

LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	STREET LIGHTS
	LANE
	STRIPING
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EXISTING SIDEWALK
	EXISTING LANE
	EXISTING STRIPING
	BIKEWAY
	AC PAVING (PUBLIC)
	AC PAVING (PRIVATE)
	TABLES IN PLAZA AREA
	ADA ACCESSIBLE ROUTE

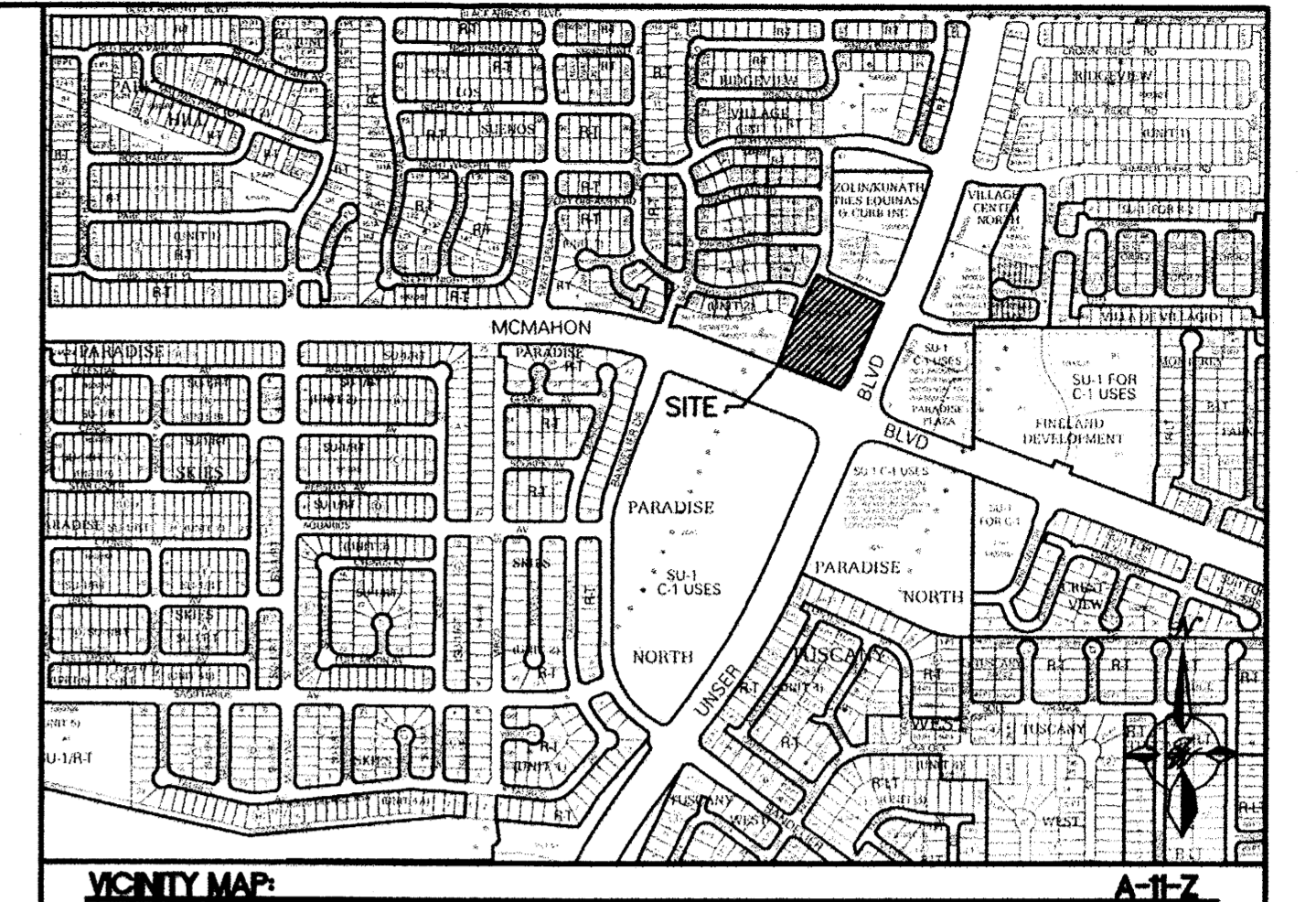
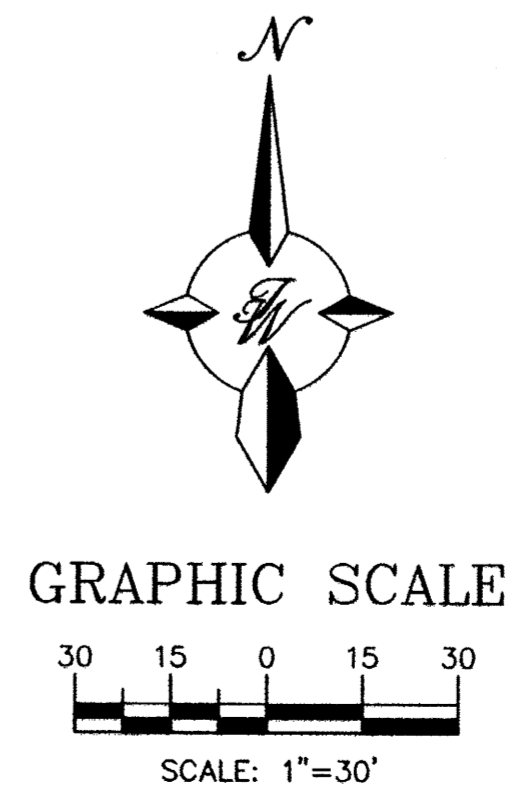
- NOTES:**
- CROSSLAND ACCESS, DRAINAGE, PARKING, & UTILITY EASEMENTS TO BE GRANTED BY FINAL PLAT.
 - VEHICULAR ACCESS TO THE SITE WILL BE FROM CALLE PERRO NW ON THE NORTH AND FROM PINON VERDE DRIVE NW ON THE WEST. SIDEWALKS WILL BE CONSTRUCTED FOR PEDESTRIAN USE ON BOTH PINON VERDE AND CALLE PERRO, ALONG WITH A PEDESTRIAN CONNECTION TO THE EXISTING ASPHALT BIKE/PEDESTRIAN TRAIL ON MCMAHON TO THE SOUTH.
 - SETBACKS: THERE SHALL BE A FRONT AND A CORNER SIDE YARD SETBACK OF NOT LESS THAN FIVE FEET AND A SETBACK OF 11 FEET FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION.
 - HEIGHT: STRUCTURE HEIGHT UP TO 26 FEET IS PERMITTED AT ANY LEGAL LOCATION. THE HEIGHT AND WIDTH OF THE STRUCTURE OVER 26 FEET IS PERMITTED AT ANY LEGAL LOCATION. THE HEIGHT AND WIDTH OF THE STRUCTURE OVER 26 FEET SHALL FALL WITHIN 45° ANGLE PLANES DRAWN FROM THE HORIZONTAL AT THE MEAN GRADE ALONG EACH INTERNAL BOUNDARY OF THE PREMISES AND EACH ADJACENT PUBLIC RIGHT-OF-WAY CENTERLINE, OR DRAINAGEWAY RIGHT-OF-WAY CENTERLINE. TO PROTECT SOLAR ACCESS, A STRUCTURE OVER 26 FEET MAY NOT EXCEED THE NORTHERN BOUNDARY OF THESE 45° PLANES, BUT MAY BE SITED IN ANY OTHER DIRECTION WITHIN PLANES DRAWN AT A 60° ANGLE FROM THE SAME BOUNDARIES OR CENTERLINE.
 - ALL PROPOSED IMPROVEMENTS IN CALLE PERRO TO BE COMPLETED UNDER SEPARATE CITY OF ALBUQUERQUE WORK ORDER.
 - SCREENING SHOULD BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. AS A CONDITION, ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND A MINIMUM OF 5 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.
 - FUTURE BUILDING DEVELOPMENT ON TRACT G WILL REQUIRE APPROVAL BY THE EPC.

SITE DATA (TRACT H)

PROPOSED USAGE:	RETAIL (C-STORE), & GASOLINE SALES
ZONING:	SU-1 FOR C-1 USES
LOT AREA:	83,858 SF (1.92 ACRE)
BUILDING AREA:	5650 SF

FUTURE BUILDING SITE DATA (TRACT G)

FUTURE BUILDING USAGE:	COMMERCIAL
ZONING:	SU-1 FOR C-1 USES
LOT AREA:	43,201 SF (0.99 ACRE)
BUILDING AREA:	3000 SF



LEGAL DESCRIPTION:
TRACT H-1 LANDS OF ZOLIN/KUNATH TRES ESQUINAS, LLC AND CURB INC., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

PROJECT NUMBER: 1000936
APPLICATION NUMBER:

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

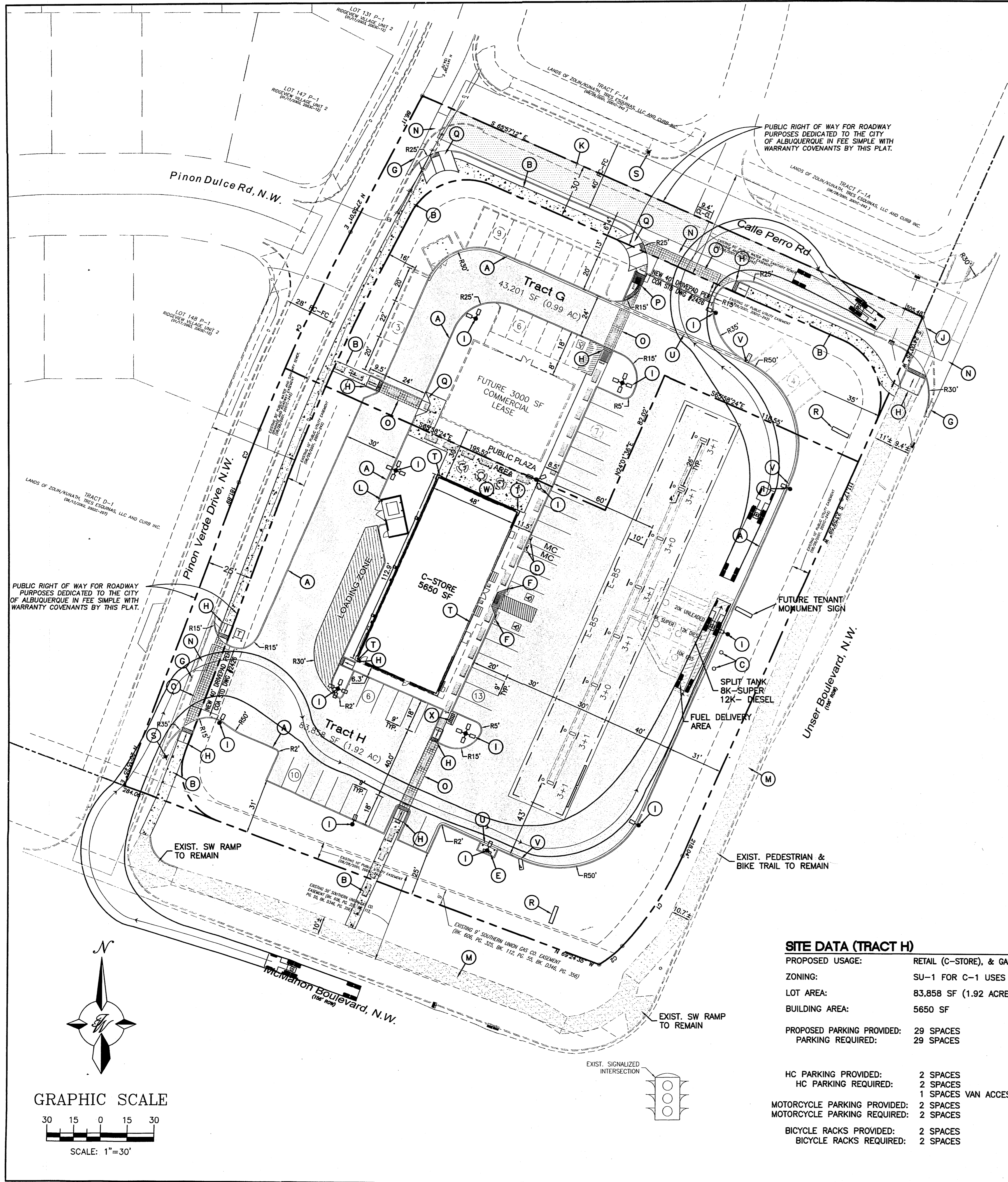
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>NSDLS</i>	02-23-11
Traffic Engineer, Transportation Division	Date
<i>Allen Pata</i>	02/23/11
Water Utility Development	Date
<i>David Lopez</i>	2-23-11
Parks & Recreation Department	Date
<i>Art C. Char</i>	2-22-11
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
<i>RLL Dand</i>	5-20-11
DRB Chairperson, Planning Department	Date
* Environmental Health, if necessary	

- INDEX TO DRAWINGS**
- C1. SITE PLAN FOR SUBDIVISION
 - C2. SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
 - C3. PRELIMINARY GRADING AND DRAINAGE PLAN
 - C4. MASTER UTILITY PLAN
 - C5. DETAILS
 - C6. DETAILS
 - L1. LANDSCAPE PLAN
 - A3.1 EXTERIOR ELEVATIONS
 - A3.2 EXTERIOR ELEVATIONS
 - A3.3 EXTERIOR ELEVATIONS
 - SP1. UNSER/MCMAHON VILLAGE CENTER NORTH SITE PLAN
 - SP2. UNSER/MCMAHON VILLAGE CENTER NORTH SITE PLAN
 - SP3. UNSER/MCMAHON VILLAGE CENTER NORTH SITE PLAN

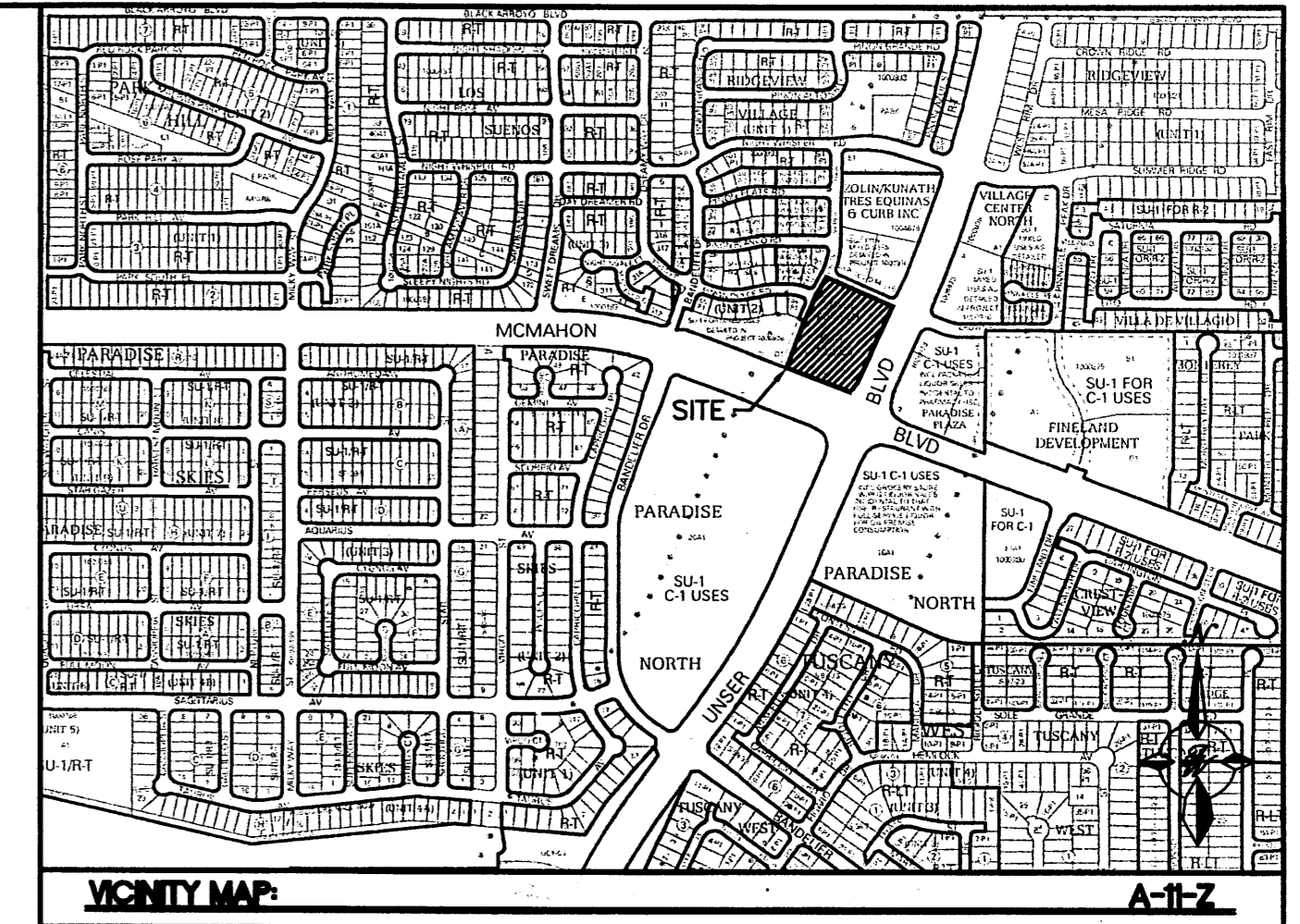
ENGINEER'S SEAL	VALERO, UNSER BLVD & MCMAHON BLVD	DRAWN BY DY
		DATE 02-15-11
	SITE PLAN FOR SUBDIVISION	201051-SPSB
	<i>TERRA WEST, LLC</i> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 tierrawestllc.com	SHEET # C1
RONALD R. BOHANNAN P.E. #7868		JOB # 2010051

1000936



LEGEND

---	CURB & GUTTER
---	BOUNDARY LINE
---	EASEMENT
---	CENTERLINE
---	RIGHT-OF-WAY
---	BUILDING
---	SIDEWALK
☼	STREET LIGHTS
---	LANE
---	STRIPING
---	EXISTING CURB & GUTTER
---	EXISTING BOUNDARY LINE
---	EXISTING SIDEWALK
---	EXISTING LANE
---	EXISTING STRIPING
▣	BIKERACK
---	AC PAVING (PUBLIC)
---	AC PAVING (PRIVATE)
---	ADA ACCESSIBLE ROUTE



LEGAL DESCRIPTION:
 TRACT H-1 LANDS OF ZOLIN/KUNATH TRES ESQUINAS, LLC AND CURB INC., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

- NOTES:**
- CROSSLOT ACCESS, DRAINAGE, PARKING, & UTILITY EASEMENTS TO BE GRANTED BY FINAL PLAT.
 - ALL PROPOSED IMPROVEMENTS IN CALLE PERRO TO BE COMPLETED UNDER SEPARATE CITY OF ALBUQUERQUE WORK ORDER.
 - SCREENING SHOULD BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. AS A CONDITION, ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND A MINIMUM OF 5 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.
 - FUTURE BUILDING DEVELOPMENT ON TRACT G WILL REQUIRE APPROVAL BY THE EPC.

- KEYED NOTE:**
- (A) MONOLITHIC CURB PER DETAIL SHEET
 - (B) 6' SIDEWALK PER COA STD DWG #2430
 - (C) VENTS (PER ARCHITECTURAL PLANS)
 - (D) MOTORCYCLE SIGN PER COA SPECIFICATIONS (SEE DETAIL SHEET C5)
 - (E) AIR & WATER (PER ARCHITECTURAL PLANS)
 - (F) HANDICAP PARKING SIGN PER COA SPECIFICATIONS (SEE DETAIL SHEET C5)
 - (G) REMOVE AND DISPOSE EXISTING CURB & GUTTER
 - (H) UNIDIRECTIONAL HC RAMP (SEE DETAIL SHEET C5)
 - (I) NEW AREA LIGHT (PER ARCHITECTURAL PLANS)
 - (J) SAWCUT
 - (K) REMOVE ASPHALT PAVING AS REQUIRED FOR NEW PAVING
 - (L) TRASH ENCLOSURE (SEE DETAIL SHEET C5)
 - (M) EXIST. PEDESTRIAN & BIKE TRAIL TO REMAIN
 - (N) 6' VALLEY GUTTER PER COA STD DWG #2420
 - (O) 6' WIDE PEDESTRIAN PATHWAY (STAMPED CONCRETE)
 - (P) CURB HANDICAP RAMP (SEE DETAIL SHEET C5)
 - (Q) ADA RAMP (SEE DETAIL SHEET C5)
 - (R) MONUMENT ID/PRICE SIGN
 - (S) EXIST. FIRE HYDRANT
 - (T) VIDEO CAMERA
 - (U) ALLEY GUTTER PER COA STD DWG #2415A
 - (V) 2' CURB CUT
 - (W) PATIO AREA
 - (X) BIKE RACK (SEE DETAIL SHEET C5)

PROJECT NUMBER: 1000936
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? (X) Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	02-23-11
Allen Dite	02/23/11
Water Utility Development	
Colandrea	2/23/11
Parks & Recreation Department	
Chris A. Chana	5-20-11
City Engineer	
Environmental Health Department (conditional)	
Solid Waste Management	
Rick Dine	5-20-11
DRB Chairperson, Planning Department	

* Environmental Health, if necessary

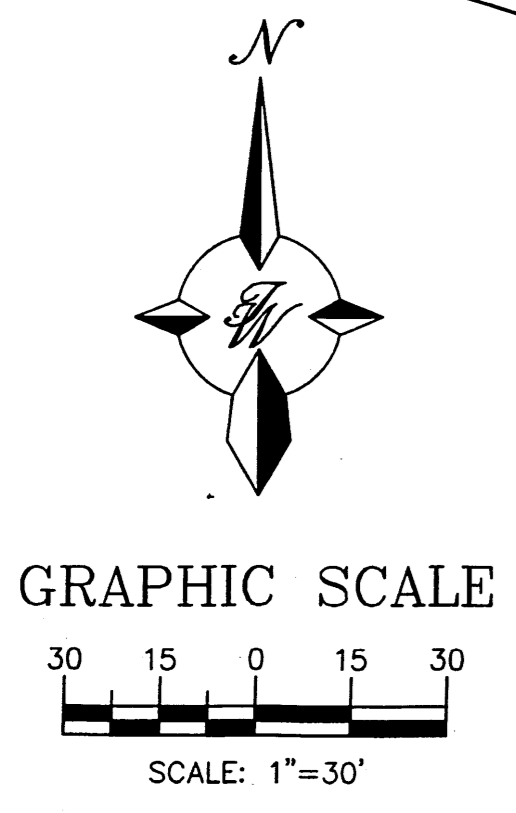
SITE DATA (TRACT H)

PROPOSED USAGE:	RETAIL (C-STORE), & GASOLINE SALES
ZONING:	SU-1 FOR C-1 USES
LOT AREA:	83,858 SF (1.92 ACRE)
BUILDING AREA:	5650 SF
PROPOSED PARKING PROVIDED:	29 SPACES
PARKING REQUIRED:	29 SPACES
HC PARKING PROVIDED:	2 SPACES
HC PARKING REQUIRED:	2 SPACES VAN ACCESSIBLE
MOTORCYCLE PARKING PROVIDED:	2 SPACES
MOTORCYCLE PARKING REQUIRED:	2 SPACES
BICYCLE RACKS PROVIDED:	2 SPACES
BICYCLE RACKS REQUIRED:	2 SPACES

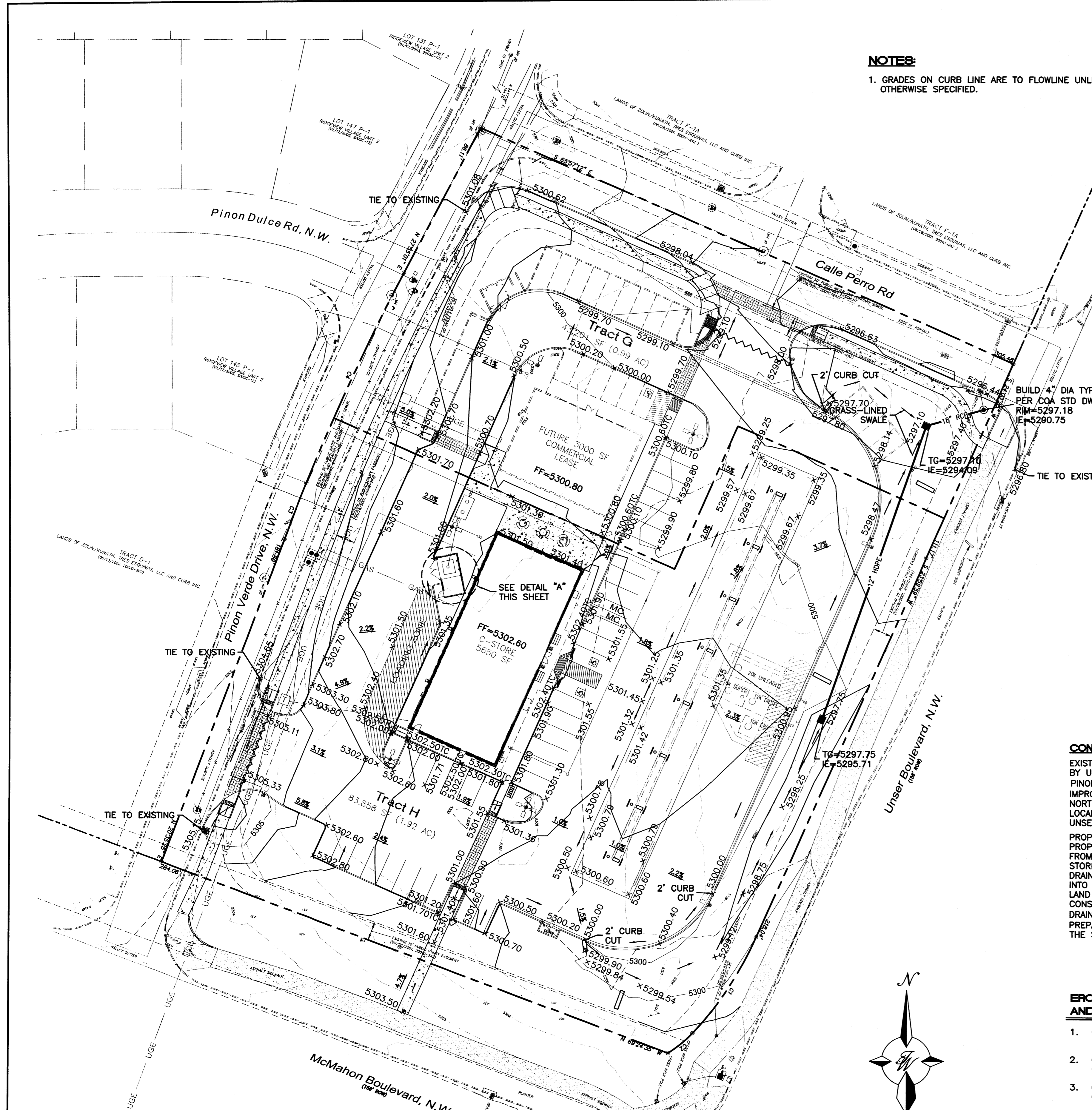
FUTURE BUILDING SITE DATA (TRACT G)

FUTURE BUILDING USAGE:	COMMERCIAL
ZONING:	SU-1 FOR C-1 USES
LOT AREA:	43,201 SF (0.99 ACRE)
BUILDING AREA:	3000 SF
*PROPOSED PARKING PROVIDED:	7 SPACES
PARKING REQUIRED:	15 SPACES
FUTURE PARKING PROVIDED:	22 SPACES
*HC PARKING PROVIDED:	2 SPACES
HC PARKING REQUIRED:	2 SPACES VAN ACCESSIBLE
*MOTORCYCLE PARKING PROVIDED:	2 SPACES
MOTORCYCLE PARKING REQUIRED:	2 SPACES
*BICYCLE RACKS PROVIDED:	2 SPACES
BICYCLE RACKS REQUIRED:	2 SPACES

* ADDITIONAL



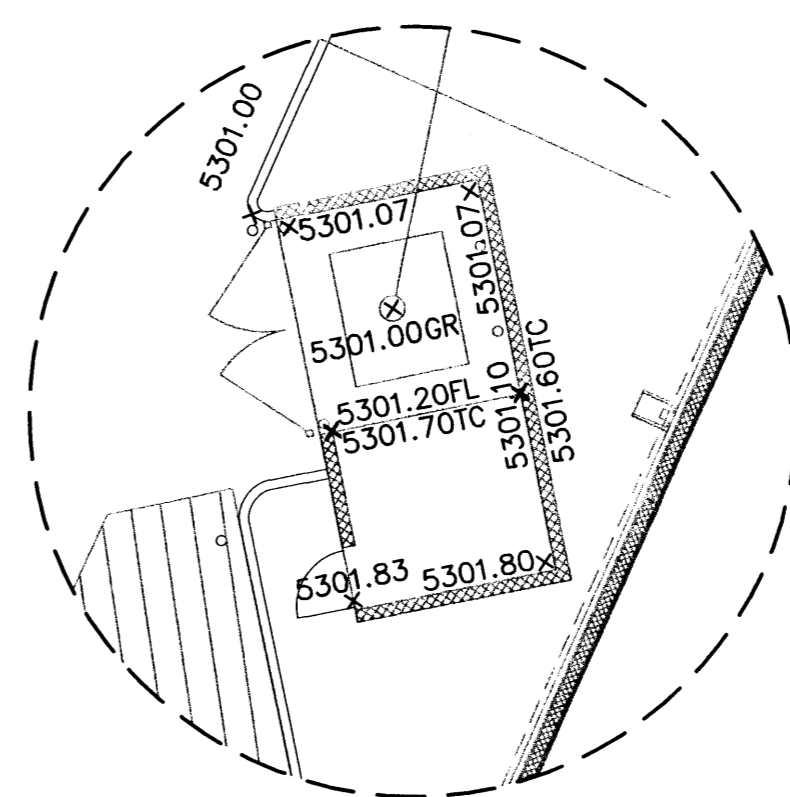
ENGINEER'S SEAL	VALERO, UNSER BLVD & McMAHON BLVD	DRAWN BY DY
		DATE 02-15-11
	SITE DEVELOPMENT PLAN FOR BLDG PERMIT	201051-SPB
		SHEET # C2
RONALD R. BOHANNAN P.E. #7868	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 tiewestllc.com	JOB # 2010051



NOTES:
 1. GRADES ON CURB LINE ARE TO FLOWLINE UNLESS OTHERWISE SPECIFIED.

