

DESIGN GUIDELINES

PARKING/CIRCULATION

- The maximum allowed parking shall be equal to the required parking plus 10%.
- ADA compliant parking shall be located adjacent to the building entry.
- For office buildings, pedestrian crossings shall be a minimum width of 6-feet. They shall be clearly demarcated with textured paving and shall be provided where pedestrian paths cross vehicular entrances and drive aisles.
- Shaded pedestrian access shall be provided, including a clear 6-foot-wide path with adjacent trees spaced approximately 25-feet on center within planters that have a minimum interior dimension of 5-feet square (or equivalent).
- For office buildings, a shaded sidewalk that is a minimum of 15-feet-wide shall be provided along the entrance side of the building. Shade can be provided with architecturally integrated portals or canopies, or by trees placed at intervals of approximately 25 feet on center in planters with a minimum interior dimension of 5-feet square (or equivalent).
- For buildings, an outdoor patio space that is a minimum of 500 square feet in size with tables and seating shall be provided. The patio shall have adequate shading provided by trees and/or shade structure that integrates with building architecture.
- Convenient pedestrian connections shall be provided from each building to the internal circulation system and to adjacent roadways.
- Bicycle racks shall be conveniently located near building entrances but not within pedestrian pathways or landscape areas.
- There shall be a 6-foot clear pedestrian ways to connect Tract G-3-A to H-1-A and Tract G-3-B to Tract H-1-A.

