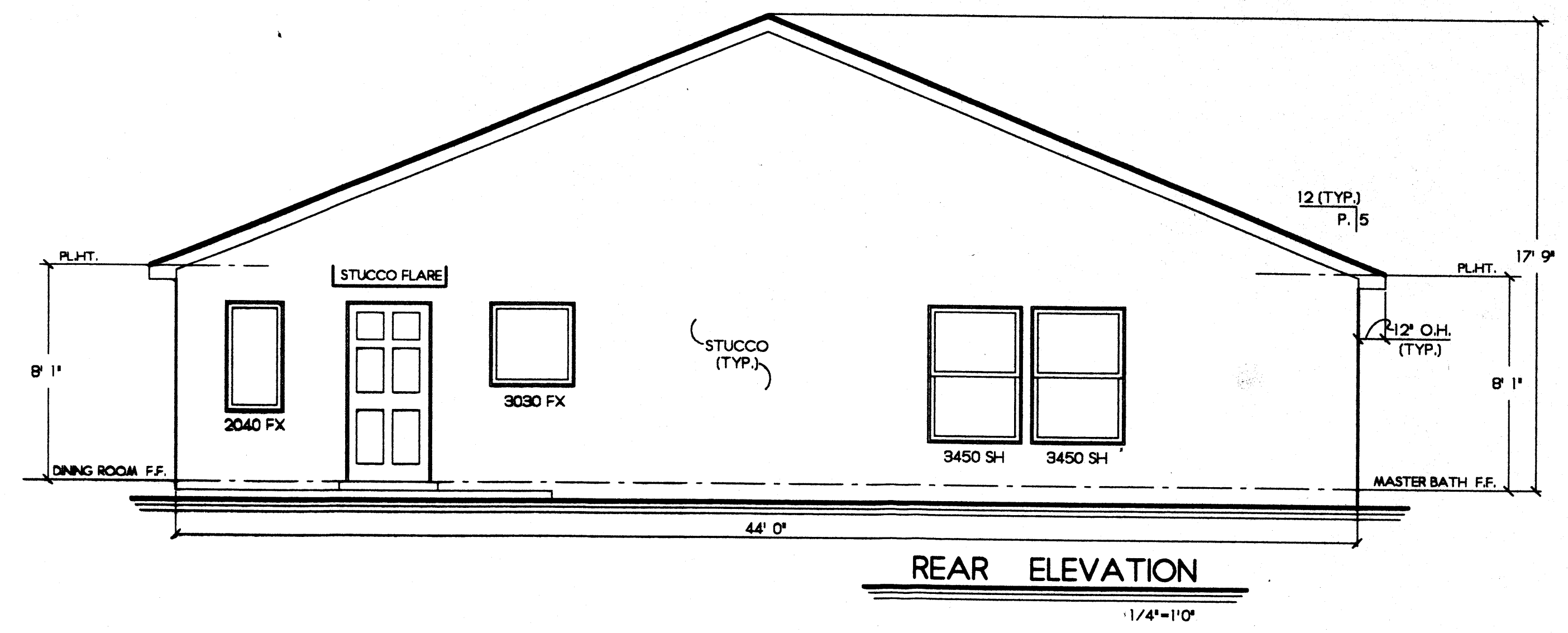
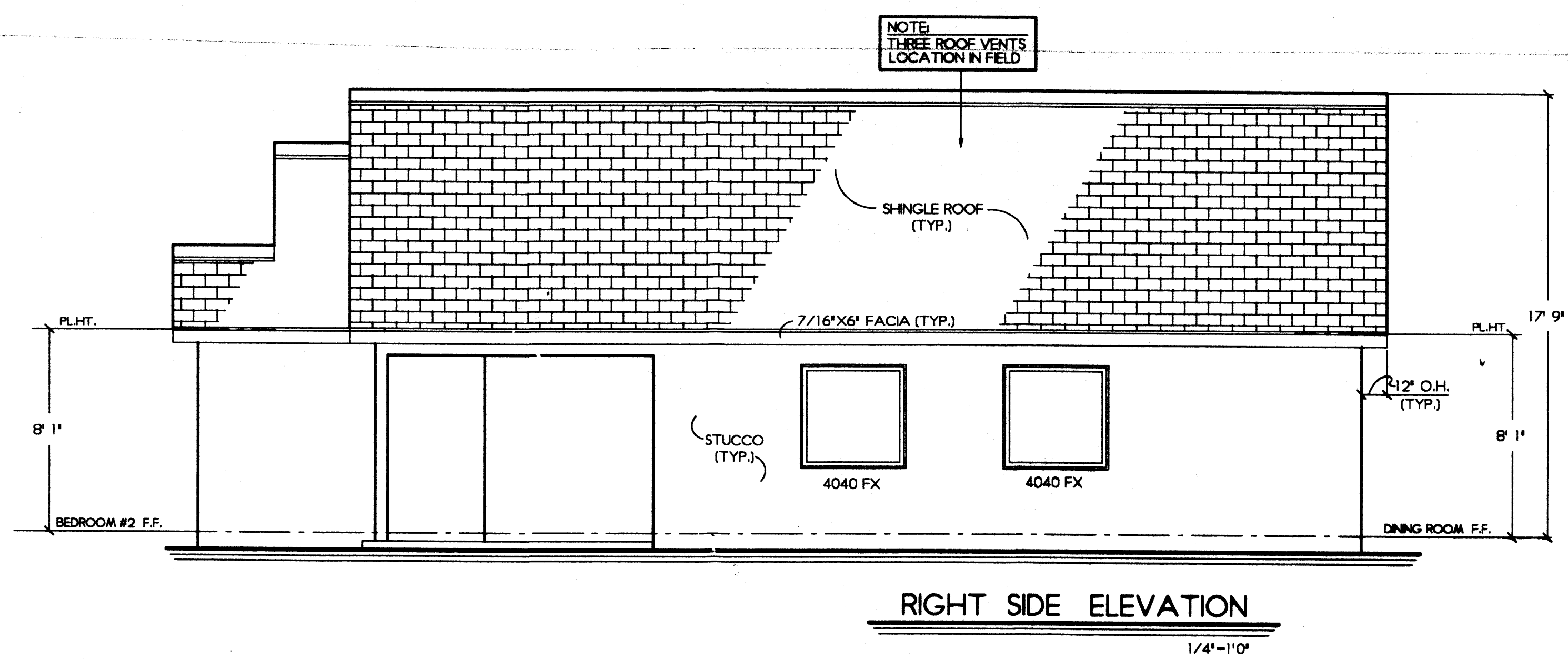
PLAN	00
PLAN NO.	21021
JOB NO.	PH-LFCD
COMPUTER	

REVISED	
25 APR 02	
30 APR 02	
03 MAY 02	

1/4"=1'0"  
PLAN 100

ELEVATION PLANS  
ARTISTIC HOMES

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Albuquerque, New Mexico  
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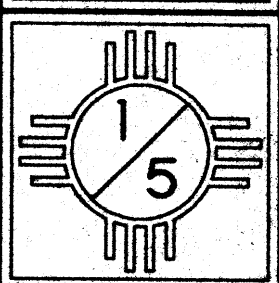