LEGEND

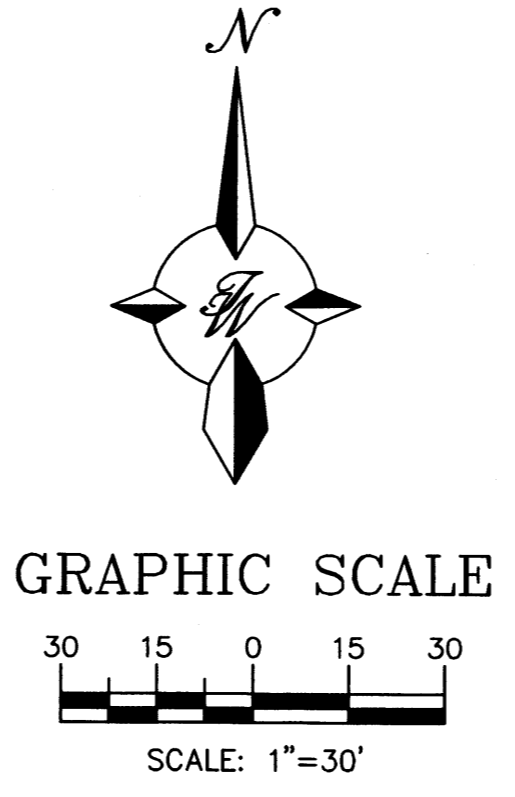
—	CURB & GUTTER
- - -	BOUNDARY LINE
- · - · -	EASEMENT
- · - · -	CENTERLINE
- · - · -	RIGHT-OF-WAY
▬	BUILDING
▬	SIDEWALK
5010	CONTOUR MAJOR
5011	CONTOUR MINOR
x 5048.25	SPOT ELEVATION
→	FLOW ARROW
- - -	EXISTING CURB & GUTTER
- - -	EXISTING BOUNDARY LINE
- - -	EXISTING CONTOUR MAJOR
- - -	EXISTING CONTOUR MINOR
x 5048.25	EXISTING SPOT ELEVATION
■	PROPOSED INLET



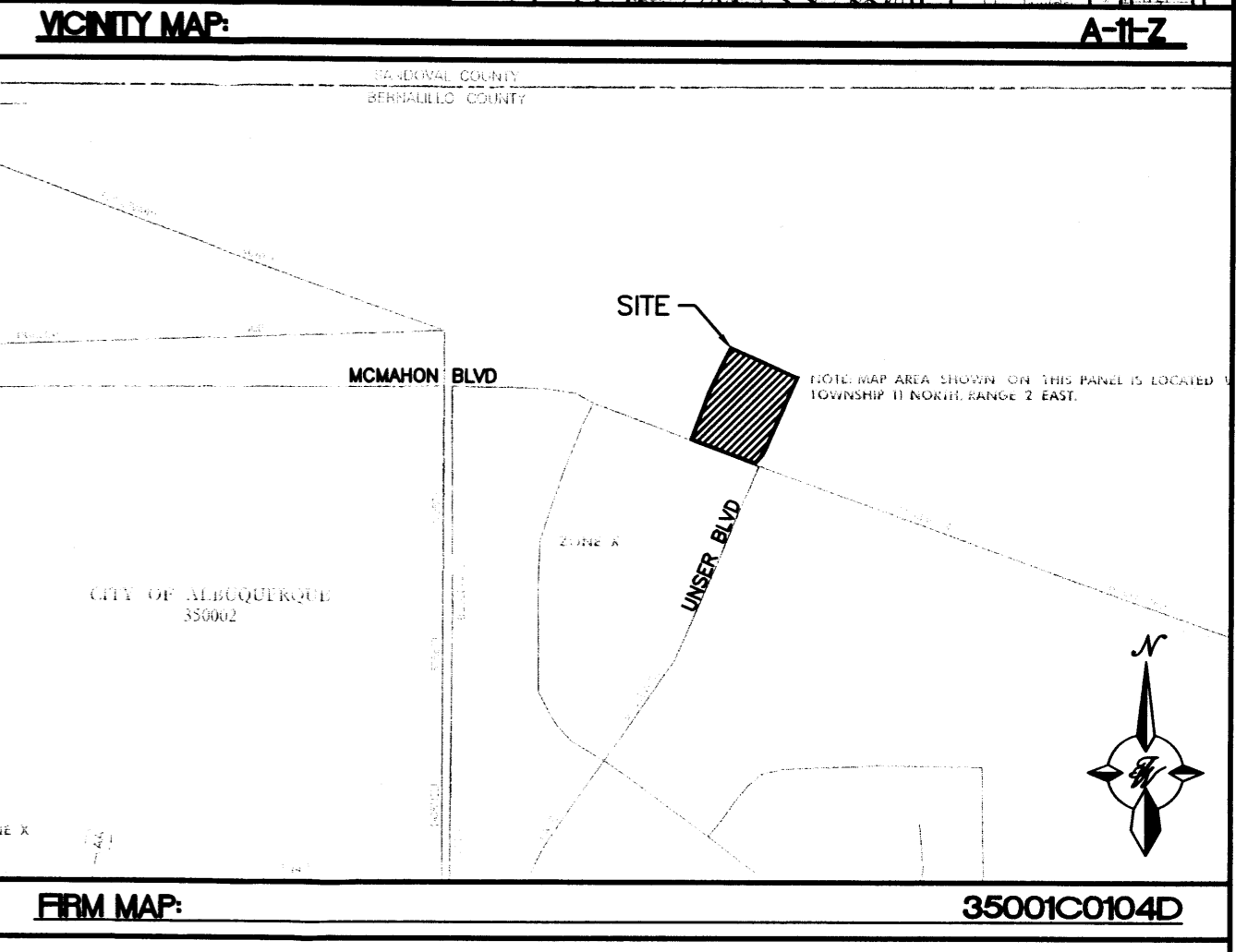
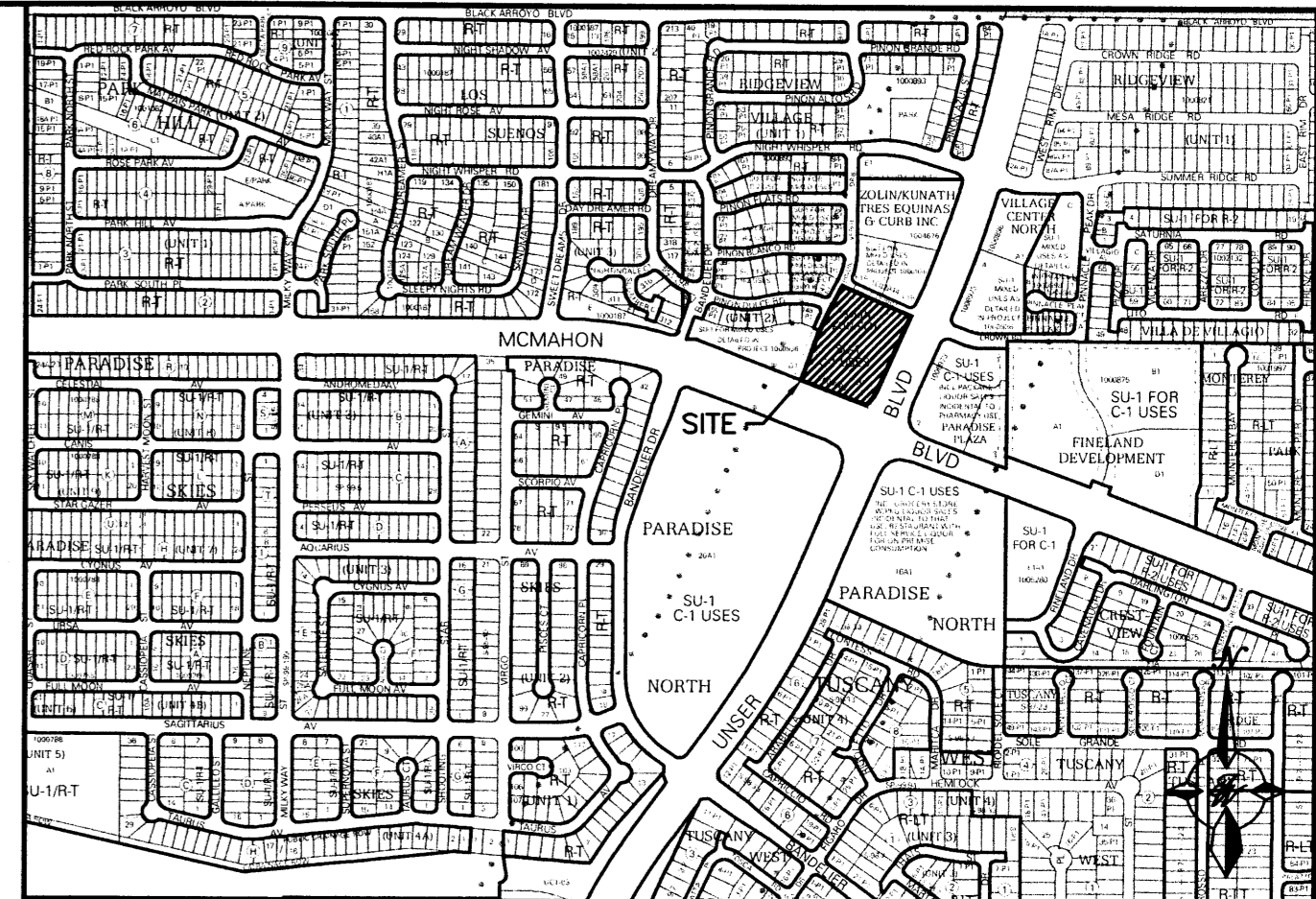
**DETAIL 'A'
DUMPSTER DETAIL**
 SC: 1"=10'

CONCEPTUAL DRAINAGE CONFIGURATION
 EXISTING CONDITION: THE PROJECT PROPERTY IS UNDEVELOPED AND BOUND BY UNSER BOULEVARD TO THE EAST, MCMAHON BOULEVARD TO THE SOUTH, PINON VERDE TO THE WEST, AND CALLE PERRO (HALF-WIDTH) TO THE NORTH. TOPOGRAPHY IS GENTLY SLOPING FROM WEST TO EAST WITH SOME LOCALIZED DEPRESSIONS ULTIMATELY CONVEYING DRAINAGE RUNOFF TO UNSER AND CALLE PERRO.
 PROPOSED CONDITION: THE SITE WILL BE GRADED TO ACCOMMODATE THE PROPOSED STRUCTURES AND ASSOCIATED PARKING FACILITIES WITH FLOWS FROM PARKING AREAS BEING CONVEYED TO LANDSCAPE AREAS. A PRIVATE STORM DRAIN INLET WITHIN THE LANDSCAPE AREA IS PROPOSED TO ACCEPT DRAINAGE FROM THE NORTHEAST CORNER OF THE SITE TO CONVEY FLOWS INTO THE EXISTING STORM DRAIN SYSTEM WITHIN CALLE PERRO. DEVELOPED LAND TREATMENT, DISCHARGE RATE, AND FLOW PATTERNS WILL BE CONSISTENT WITH DRAINAGE AREA DB5A AS DEFINED IN THE MASTER DRAINAGE STUDY FOR THE UNSER/MCMAHON AREA (FILE A-11/DOOSA, PREPARED BY BHI 7/17/2001) WHICH ALLOWS FOR FREE DISCHARGE INTO THE STORM DRAIN SYSTEM.

- EROSION CONTROL PLAN, NPDES PERMIT AND POLLUTION PREVENTION NOTES**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
 - REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
 - ALL SITES OVER 1 ACRE DISTURBANCE REQUIRE FEDERAL NPDES PERMIT.



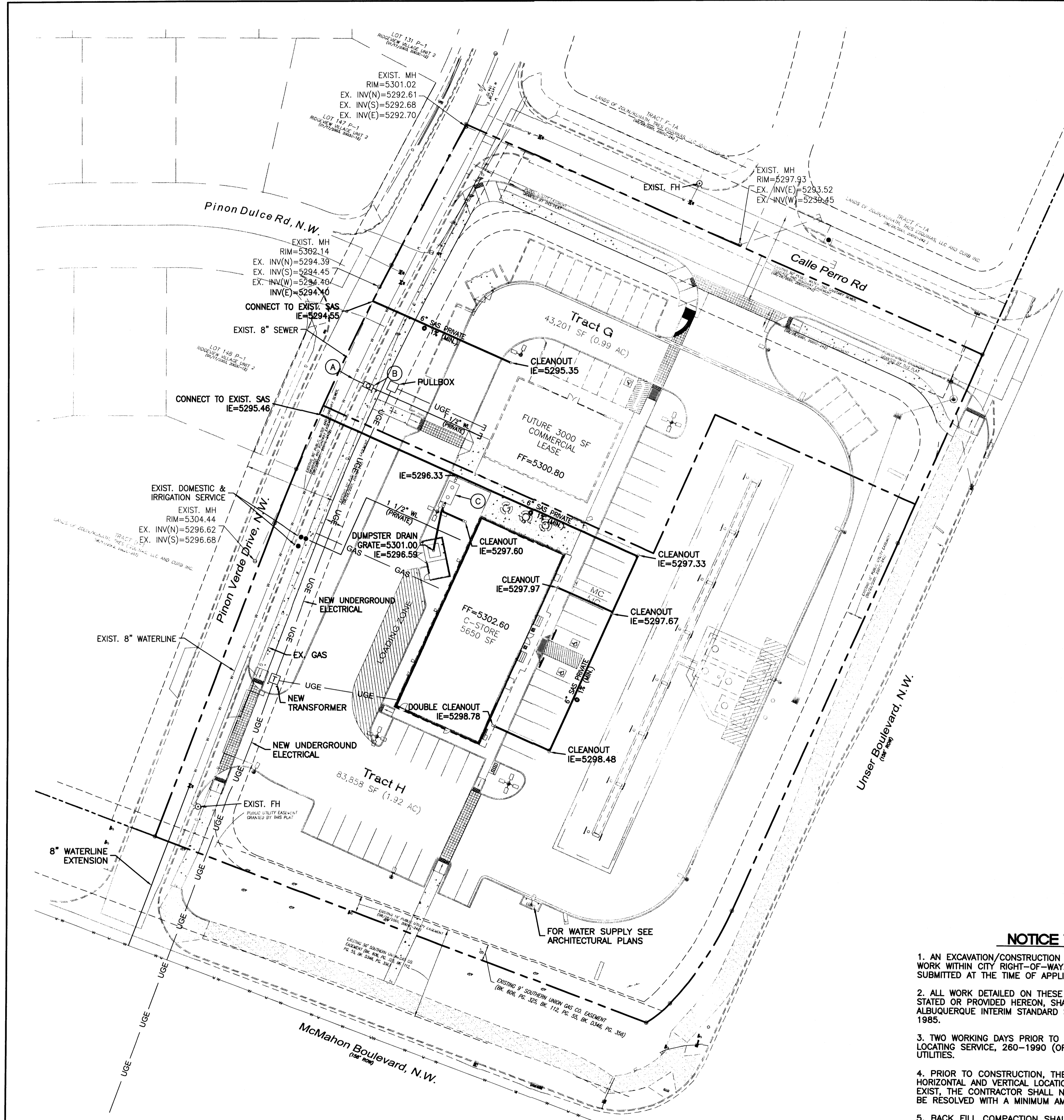
CAUTION:
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS. PRIOR TO STARTING THE WORK, ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



- NOTICE TO CONTRACTORS**
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 - ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 - TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 - BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 - MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 - WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

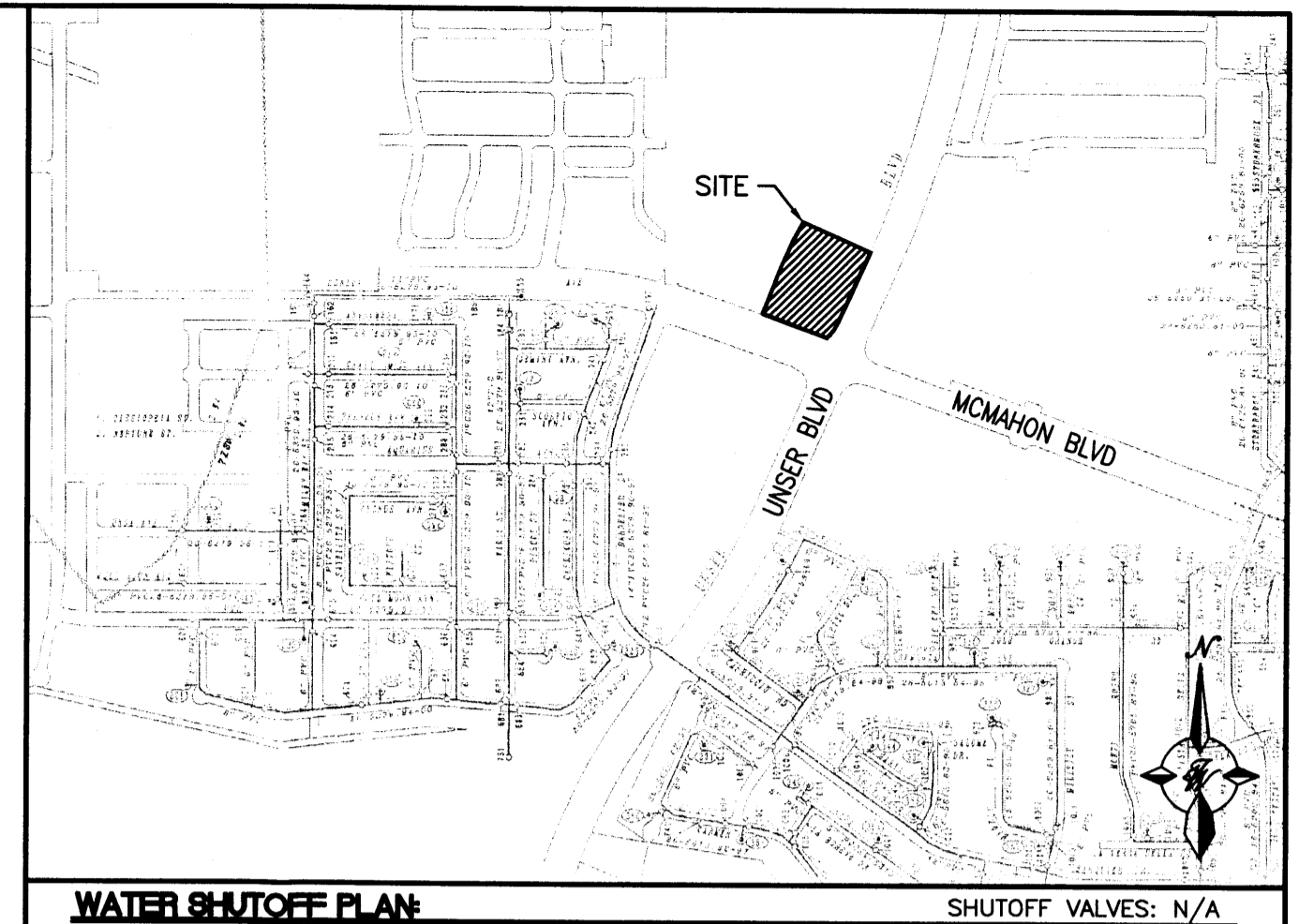
ROUGH GRADING APPROVAL		DATE
ENGINEER'S SEAL	VALERO, UNSER BLVD & MCMAHON BLVD	DRAWN BY DY
	GRADING AND DRAINAGE PLAN	DATE 01-18-11
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 tierrawestllc.com	201051-GRB
	RONALD R. BOHANNAN P.E. #7868	SHEET # C3 JOB # 2010051



CAUTION:
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

LEGEND

—	CURB & GUTTER
- - -	BOUNDARY LINE
- - - -	EASEMENT
—	CENTERLINE
—	RIGHT-OF-WAY
—	BUILDING
—	SIDEWALK
—	SCREEN WALL
—	RETAINING WALL
- - -	EXISTING CURB & GUTTER
- - -	EXISTING BOUNDARY LINE
— 36" SD	STORM SEWER LINE
— 8" SAS	SANITARY SEWER LINE
— 8" WL	WATERLINE
○	SINGLE CLEAN OUT
∞	DOUBLE CLEAN OUT
○	EXISTING SD MANHOLE
○	EXISTING INLET
○	EXISTING SAS MANHOLE
○	EXISTING FIRE HYDRANT
○	EXISTING WATER METER
○	EXISTING POWER POLE
○	EXISTING GAS VALVE
- - - U	EXISTING OVERHEAD UTILITIES
- - - EX. UGE	EXISTING UNDERGROUND UTILITIES
- - - EX. 2" GAS	EXISTING GAS
- - - EX. 8" SAS	EXISTING SANITARY SEWER LINE
- - - EX. 8" WL	EXISTING WATER LINE
- - - EX. 18" RCP	EXISTING STORM SEWER LINE
— UGE	NEW UNDERGROUND ELECTRICAL
— GAS	NEW GAS



WATER SHUTOFF PLAN SHUTOFF VALVES: N/A

1. ONLY ABCWUA WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
2. NOTIFY ABCWUA WATER SYSTEMS DIVISION (PHONE 857-8200) SEVEN (7) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN
3. APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
4. SHUTOFF THE VALVES INDICATED IN THE PLAN ABOVE.

GENERAL NOTES:

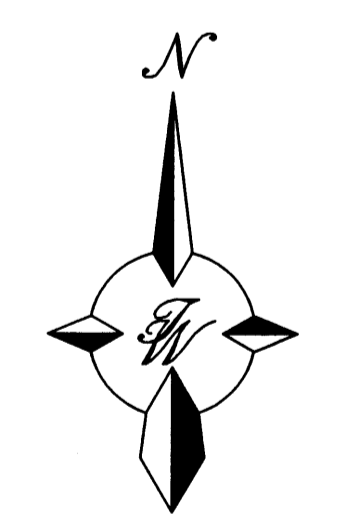
1. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATION.
3. ALL STUBS AND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
4. CLEAN OUTS TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. CLEAN OUTS & MANHOLE TIE POINTS ARE TAKEN USING THE NW PROPERTY CORNER X=10,000, Y=10,000 SEE TABLE 2.
6. SEE ARCHITECTURAL PLANS FOR LIGHTING CONDUITS AND TELEPHONE LINES.
7. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.

KEYED NOTE:

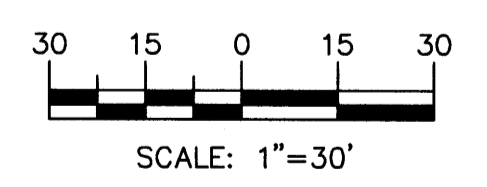
- (A) INSTALL 1 1/2" SERVICE LATERAL
- (B) INSTALL METER BOX W/COVER & LID PER COA STD DWG #2363
- (C) GREASE TRAP

NOTICE TO CONTRACTORS

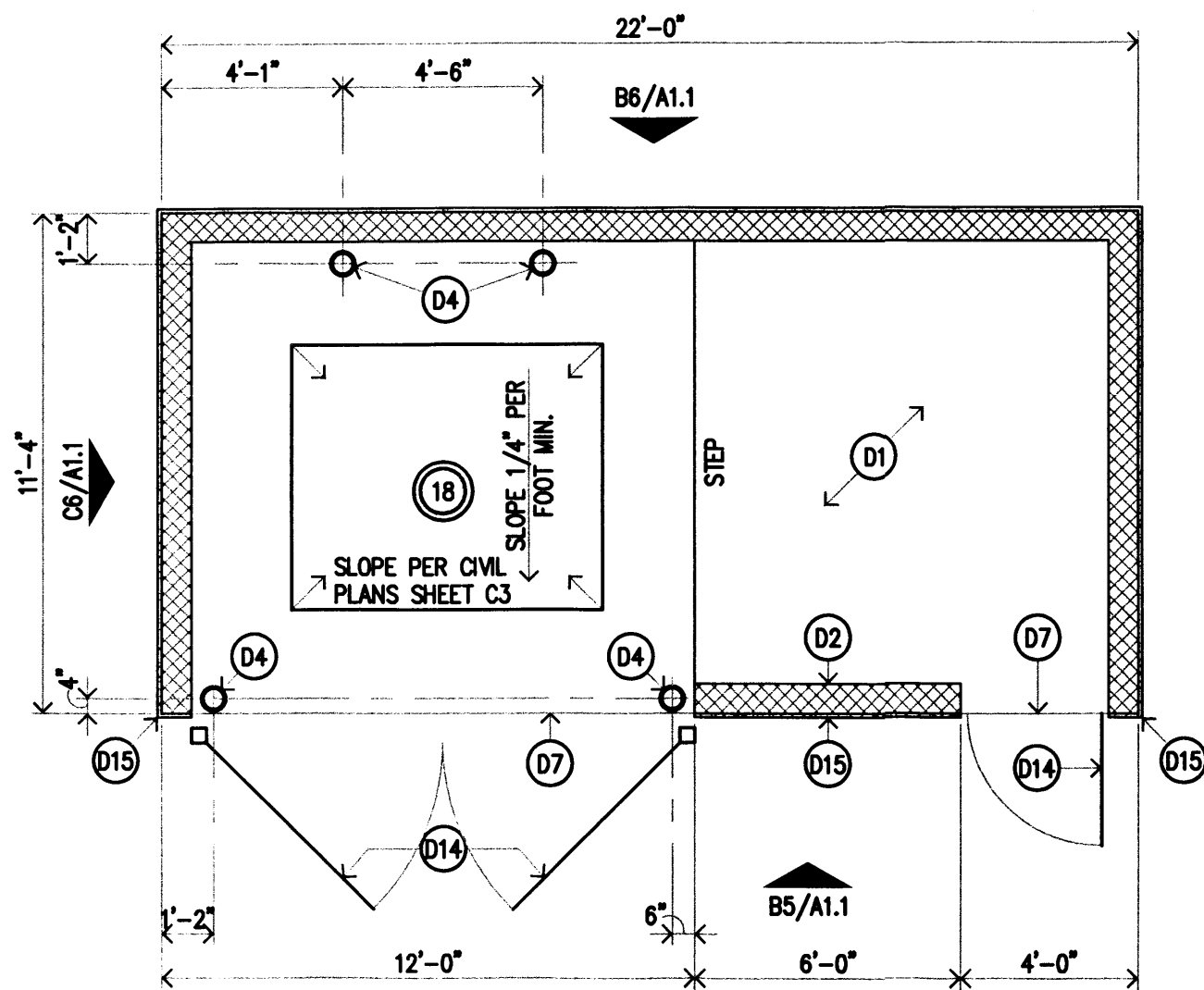
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



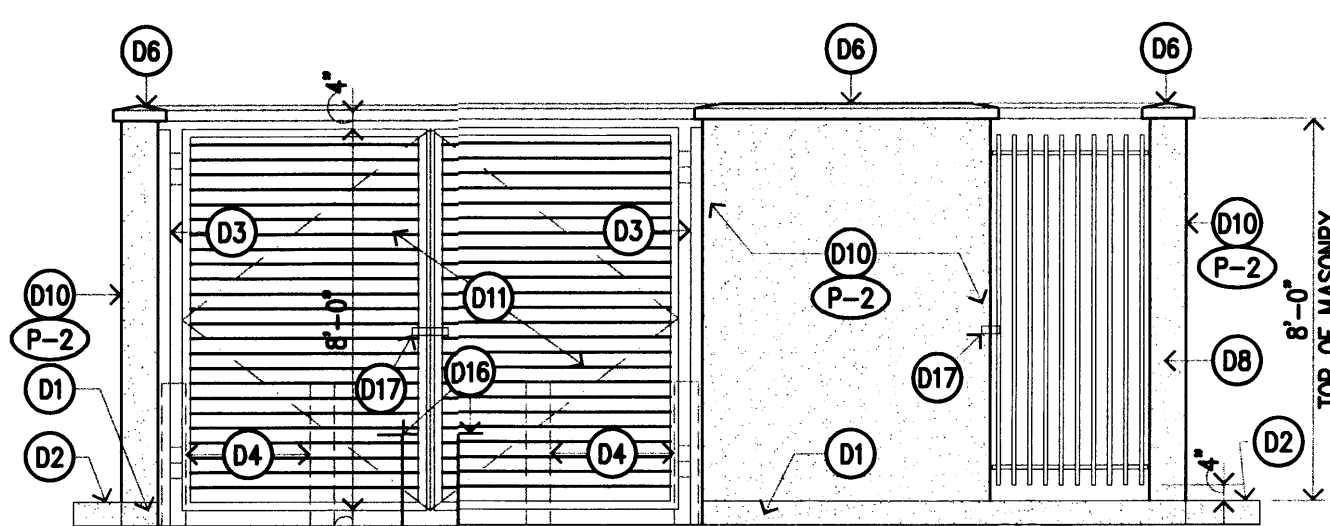
GRAPHIC SCALE



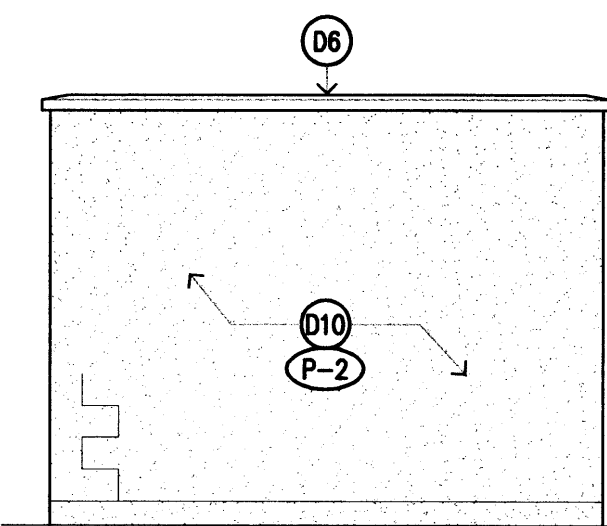
ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	VALERO, UNSER BLVD & McMAHON BLVD	DRAWN BY DY
	MASTER UTILITY PLAN	DATE 02-15-11
		201051-MUB
		SHEET # C4
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 tierrawestllc.com	JOB # 2010051