LANDSCAPING & SCREENING

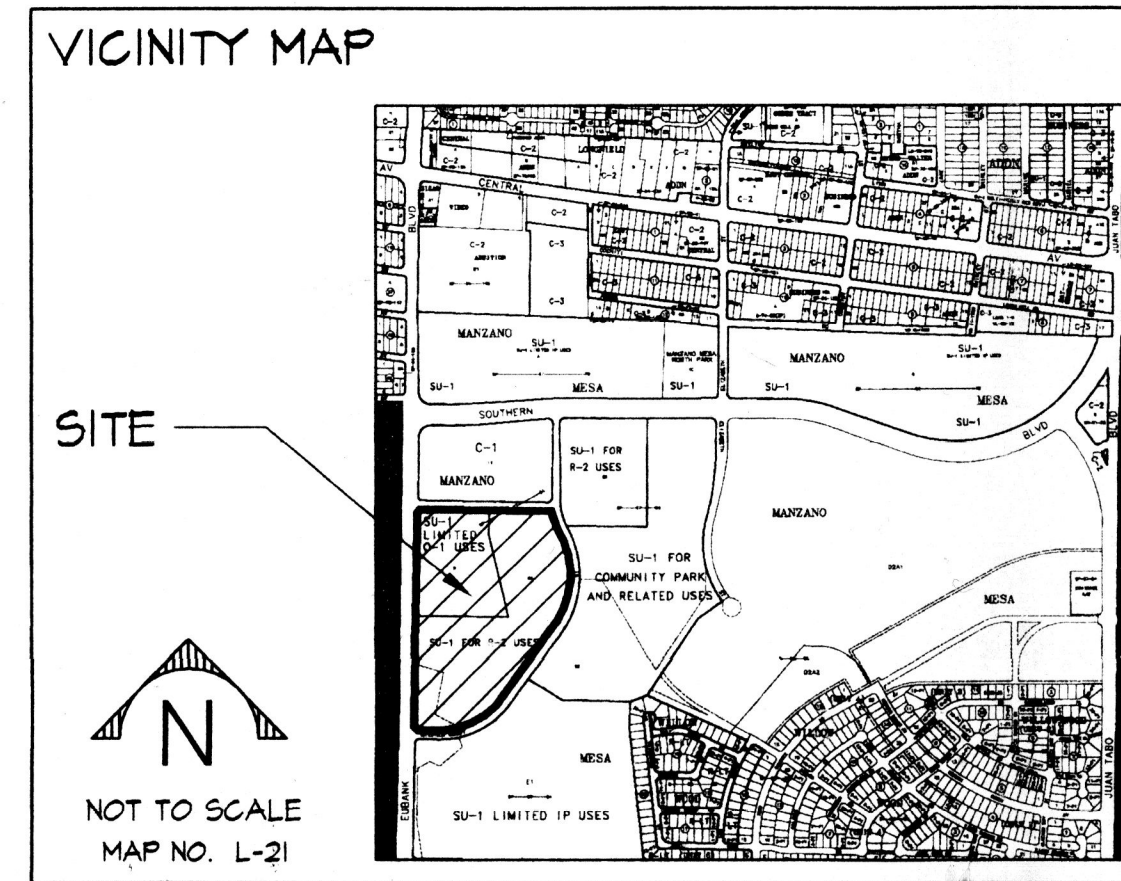
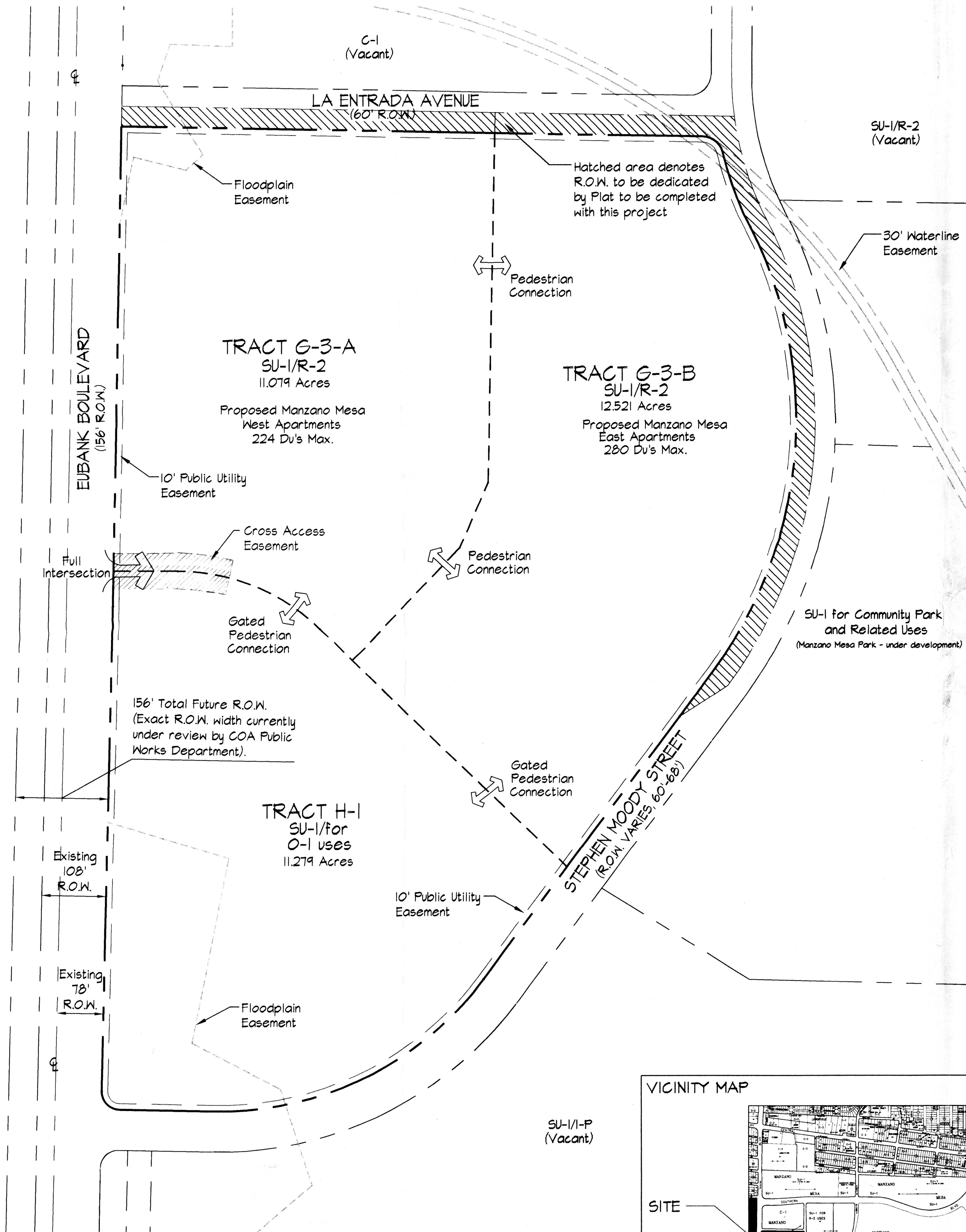
- A mix of evergreen (coniferous) and deciduous trees shall be used within parking areas. Buffer areas shall include a mix of evergreen and deciduous trees.
- Landscaping regulations require that 75% of landscape areas over 36 square feet in size must be covered with living, vegetative material. High-water use turf shall be limited in application to 20% of the landscape area.
- Perimeter walls shall comply with the Planning Department's Guidelines for perimeter walls.
- No chain-link, razor wire or plastic vinyl fencing is permitted.