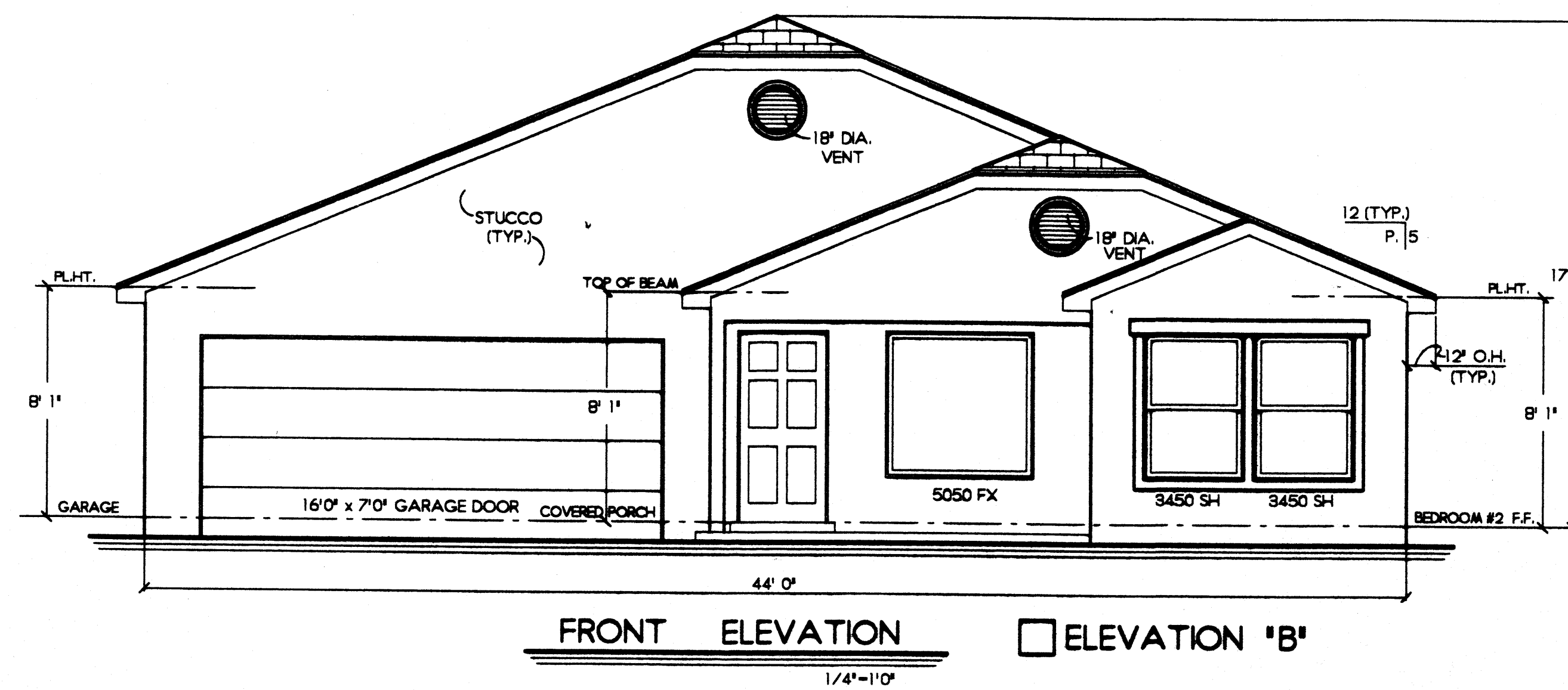
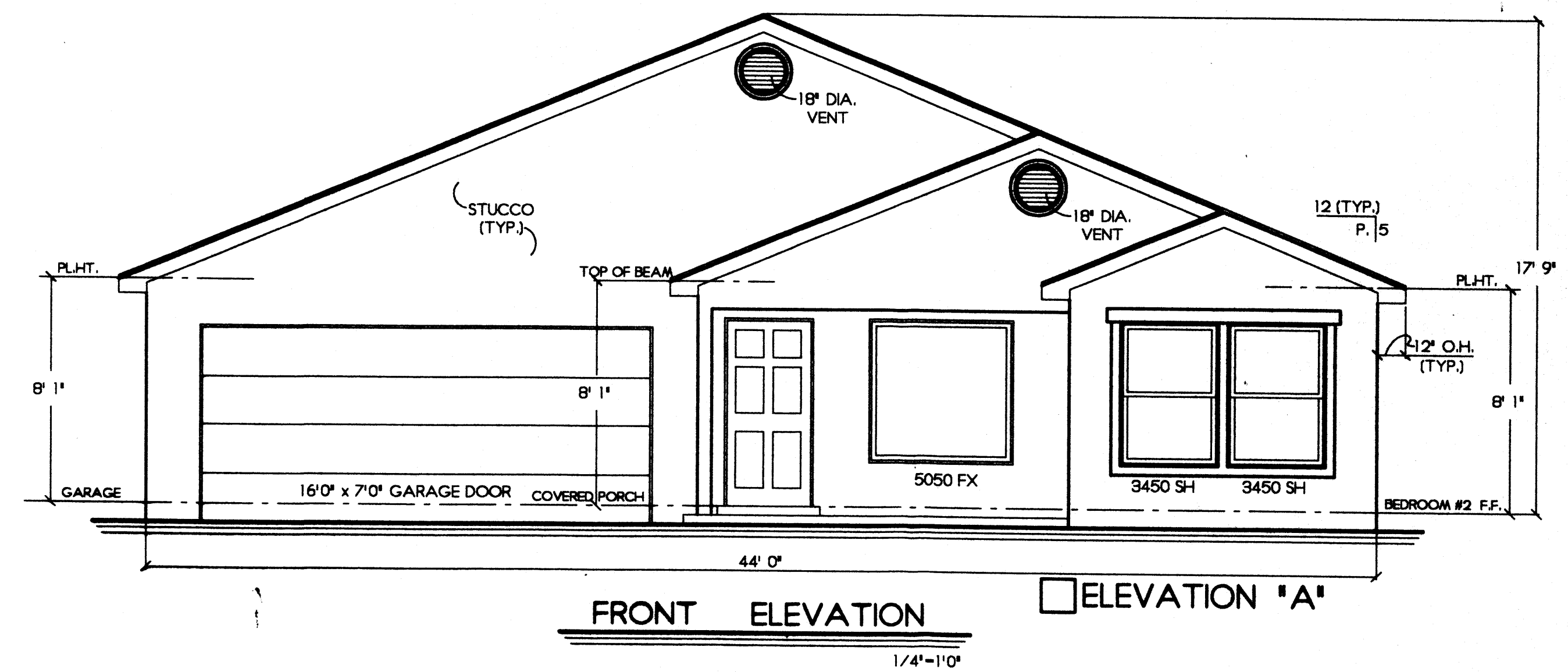
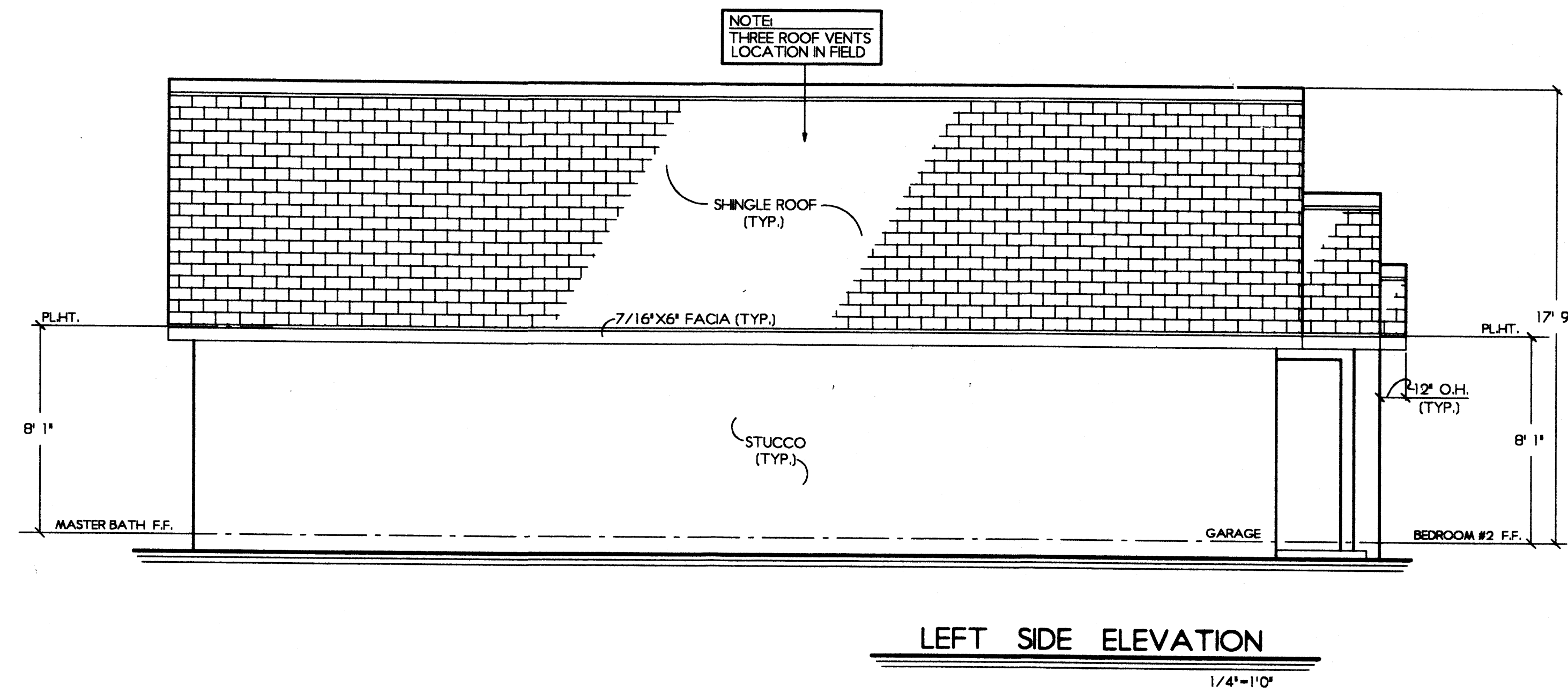
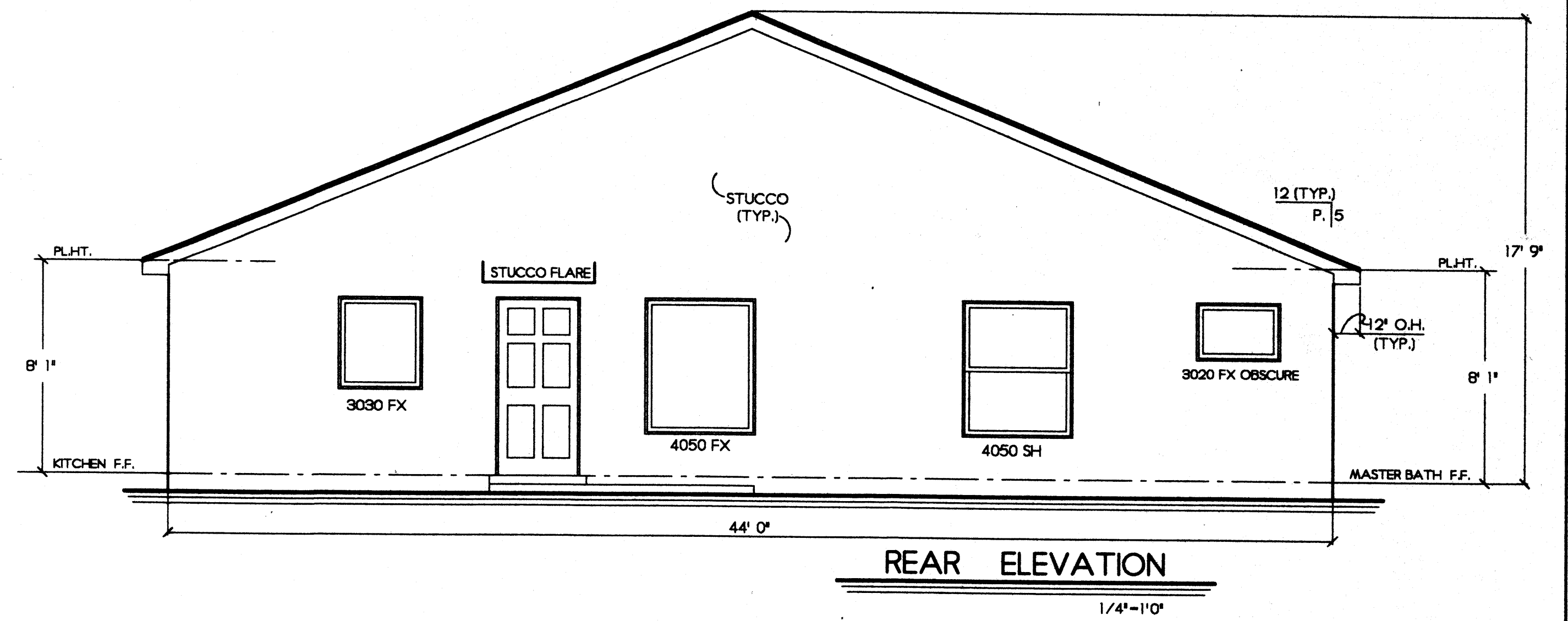
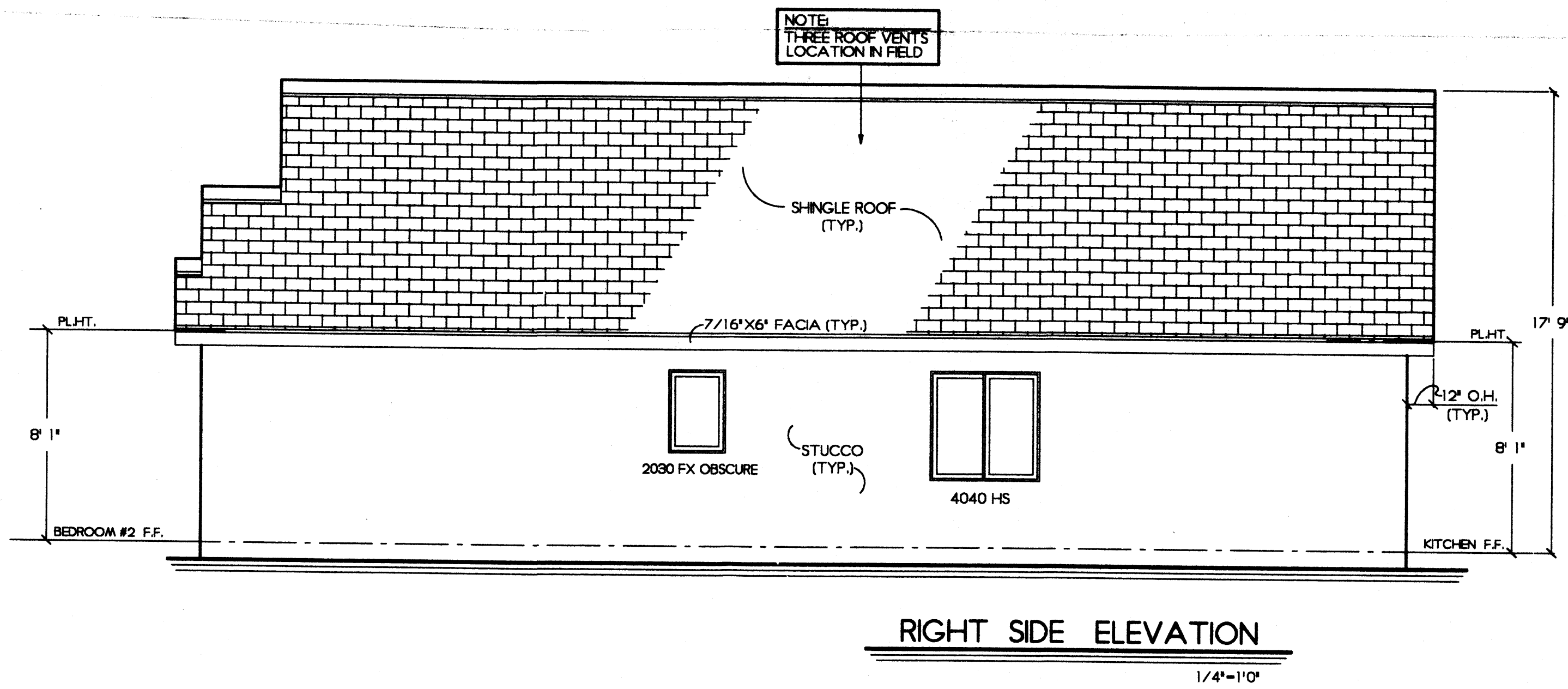
**RIDGE VIEW VILLAGE  
SUBDIVISION**