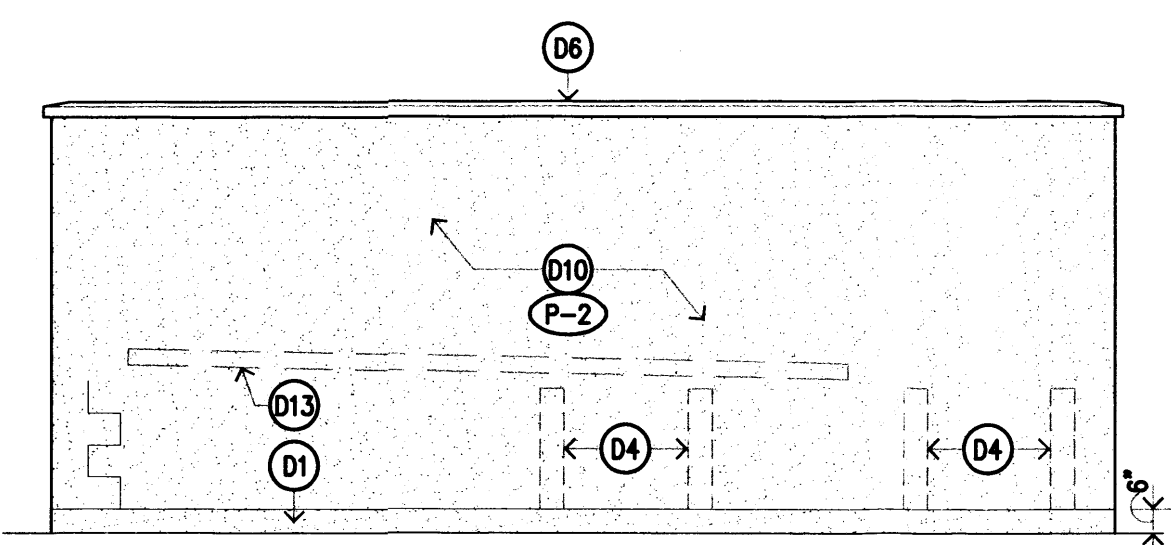
A6 DUMPSTER ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"



B5 SIDE ELEVATION
SCALE: 1/4" = 1'-0"



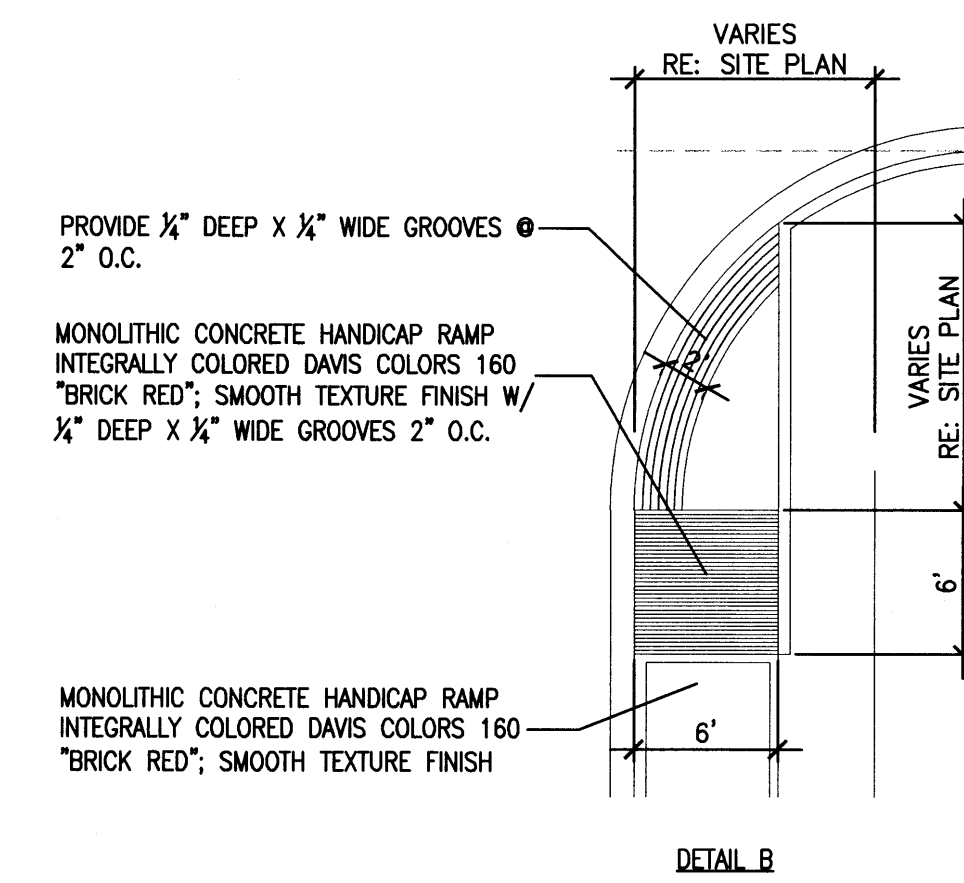
D6 REAR ELEVATION
SCALE: 1/4" = 1'-0"



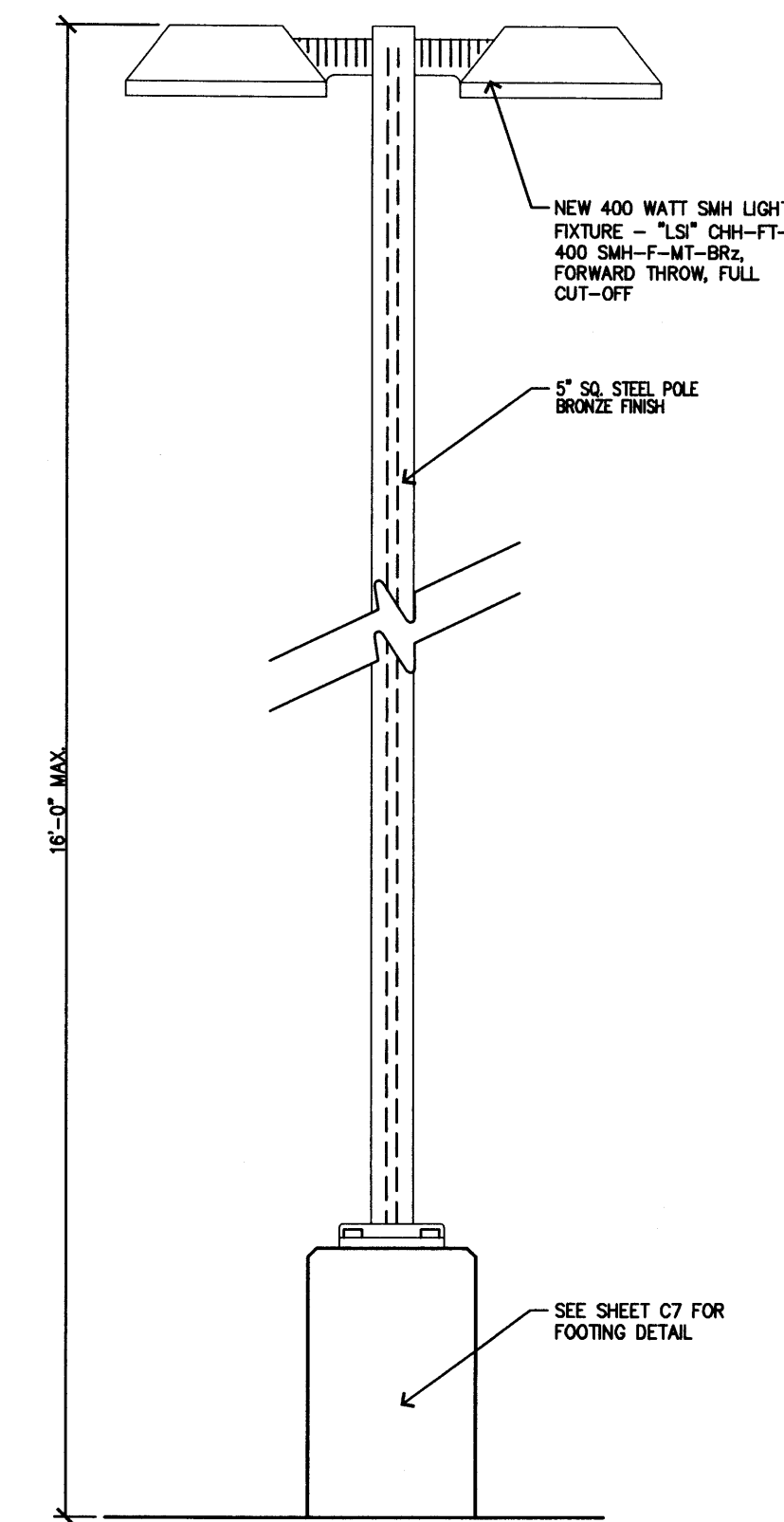
B6 ENCLOSURE ELEVATION
SCALE: 1/4" = 1'-0"

DUMPSTER ENCLOSURE KEYED NOTES

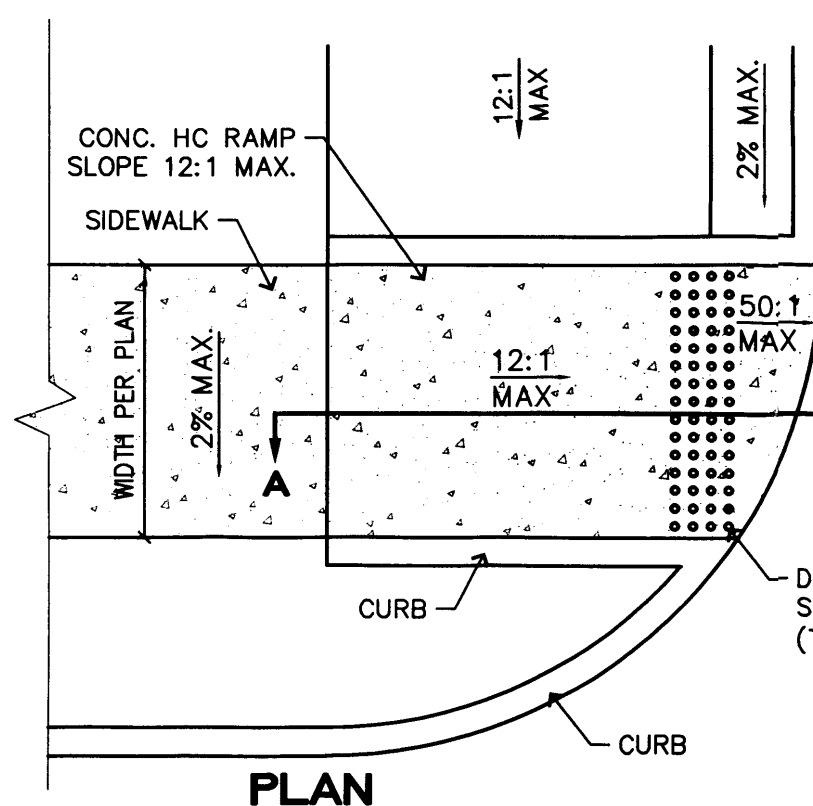
- D1 Concrete slab per Structural.
- D2 6" concrete curb per Civil.
- D3 4"x4" steel tube gate post, paint P-6. See Structural for footing.
- D4 6" O.D. bollard, Detail E3/A1.1. Galvanized finish, coating thickness 2.0 oz./s.f.
- D5 8" split-faced CMU bond beam per Structural.
- D6 Precast masonry cap.
- D7 Line of concrete slab.
- D8 Steel tube gate, hot-dipped galvanized 3/4" steel tube pickets, paint as directed by VRH Construction Specialist. Provide hinges and locking device. Paint P-6.
- D9 Vertical reinforcing anchored to foundation per Structural.
- D10 Stucco system painted with elastomeric coating.
- D11 Gate: Steel tube frame with metal panel double swing gate, provide submittal for VRH Construction Specialist approval. Paint P-6.
- D12 Paving expansion joint around dumpster slab, Detail C6/A4.1.
- D13 15'-6"x2" ID Schedule 40 PVC tank stick sleeve. See E4/A1.1. Paint as directed by VRH Construction Specialist.
- D14 Threaded clean-out cap.
- D15 1/2 diameter weep hole.
- D16 Cone pole.
- D17 Latch.
- D18 Grate, per Civil Plans.



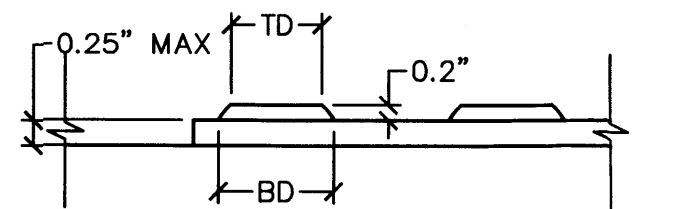
2 TYP. END ISLAND W/ WALK
SCALE: 1/4" = 1'-0"



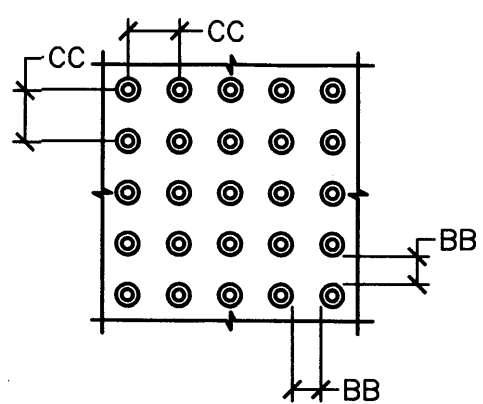
4 AREA LIGHT ELEVATION
SCALE: NTS



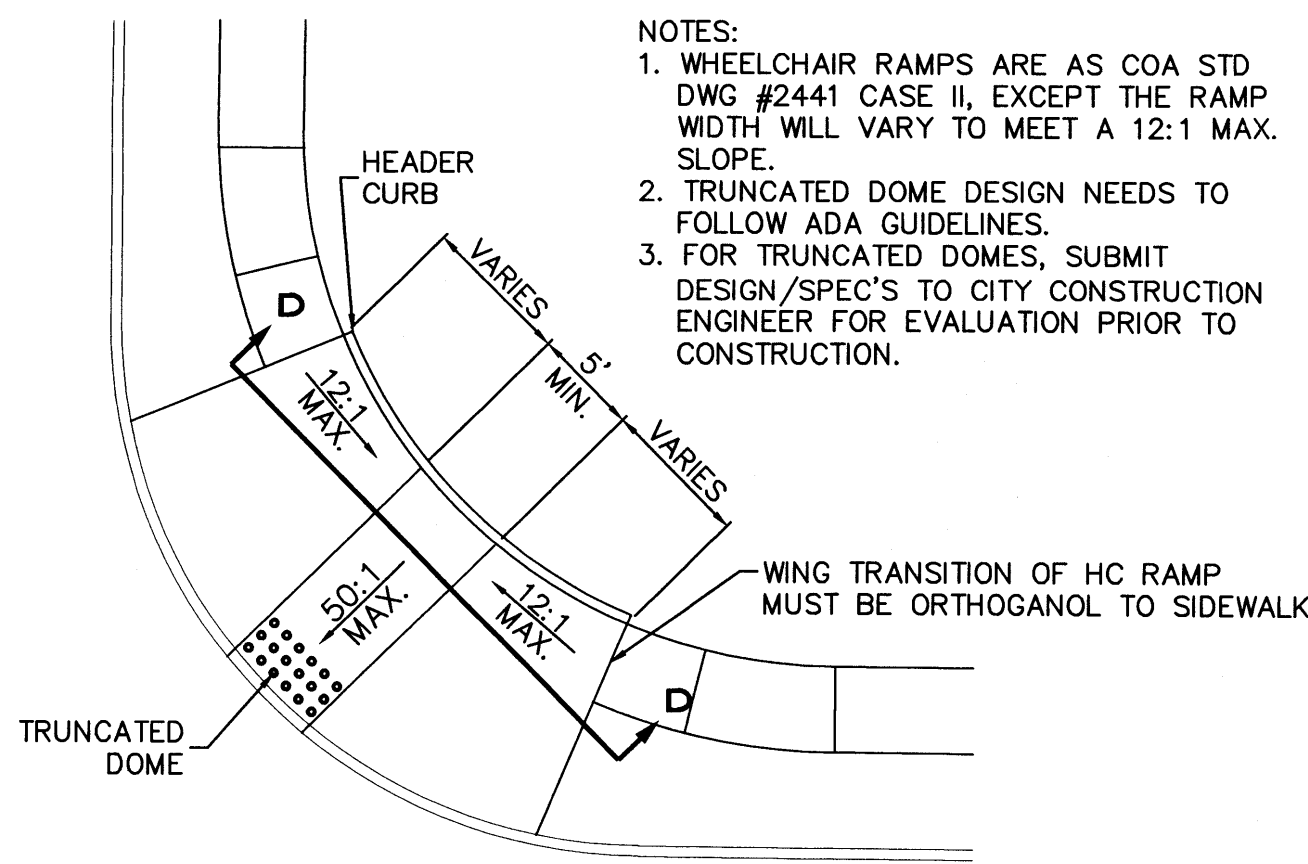
- NOTES:**
1. WHEELCHAIR RAMPS ARE AS C.O.A. STD DWG 2441 CASE II, EXCEPT THE RAMP WIDTH WILL VARY TO MEET A 12:1 SLOPE; 7" MIN REQ.
 2. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
 3. DESIGN PER A.D.A. SPECIFICATIONS
 4. SUBMIT SPECIFICATIONS TO CITY CONSTRUCTION ENGINEER FOR EVALUATION PRIOR TO CONSTRUCTION



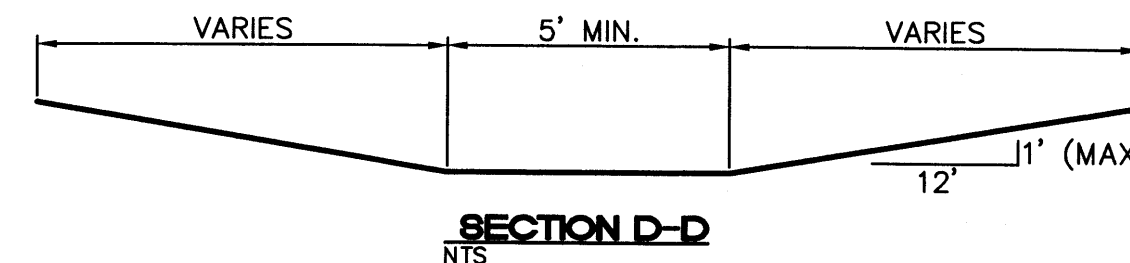
DOME SECTION
BD - BASE DIAMETER 0.9" MIN
TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX



DOME SPACING
CC - CENTER TO CENTER SPACING 2.35"
BB - BASE TO BASE SPACING 1.48" MIN

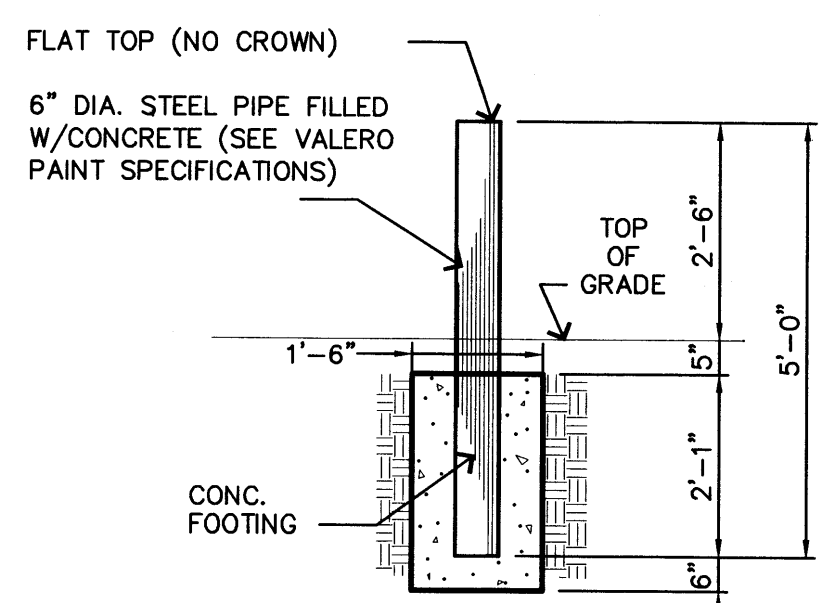


WHEELCHAIR RAMP DETAIL (TYP.)
NTS

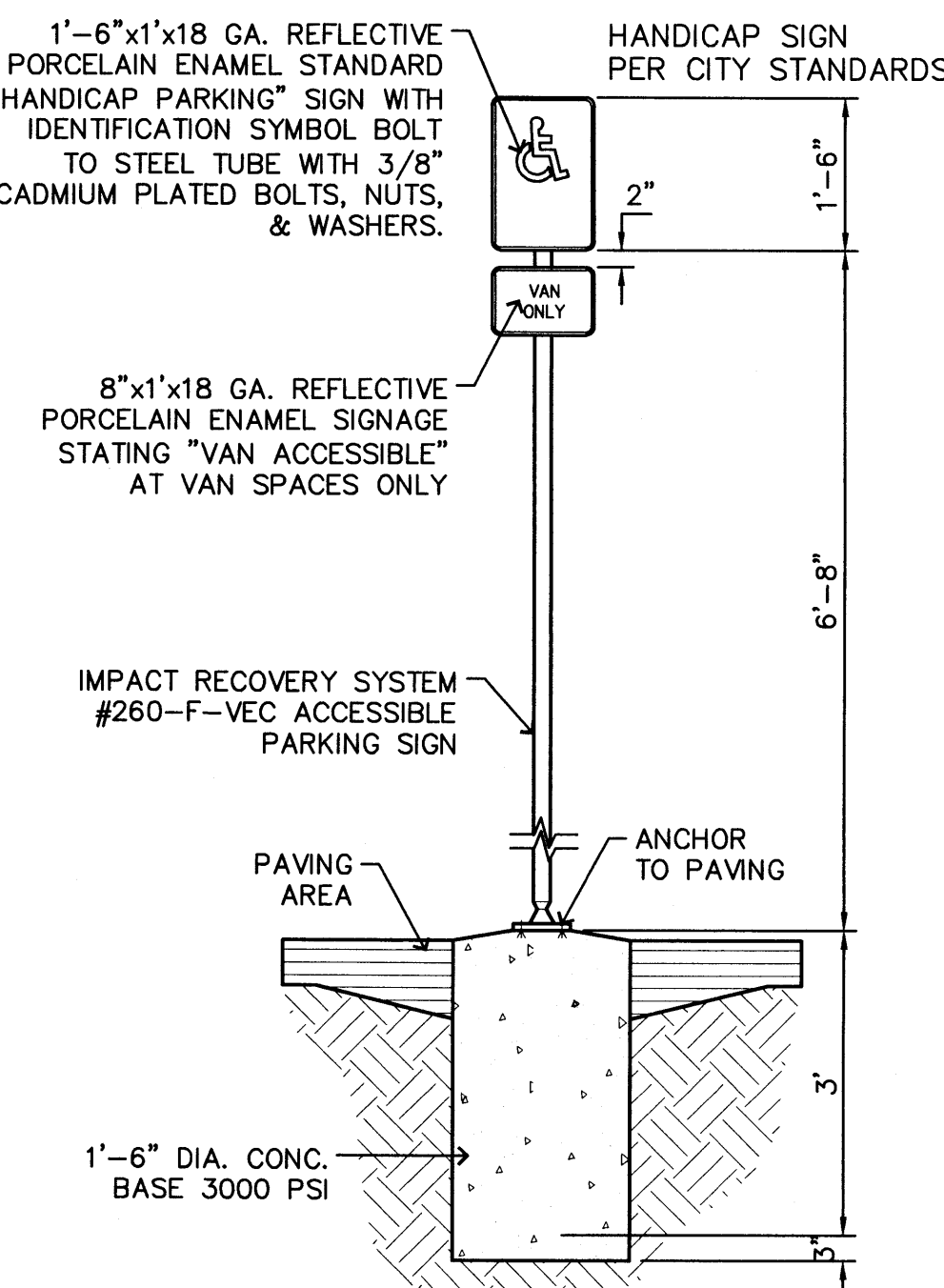


SECTION D-D
NTS

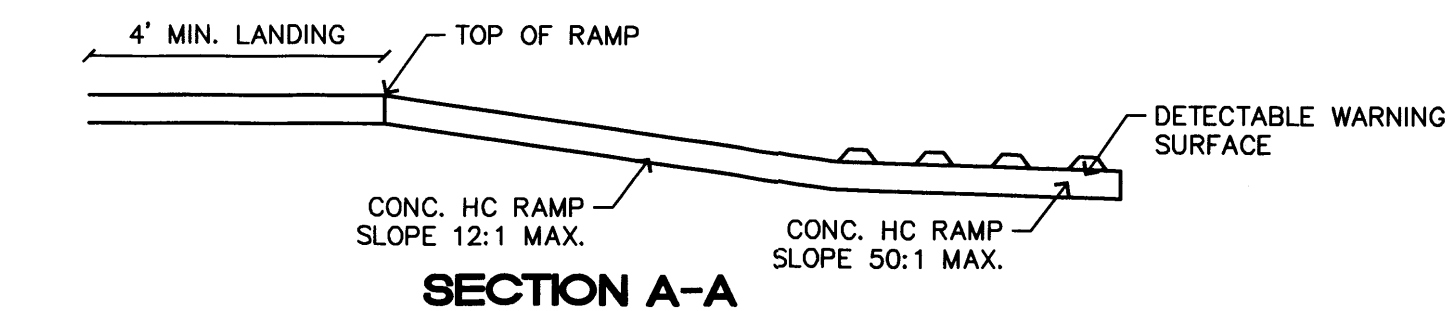
NOTE: HOT DIP GALVANIZED WHERE INDICATED ON ARCHITECTS PLANS



7 PIPE BOLLARD DETAIL
SCALE: NTS

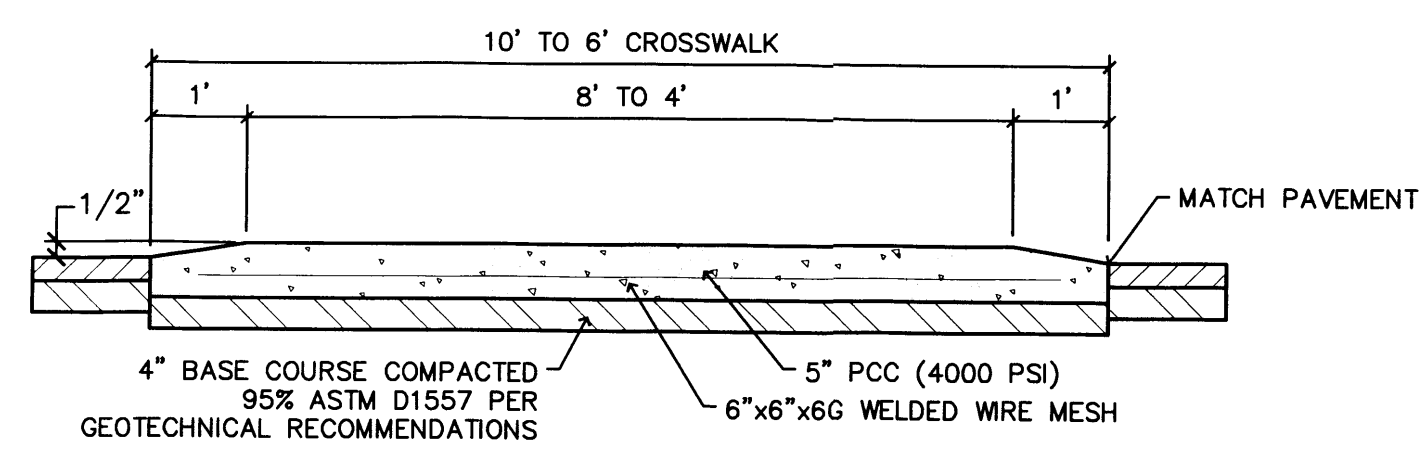


10 HANDICAP SIGN
SCALE: NTS

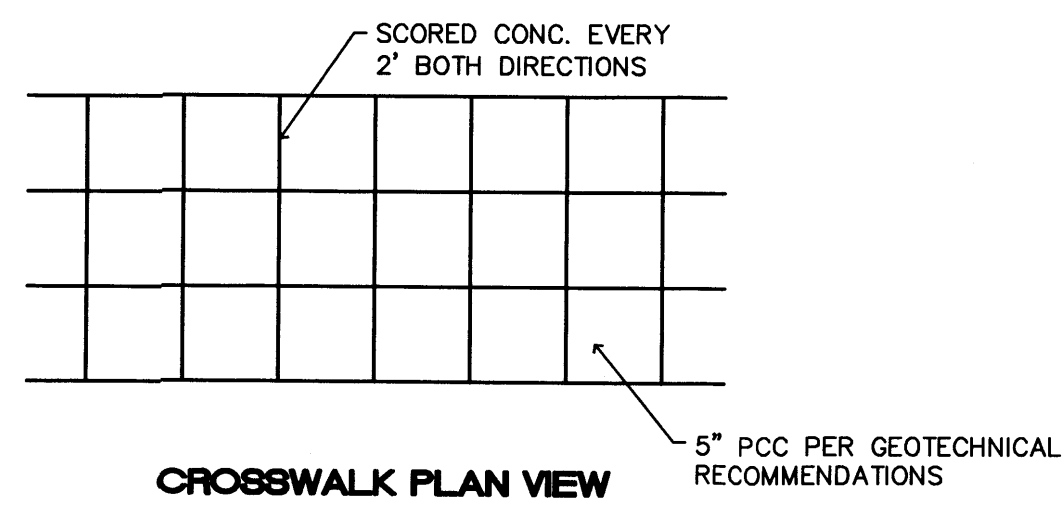


SECTION A-A

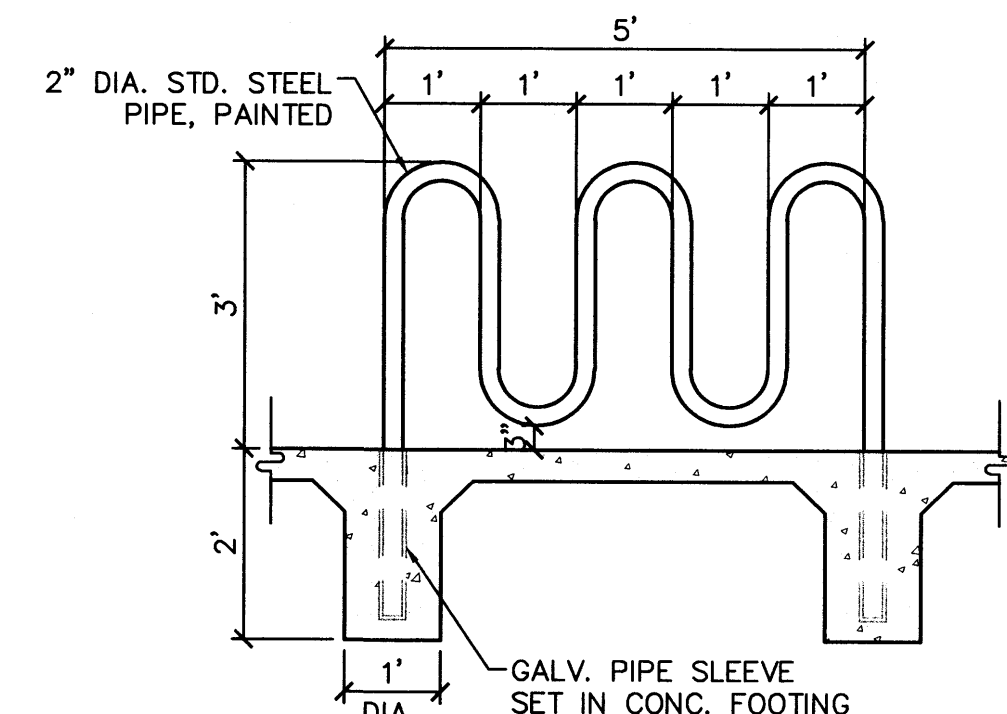
6 UNIDIRECTION HC RAMP
SCALE: NTS



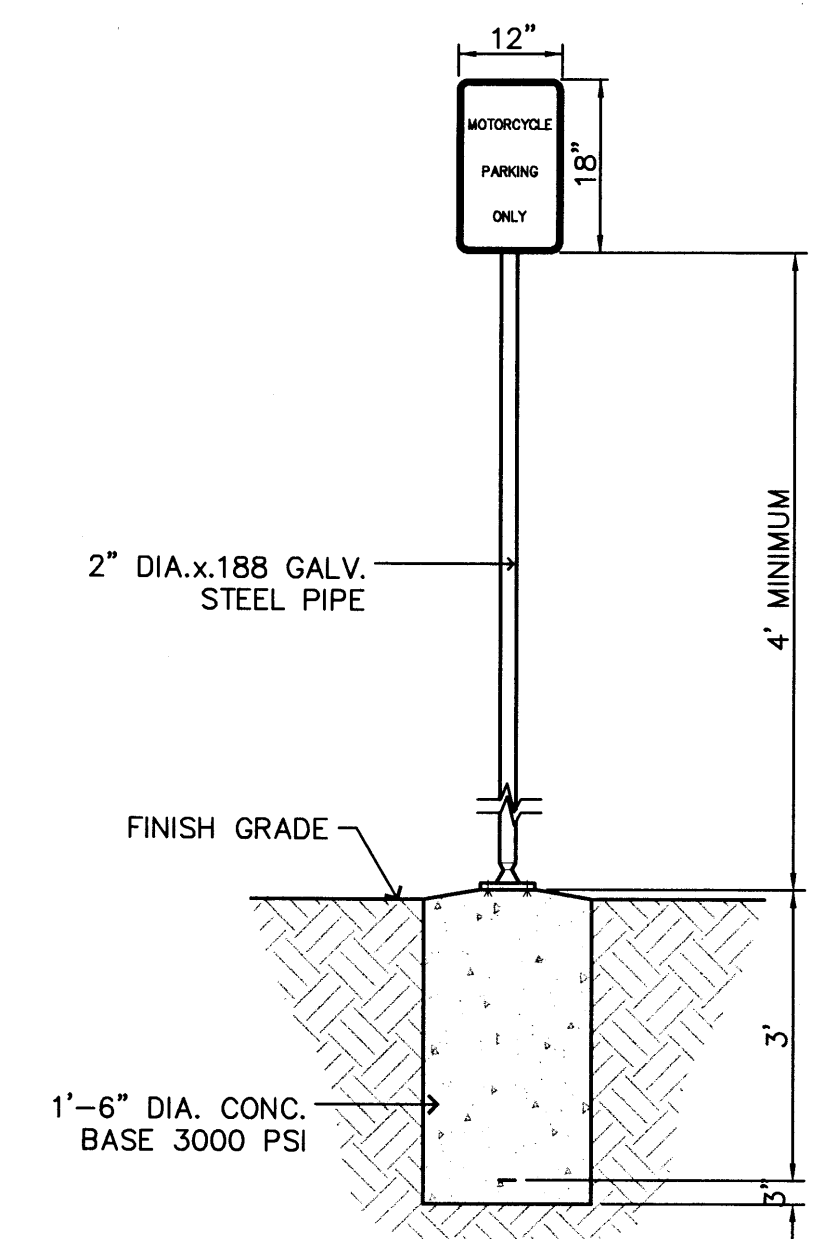
8 RAISED CROSSWALK
SCALE: NTS



CROSSWALK PLAN VIEW
5" PCC PER GEOTECHNICAL RECOMMENDATIONS

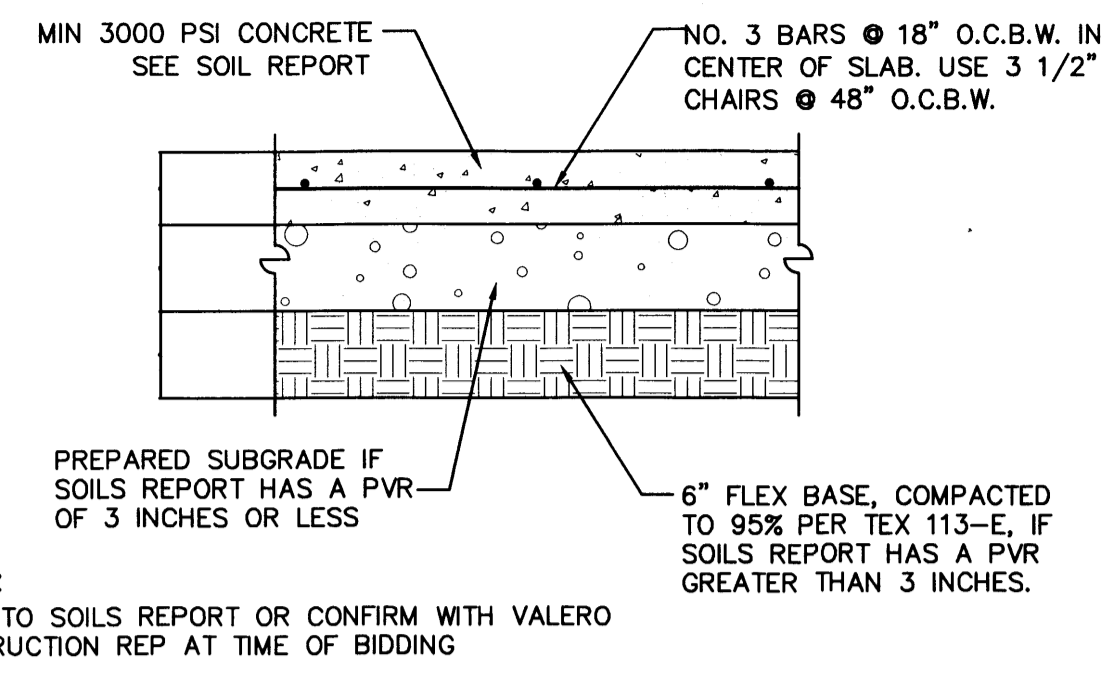


9 BIKE RACK DETAIL
SCALE: 1/2" = 1'-0"

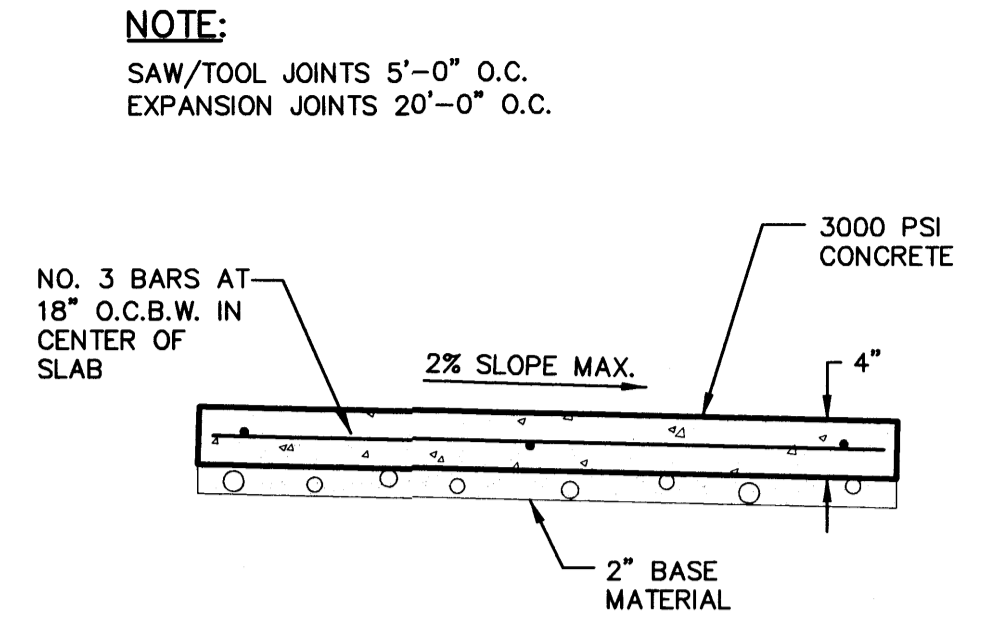


11 MOTORCYCLE PARKING SIGN
SCALE: NTS

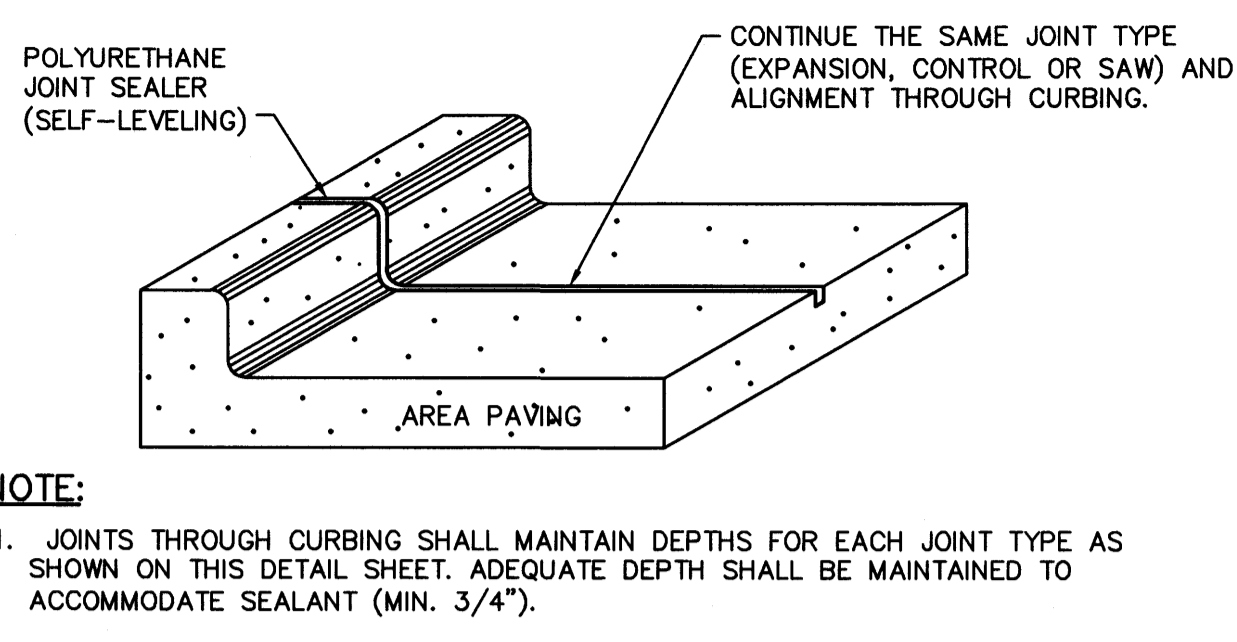
ENGINEER'S SEAL	VALERO, UNSER BLVD & McMAHON BLVD	DRAWN BY DY
		DATE 02-15-11
	DETAILS	201051-DET-C5
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 tierrawestllc.com	SHEET # C5
RONALD R. BOHANNAN P.E. #7868		JOB # 2010051



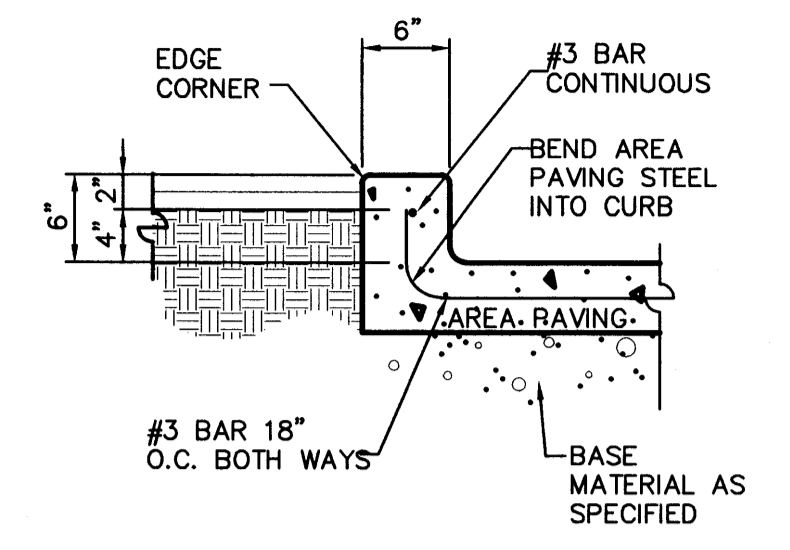
1 CONCRETE PAVEMENT
SCALE : N.T.S.



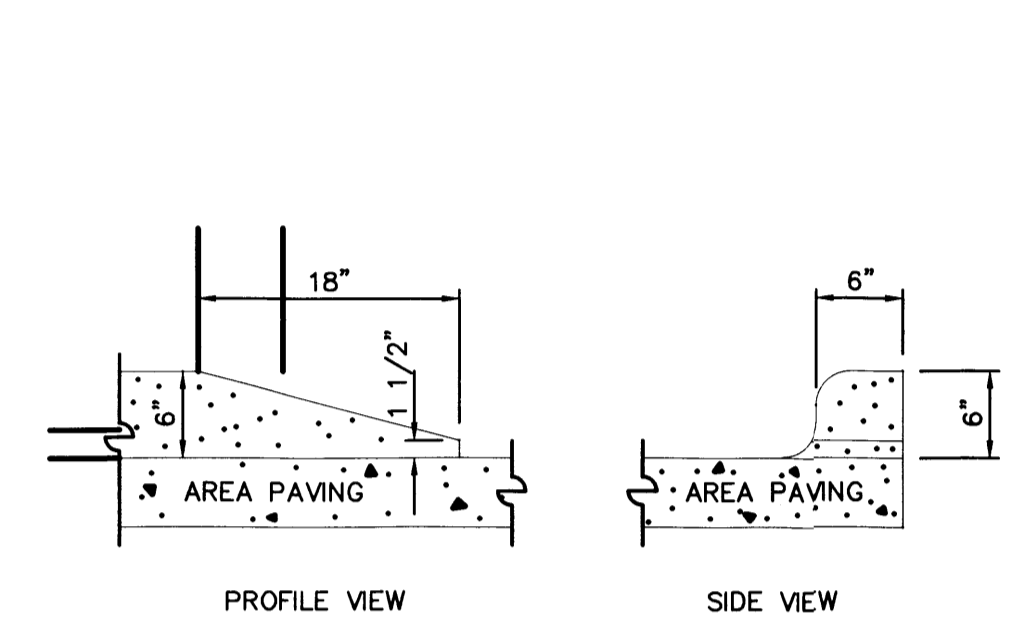
2 CONCRETE SIDEWALK
SCALE : N.T.S.



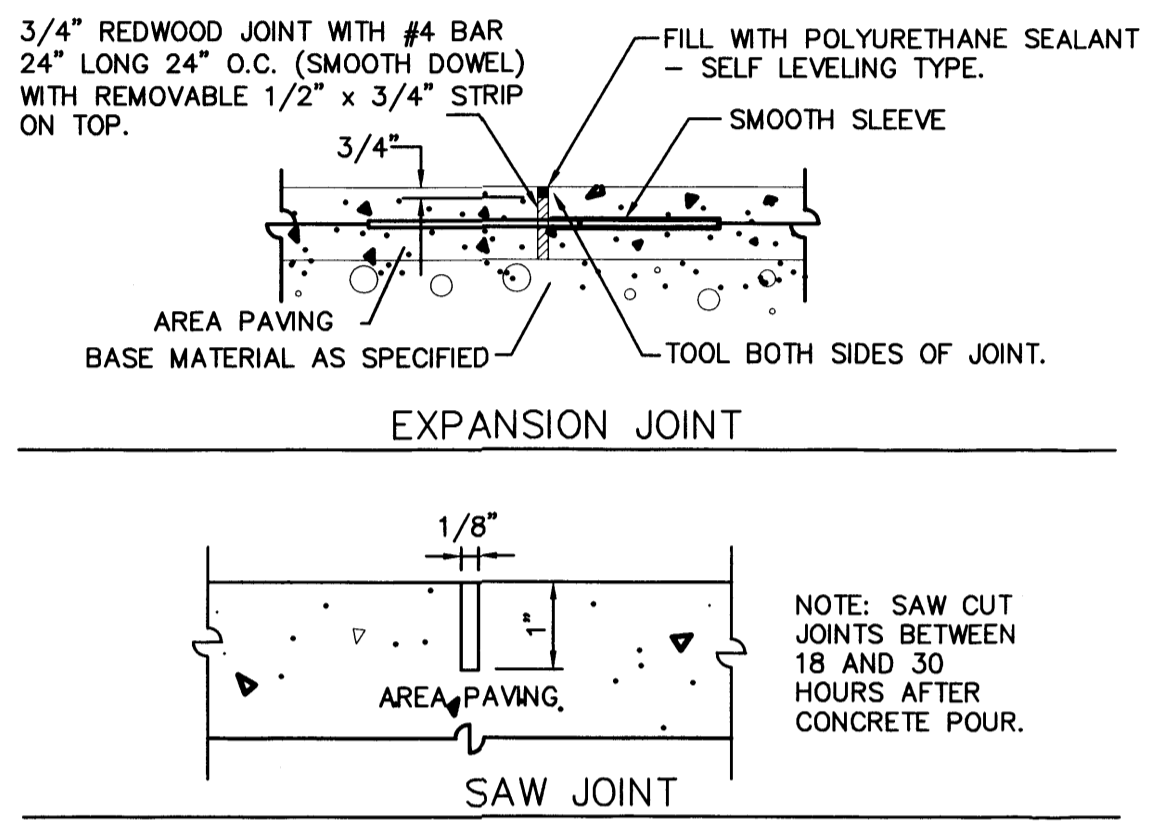
4 CONTINUOUS JOINT AT CURB
SCALE : N.T.S.



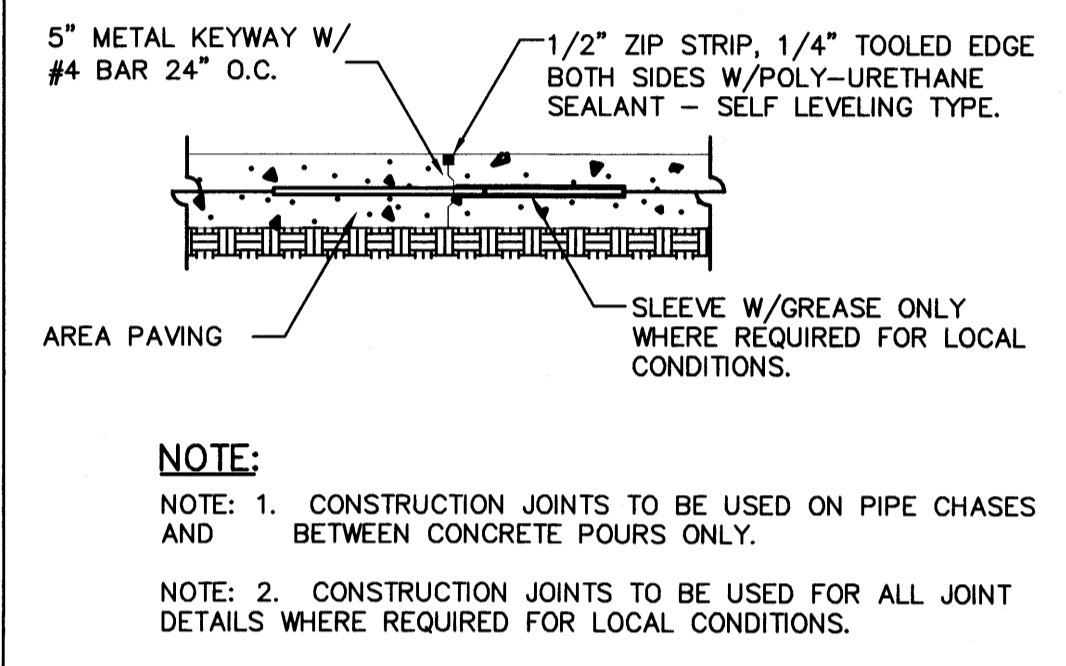
5 MONOLITHIC CURB
SCALE : N.T.S.



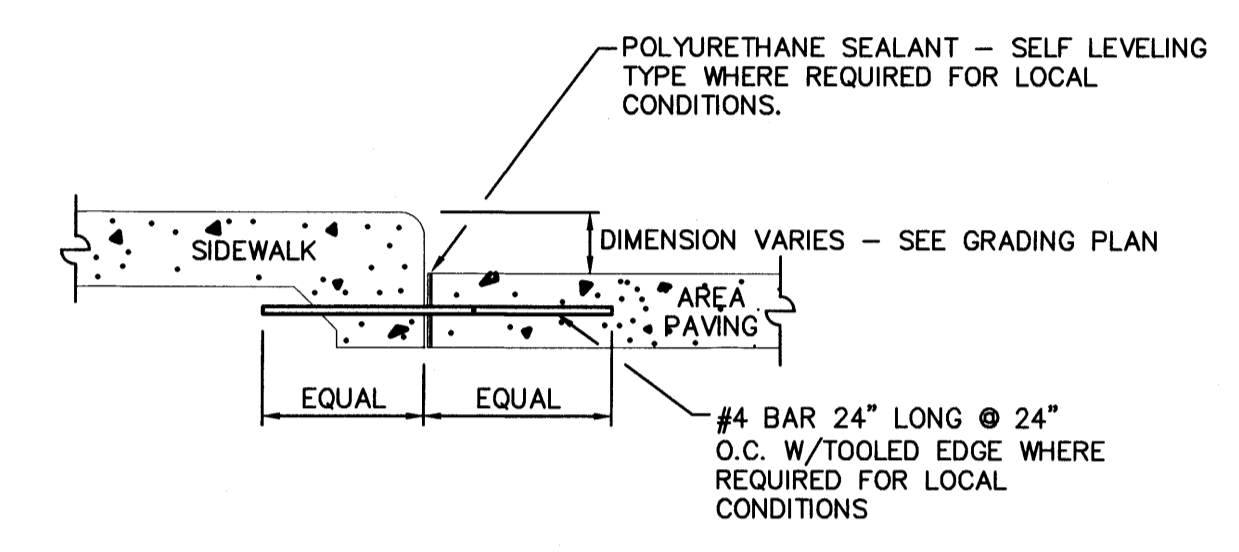
6 CURB TERMINAL
SCALE : N.T.S.



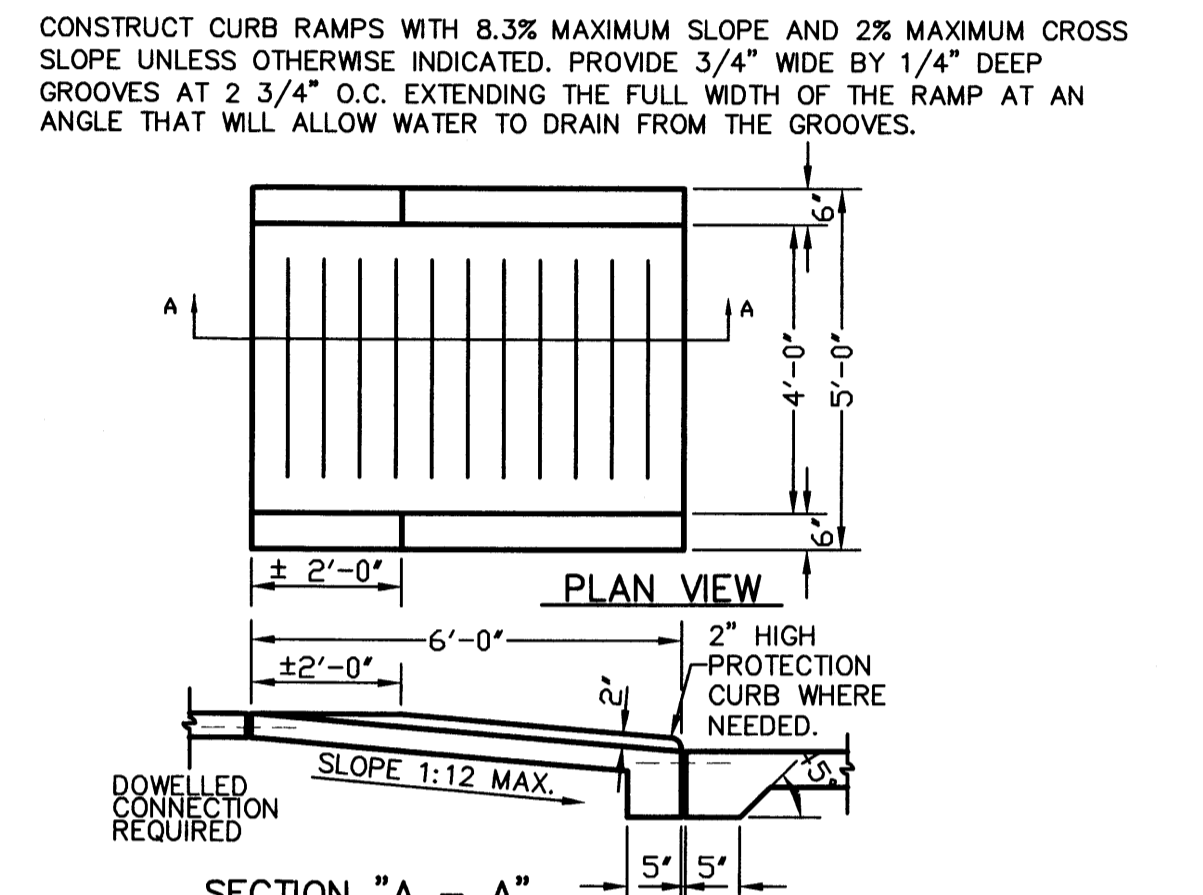
7 TYPICAL AREA CONCRETE JOINTS
SCALE : N.T.S.