ARCHITECTURE

- The top of all rooftop equipment shall be below the top of parapet and screened from view from nearby properties. Screen walls shall screen all ground-mounted equipment with the top of equipment below the top of screen wall.
- No plastic or vinyl building panels, awnings, or canopies are permitted. Awnings and canopies shall be integrated with building architecture.
- No freestanding cell towers or antenna shall be permitted; antenna shall be integrated into the building architecture.
- ATM's should be architecturally integrated with building design.
- Loading docks shall be screened by walls and covers that are architecturally integrated with the building.
- No generic franchise architecture shall be allowed.
- All out buildings and canopies shall be architecturally integrated and compatible in materials and design.
- Refuse enclosures shall be compatible in design, color, and material with building architecture. If gates are provided, they shall be opaque; chainlink gates are not allowed.

SIGNAGE

- Monument signs which are integrated with building colors and materials are the only free standing signs allowed.
- Building-mounted signs shall consist of individual channel letters. No illuminated plastic panel signs are allowed except logos.
- Monument signage shall be limited to a maximum of 10-feet in height, 100 square feet per face. Building-mounted signage shall be a maximum of 6% of the facade to which is applied and on a maximum of 3 building facades. Maximum letter size shall be three feet, maximum logo size shall be 3' x 3'.
- The location of the light poles shall be included on the Site Plans for Building Permit. Light fixtures shall be a maximum of 20 feet high. The light fixtures shall be fully-shielded fixtures lamps so that no fugitive light shall escape beyond the property line. All light fixtures shall be full-cutoff to prevent fugitive light; no light source shall be visible from the site.



SITE DEVELOPMENT PLAN FOR SUBDIVISION: REQUIRED INFORMATION

THE SITE: The site consists of 2 existing lots (Tracts H, & G3, Manzano Mesa Addition). The site shall be replatted into 3 lots. (Tracts H-1, G-3-A and G-3-B). The site contains approximately 34.9 acres. Tract H is approximately 11.3 acres, Tract G-3-A is approximately 11.0 acres, and Tract G-3-B is approximately 12.6 acres.

PROPOSED USE: The zoning for tract H (H-1) shall remain SU-1 for O-1 uses. The zoning for Tract G-3 (G-3-A and G-3-B) shall remain SU-1 For R-2. The proposed use for Tracts G-3-A and G-3-B is multi-family residential.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS: There will be a 10 foot multi-use asphalt trail along Eubank Boulevard and a 6 foot sidewalk along Stephen Moody Street, and La Entrada Avenue. Interior pedestrian ways shall be developed in accordance with the individual Site Plans for Building Permit. The primary access to Tracts H-1 and G-3-B shall be off of Stephen Moody Street. A cul-de-sac will be developed from Eubank Boulevard at the approximate midpoint between Stephen Moody Street and La Entrada Avenue to provide access to Tracts H-1 and G-3-A. Secondary access to Tracts G-3-A and G-3-B will be provided off of La Entrada Avenue.

INTERNAL CIRCULATION REQUIREMENTS: Internal circulation shall be developed in accordance with the individual Site Plans for Building Permit.

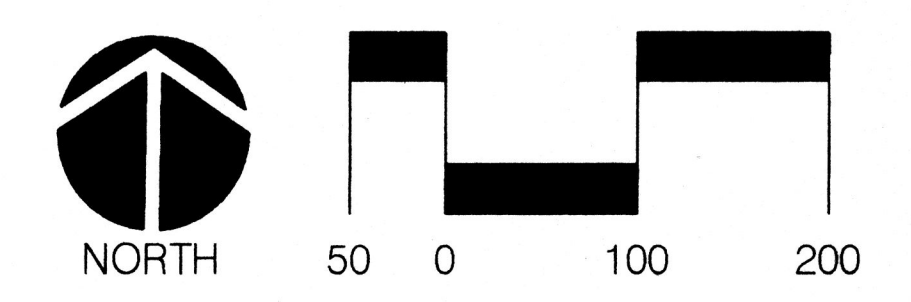
BUILDING HEIGHTS AND SETBACKS: Pursuant to the R-2, or O-1 zoning, as appropriate depending on the specific land use.