ROOF COLORS AND MATERIALS: ASPHALT SHINGLES:  
TAMKO ROOFING PRODUCTS, SERIES: GLASS-SEAL;  
RUSTIC SLATE, TWEED BLEND, WEATHERED WOOD,  
RUSTIC HICKORY, RUSTIC CEDAR, AND OXFORD GREY.  
TRIM COLOR: WHITE  
STUCCO COLORS: BONNEBORN, DESERT LACE, LUNA,  
TORREON, PALOMA, AMARILLA, AND SUEDE.

NOTE: WINDOW SIZE IS ROUGH OPENING

**NOTE:**  
FOR FRONT ELEVATION  
CHECK (✓) OPTION BOX   
EXAMPLE: OPTION A





PLAN: PLAN 101  
JOB NO.: 21022  
COMPUTER: PLINDIFCD

1/4"=1'0"  
PLAN 101

ELEVATION PLANS  
ARTISTIC HOMES

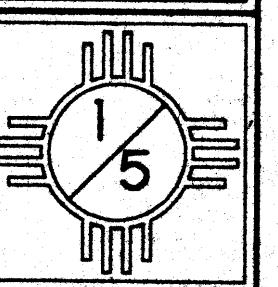
SANDIA DESIGNERS  
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Albuquerque, New Mexico  
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RIDGE VIEW VILLAGE  
SUBDIVISION