8 CONSTRUCTION JOINT
SCALE : N.T.S.

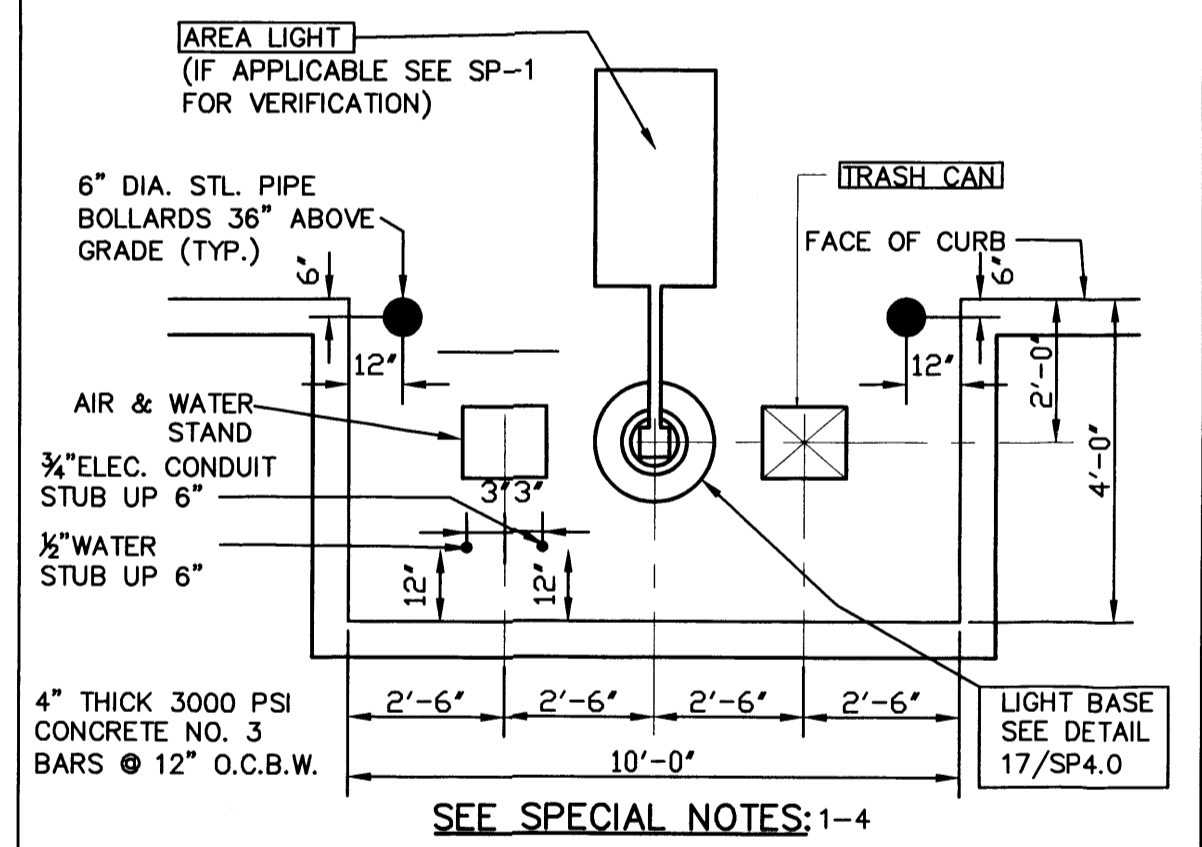


9 CONTROL JOINT AT BUILDING
SCALE : N.T.S.

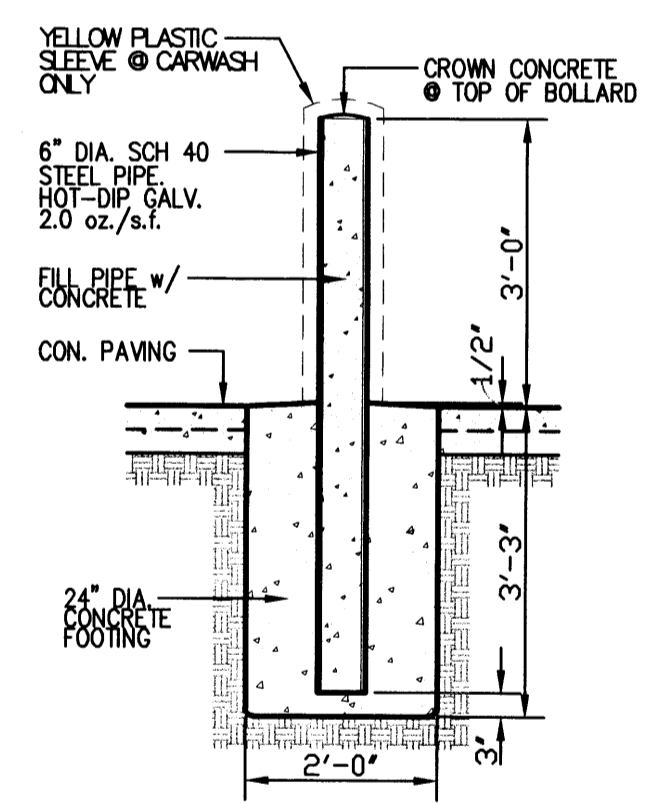


10 HANDICAP RAMP
SCALE : N.T.S.

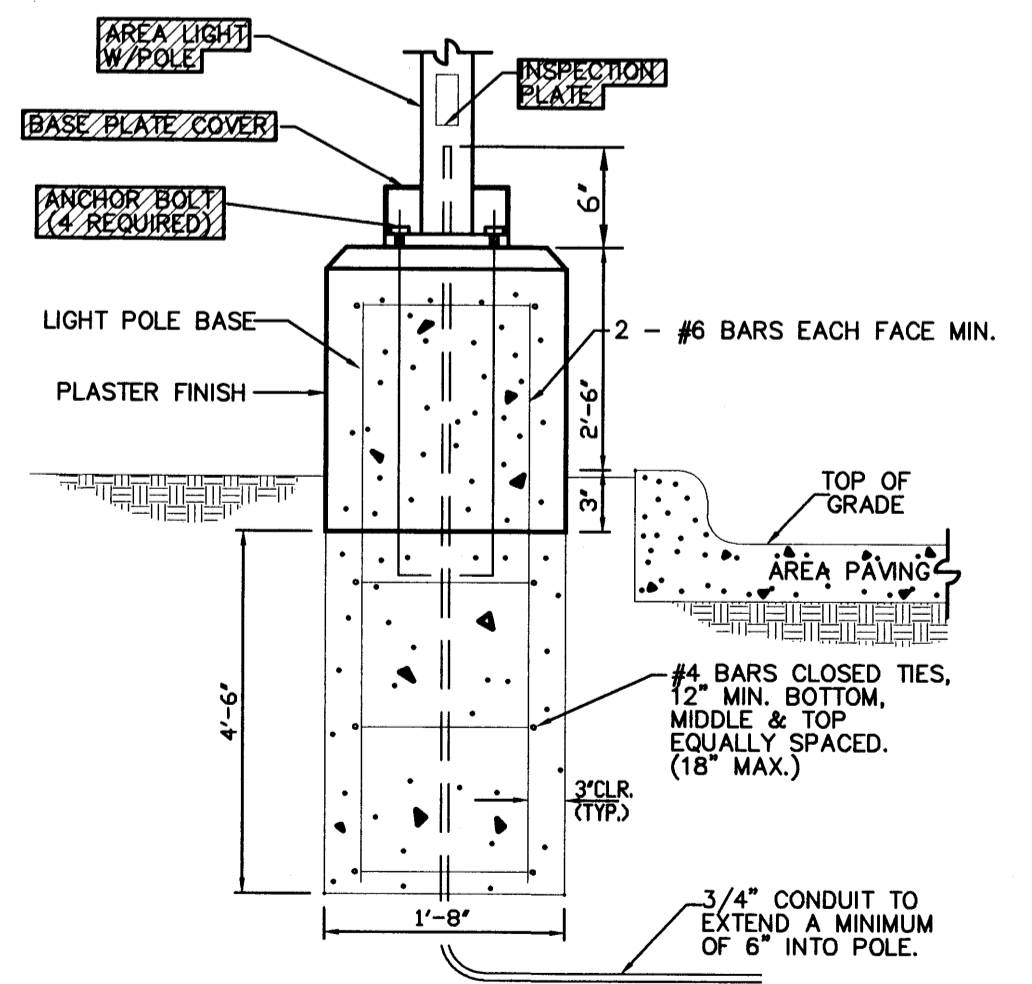
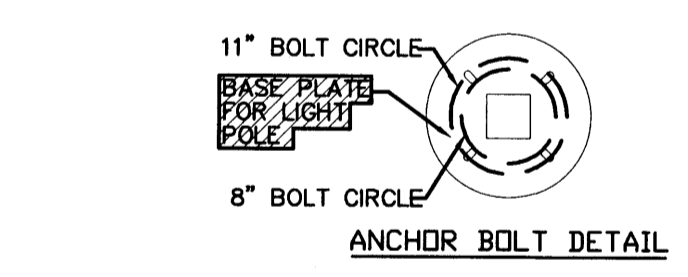
DETAIL NOT USED



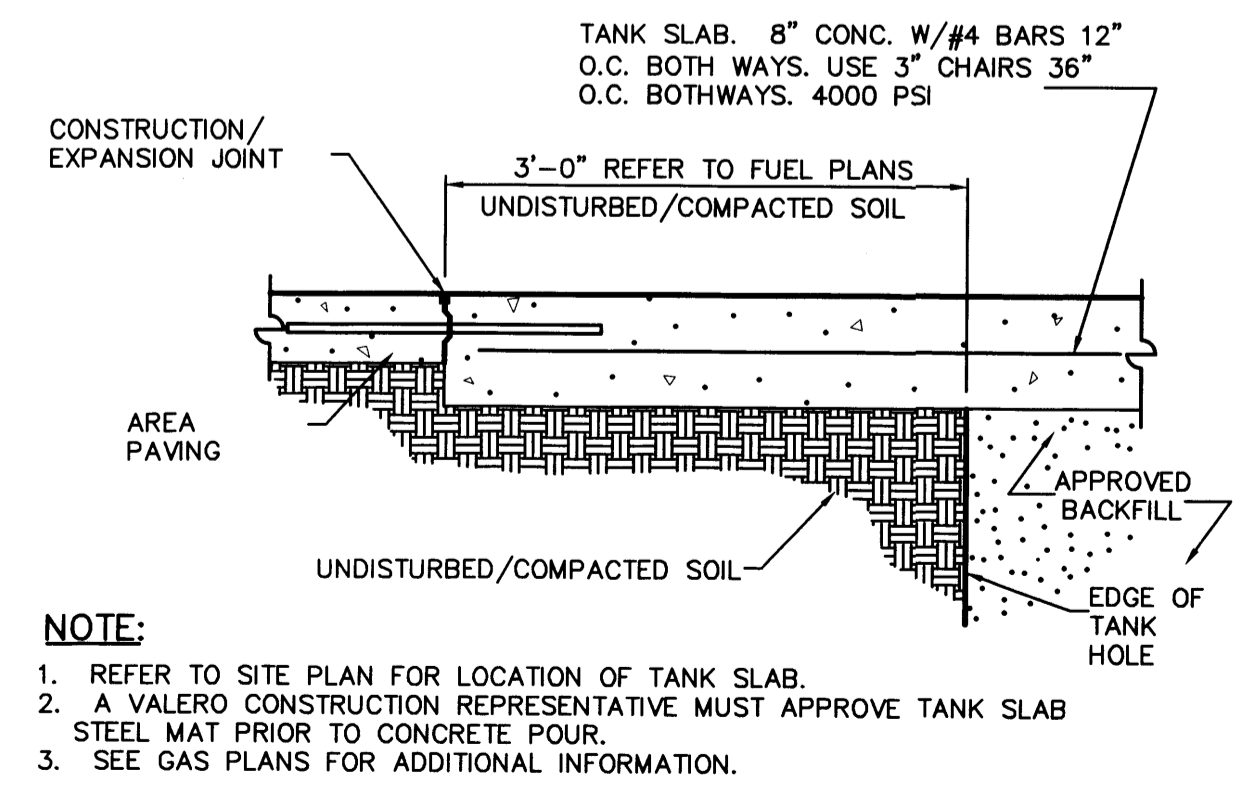
12 PAD DETAIL FOR AIR/WATER/VACUUM & AREA LIGHT
SCALE : N.T.S.



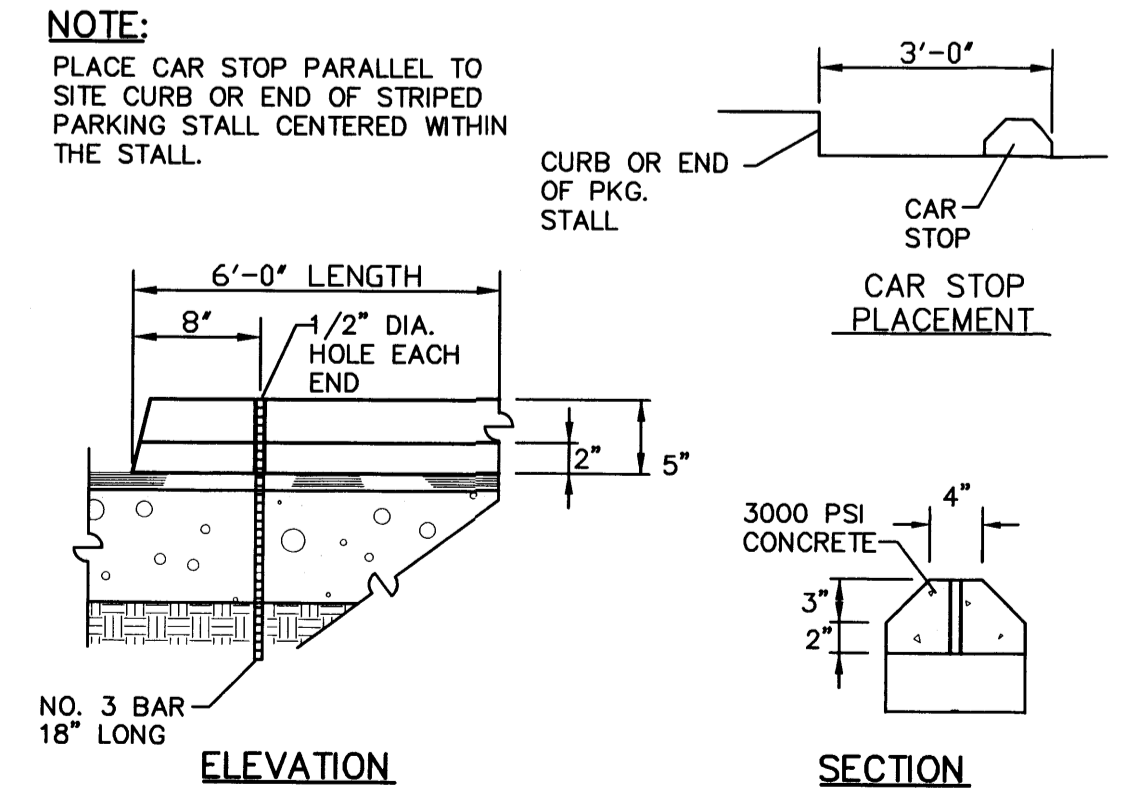
13 PIPE BOLLARD
SCALE : N.T.S.



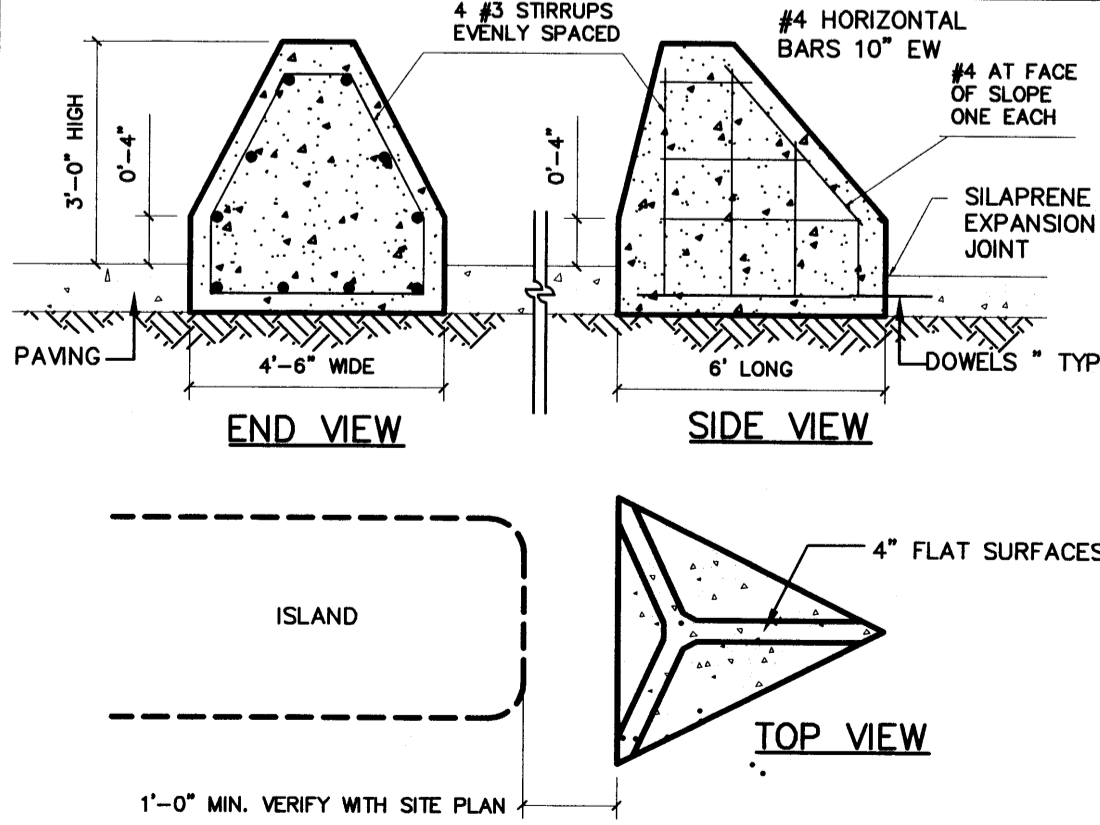
17 AREA LIGHT FOOTING
SCALE : N.T.S.



14 TANK SLAB
SCALE : N.T.S.



15 CONCRETE CAR STOP
SCALE : N.T.S.



16 TRUCK ISLAND "PYRAMID"
SCALE : N.T.S.

RESPONSIBILITY LEGEND

ITEM FURNISHED BY VALERO ENERGY CORPORATION AND INSTALLED BY GENERAL CONTRACTOR.

ALL OTHER WORK TO BE FURNISHED AND INSTALLED BY THE GENERAL CONTRACTOR.

SPECIAL NOTES:

- PAY PHONES AND AREA LIGHT TO BE SPACED EQUALLY.
- VACUUM, AREA LIGHT, AIR AND WATER MACHINE TO BE SPACED EQUALLY.
- AIR MACHINE ONLY WHERE REQUIRED FOR LOCAL CONDITIONS.
- IF AREA LIGHT IS NOT INCLUDED, DECREASE LENGTH OF PAD BY 18"

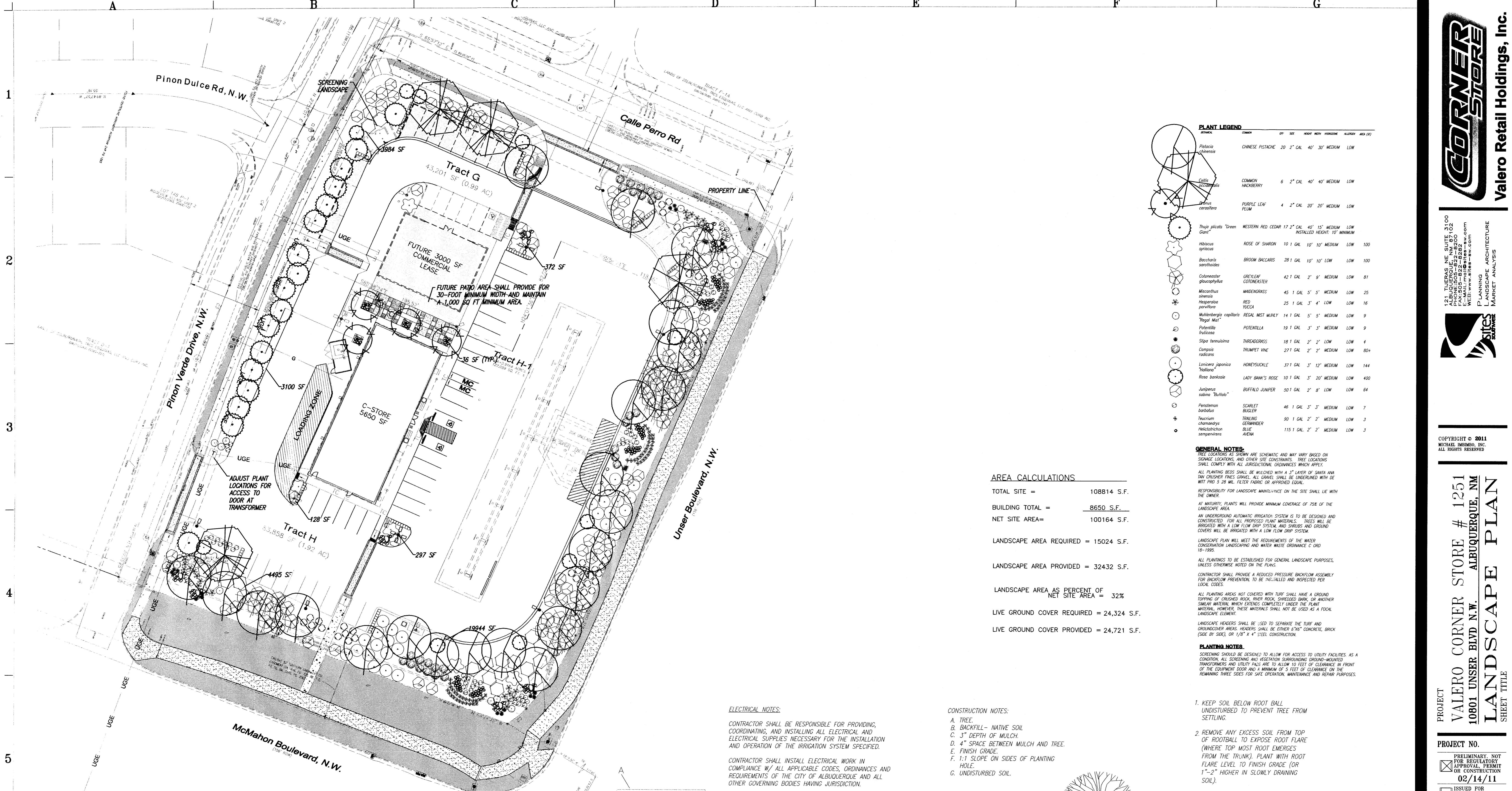
CONCRETE SPECIFICATIONS

ALL CONCRETE SHALL BE 3500 PSI UNLESS NOTED OTHERWISE

GENERAL NOTE:

ALL DETAILS SHOWN ON THIS SHEET ARE TO BE USED ONLY WHEN THESE CONDITIONS ARE NOT DETAILED ELSEWHERE IN THE CONSTRUCTION DOCUMENTS.

ENGINEER'S SEAL	VALERO, UNSER BLVD & McMAHON BLVD	DRAWN BY BY
		DATE 01-18-11
	DETAILS	201051-DET-C6
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 tierrewestllc.com	SHEET # C6
RONALD R. BOHANNAN P.E. #7868		JOB # 2010051



PLANT LEGEND

SYMBOL	COMMON NAME	HEIGHT	SPREAD	ROOT SPREAD	WIND RESISTANCE	WIND DIRECTION	WIND SPEED
	Platanus chinensis	CHINESE PISTACHE	20' 2"	40' 40'	30'	MEDIUM	LOW
	Castus coccineus	COMMON HACKBERRY	6' 2"	40' 40'	40'	LOW	LOW
	Prunus cerasifera	PURPLE LEAF PLUM	4' 2"	20' 20'	20'	MEDIUM	LOW
	Thuja plicata 'Green Giant'	WESTERN RED CEDAR	17' 2"	40' 15"	MEDIUM	LOW	LOW
	Hibiscus syriacus	ROSE OF SHARON	10' 1"	10' 10'	MEDIUM	LOW	100
	Baccharis sarothoides	BROOM BAUCARS	28' 1"	10' 10'	LOW	LOW	100
	Cotoneaster glaucophyllus	GREYLEAF COTONEASTER	42' 1"	2' 9"	MEDIUM	LOW	81
	Miscanthus sinensis	MADENGRASS	45' 1"	5' 5'	MEDIUM	LOW	25
	Hesperaloe parviflora	RED YUCCA	25' 1"	3' 4'	LOW	LOW	16
	Muhlenbergia capillaris	REGAL MIST MURRAY	14' 1"	5' 5'	MEDIUM	LOW	9
	Potentilla fruticosa	POTENTILLA	19' 1"	3' 3'	MEDIUM	LOW	9
	Stipa tenuissima	THREADGRASS	18' 1"	2' 2'	LOW	LOW	4
	Campsis radicans	TRUMPET VINE	27' 1"	2' 2'	MEDIUM	LOW	804
	Lonicera japonica 'Halliana'	HONEYSUCKLE	37' 1"	3' 12'	MEDIUM	LOW	144
	Rosa banksiae	LADY BANK'S ROSE	10' 1"	3' 20'	MEDIUM	LOW	400
	Juniperus sibirica 'Blue Halo'	BUFFALO JUNIPER	50' 1"	2' 8'	LOW	LOW	64
	Parthenocissus vitacea	SCARLET BUGLE	46' 1"	3' 3'	MEDIUM	LOW	7
	Tricorymb chloranthus	TRAILING GERANIUM	30' 1"	2' 2'	MEDIUM	LOW	3
	Hedera helix	BLUE AVENUE	115' 1"	2' 2'	MEDIUM	LOW	3

GENERAL NOTES:
 TREE LOCATIONS AS SHOWN ARE SCHEMATIC AND MAY VARY BASED ON SOIL TYPE, CLIMATE, AND OTHER SITE CONSTRAINTS. TREE LOCATIONS SHALL COMPLY WITH ALL APPLICABLE REGULATIONS AND ORDINANCES.
 ALL PLANTING BEDS SHALL BE KEPT OPEN TO ALLOW FOR SOIL AERATION AND TAN CRUSHER FINES GRAVEL. ALL GRAVEL SHALL BE UNDERLINED WITH DE WITT PRO 3 28 MIL FILTER FABRIC OR APPROVED EQUAL.
 RESPONSIBILITY FOR LANDSCAPE MAINTENANCE ON THE SITE SHALL LIE WITH THE OWNER.
 AT MATURITY, PLANTS WILL PROVIDE MINIMUM COVERAGE OF 75% OF THE LANDSCAPE AREA.
 AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM IS TO BE DESIGNED AND CONSTRUCTED FOR ALL PROPOSED PLANT MATERIALS. TREES WILL BE IRRIGATED WITH A LOW FLOW DRIP SYSTEM, AND SHRUBS AND GROUND COVERS WILL BE IRRIGATED WITH A LOW FLOW DRIP SYSTEM.
 LANDSCAPE PLAN WILL MEET THE REQUIREMENTS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE C-ORD 18-1992.
 ALL PLANTINGS TO BE ESTABLISHED FOR GENERAL LANDSCAPE PURPOSES, UNLESS OTHERWISE NOTED ON THE PLANS.
 CONTRACTOR SHALL PROVIDE A REDUCED PRESSURE BACKFLOW ASSEMBLY FOR BACKFLOW PREVENTION, TO BE INSTALLED AND INSPECTED PER LOCAL CODES.
 ALL PLANTING AREAS NOT COVERED WITH TURF SHALL HAVE A GROUND TOPPING OF CRUSHED ROCK, RIVER ROCK, SHREDED BARK, OR ANOTHER SIMILAR MATERIAL WHICH EXTENDS COMPLETELY UNDER THE PLANT MATERIAL. HOWEVER, THESE MATERIALS SHALL NOT BE USED AS A FODAL LANDSCAPE ELEMENT.
 LANDSCAPE HENKERS SHALL BE USED TO SEPARATE THE TURF AND GROUNDCOVER AREAS. HENKERS SHALL BE EITHER 4" x 4" CONCRETE BRICK (SIDE BY SIDE), OR 1/8" x 4" STEEL CONSTRUCTION.

AREA CALCULATIONS

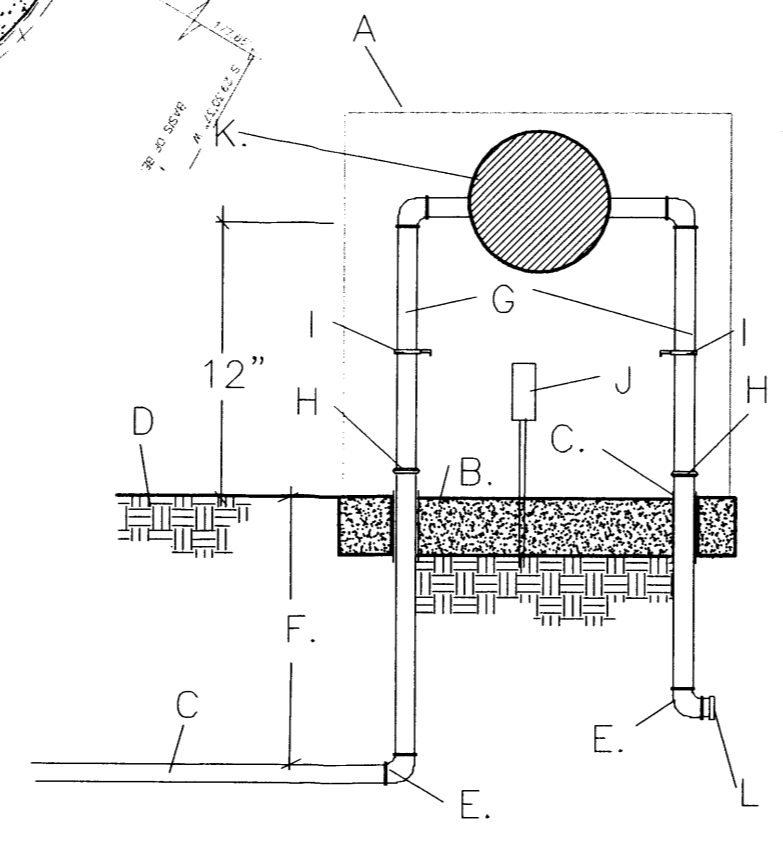
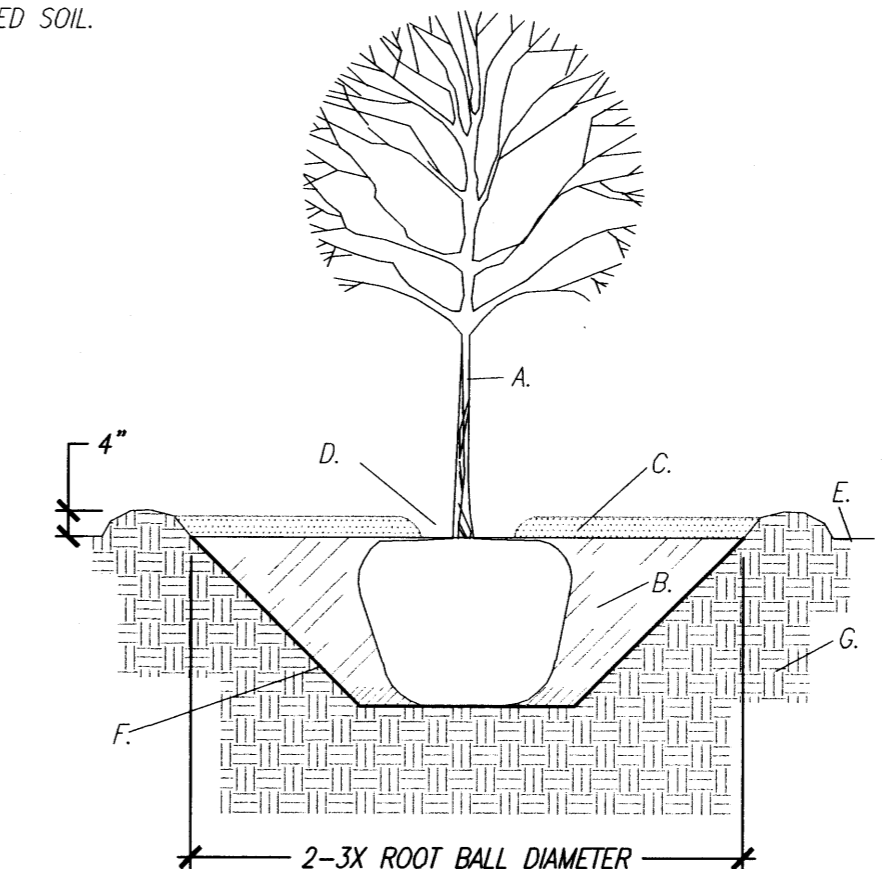
TOTAL SITE =	108814 S.F.
BUILDING TOTAL =	8650 S.F.
NET SITE AREA =	100164 S.F.
LANDSCAPE AREA REQUIRED =	15024 S.F.
LANDSCAPE AREA PROVIDED =	32432 S.F.
LANDSCAPE AREA AS PERCENT OF NET SITE AREA =	32%
LIVE GROUND COVER REQUIRED =	24,324 S.F.
LIVE GROUND COVER PROVIDED =	24,721 S.F.