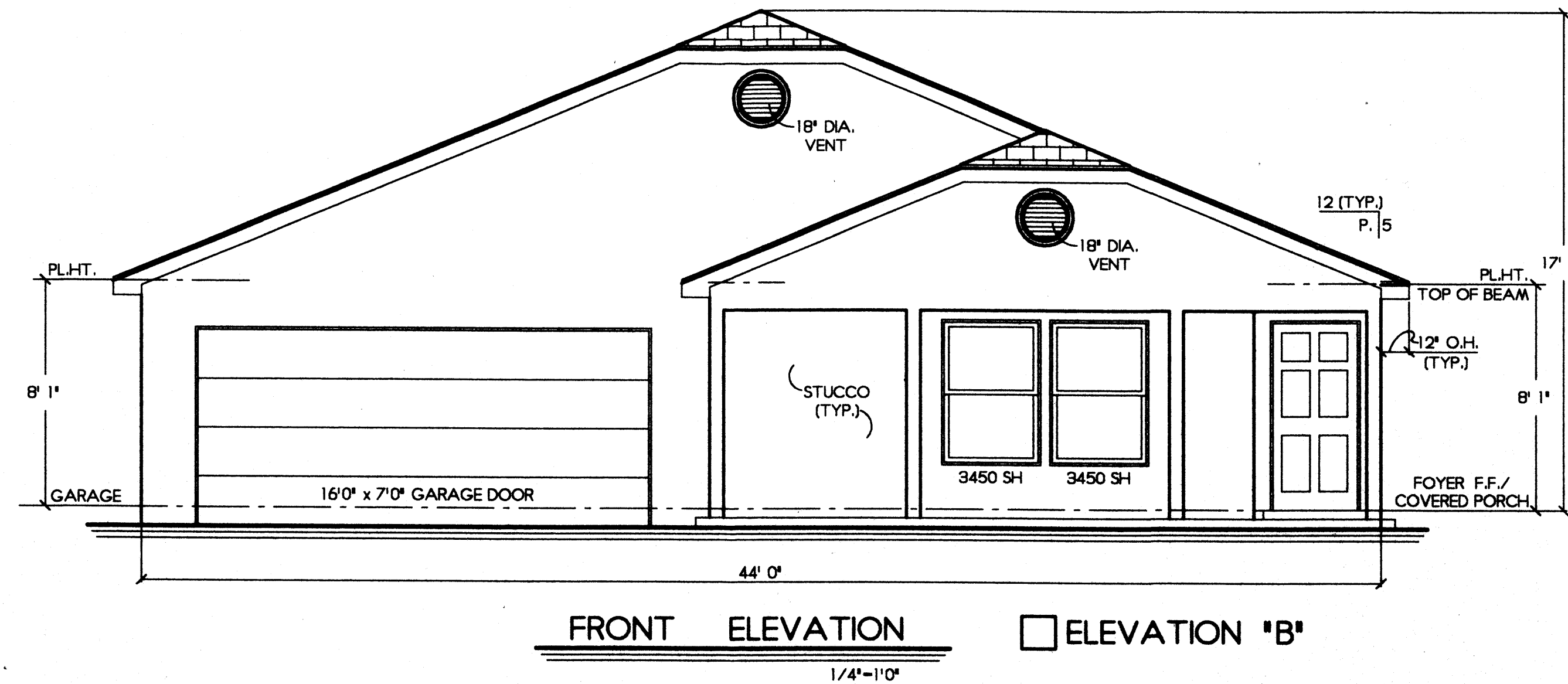
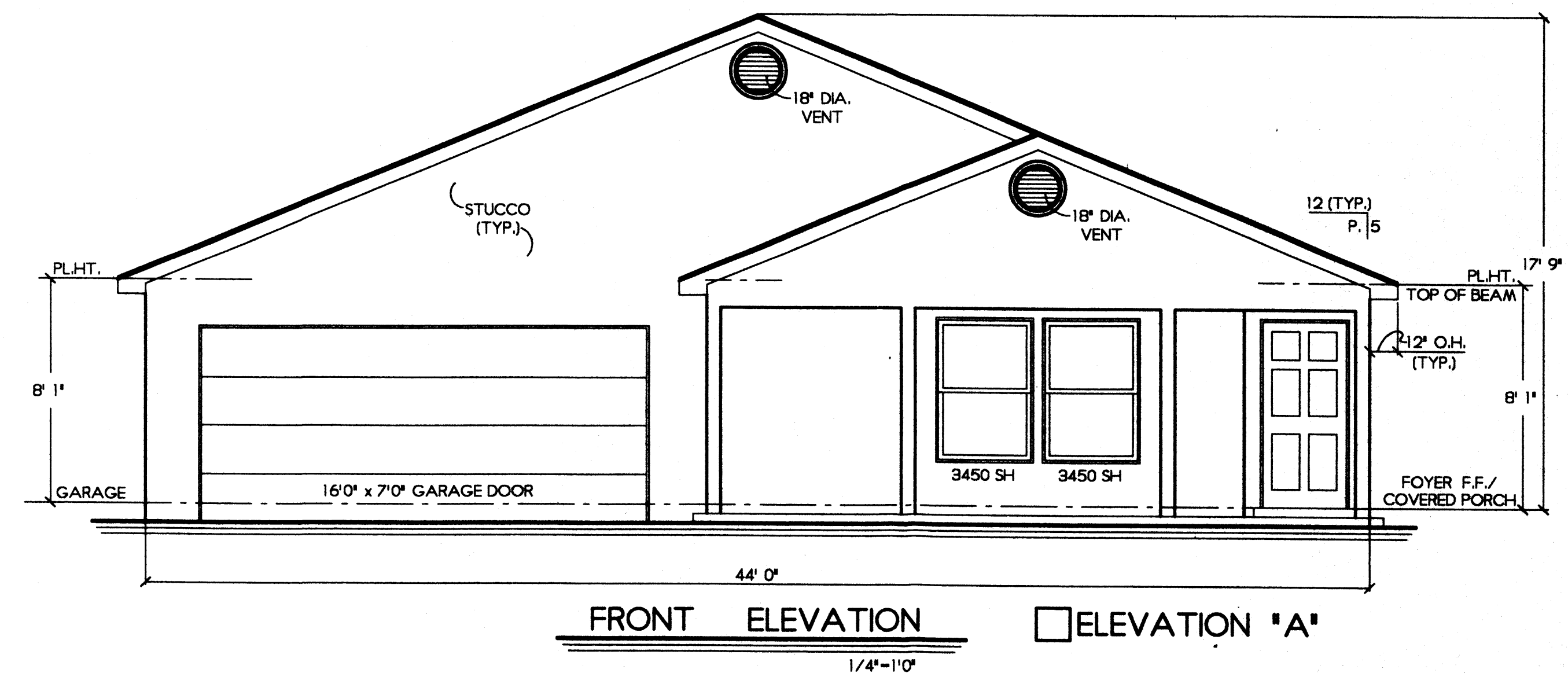
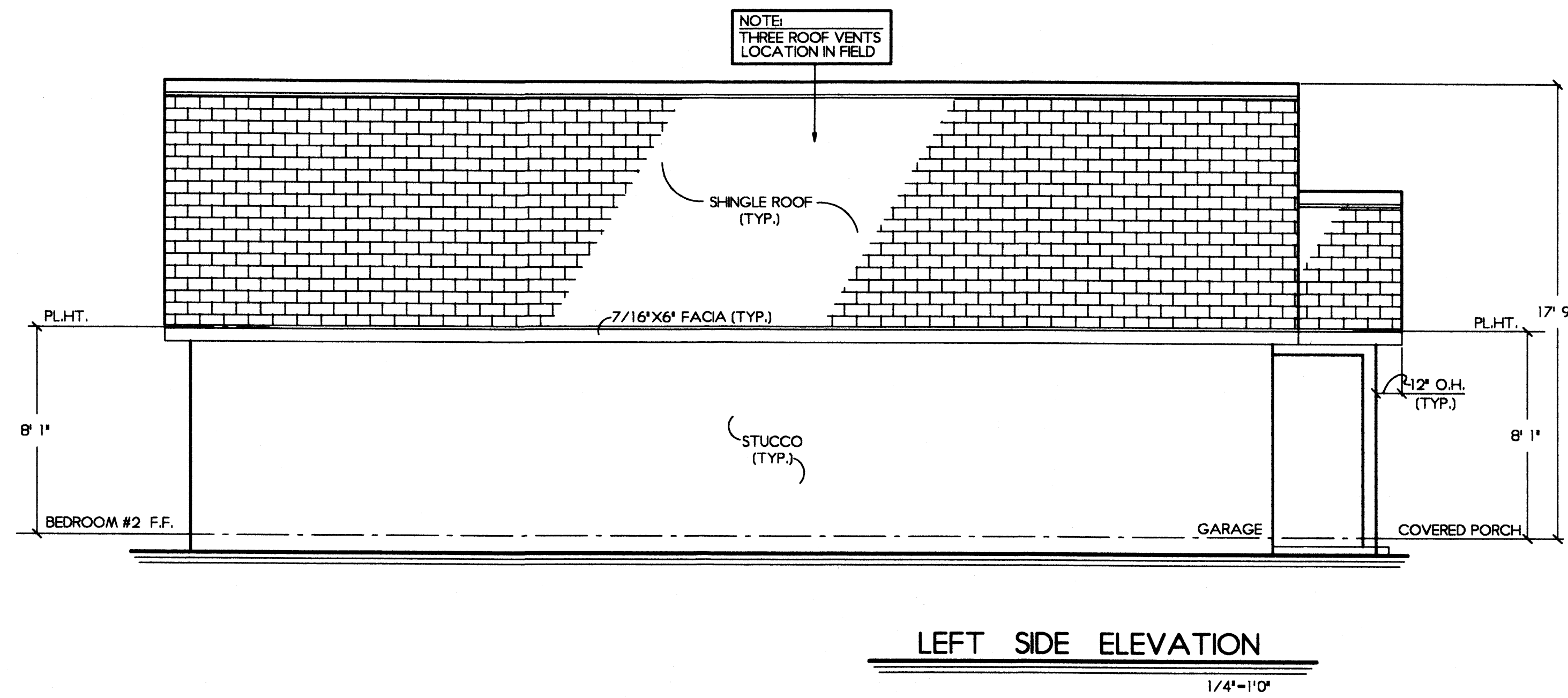
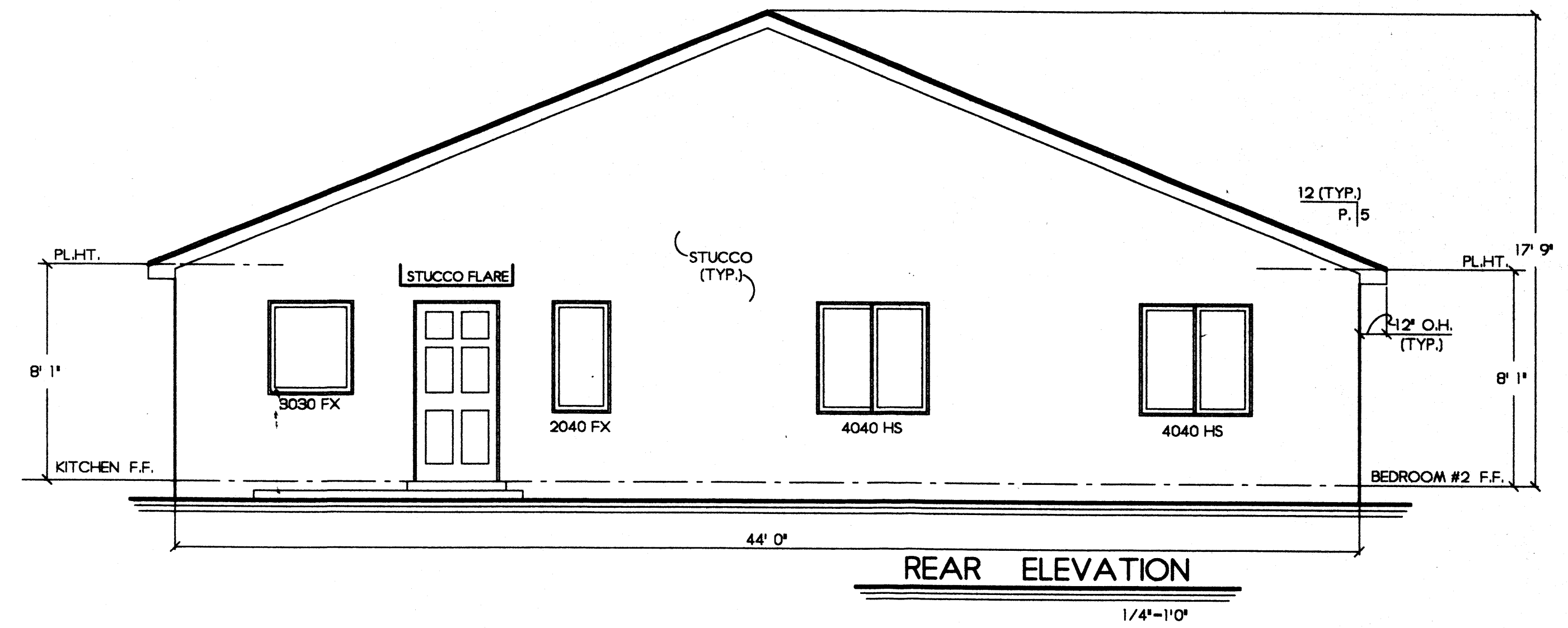
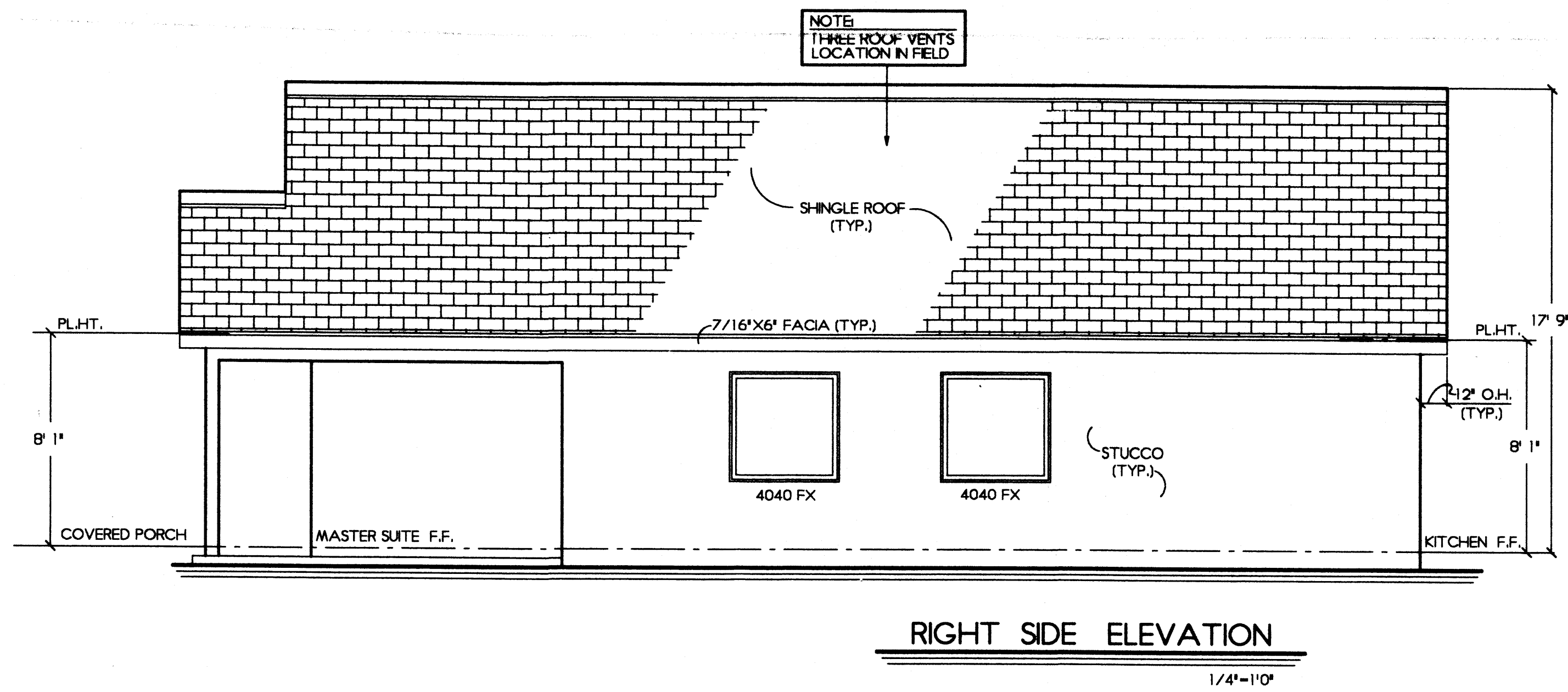
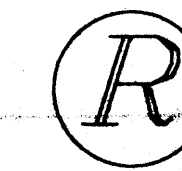
ROOF COLORS AND MATERIALS: ASPHALT SHINGLES:  
TAMKO ROOFING PRODUCTS, SERIES: GLASS-SEAL:  
RUSTIC SLATE, TWEED BLEND, WEATHERED WOOD,  
RUSTIC HICKORY, RUSTIC CEDAR, AND OXFORD GREY.  
TRIM COLOR: WHITE  
STUCCO COLORS: SONNEBORN, DESERT LACE, LUNA,  
TORREON, PALOMA, AMARILLA, AND SUEDE.

NOTE: WINDOW SIZE IS ROUGH OPENING

NOTE:  
FOR FRONT ELEVATION  
CHECK (✓) OPTION BOX   
EXAMPLE: OPTION A



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PLAN: PLAN 102

JOB NO.: 21023

COMPUTER: PLAN02.FCD

REVISED: 25 APRIL 02

01 MAY 02

06 MAY 02

1/4"=1'0"

PLAN 102

ELEVATION PLANS

ARTISTIC HOMES

SANDIA DESIGNERS

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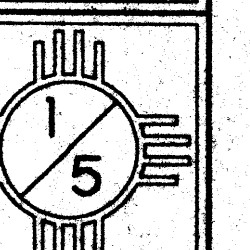
**RIDGE VIEW VILLAGE SUBDIVISION**

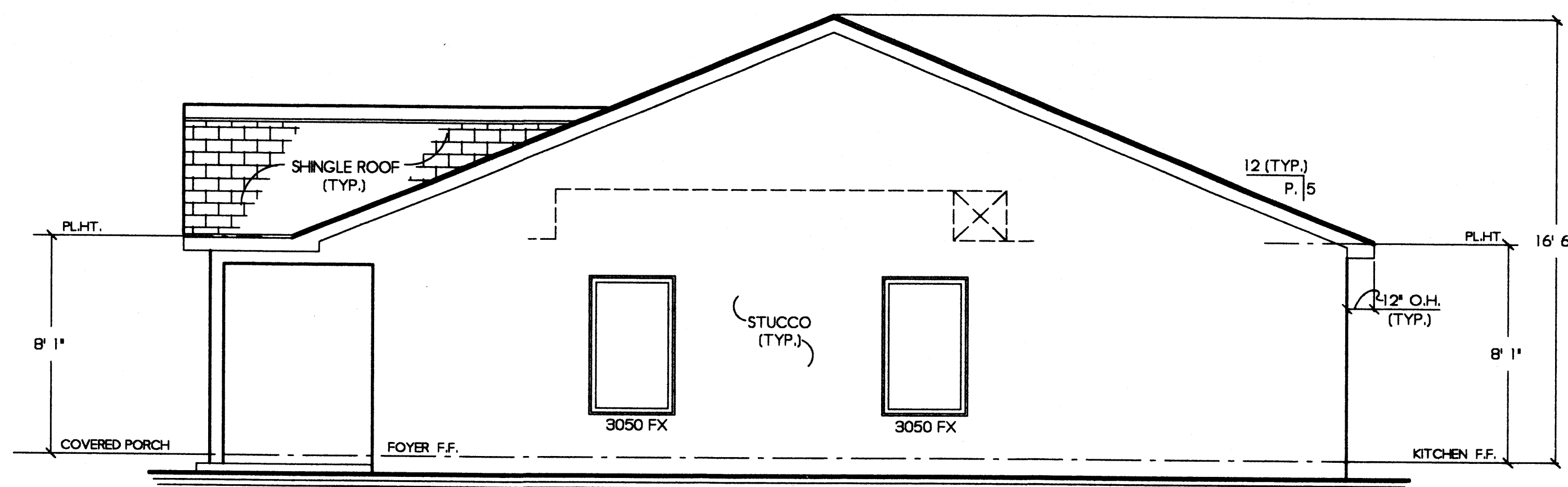
ROOF COLORS AND MATERIALS: ASPHALT SHINGLES: TAMKO ROOFING PRODUCTS, SERIES: GLASS SEAL; RUSTIC SLATE, TWEED BLEND, WEATHERED WOOD; RUSTIC HICKORY, RUSTIC CEDAR, AND OXFORD GREY. TRIM COLOR: WHITE. STUCCO COLORS: SONNEBORN: DESERT LACE, LUNA, TORREON, PALOMA, AMARILLA, AND SUEDE.