PLANTING NOTES:
 SCREENING SHOULD BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. AS A CONDITION, ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PALS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND A MINIMUM OF 5 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

ELECTRICAL NOTES:
 CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING, COORDINATING, AND INSTALLING ALL ELECTRICAL AND ELECTRICAL SUPPLIES NECESSARY FOR THE INSTALLATION AND OPERATION OF THE IRRIGATION SYSTEM SPECIFIED.
 CONTRACTOR SHALL INSTALL ELECTRICAL WORK IN COMPLIANCE WITH ALL APPLICABLE CODES, ORDINANCES AND REQUIREMENTS OF THE CITY OF ALBUQUERQUE AND ALL OTHER GOVERNING BODIES HAVING JURISDICTION.

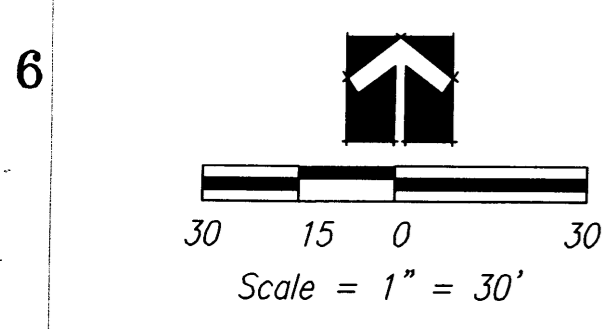
CONSTRUCTION NOTES:
 A. TREE.
 B. BACKFILL - NATIVE SOIL.
 C. 3" DEPTH OF MULCH.
 D. 4" SPACE BETWEEN MULCH AND TREE.
 E. FINISH GRADE.
 F. 1:1 SLOPE ON SIDES OF PLANTING HOLE.
 G. UNDISTURBED SOIL.

CONSTRUCTION NOTES:
 A. ENCLOSURE (SEE PLAN)
 B. 4000 PSI CONCRETE PAD, 4" DEPTH
 C. PIPE SHALL BE SLEEVED THROUGH CONCRETE PAD WITH SCHEDULE 40 PVC.
 D. FINISH GRADE
 E. GALVANIZED ELL
 F. 28" MIN. DEPTH
 G. GALVANIZED NIPPLE
 H. GALVANIZED UNION, 4" ABOVE GRADE, MIN.
 I. TEE W/ DRAIN, MINIMUM 8" ABOVE GRADE. BALL DRAIN CHAMPION DIVISION 1/2"
 J. ELECTRICAL OUTLET FOR HEAT PROTECTIVE TAPE
 K. REDUCED PRESSURE VACUUM BREAKER BACKFLOW PREVENTOR
 L. PVC MIP ADAPTER



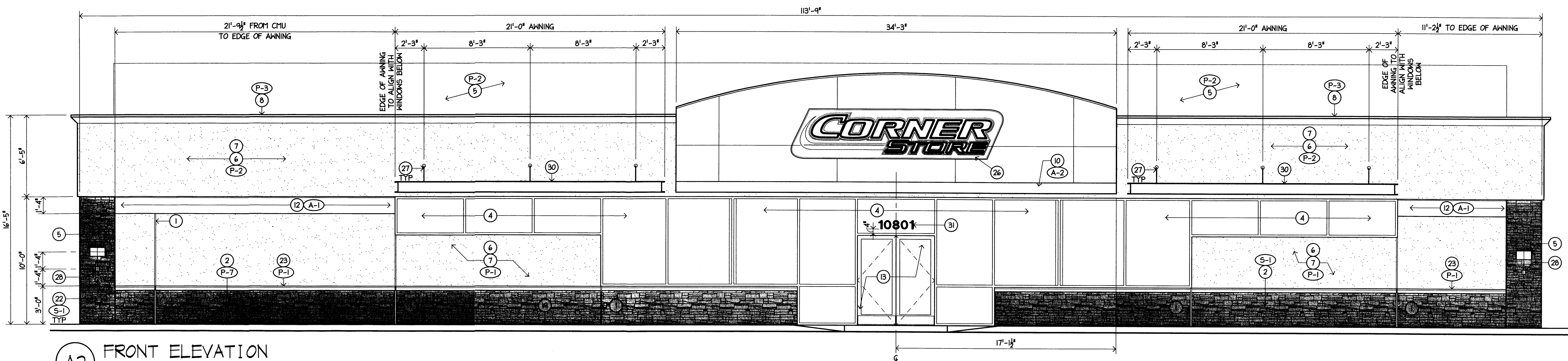
1 REDUCED PRESSURE BACKFLOW PREVENTER NOT TO SCALE

2 TREE PLANTING NOT TO SCALE



REVISIONS

NO.	DESCRIPTION



A2 FRONT ELEVATION
SCALE: 1/4" = 1'-0"
SIGNAGE = 4.7% OF FAÇADE

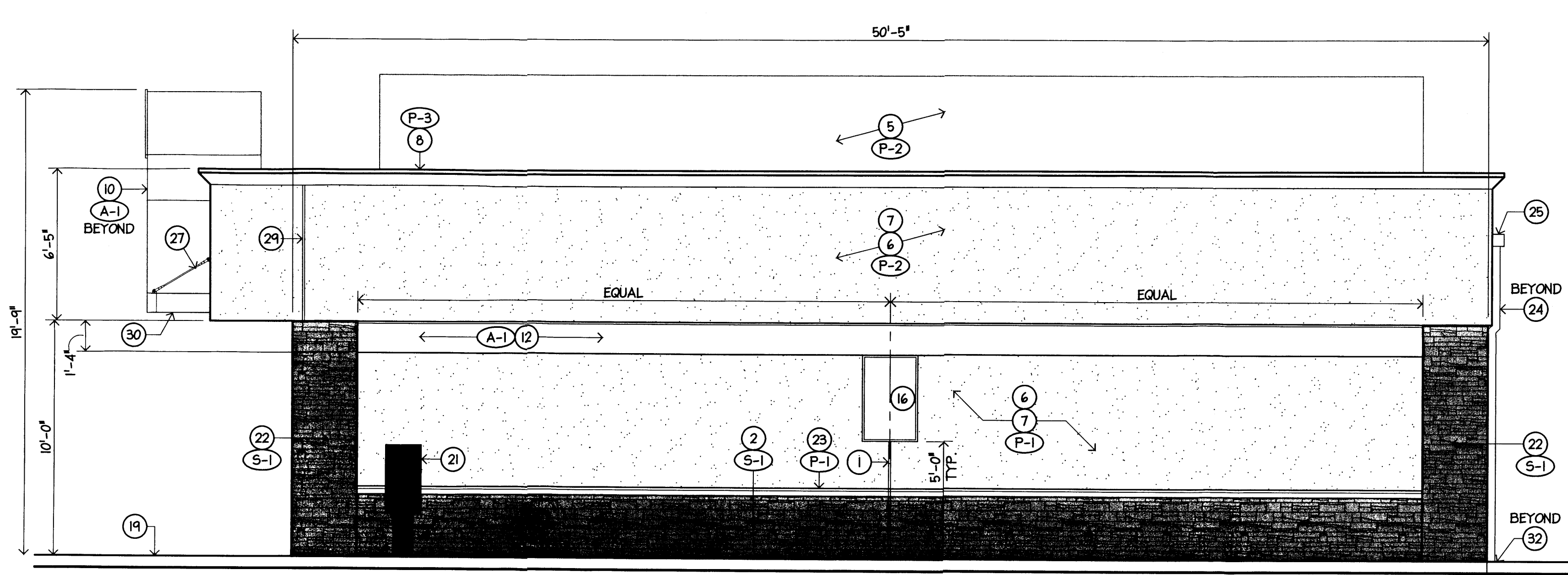
KEYED NOTES

- General: All coating system shall be in accordance with Owner's "Painting Specifications - Valero Image Paint Program".
- Masonry control joint, Detail G1/A4.3.
 - Stone wainscot, painted with special coating system as noted.
 - 8"W x 4"H x 16"L CMU sill block, typical. Modify 12"L corner blocks as required to course correctly. Paint with special coating system as noted.
 - Aluminum storefront system. See Detail A2/A5.1.
 - Roof screen.
 - Stucco system painted with elastomeric coating.
 - Paint security equipment to match adjacent color as directed by VRH Construction Specialist. See Detail E6/A3.1 for typical pipe and conduit penetrations.
 - Anodized aluminum parapet coping.
 - Recessed CO₂ filler box by Owner's Vendor. See Details E6 and F6/A3.1 for penetrations through wall.
 - ACM Entry feature.
 - H.M. door and frame as scheduled, Paint as noted.
 - ACM accent band by Canopy Contractor.
 - Aluminum storefront doors as scheduled.
 - Install 1/2" plywood sheathing instead of "Densglass" behind stucco system architectural foam profile at sign.
 - Roof ladder, Detail A6/A4.4. See Structural for anchoring and supports. Paint, P-1.
 - Sign furnished by Owner for installation by GC.
 - Equipment as scheduled.
 - Exterior electrical panels, conduits and gutters. Paint, P-1.
 - Concrete walk per Civil.
 - Light fixture per MEP.
 - Handicap accessible public pay telephone by Owner's vendor.
 - Stone column.
 - 8" split-faced CMU wall, painted with special coating system as noted.
 - 24 ga. prefinished metal gutter, 6"x6", match color P-1, Detail A6/A4.3.
 - 24 ga. prefinished metal gutter, 6"x6", match color P-1, Detail A6/A4.3.
 - Illuminated sign by Owner's sign vendor. Confirm mounting and support requirements prior to enclosing framing. See Detail E6/A3.1 for typical pipe and conduit penetrations.
 - Awning tension rod by General Contractor. See Detail B6/A4.2.
 - NOT USED.
 - Stucco system architectural foam profile control joint, Detail B3/A4.2.
 - Steel awning per Structural, point to match A-2. Detail B6/A4.2.
 - Address numbers centered across transom glass. Numbers shall be a minimum of 8" high and have a minimum stroke width of 1/2". Coordinate specific requirements with VRH Construction Specialist.
 - Rain leader. See MEP and Civil for continuation below.

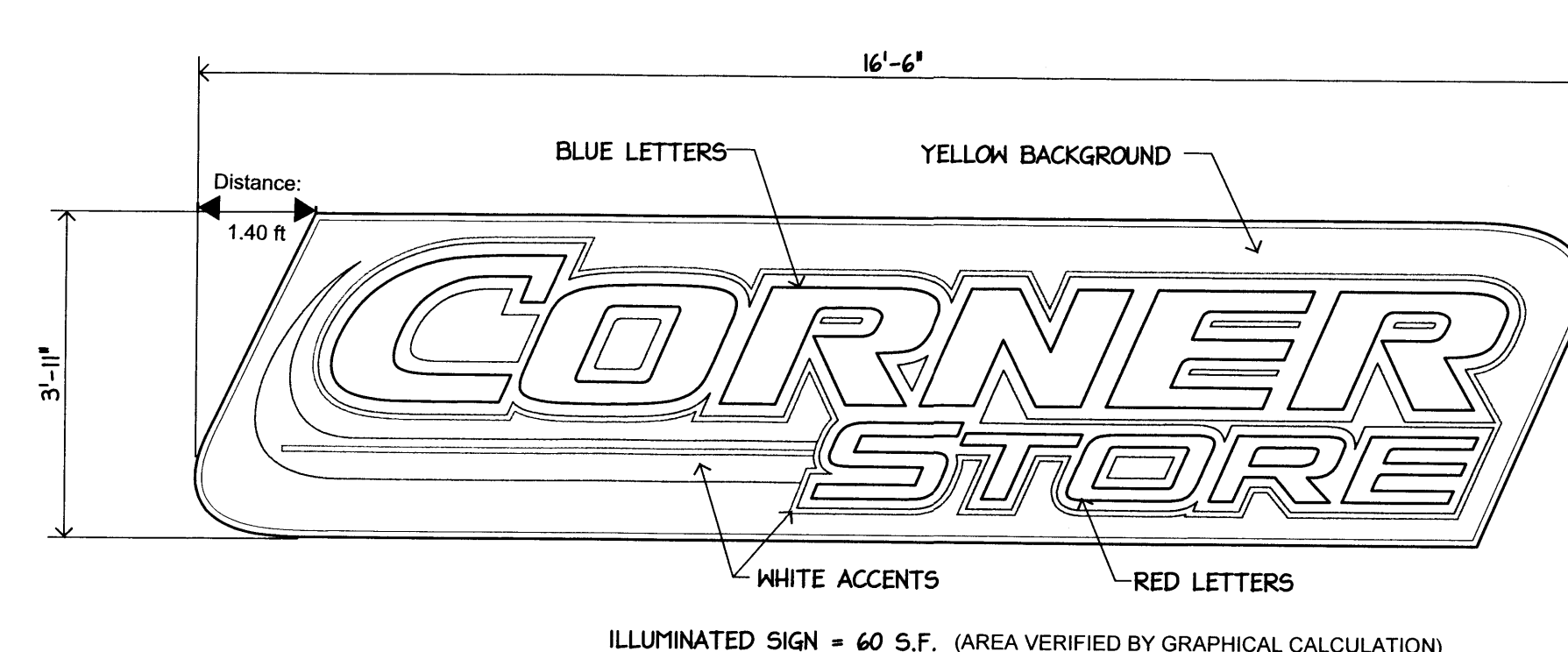
(4) LIGHT GREY = 0.13
(10) DARK RED = 0.25 @ 50%
(11) PINK = 0.25 @ 40%

(5) BLUE = 0.35 @ 65%
(6) MAGENTA = 0.65
(7) WHITE = 1.0
(8) DARK GREY = 0.18

(1) RED = 0.70
(2) YELLOW = 0.50
(3) GREEN = 0.35
(4) CYAN = 0.25



A4 EAST ELEVATION
SCALE: 1/4" = 1'-0"
SIGNAGE = 3% OF FAÇADE



A6 SIGN ELEVATION
SCALE: 1/2" = 1'-0"
ILLUMINATED SIGN = 60 S.F. (AREA VERIFIED BY GRAPHICAL CALCULATION)

C2 SIGN ELEVATION
SCALE: 1/2" = 1'-0"

FINISH SCHEDULE		
(P-1)	BROWN	DUNN EDWARDS 'COUNTRY BUTTERSCOTCH' #DE-6151
(P-2)	OFF WHITE	DUNN EDWARDS 'COUNTRY SUMMER' #DE-5420
(P-3)	DARK BROWN	DUNN EDWARDS 'RODEO' #DE-163
(P-4)	DARK GREY	SHERWIN WILLIAMS #SW 2006, MOCKINGBIRD
(P-5)	TEAL	SHERWIN WILLIAMS CUSTOM COLOR, EXT. TEAL #1
(P-6)	GOLD	SHERWIN WILLIAMS #SW 6A05, GOLD FINCH
(A-1)	GLOSS YELLOW	PREFINISHED ACM LANE SUPPLY, SUN GLOW YELLOW
(A-2)	ALUMINUM	PREFINISHED ACM LANE SUPPLY, CLEAR ANODIZED
(S-1)	STONE	EL DORADO STONE 'RUSTIC LEDGE' PINETOP



Valero Retail Holdings, Inc.
One Valero Way
San Antonio, TX 78249-1616



CORPORATE ARCHITECTURE & DEVELOPMENT
solutions
3436 New Castle Dr.
Loveland, CO 80538
phone: 970.988.6302

VALERO RETAIL HOLDING
CORNER STORE # 1251
UNSER BLVD. NW & McMAHON BLVD. NW
ALBUQUERQUE, NEW MEXICO

PROJECT NO. 0284-07

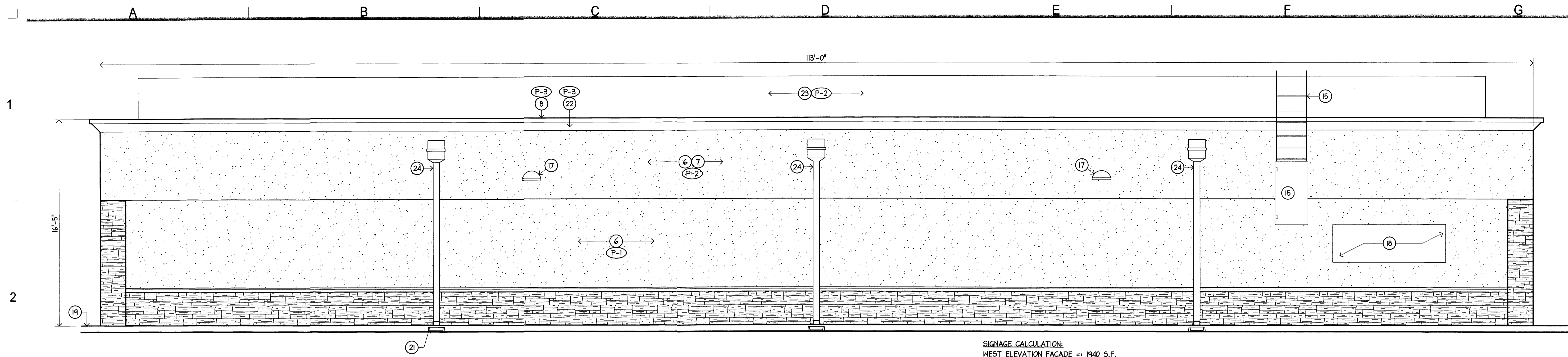
ISSUE	DATE
1ST SUBMITTAL	9-29-10
2ND SUBMITTAL	10-27-10

SHEET TITLE

EXTERIOR
ELEVATIONS

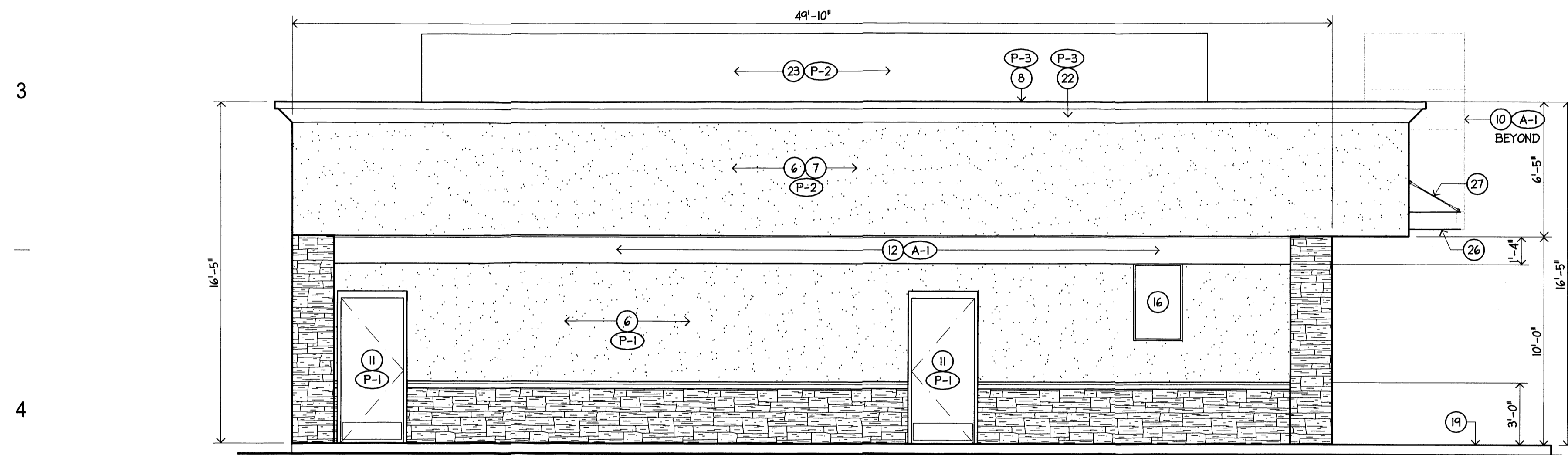
SHEET NO.

A3.2



SIGNAGE CALCULATION:
WEST ELEVATION FACADE = 1940 S.F.
PROPOSED SIGNAGE: NONE

D3 WEST ELEVATION
SCALE: 1/4" = 1'-0"



SIGNAGE CALCULATION:
SOUTH ELEVATION FACADE = 840 S.F.
PROPOSED SIGNAGE: 8.5 S.F. = 1.0% OF FACADE

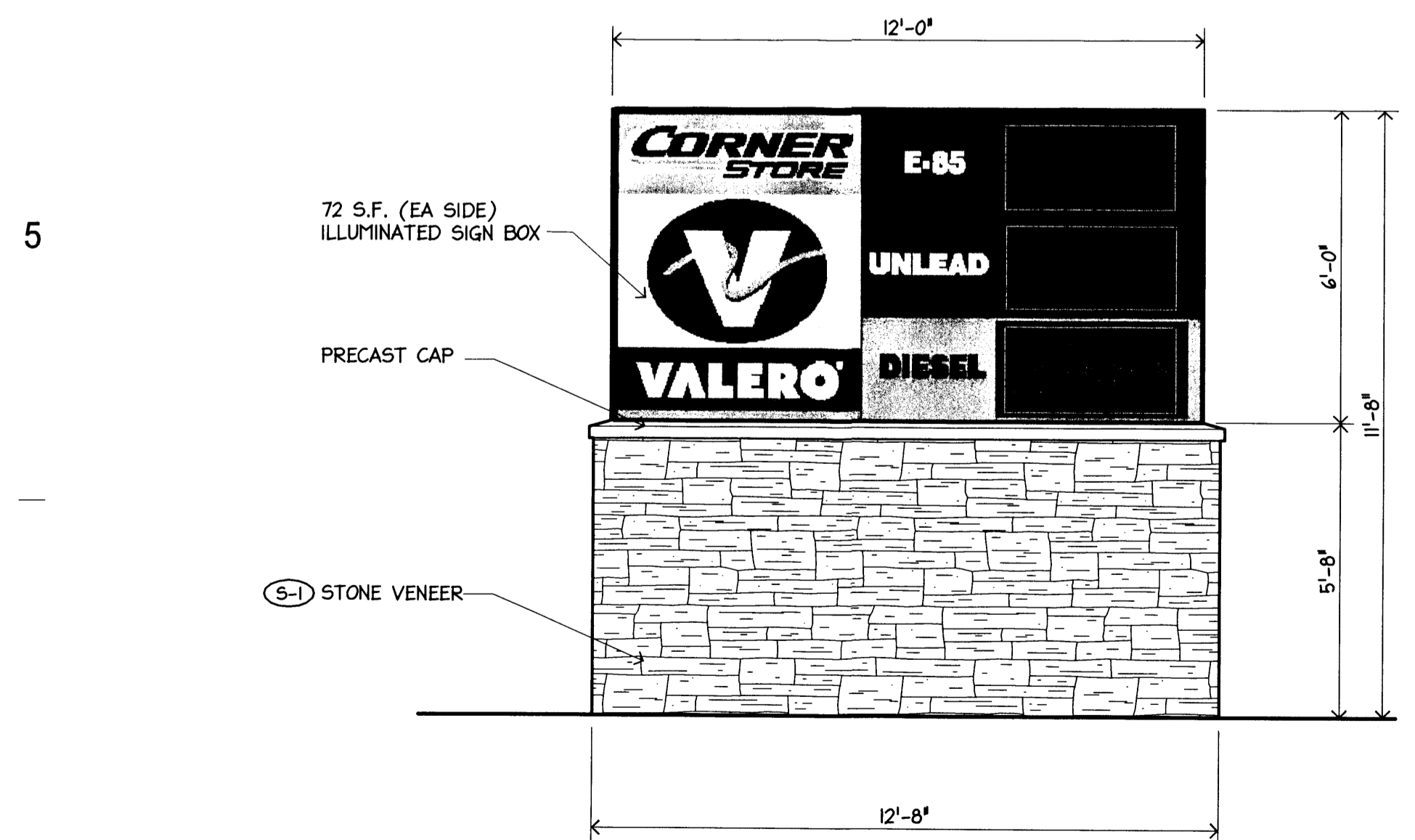
B5 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

FINISH SCHEDULE		
(P-1)	BROWN	DUNN EDWARDS "COUNTRY BUTTERSOTCH" #DE-6151
(P-2)	OFF WHITE	DUNN EDWARDS "COUNTRY SUMMER" #DE-5420
(P-3)	DARK BROWN	DUNN EDWARDS "RODEO" #DE-163
(P-4)	DARK GREY	SHERWIN WILLIAMS #SH 2006, MOCKINGBIRD
(P-5)	TEAL	SHERWIN WILLIAMS CUSTOM COLOR, EXT. TEAL #1
(P-6)	GOLD	SHERWIN WILLIAMS #SH 6905, GOLD FINCH
(A-1)	GLOSS YELLOW	PREFINISHED ACM LANE SUPPLY, SUN GLOW YELLOW
(A-2)	ALUMINUM	PREFINISHED ACM LANE SUPPLY, CLEAR ANODIZED
(S-1)	STONE	EL DORADO STONE "RUSTIC LEDGE" PINETOP

KEYED NOTES

General: All coating system shall be in accordance with Owner's "Painting Specifications - Valero Image Paint Program".

- | | |
|---|---|
| <ul style="list-style-type: none"> 1 Illuminated "Corner Store" 68 S.F. 2 Stone Veneer Wainscot 3 Stone Veneer Watertable 4 Aluminum storefront system. 5 Illuminated "Fresh Choices" sign 28 S.F. 6 Stucco system painted with elastomeric coating. 7 Paint security equipment to match adjacent color as directed by VRH Construction Specialist. 8 parapet coping. 9 Recessed CO₂ filler box by Owner's Vendor. 10 ACM Entry feature. 11 H.M. door and frame as scheduled. Paint, P-1. 12 ACM accent band by Canopy Contractor. 13 Aluminum storefront doors as scheduled. 14 Install 1/2" plywood sheathing instead of "Densglass" behind architectural foam profile at sign. 15 Roof ladder, Paint, P-1. 16 Non-Illuminated promotion sign 8.5 S.F. 17 Wall sconce. 18 Exterior electrical panels, conduits and gutters. Paint, P-1. 19 Concrete walk per Civil. | <ul style="list-style-type: none"> 20 Address numbers centered across transom glass. Numbers shall be a minimum of 8" high and have a minimum stroke width of 1/2". Coordinate specific requirements with VRH Construction Specialist. 21 Precast concrete splashblock. 22 EIFS Cornice 23 Roof-top equipment screen 24 24 ga. prefinished downspout, 4"x6". match color P-1. 25 24 ga. prefinished metal scupper. Match color P-1. 26 Steel awning 27 Awning tension rod by General Contractor. 28 Emergency fuel cut-off switch. |
|---|---|



A6 VALERO MONUMENT SIGN ELEVATION
SCALE: 3/8" = 1'-0"



Valero Retail Holdings, Inc.
One Valero Way
San Antonio, TX 78249-1616



CORPORATE ARCHITECTURE & DEVELOPMENT
solutions
3436 New Castle Dr.
Loveland, CO 80538
phone: 970.988.6302

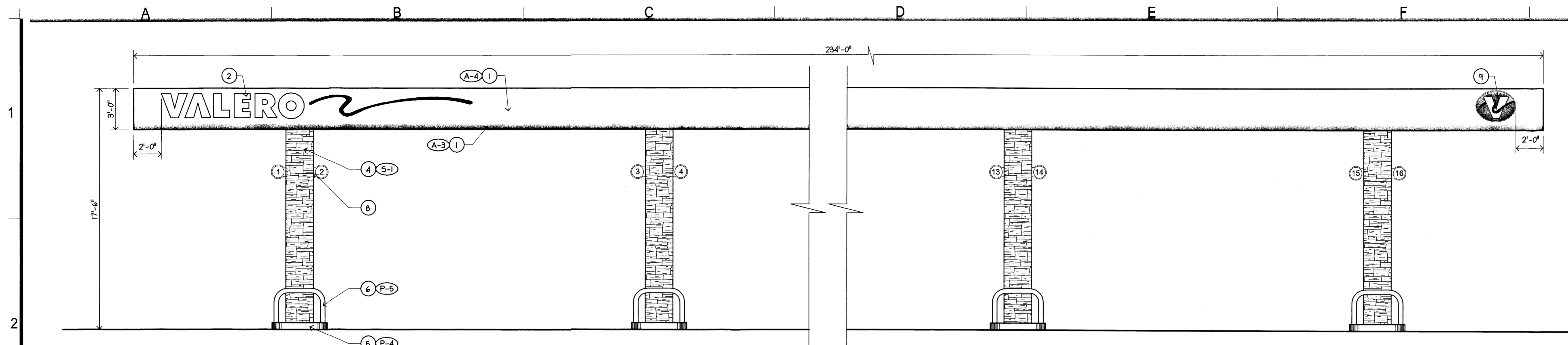
VALERO RETAIL HOLDING
CORNER STORE # 1251
UNSER BLVD. NW & McMAHON BLVD. NW
ALBUQUERQUE, NEW MEXICO