NOTE: WINDOW SIZE IS ROUGH OPENING

**NOTE:**

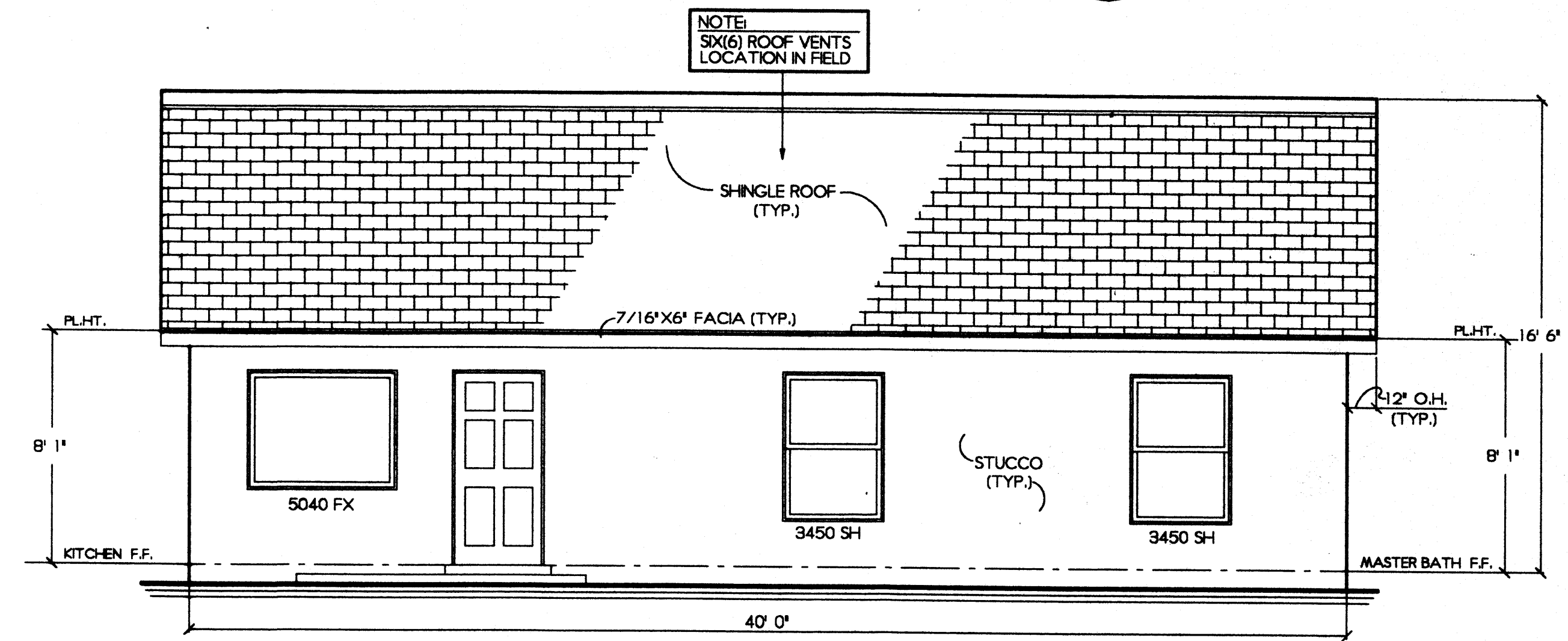
FOR FRONT ELEVATION  
CHECK (✓) OPTION BOX  
EXAMPLE: OPTION A





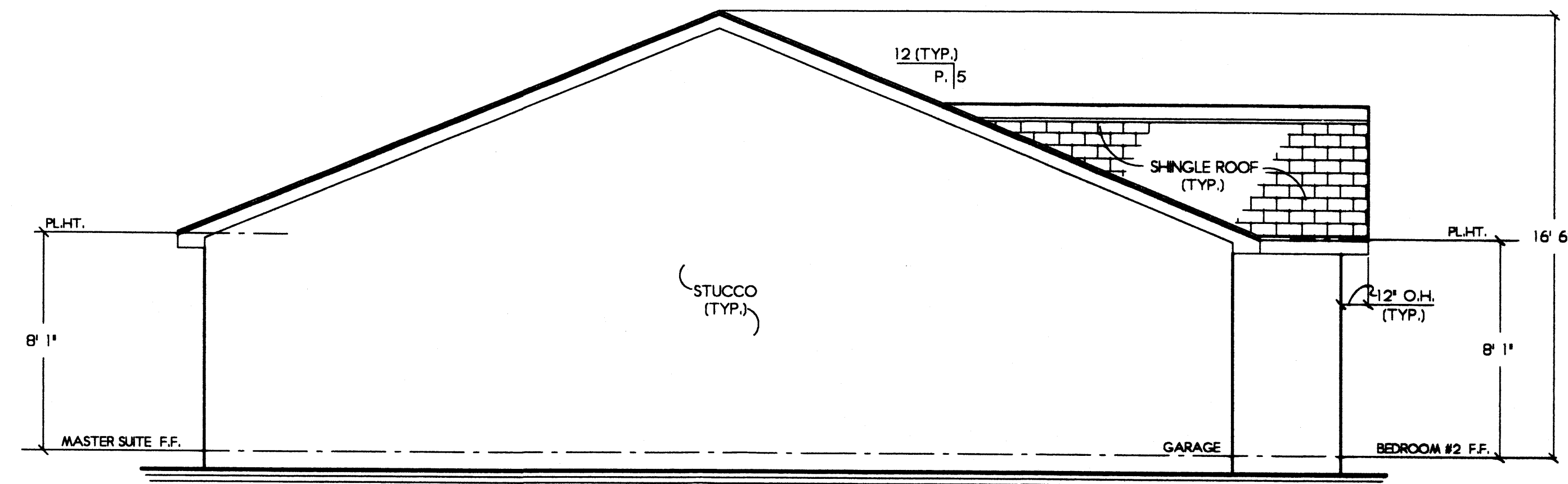
RIGHT SIDE ELEVATION

1/4"=1'0"



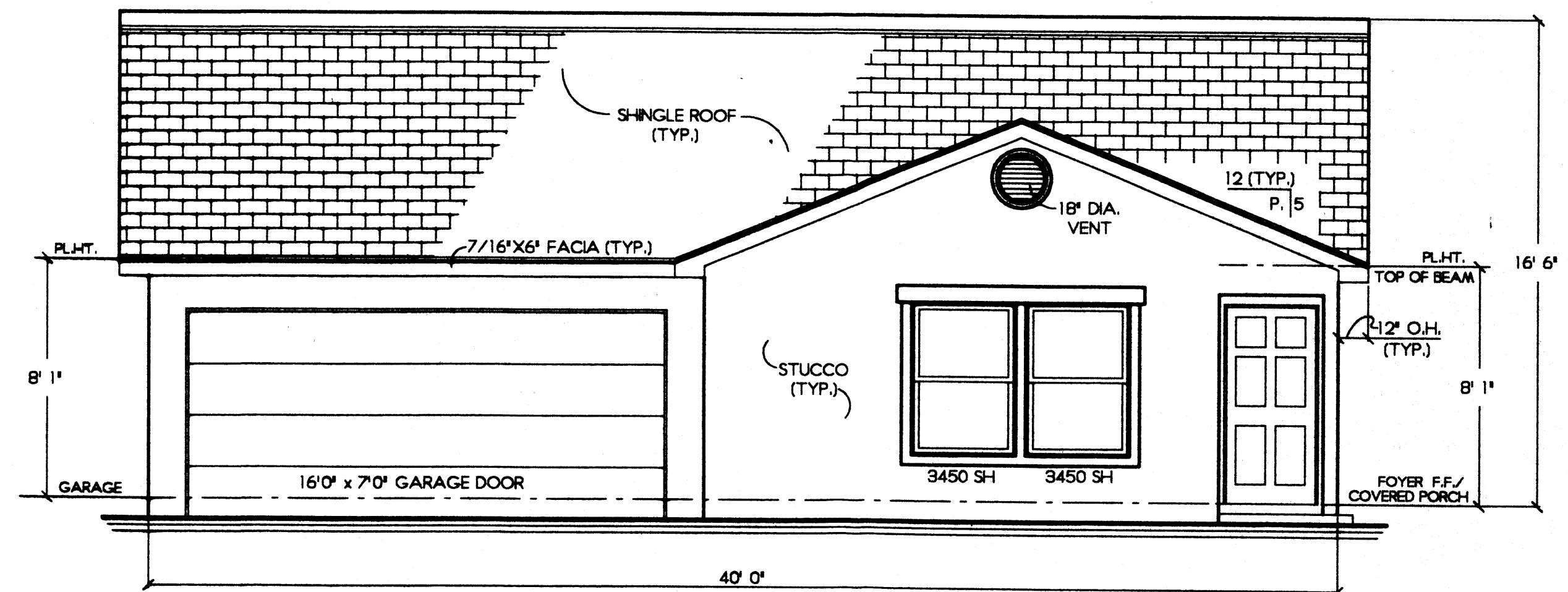
REAR ELEVATION

1/4"=1'0"



LEFT SIDE ELEVATION

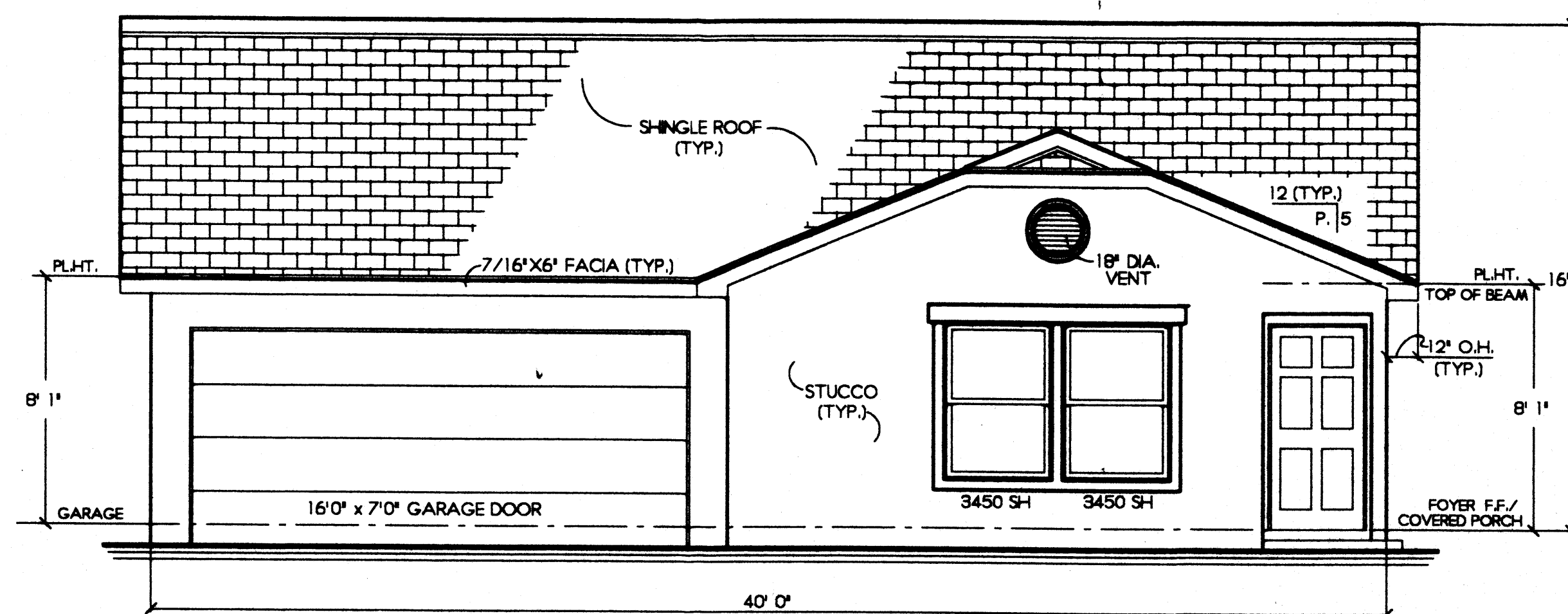
1/4"=1'0"



FRONT ELEVATION

1/4"=1'0"

ELEVATION 'A'



FRONT ELEVATION

1/4"=1'0"

ELEVATION 'B'

RIDGE VIEW VILLAGE SUBDIVISION

ROOF COLORS AND MATERIALS: ASPHALT SHINGLES:  
 TAMKO ROOFING PRODUCTS, SERIES: GLASS-SEAL:  
 RUSTIC SLATE, TWEED BLEND, WEATHERED WOOD,  
 RUSTIC HICKORY, RUSTIC CEDAR, AND OXFORD GREY.  
 TRIM COLOR: WHITE  
 STUCCO COLORS: SONNEBORN: DESERT LACE, LUNA,  
 TORREON, PALOMA, AMARILLA, AND SUEDA.

NOTE: WINDOW SIZE IS ROUGH OPENING

NOTE:

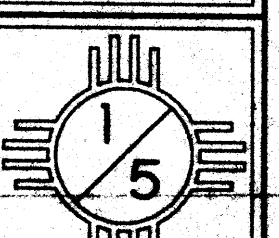
FOR FRONT ELEVATION  
 CHECK (✓) OPTION BOX   
 EXAMPLE: OPTION A

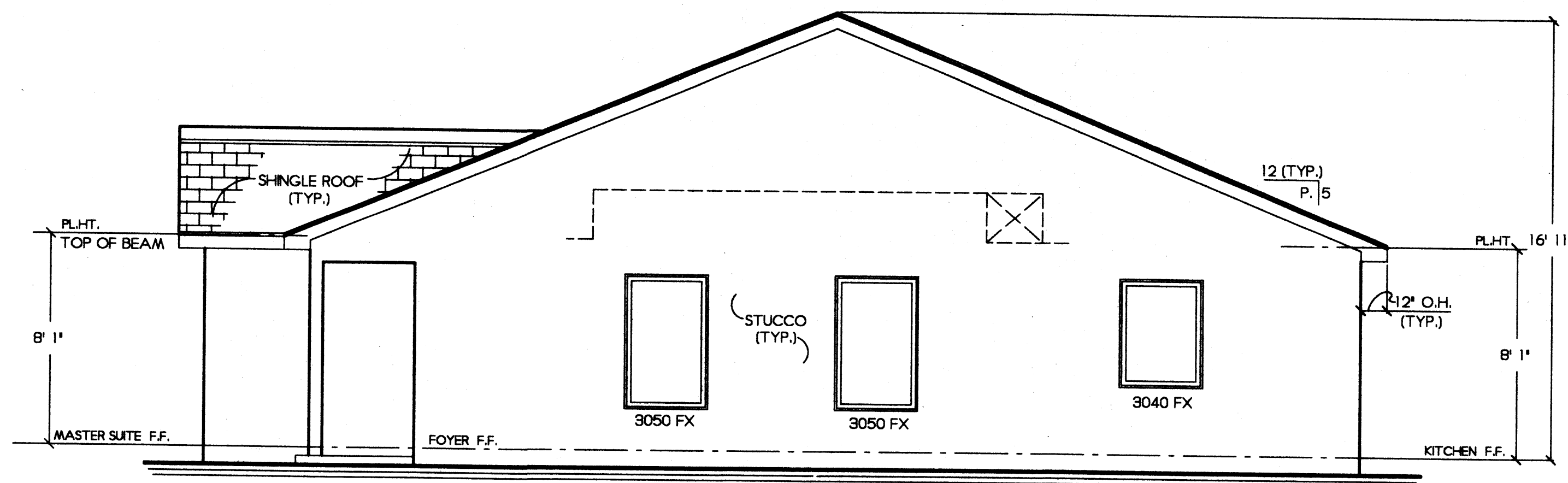
PLAN: PLAN 104
JOB NO.: 21067
COMPUTER: PH-5FCD

REVISIONS:
25 APRIL 02
01 MAY 02
06 MAY 02

ELEVATION PLANS  
 1/4"=1'0"  
 PLAN 104  
 ARTISTIC HOMES

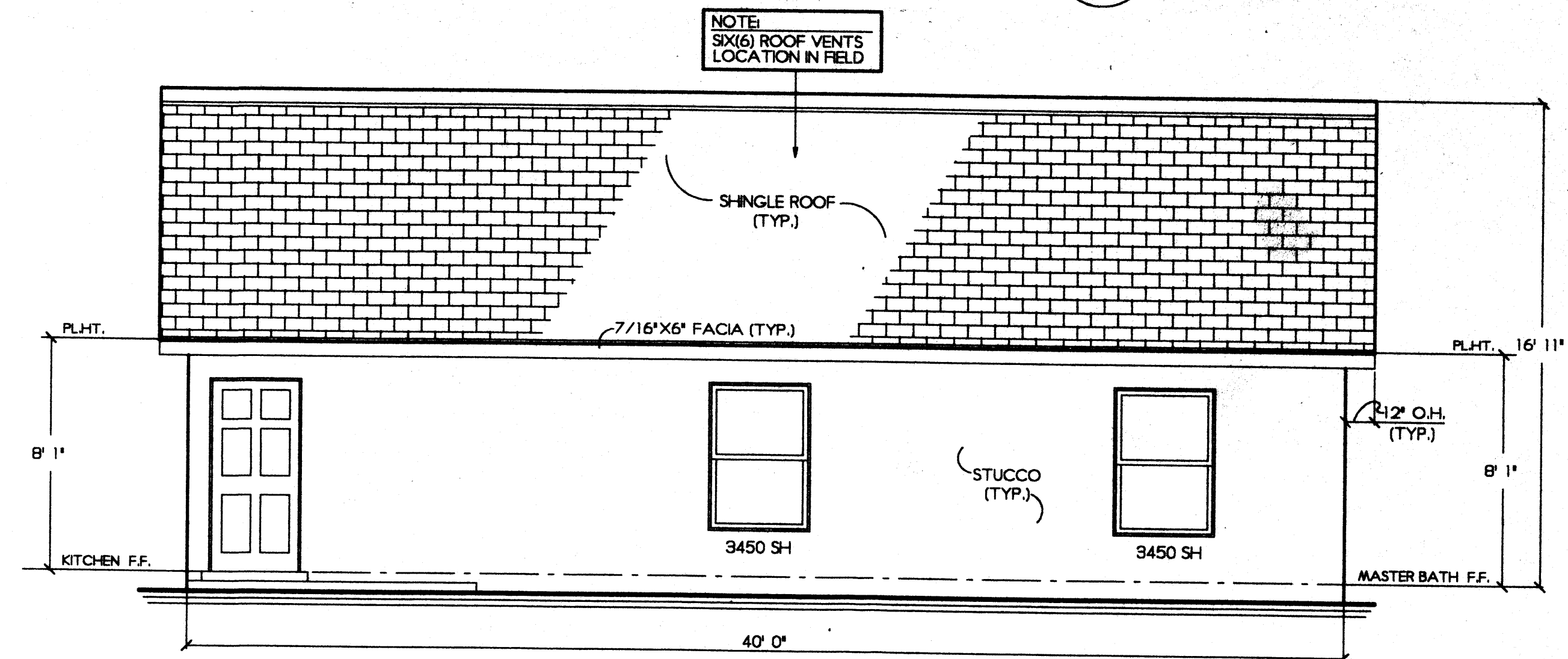
SANDIA DESIGNERS  
 298-2842  
 Albuquerque, New Mexico  
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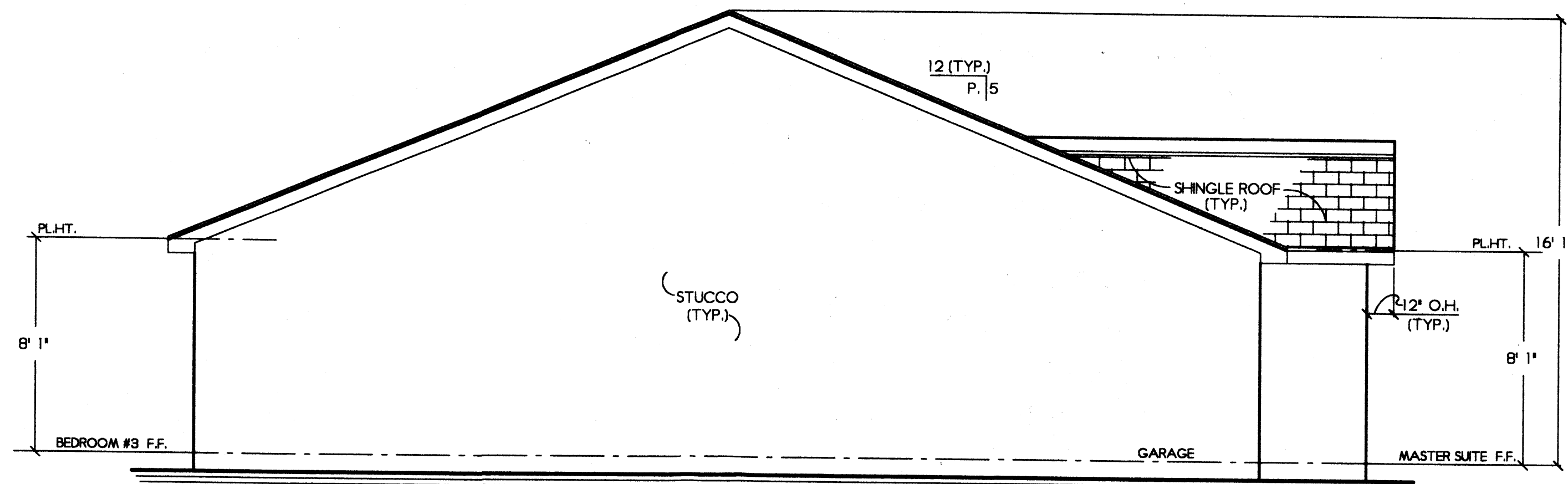
RIGHT SIDE ELEVATION