PROJECT NO. 0284-07

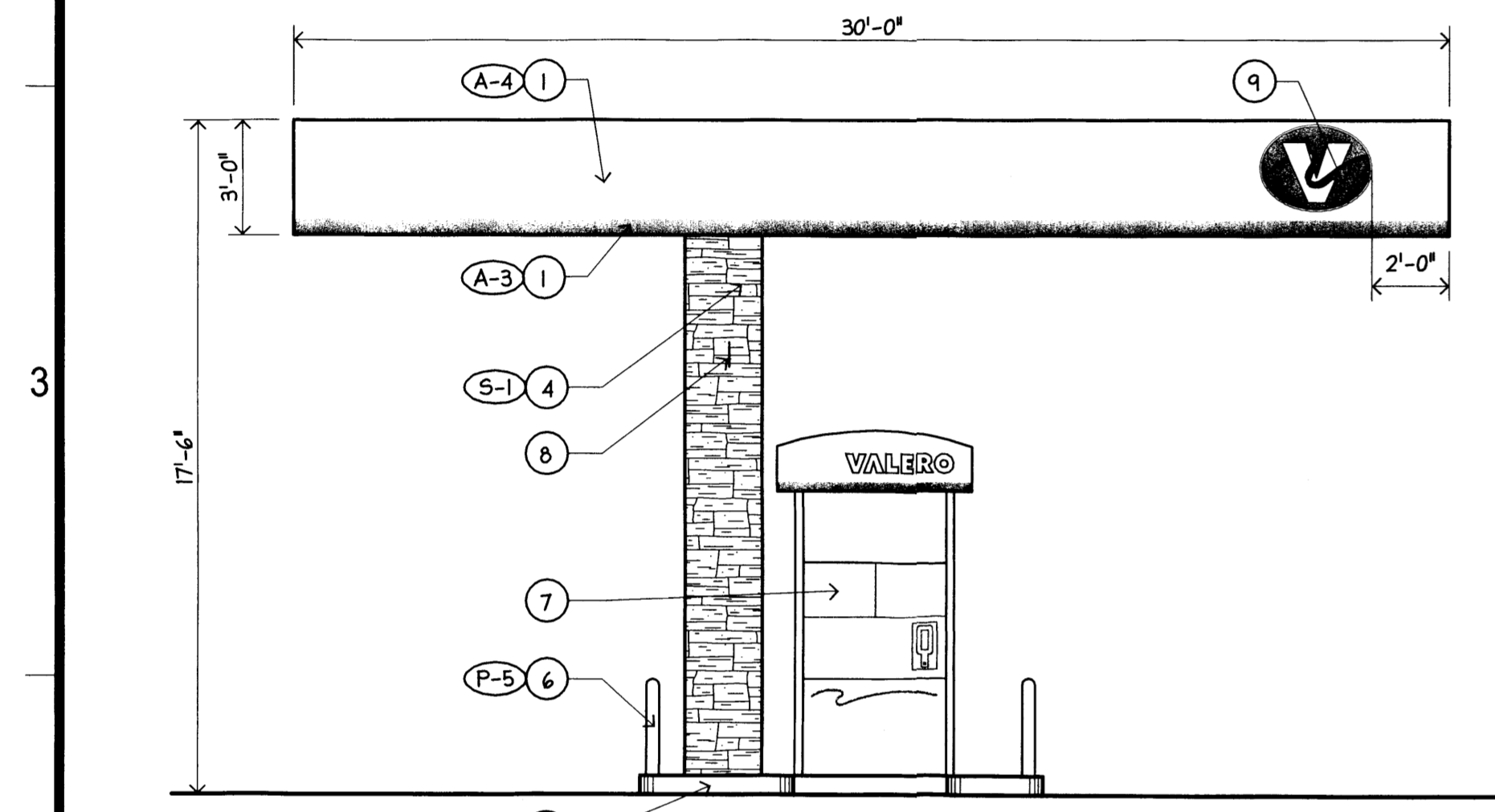
ISSUE	DATE
1ST SUBMITTAL	9-29-10
2ND SUBMITTAL	10-27-10

SHEET TITLE
EXTERIOR
ELEVATIONS

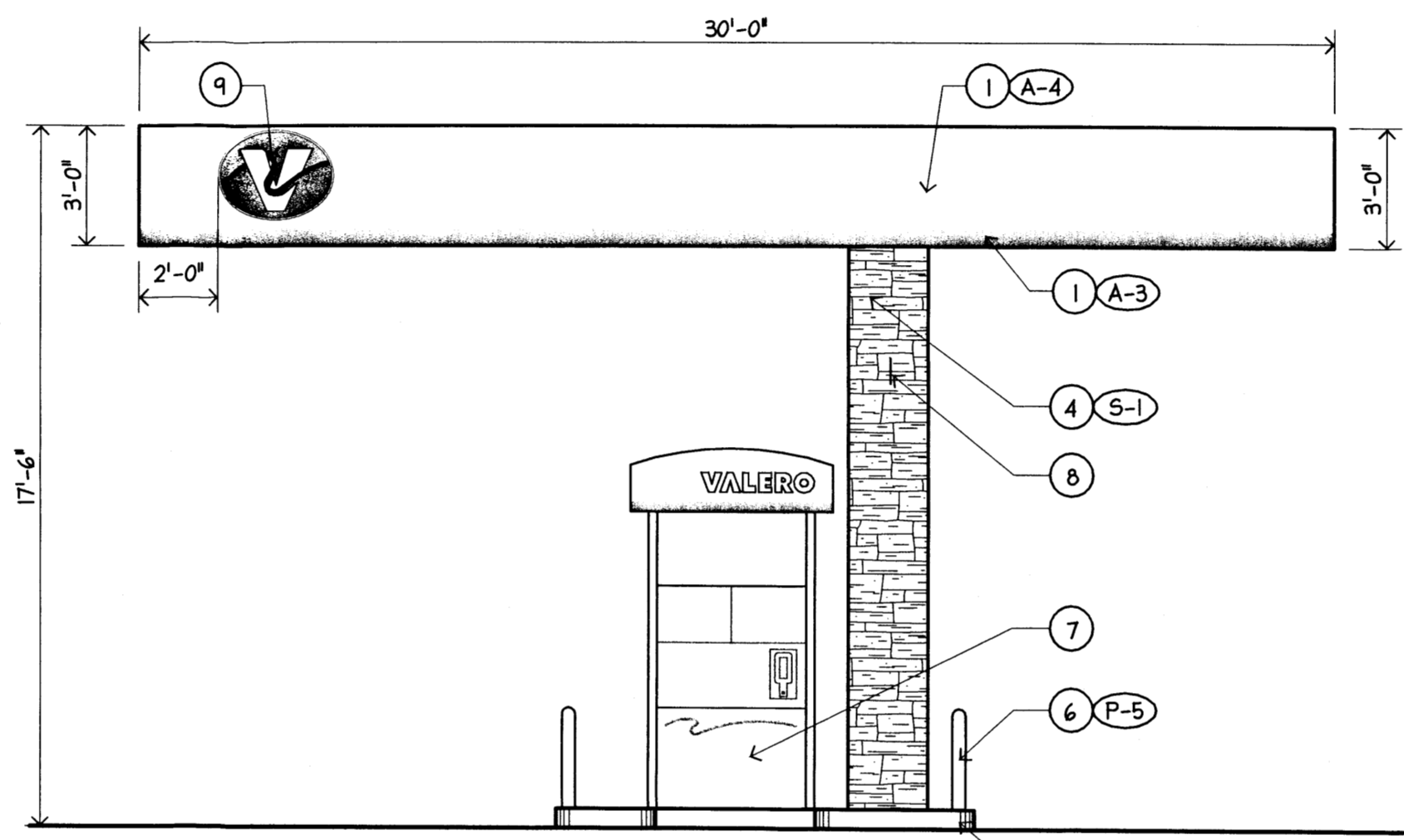
SHEET NO.
A3.3



C3 EAST ELEVATION
SCALE: 1/4" = 1'-0"
SIGNAGE CALCULATION:
EAST ELEVATION FACADE = 702 S.F.
PROPOSED SIGNAGE: 43.0 S.F. = 6% OF FACADE



A4 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"
SIGNAGE CALCULATION:
SOUTH ELEVATION FACADE = 90 S.F.
PROPOSED SIGNAGE: 5.0 S.F. = 5.5% OF FACADE



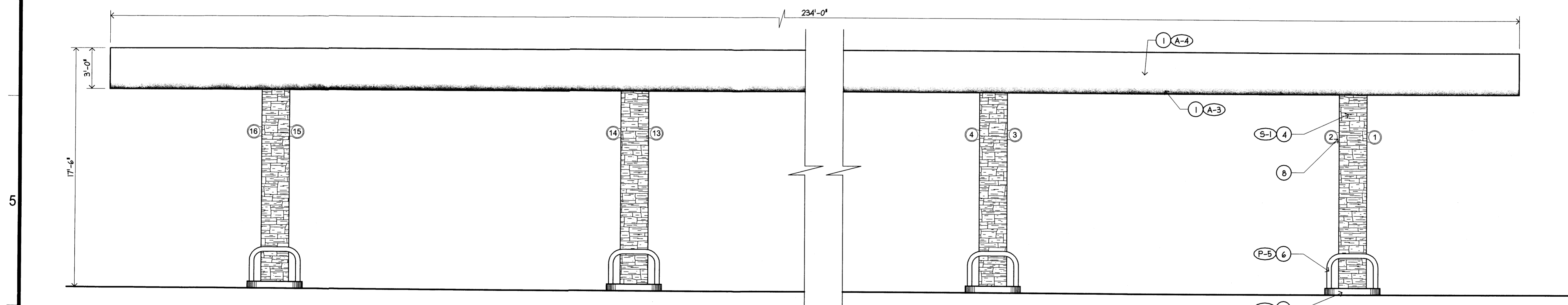
D4 NORTH ELEVATION
SCALE: 1/4" = 1'-0"
SIGNAGE CALCULATION:
NORTH ELEVATION FACADE = 90 S.F.
PROPOSED SIGNAGE: 5 S.F. = 5.5% OF FACADE

KEYED NOTES

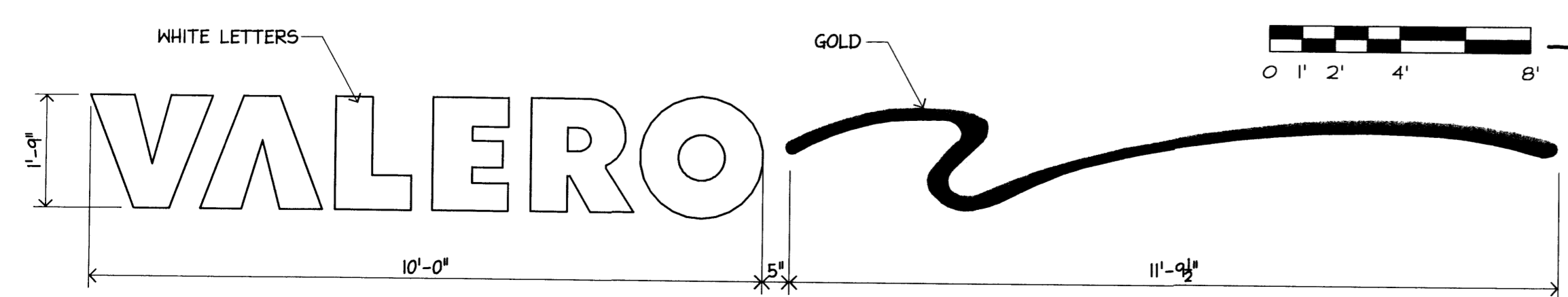
- Canopy fascia
- "Valero" wordmark and gesture 38 S.F.
- Stone Veneer
- Inverted "U" pipe bollard.
- Multi-product fuel dispenser
- Dispenser identification sign.
- Logo sign 5.0 S.F.

FINISH SCHEDULE

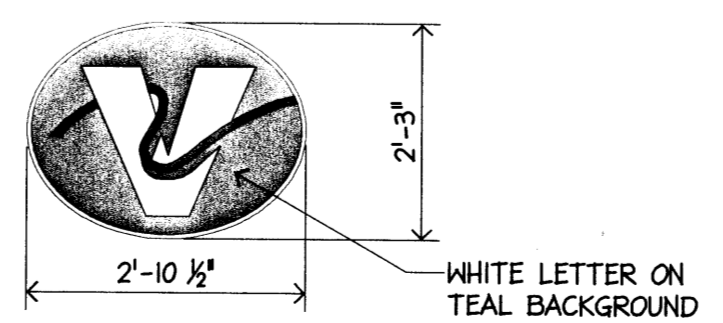
(P-1) BROWN	DUNN EDWARDS "COUNTRY BUTTERSCOTCH" #DE-651
(P-2) OFF WHITE	DUNN EDWARDS "COUNTRY SUMMER" #DE-5420
(P-3) DARK BROWN	DUNN EDWARDS "RODEO" #DE-163
(P-4) DARK GREY	SHERWIN WILLIAMS #SW 2006, MOCKINGBIRD
(P-5) TEAL	SHERWIN WILLIAMS CUSTOM COLOR, EXT. TEAL #1
(P-6) GOLD	SHERWIN WILLIAMS #SW 6905, GOLD FINCH
(A-1) GLOSS YELLOW	PREFINISHED ACP LANE SUPPLY, SUN GLOW YELLOW
(A-2) ALUMINUM	PREFINISHED ACP LANE SUPPLY, CLEAR ANODIZED
(S-1) STONE	EL DORADO STONE "RUSTIC LEDGE" PINETOP



C6 WEST ELEVATION
SCALE: 1/4" = 1'-0"
SIGNAGE CALCULATION:
WEST ELEVATION FACADE = 702 S.F.
PROPOSED SIGNAGE: NONE



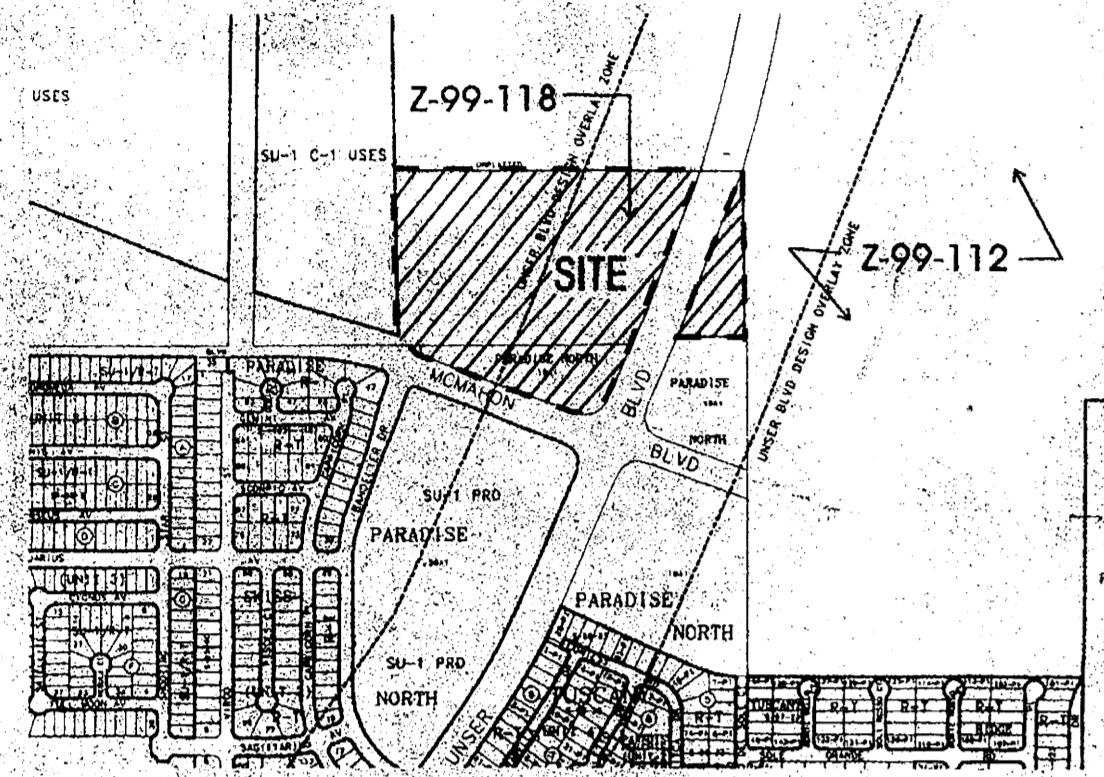
A6 SIGN ELEVATION
SCALE: 1/2" = 1'-0"
38 S.F.



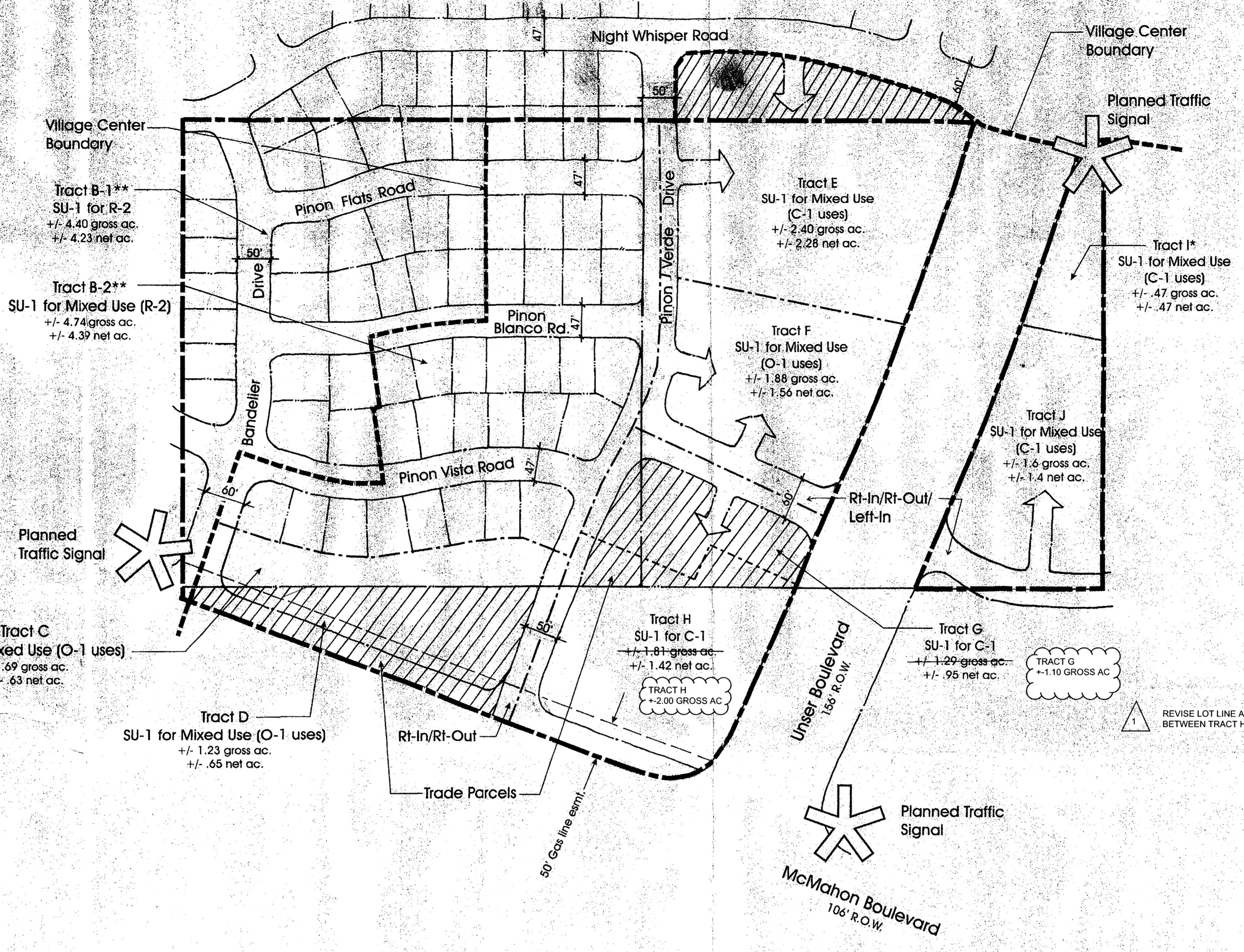
D6 SIGN ELEVATION
SCALE: 1/2" = 1'-0"
5.0 S.F.

PROPERTY COVERED BY THIS SITE PLAN FOR SUBDIVISION
TOTAL ACREAGE:
20.6 GROSS ACRES

30' ACCESS POINTS



SITE VICINITY



SITE PLAN FOR SUBDIVISION

REQUIRED INFORMATION:

The Site: The site consists of 16.2 acres within the Unser/McMahon Village Center and 4.4 acres (Tract B-1) outside the Village Center.

Kunath/Zolin (Z-97-119)
Proposed Use: Zoning on this property was approved by the Environmental Planning Commission on September 18, 1997 and January 18, 2001 as follows:

- SU-1 for Mixed Use Development: 13.2 acres
- C-1 Permissive Uses, excluding automobile related retail and service uses and drive-up facilities including package liquor sales ancillary to a retail grocery of 20,000 square feet minimum and restaurant with alcoholic drink sales for on premise consumption (maximum 4.5 acres);
- O-1 Permissive and Conditional Uses; and
- R-2 Permissive and Conditional Uses (minimum of 35% of the gross property area).

SU-1 for R-2: 4.4 acres

Tres Esquinas (Z-97-47)
Proposed Use: Zoning on this property was approved by the Environmental Planning Commission on April 17, 1997 as follows:

SU-1 for C-1 Permissive Uses: 3.0 acres

Pedestrian and Vehicular Ingress and Egress:
Trails: There are proposed trails along Unser and McMahon Boulevards per the Trails and Pathways Master Plan.

Vehicular Access: In accordance with the Transportation and Land Use Guide for the Westside/McMahon Corridor, the Site Plan identifies an internal circulation system of collector and local roads. Conceptual access points have been identified; final locations, width, and configuration shall be determined with future Site Plans for Building Purposes.

Pedestrian Access: Pedestrians shall access the Village Center from several points around the perimeter of the site. Pedestrian access shall also be provided into the R-2 neighborhood west of the Village Center to ensure easy connections from the R-2 uses to the Village Center.

Bicycle Access: Bicycle trails are planned along Unser and McMahon Boulevards west and south of the subject property. Also, pursuant to the West Side Strategic Plan, the internal collector streets will have on-street bicycle lanes.

Transit: As property develops within this portion of the Village Center, coordination shall with the City Transit Department regarding placement of transit stops in order to provide access and service to this area.

Landscape Plan: The Design Guidelines (see Sheets 2 and 3) outline the landscape requirements for the Village Center. A minimum of 15 percent of the site shall be landscaped.

APPROVALS - PROJECT #1000936
EPC Application #00110-00000-01639/00128-00000-01640
DRB Application #01450-00000-00888
THIS SITE PLAN FOR SUBDIVISION IS GENERALLY CONSISTENT WITH THE SITE PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON JANUARY 18, 2001 AND CONDITIONS OF APPROVAL HAVE BEEN MET.

Planning Department	7/27/01
Transportation Department	7-25-01
City Engineer	7/25/01
Utility Development	7/25/01
Parks and Recreation Department	7/25/01

GENERAL NOTES:

1) In order to achieve the goals of this plan, a plat is required that implements the proposed land trades between this property and the property to the south and east, and establishes zone boundaries. The purpose of this trade is to provide each landowner with a developable tract with reasonable access.

2) The SU-1 for R-2 zoned area (Tract B-1) and the residential portion of the SU-1 for Mixed Use area (Tract B-2) are delegated to the Development Review Board if they are developed at RT densities or less (per R-T zoning regulations), as determined by the Environmental Planning Commission's Notice of Decision dated January 18, 2001.

Tract	Land Use	Gross Acres
B-2	R-2	4.75
C	O-1	.70
D	O-1	1.23
E	C-1	2.40
F	O-1	1.88
G	C-1	1.29
H	C-1	1.82
I*	C-1	.47
J	C-1	1.63
TOTAL VILLAGE CENTER		16.2

*Tract I is proposed to be traded with an equal sized parcel in Z-99-112. Tracts D and G are proposed as a trade.

**Tracts B-1 and B-2 are zoned SU-1 for R-2 uses and SU-1 for Mixed Use, respectively. Tract B-2 fulfills the required residential component of the SU-1 for Mixed Use area (minimum 35%), as approved by the Environmental Planning Commission. The illustrated residential lots are a permissive use in both zones.

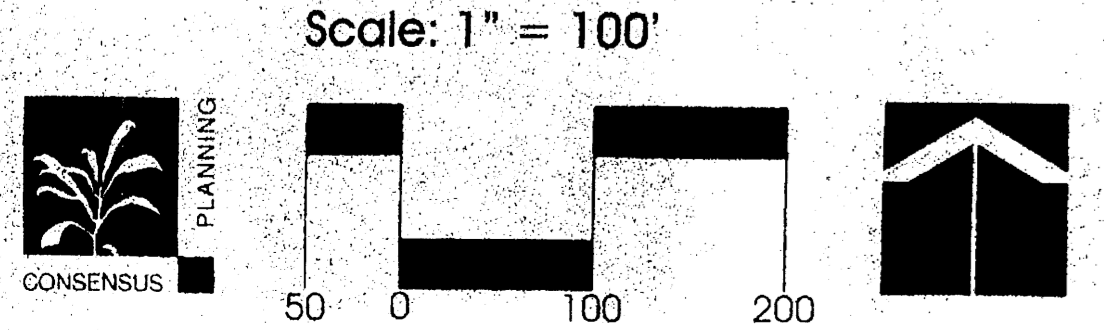
SITE PLAN FOR SUBDIVISION
**Unser/McMahon
Village Center North**

Prepared For: Unser/McMahon Group
92 Mark Drive
Hawthorn Woods, IL 60047

Prepared By: Consensus Planning, Inc.
924 Park Avenue SW
Albuquerque, NM 87102

July 18, 2001

Sheet 1 of 3



DESIGN PARAMETERS

The purpose of these Design Parameters is to provide a framework to assist developers and designers in understanding the development goals and objectives for the Unser McMahon Village Center. Additional guidelines are also provided for the adjacent R-2 areas outside of the Village Center. These standards address the issues of landscape setbacks, pedestrian amenities, screening, lighting, signage, and architecture that will create the visual image desired for this property. They are designed to be consistent with the conditions of approval set by the Environmental Planning Commission on September 18, 1998 (297-11972-97-120), the Westside/McMahon Corridor Transportation and Land Use Guide, April, 1999, and the Westside Strategic Plan.

Each category is organized in terms of Standards (Items which are required) and Guidelines (Items which are encouraged). Where there is a conflict between City Codes or Ordinances and the Design Parameters, the more restrictive requirements shall apply.

SITE DESIGN

The creation of a pedestrian-friendly environment is dependent upon close attention to the relationship between buildings and streets. Pedestrian activity is discouraged where the buildings are placed in the center of the site, surrounded by parking, and without pedestrian connections between the structure and the street. The following standards and guidelines apply to commercial, office, and apartment developments, and were created to encourage the use of pedestrian, bicycle, and transit modes and the opportunity for reduced automobile use:

General Standards:

- Cluster buildings on the site. A concentrated density of buildings will offer a greater sense of Village Center than a one-building per lot configuration.

- A public plaza or courtyard space around which buildings can be clustered and linked to one another shall be created. The plaza should be attractive, lively, and a useful asset to the community. Plaza areas are appropriate for outdoor dining.

- Building access and entries must be easily accessible from the surrounding buildings and should be visible from the street through open passages (such as garden courts).

- Entryways shall be clearly defined, by either a canopy or inset (minimum 4 feet), and linked to the pedestrian pathways.

- Parking located adjacent to Unser Boulevard, McMahon Boulevard, and all internal streets shall be screened by buildings or a combination of landscaping, walls/fences, and earthen berms. Screening shall be compatible with edge treatments at adjacent properties.

- Buildings and structures erected within the site shall comply with all applicable City of Albuquerque Zoning and Building Codes, as well as other local codes and ordinances.

- The adopted wall design guidelines by the City shall apply.

- All loading docks shall be screened and covered with architecturally integrated walls and roofs.

- Any exterior storage and sales areas shall be architecturally integrated to the main building by use of walls, roofs, and fencing.

- No chainlink, razor-wire, or vinyl plastic fencing shall be permitted.

- The plaza area shall have a minimum dimension of 30 feet in depth and shall be a minimum square footage of 1000 square feet.

- Public areas shall be defined by building edges, a differentiation in intersection paving and landscaping at a variety of scales. The design and location of appropriate amenities (such as seating, outdoor display, and newspaper kiosks) should also be used to enhance public areas.

- Buildings shall be oriented to front on internal streets to reinforce the street edge.

Guidelines:

- Open courtyard designs shall be used to form transitions between parking areas and building facades.

- Open courtyards should include pedestrian activity areas, bicycle storage, ATM kiosks, and/or support for other activities to encourage multi-modal transportation and a community friendly environment.



SHADED PEDESTRIAN AREAS

- Plazas, courtyards, and other outdoor activity or seating areas shall be significantly shaded from summer sunlight by tree canopies or architectural devices.

- Public entries to the project shall be designed to:
 - be compatible with one another.
 - create a sense of arrival.
 - provide strong visual impact.
 - provide a unified project identification.

- The inclusion of an outdoor cafe or a restaurant with seasonal outdoor seating in the commercial area shall face the interior roads, plaza, courtyard, or the focal areas.

Accessibility & Safety

Design for accessibility at all facilities and outdoor public areas. For the safety and ease of use by all modes of travel, it is important to separate cars, pedestrians and bicycles to the extent possible. The planning and design phases of the project need to include sufficient design consideration to separate circulation and provide visitor convenience.

Standards:

- The Americans with Disabilities Act, the American National Standards for Accessible and Usable Buildings and Facilities, and the New Mexico Building Codes for accessibility criteria for places of public use shall be consulted.

- Close attention shall be paid to ramps and to how the entire site may be traversed. Private pedestrian linkages shall align with public paths to connect and integrate all building sites. The maximum gradient of any ramp shall not exceed 8.33 percent.

- Entrances and exits to buildings shall be flush.

- A constant elevation shall be maintained at all curb cuts and junctions between driveways and pedestrian sidewalks for compliance with ADA standards.

- All exterior landscape, streetscape, and building elements shall be designed to have minimal visual obstruction to their surrounding areas in order to maintain a safe degree of visual surveillance.

- Interior public areas shall have visual access to exterior activity areas for additional surveillance.

Guidelines:

- Exterior children's play areas shall be located where surveillance can occur from multiple directions.

Circulation Standards:

- Pedestrian access shall be separated from vehicular access. Driveways shall not be considered an acceptable form of pedestrian access to buildings or outdoor activity areas.

- All sidewalks designated as 4 feet or 6 feet shall be a minimum of 4 feet clear or 6 feet clear with shade trees at 25 feet on center in 5x5 planters or landscaping areas.

- All buildings shall be connected to the internal street and external street with pedestrian ways with 6 foot or 4 foot clear sidewalks with 5x5 planters.

- Private driveways into the Commercial, Office or Multi-Family sites shall not exceed a width of 32 feet for two way traffic, or 20 feet for one way traffic.

- Bicycle parking shall be provided to promote alternative vehicle use as follows:

- Office & commercial: for employees, one bicycle rack space per 20 parking spaces
- Multi-Family residential: for residents, 1 space per 2 dwelling units

- Six foot sidewalks shall be provided along all roadways. All other sidewalks shall be a minimum of 4 feet in width.

- Parking areas shall be designed to include a pedestrian link to the street sidewalk network and pedestrian access shall be provided to link structures to the public sidewalk.

- Trail connections shall be provided within the interior roadway to the City-planned trail along Unser Boulevard.

- Pedestrian connections shall be provided to the major transit stop along the new, eastern-most, north-south roadway (see Sheet 1).

- A different paving material, color, and/or patterning shall be provided at all crosswalks to bring attention to them visually and tactilely for safe pedestrian crossing.

- Per the City Zoning Code, 1 parking space per 200 square feet of leasable space is required for commercial parcels. For office parcels, 1 parking space per 200 square feet of leasable space is required for ground floor area and 1 parking space per 300 square feet of leasable space is required for all other floor area. The minimum off-street parking requirement for apartments is 1 parking space per bath, but no less than 1.5 spaces per unit. Parking for single family or townhouse developments shall be per the R-T zoning requirements.

- There shall be no parking requirement applied to any second floor housing above retail.

- The parking requirements shall be the minimum is the maximum.

- Landscaped islands shall be distributed throughout parking areas.

- There shall be barrier curbs around landscape islands in parking areas in order to protect landscaping from vehicles.

Guidelines:

- Parking shall be broken into smaller areas rather than one large parking lot where practicable. Long stretches of parking facilities adjacent to the streets should be avoided whenever possible. Screening may include earth berms, perimeter or retaining walls, and landscaping, with a maximum height of 3 feet.

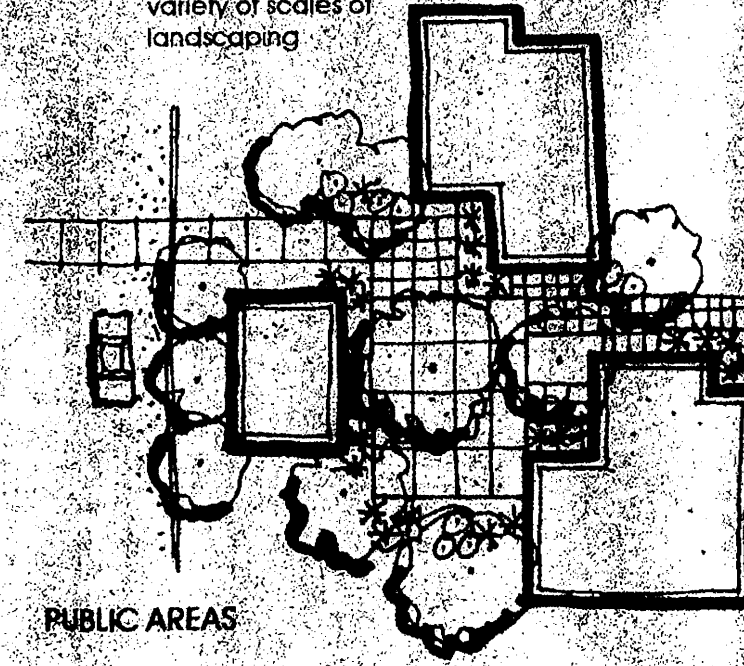
Transportation Demand Management (TDM)

Future employers that locate within the Unser McMahon Village Center who have more than 50 employees will be required to set up a TDM program. The purpose of the TDM plan is to provide employees with alternatives to the single-occupancy vehicle as a means to commute from home. The following elements will be part of a TDM effort at Unser McMahon Village Center:

- On parcels with businesses that have more than 50 employees, lockers, showers, and bike racks must be available on each parcel for those employees who wish to jog, walk, or bicycle to work via one of the bicycle trails that are in close proximity to the Unser McMahon Village Center.

- Businesses with more than 50 employees should consider appointing a Commuter Management Coordinator (CMC) for the purposes of facilitating carpools and providing premium parking spaces for those employees who participate.

Defined by building edges, differentiation of paving, variety of scales of landscaping



PUBLIC AREAS

- Businesses with more than 50 employees shall provide bulletin board space in their employee breakroom as an "information center" where material, particularly relevant City Transit information, policies, and plans can be posted.

- The CMC Coordinator for each employer with more than 50 employees will also be the contact person with City Transit and Environmental Health Departments for updates, technical assistance, etc.

- A Transportation Demand Management Plan shall be developed with the Transit Department once a threshold of 100 employees at the commercial center is reached. A Transportation Management Association should be organized for all of the businesses within the commercial center.

- A Transportation Demand Management Plan shall be developed with the Transit Department once a threshold of 100 employees at the office development is reached.

As a part of the TDM Program, City Transit should:

- Provide bus routes off of McMahon Boulevard and into the interior of the project once McMahon and Unser Boulevards are constructed.

- Sun Tran shall work with the residential and non-residential projects to provide efficient routes and schedules to the Unser McMahon Village Center that address their specific needs.

Setbacks

Standards:

- The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes. Required within these setbacks will be pedestrian walkways and screening materials, including landscaping, earthen berms, and walls.

- All building setbacks shall be landscaped according to the landscape guidelines (see Landscape section).

- Perimeter awnings, arcades/portals, garden court walls and overhangs shall be allowed within setbacks.

- Drive aisles and parking shall not be permitted in the 40 foot setback between the front entry and the building and sidewalk along internal streets.

Buildings in commercial and office zones shall have minimum setbacks as follow:

- 20 feet from the R.O.W. line of Unser and McMahon Boulevards.
- 15 feet from R.O.W. line of the interior road (the maximum setback of building entries from internal streets to the front entry of the building shall be 40 feet) and/or property line of a residential zone.
- 10 feet from the property line of a commercial zone.

Parking areas shall have minimum setbacks as follow:

- 25 feet from the R.O.W. line of Unser and McMahon Boulevards.
- 15 feet from the R.O.W. of interior roads.

Perimeter Walls, Screening Walls & Fences

The effective use of screening devices for parking lots, loading areas, refuse collection, and delivery/storage areas is essential to limit their adverse visual impact on surrounding developments. The site orientation of service functions shall be away from any street or pedestrian area. The guidelines established in the landscape and setback sections will provide the main element to screening objectionable views and activities. Walls and fences will also serve a major screening function. The intent is to keep walls and fences as low as possible while performing their screening and security functions.

Standards:

- Perimeter walls shall be provided for multi-family residential development. They shall have a maximum height of 6 feet and are encouraged to meander within the landscape setback.

- Pedestrian openings shall be provided for access at key locations within single family residential developments.

- Visual openings shall be provided in perimeter walls every 100 feet at commercial, office, and apartment properties for visual relief.

- All outdoor refuse containers shall be screened within a minimum 6 foot tall enclosure and large enough to contain all refuse generated between collections. Design and materials of enclosures shall be compatible with the architectural theme of the site.

- Areas for the storage of high profile delivery/transport vehicles shall be screened from adjacent streets and properties with a wall/fence of no less than 6 feet in height above finish grade.

- Mechanical equipment for commercial, office, and apartment properties shall be fully screened from public view. Screening shall be compatible with materials and design of the building. Loading areas shall be screened from public view by walls, trellises, or landscaping.

SIGNAGE & GRAPHICS

The following signage standards were developed to regulate the size, location, type, and quality of sign elements within this property. A properly implemented signage program will serve four very important functions: to direct and inform employees and visitors; to provide circulation requirements and restrictions; to provide for public safety; and to complement the visual character of the development.

Standards:

- The developer shall provide entry signs for the project to create a sense of arrival and to contribute to the unique identity of the project. These signs shall be on private property and shall be maintained by the property owner.

- Freestanding signs shall be designed that do not require any external bracing, angle-iron supports, guy wires or similar devices.

- No off-premise signs.

Signage SHALL:

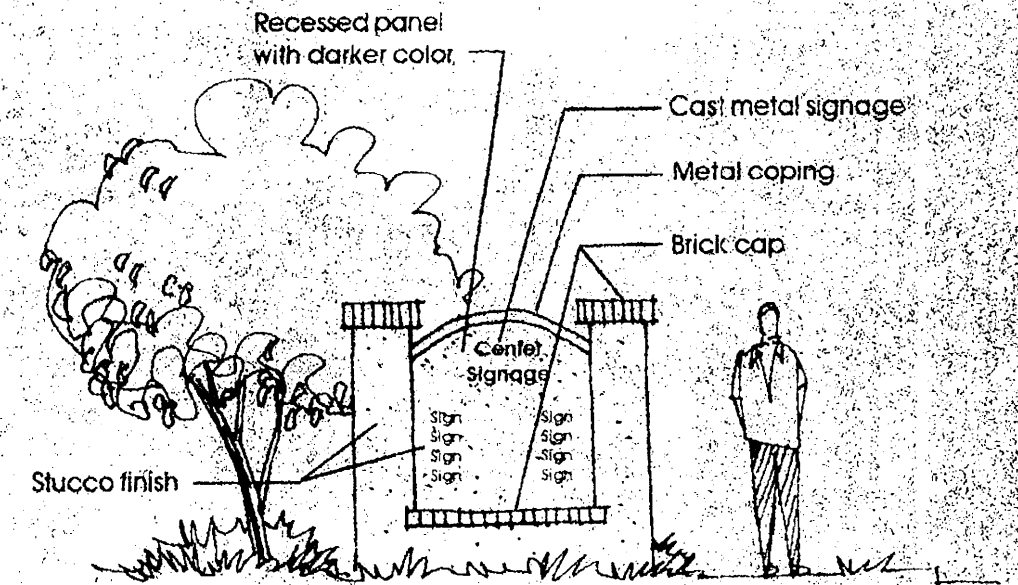
- be designed to be consistent with and complement the materials, color, and architectural style of the building or site location.

- be illuminated in accordance with the City of Albuquerque General Sign Regulations as provided in Section 14-16-3-5 of the Zoning Code. Signs which are directly spotlighted may be used provided there is no glare on the street or upon adjacent property or that the light does not distract motorists.

Signage SHALL NOT:

- use moving parts, makes audible sounds, or have blinking or flashing lights.
- overhang into the public right-of-way, property line, or extend above the building roof line.
- intrude upon any architectural features, including windows, columns, moldings or any decorative features.

- Two monument village signs are allowed on both sides of Unser and one monument sign is allowed on McMahon as a "landmark" identifying the Center and shall be of similar design and materials as the buildings, i.e. sculpture, tower, etc. The monument village signs shall have a maximum height of 12 feet. The lower portion of this may identify no more than 10 tenants in an area not to exceed 75 square feet. The sign shall be of a similar style and material as the other entry signs in keeping with the project theme.



MONUMENT SIGN DESIGN

- All freestanding signs shall be monument signs only.

- Monument signs are allowed for individual projects within the Village Center. The sign shall be a maximum of 40 square feet with a maximum height of 4 feet. The sign shall be of a similar style and material as the other entry signs.

- Building-mounted signs shall not exceed 6 percent of the facade area, and shall not face abutting single-family residential.

- Wall mounted signs shall not project more than 1 foot from the display wall or exceed an area of 20 percent of that wall or 60 square feet, whichever is less. Canopy and marquee signs shall be included in the total area count allowed for wall signs. Individual channel and neon letters shall be permitted at a maximum height of 3 feet per letter.

- Signs perpendicular to an elevation shall only occur under an awning or canopy/portal and shall not be more than eight square feet. These signs may not project past the overhang.

- No backlit plastic/vinyl signage shall be permitted except for logo designs.

Guidelines:

The following guidelines were developed to assist designers in understanding the signage program.

Signs SHOULD:

- identify only the name and business of the occupant or of those offering the premises for sale or lease;

- be used at areas of public activity to enhance the visual character of the environment and create a festive atmosphere;

- be integrated into a cohesive system, sharing common colors, shapes, sizes, materials, locations, lettering, etc. where practicable;

- not have too many different colors (too many colors can be confusing and usually fails to communicate the intended message);

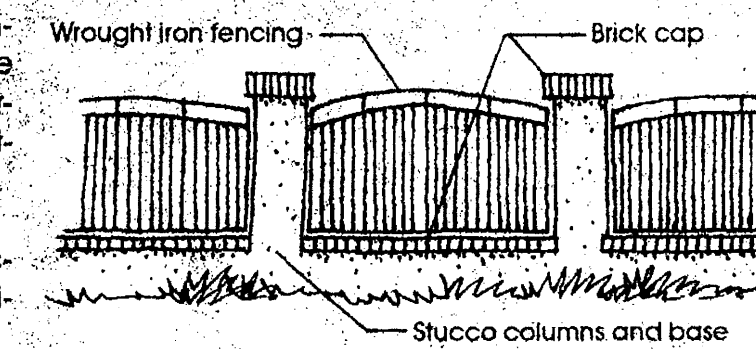
- have a significant contrast between the background and the text (if the colors are too close in value or hue the sign will be difficult to read);

- have a minimum of words (a brief message is easier to read and is usually more attractive);

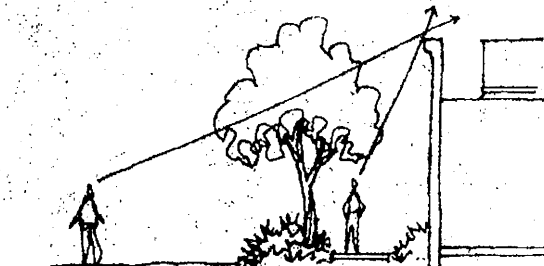
- avoid unusual shapes (the viewers' attention will tend to focus on the shape instead of the message the sign was intended to convey);

- have letters that do not appear to occupy more than 75 percent of the sign area (the sign is harder to read if the type takes up too much of the sign area); and

- should be sized so that pedestrian-oriented signs are smaller than vehicle-oriented signs (a pedestrian-oriented sign is usually read from a distance of 15-20 feet).



PERIMETER WALL DESIGN



MECHANICAL SCREENING

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Prepared By:

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June 26, 2001

Sheet 2 of 3

LIGHTING - OUTDOOR FURNITURE & MATERIALS

In order to enhance the safety, security, and visual aesthetics of the property, careful consideration must be given to selection of outdoor furniture, lighting design, site materials and other features. It is important to consider the daytime appearance of all materials.

Standards:

Placement of fixtures and standards shall conform to state and local safety and illumination requirements.

A design objective of the site lighting system shall be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection. All lights shall be shielded source to prevent spillage onto adjoining properties or light pollution of the existing dark sky.

Individual site lighting standards shall blend with the architectural character of the building and other site fixtures.

The maximum height for lighting fixtures shall be:

- 15 feet high for walkways and entry plazas
- 20 feet for street lights and parking area lights (restricted to 15 feet within 70 feet of residential, except residential located above retail shops)

Sodium lighting is prohibited.

Site amenities, such as street furniture, lighting, bollards, and graphic pylons shall be part of the landscape plan and shall be compatible with the architectural and landscape treatment of the project.

Fixture style and design shall be compatible and consistent with the lighting design of other projects within the development. Exterior lighting fixtures should relate stylistically to the architecture of the adjacent buildings. Fixture color for street lighting should complement the architecture.

At primary activity areas (such as at the Unser/McMahon intersection), paving shall have some attractive features beyond standard asphaltic or concrete slabs, such as changes in material, texture, pattern, and/or color. Where concrete slabs are used, they should be patterned, stained, integrally colored, and/or inlaid with tile.

Asphalt shall be avoided in all areas except parking areas and bicycle trails. Use of alternative materials for these areas is encouraged.

The major transit stops shall include shelter facilities, benches, lighting, and bicycle storage (see sheet 2).

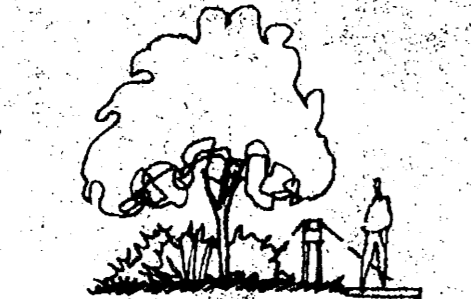
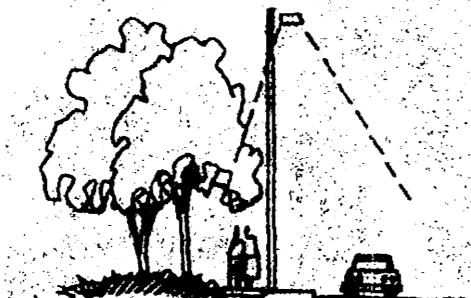
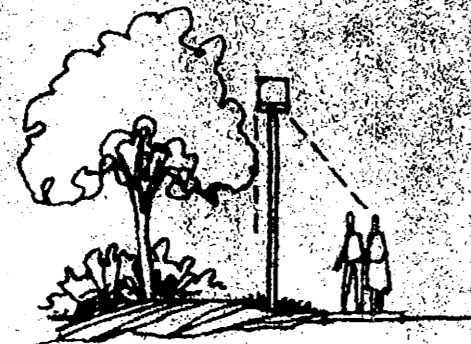
Guidelines:

Spread lighting fixtures shall be used to accent landscape and walkways as is the use of uplighting fixtures to highlight trees, walls and architectural features.

Outdoor furniture shall be colorful. Where appropriate, glazed tile, integrally colored concrete, and stained concrete surfaces should be used to offset furniture at focal areas.

Outdoor materials shall be chosen for their durability and resistance to weathering.

Exterior elevations of any building fronting a street shall be feature lighted to enhance the identity of the building and the appealing ambiance of the Village Center.



LIGHTING

ARCHITECTURAL DESIGN

Specific architectural style shall not be dictated. The design shall, however, demonstrate a high quality aesthetic character throughout the property. Architectural design should respond to climate, views, solar access, and aesthetic considerations, with the architectural design being in harmony with adjoining projects. The following shall apply to all commercial, office, and apartment uses within the Village Center.

Standards:

The height for commercial, office, and residential development can be greater than 26 feet provided that the height falls within the 45 degree angle drawn from the property line and adjacent public right-of-way centerline or drainageway right-of-way center line.

No generic franchise elevation design shall be allowed.

Open courtyards shall be created in the residential areas by offsetting buildings 15 feet to 30 feet to create a variety of spaces and a variation in human-scale.

Commercial and office uses shall be horizontally connected in a variety of ways through the use of arcades or portals, controlled plaza elements, outdoor cafes, pavement, or sitting areas.

Guidelines:

Buildings shall employ a variety of structural forms to create visual character and interest. Columns, arcades, corner articulation, overhangs, awnings, marquees, gutters and scuppers, breezeways, vertical fins, wall recesses, soffits, and deciduous tree canopies should be carefully dimensioned and detailed to provide a human-scale, visual interest, and a means of shading building facades while lending color and formal articulation to the buildings.

Roof forms including vaulted roofs, compound roofs, or sloping roofs may be considered for particular uses. The massing of roof expanses should be distributed among a variety of volumes, introducing the use of dormers, extended vertical forms, and the use of a combination of flat roofs and sloped roofs.

Mixed-use development (i.e. residential with commercial, commercial with office, etc.) is permissive.

Facades

Standards:

No plastic or vinyl building panels or awnings shall be permitted.

Buildings shall have windows on the front elevations. The windows may be a combination of shop windows or viewing windows on average of 30 feet on center maximum.

Facades SHALL:

vary in height, depth and articulation to create a pedestrian-scaled environment

be articulated with a variety of architectural elements, colors and materials so as to lend familiarity, intimacy, and visual complexity to the buildings and to break down facades into perceptually manageable pieces

have all accessory buildings and enclosures, whether attached or detached from the main building, treated with similar compatible design and materials as the main structure or structures

be treated with a consistent level of detail at all sides of all buildings and structures

have varied front setbacks with wall planes not running in one continuous direction for more than 50 feet without a change in architectural treatment (i.e. 3 foot minimum offset, fenestration, material change, etc.) The staggering of planes should be used to create pockets of light and shadow, providing relief from monotonous expanses of facade.

Guidelines:

Extended architectural detailing of the ground floor elevations from 0 to 10 feet, including color or texture variations, the architectural expression of expansion joints as reveals, door and window articulation and architectural accents, shall be used in order to enhance the pedestrian level experience.

Roofs & Parapets

Guidelines:

Roof structures shall vary in type, profile and/or scale according to the dissimilarity of use or function.

Roofs shall drain water to areas which are landscaped appropriately for such run-off, and shall drain to areas which are not heavily-travelled.

The top of the parapet shall be greater than or equal to the top of all HVAC equipment and that should include screen walls.

All canopies, roof structures, and design elements of related buildings shall be architecturally integrated to the main building design.

The parapets of flat roofs shall maintain a consistent character, but shall vary in height in accordance with overall facade variations and individual building articulation. Building edge treatments shall step down, reducing the scale of the building towards the street, to relate to the scale of the pedestrian.

Entryways

Standards:

Entries shall be clearly defined and connect to pedestrian linkages.

Entries shall be visually noticeable and obvious to pedestrians approaching from parking areas through the differentiation of form, scale, material & color.

Extended overhangs, porticoes or substantial recesses shall be incorporated into the facades of the building in order to provide shade, shelter and a sense of arrival.

Guidelines:

Building entries shall be substantially glazed for visual connection between interior and exterior, as well as to mediate the potentially high contrast between dark interior and bright exterior spaces.

Entryways shall be accented with lighting to enhance the perception of surface variety.

Fenestration & Shading

Guidelines:

The scale, proportion, and composition of fenestration of facades shall be designed to give visual interest from the exterior, to provide variation in quality of light on the interior, and to coordinate with the lighting requirements for each activity area.

Buildings shall be oriented to take advantage of heat gain in the winter while coordinating with shading strategies to inhibit solar gain in the summer.

Buildings shall not obstruct solar access to neighboring residential structures.

Building Materials & Colors

Standards:

Materials prohibited as the main architectural feature include the following:

- exposed, untreated precision block or wood walls
- highly reflective surfaces
- chain link fence or barbed wire
- metal paneling
- materials with high maintenance requirements

Guidelines:

The use of contrasting colors between roofs and walls shall be used to further differentiate the planes of building masses.

Colors shall be the natural tone of materials (earthtones such as sands, creams, tans, etc.) rather than applied color (painted), except where used as an accent color.

Accent colors and materials can be used to bring out detailing which better articulates or gives scale to a building including the colors of glazed tile, wood trim, tile roofing, paint, metal, etc. Accent colors at stairs, balconies, and perimeter walls are to be compatible with colors used for streetscape and perimeter walls.

Color shall be used to highlight important features or details of buildings and color should be an integral design consideration to all building, paving and landscape elements.

Color can unify or differentiate buildings. The use of color to unify or differentiate buildings or building components should coincide with the relative relationships of interior functions or the differing functions of buildings.

UTILITIES

Standards:

All electric distribution lines shall be placed underground.

Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.

When an above-ground backflow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used they shall be appropriately screened from view by walls and/or landscaping.

Refuse enclosures shall be located in areas of low visual and olfactory impact, where practicable. No refuse collection areas shall be allowed along streets and building fronts.

Any cell towers shall be concealed and architecturally integrated.

LANDSCAPE

The development of an overall landscape concept will establish a framework that unifies the entire property. To achieve a cohesive development, all areas of design need to be coordinated and responsive to existing environmental conditions and local building policies. These standards are to be used as a supplement to the City requirements in the Water Conservation Landscaping and Water Waste Ordinance, the Pollen Ordinance and other landscape regulations included in the City of Albuquerque Comprehensive City Zoning Code.

Standards:

Landscape materials shall be used as a transition between land uses, with specific attention given to the transition between residential and non-residential uses. A minimum landscape buffer of 10 feet shall be provided between a change in uses.

Street trees shall be provided along Unser and McMahon Boulevards, and new interior roads at a rate of one tree per 25 linear feet. Street trees are defined as being within 20 feet of the back of curb. They may either be randomly or consistently placed. For single-family or townhouse developments, there shall be one tree per lot.

Landscape design along the right-of-way shall be consistent throughout the development. Landscape elements that reinforce the street edge are encouraged.

A minimum of 15 percent of the site area (minus the building square footage) shall be devoted to landscape materials with an emphasis placed on areas with streetside exposure.

The shading of pedestrian ways and the use of pedestrian-scaled lighting along the roads are critical.

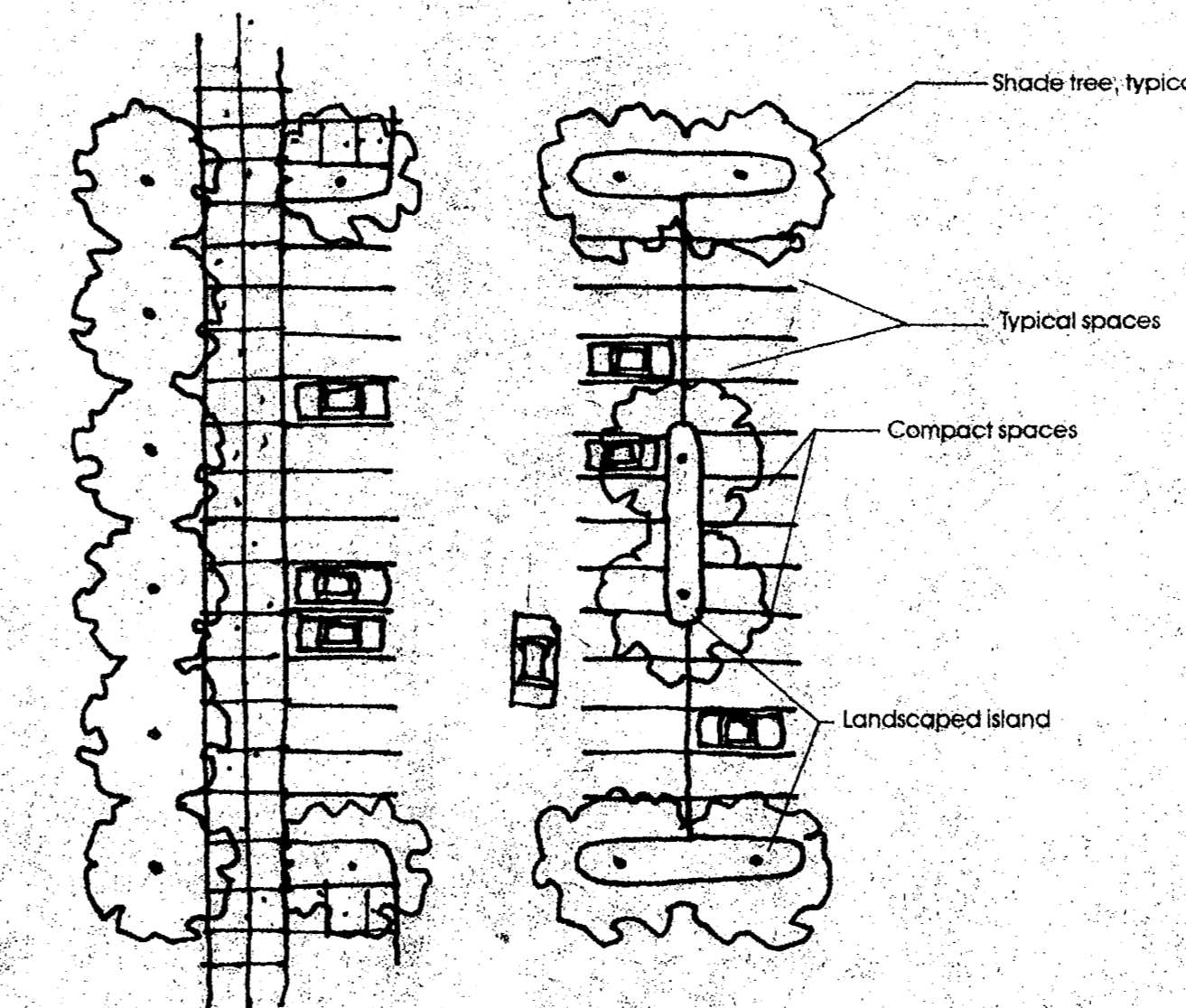
All interior pedestrian connections shall be lined with shade trees planted a maximum of 30 feet on center.

Living, vegetative materials shall cover a minimum of 75 percent of the required landscape area. The area and percentage is calculated based on the mature canopy size of all plant materials.

All planting areas not covered with turf shall have a ground topping of crushed rock, river rock, shredded bark, or another similar material which extends completely under the plant material, however, these materials shall not be used as a focal landscape element.

Landscape headers shall be used to separate the turf and groundcover areas. Headers shall be either 6" x 6" concrete, brick (side by side), or 1/8" x 4" steel construction.

To shade and mitigate the negative visual impact of large expanses of pavement, off-street parking areas shall have one tree for each 8 parking spaces with no space being more than 80 feet from a tree.



TYPICAL PARKING LOT LANDSCAPING

Seventy-five percent of the required parking lot trees shall be deciduous and shall have a mature height and canopy of at least 25 feet.

A landscape strip of no less than 10 feet shall be maintained between a parking area and the street right-of-way within all zones.

An automatic underground irrigation system is required to support all landscaping. The system shall be designed to avoid overspraying of walks, buildings, fences, etc. Irrigation components should be checked periodically to ensure maximum efficiency.

All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the Owner in a living, attractive condition. All areas shall be maintained free of weeds through the use of pervious filter material. Each individual lot owner will be responsible for the installation and maintenance of the landscape on their property and within the adjacent public right-of-way.

Landscaped areas shall be a minimum of 36 square feet and a minimum width of 6 feet.

Minimum plant sizes at time of installation shall be as follows:

- Trees: 2 inch caliper, or 10 to 12 feet in height
- Shrubs & Groundcovers: 1 gallon
- Turf Grasses: provide complete ground coverage within one growing season after installation

The following street trees shall be used at the respective locations:

- Unser & McMahon Boulevard: Ash sp., Honey Locust sp.
- Internal Streets: Golden Raintree, Chinese Pistache

R-2 PORTIONS OUTSIDE VILLAGE CENTER

The following exceptions to the previous guidelines and standards apply to those residential parcels outside the Village Center, but which are still covered by this Site Plan for Subdivision.

Circulation

Standards:

Direct pedestrian connections shall be provided between R-2 development and the Village Center. Connections may be gated and secured for use by apartment residents only.

Setbacks

Standards:

Buildings shall have a maximum setback of 70 feet.

Perimeter Walls, Screening & Fences

Standards:

Design of perimeter walls, where used, shall be compatible with the architectural theme of the site.

Visual openings shall be provided in perimeter walls every 100 feet at residential areas for visual relief.

Unfinished block walls, chain link, barbed or concertina wire, or wood fencing is prohibited.

The adopted wall design guidelines by the City shall apply.

Guidelines:

Perimeter walls shall be used at multi-family residential development. They shall have a maximum height of 6 feet and, where used, are encouraged to meander within the landscape setback.

Signage & Graphics

Standards:

One monument sign shall be permitted per each roadway frontage for each development. Such signs shall be of similar design and materials as the buildings and shall not exceed an area of 40 square feet.

Architectural Design

Standards:

The height for commercial, office, and residential development can be greater than 26 feet provided that the height falls within the 45 degree angle drawn from the property line and adjacent public right-of-way centerline or drainageway right-of-way center line.

Landscape

Guidelines:

Street tree types are not restricted to those required within the Village Center.

SITE PLAN FOR SUBDIVISION Unser/McMahon Village Center North

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Prepared By:

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June 26, 2001

Sheet 3 of 3