1/4"=1'0"



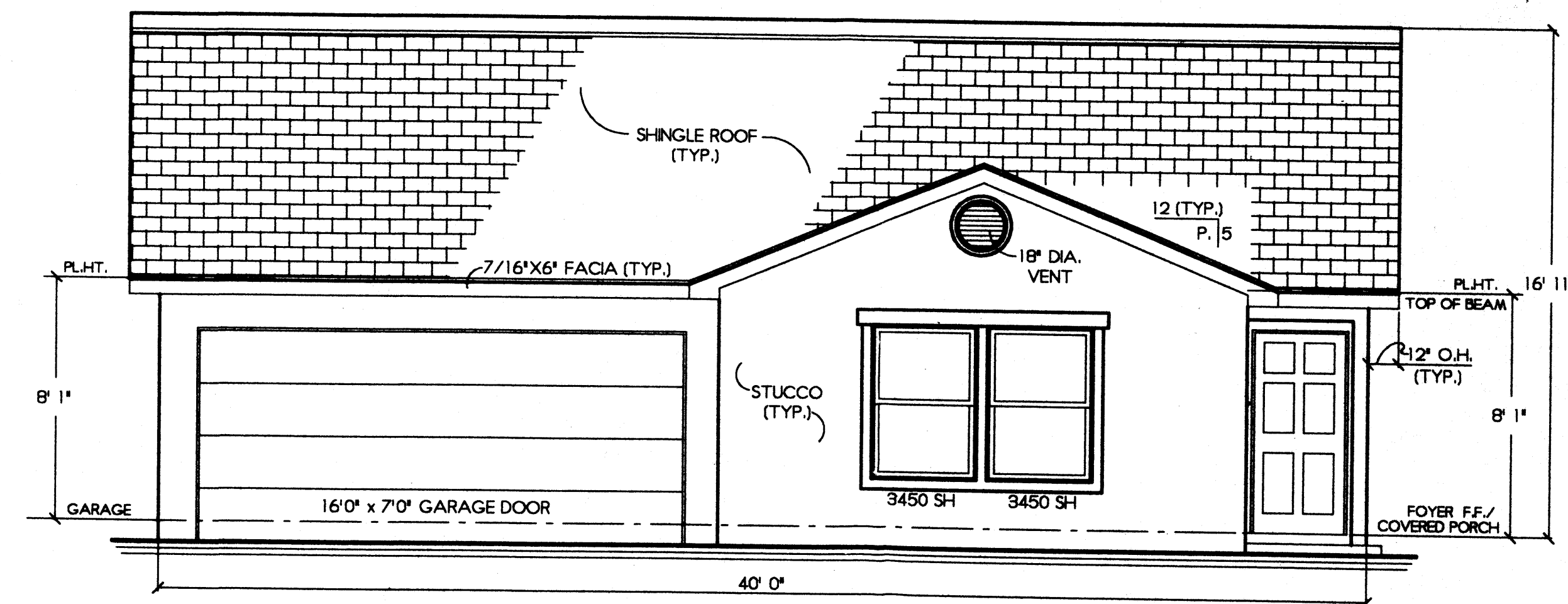
REAR ELEVATION

1/4"=1'0"



LEFT SIDE ELEVATION

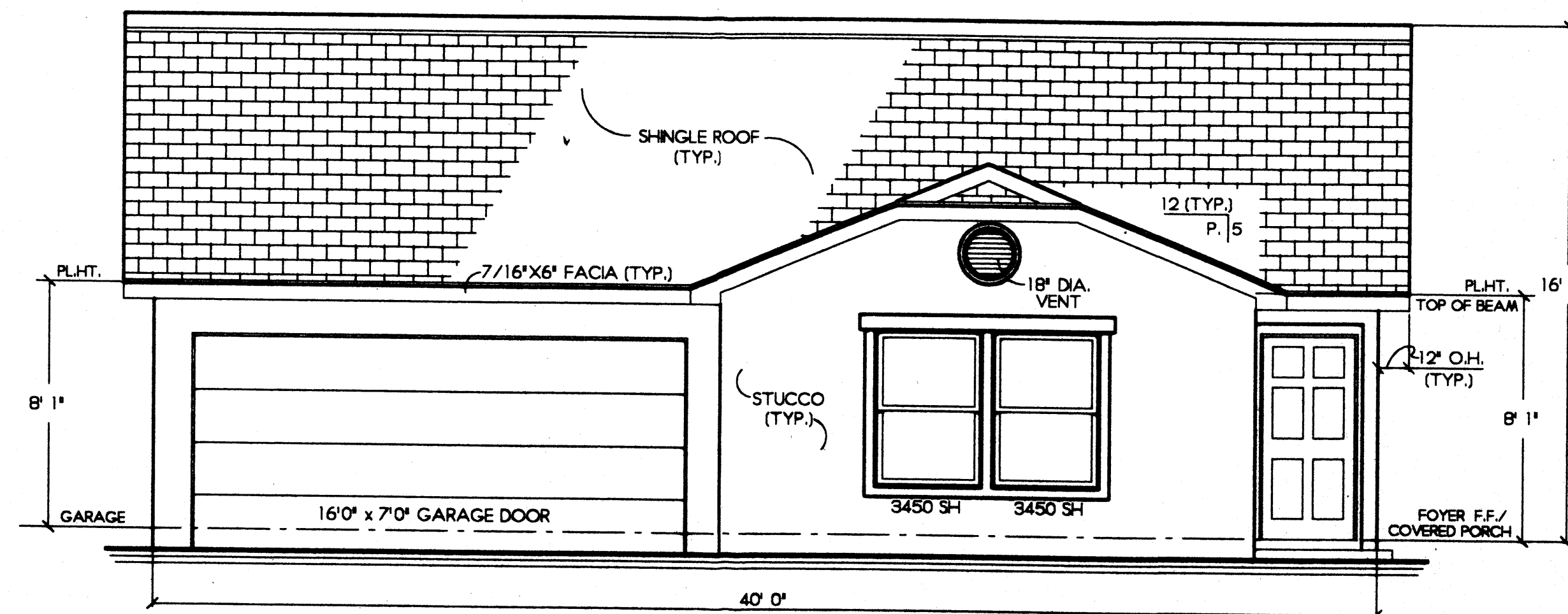
1/4"=1'0"



FRONT ELEVATION

1/4"=1'0"

□ ELEVATION 'A'



FRONT ELEVATION

1/4"=1'0"

□ ELEVATION 'B'

RIDGE VIEW VILLAGE  
SUBDIVISION

ROOF COLORS AND MATERIALS: ASPHALT SHINGLES:  
TAMKO ROOFING PRODUCTS, SERIES: GLASS SEAL;  
RUSTIC SLATE, TWEED BLEND, WEATHERED WOOD,  
RUSTIC HICKORY, RUSTIC CEDAR, AND OXFORD GREY.  
TRIM COLOR: WHITE  
STUCCO COLORS: SONNEBORN: DESERT LACE, LUNA,  
TORREON, PALOMA, AMARILLA, AND SUEDE.

NOTE: WINDOW SIZE IS ROUGH OPENING

NOTE:

FOR FRONT ELEVATION

CHECK (✓) OPTION BOX

EXAMPLE: OPTION A

PLAN 105

JOB NO.: 21068

COMPUTER: PH-6/PCD

REVISED:

25 APRIL 02

01 MAY 02

06 MAY 02

1/4"=1'0"

PLAN 105

ELEVATION PLANS

ARTISTIC HOMES

SANDIA DESIGNERS

298-2842

Albuquerque, New Mexico

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