MAXIMUM F.A.R.: Maximum F.A.R. for Tract H-1 shall be .35, Maximum dwelling units for Tract G-3-A shall be 224 units, and maximum dwelling units for Tract G-3-B shall be 280.

LANDSCAPE PLAN: Detailed Landscape Plans shall be developed in accordance with the individual Site Plans for Building Permit and consistent with these landscaping and screening requirements.

Project # 1000938
 DRB Application # 01450-00000-00715
 EPC APPROVALS (00128 00000 01645)

Planning Director	7/23/01
Transportation Development	7-16-01
City Engineer/AMAFCA	7/16/01
Utility Development	6/13/01
Parks and Recreation Department	6/13/01



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revisions	job title MANZANO MESA TRACTS H & G3 ALBUQUERQUE, NEW MEXICO 87123
PROJECT MANAGER	job no date
JORGE DE LA TORRE, AIA	20048 1/26/01
sheet title	by
SITE PLAN FOR SUBDIVISION	

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PROJ 1000938

GENERAL NOTES - CITY REQUIRED **KEYED NOTES**

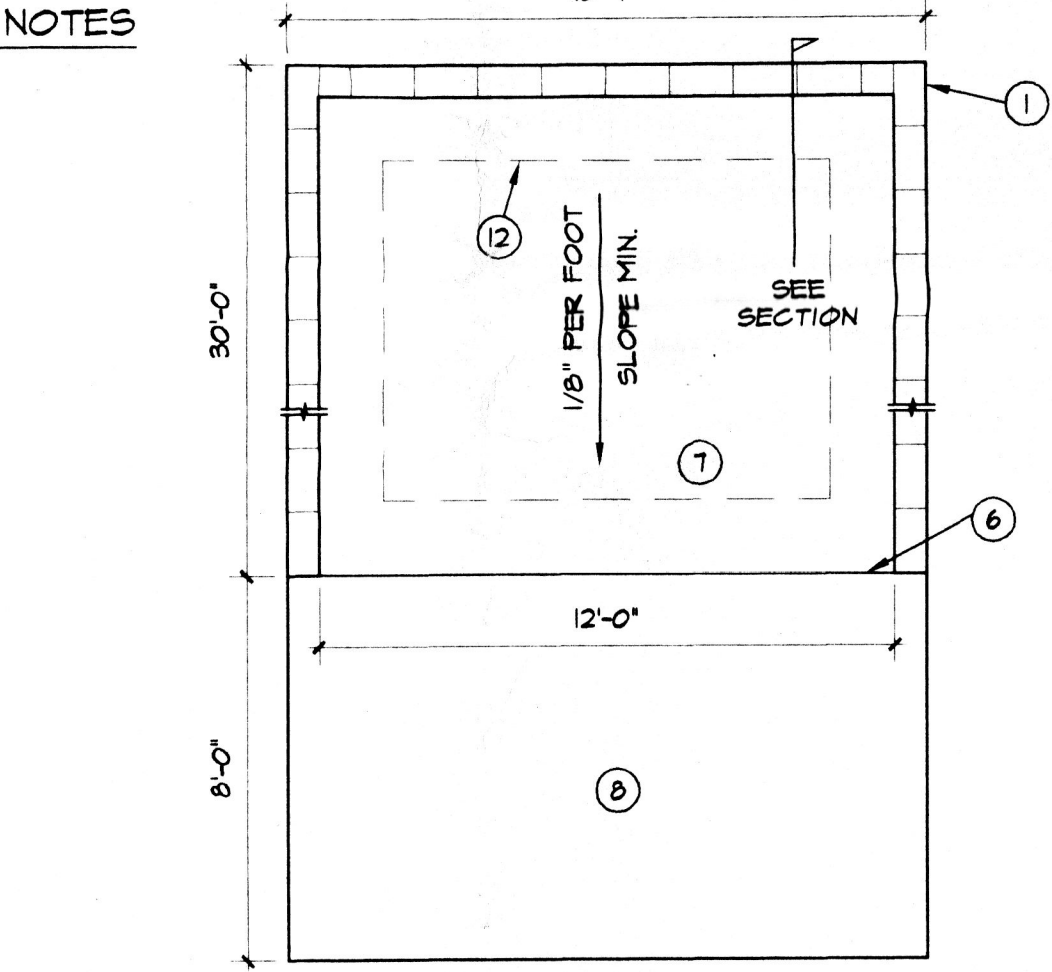
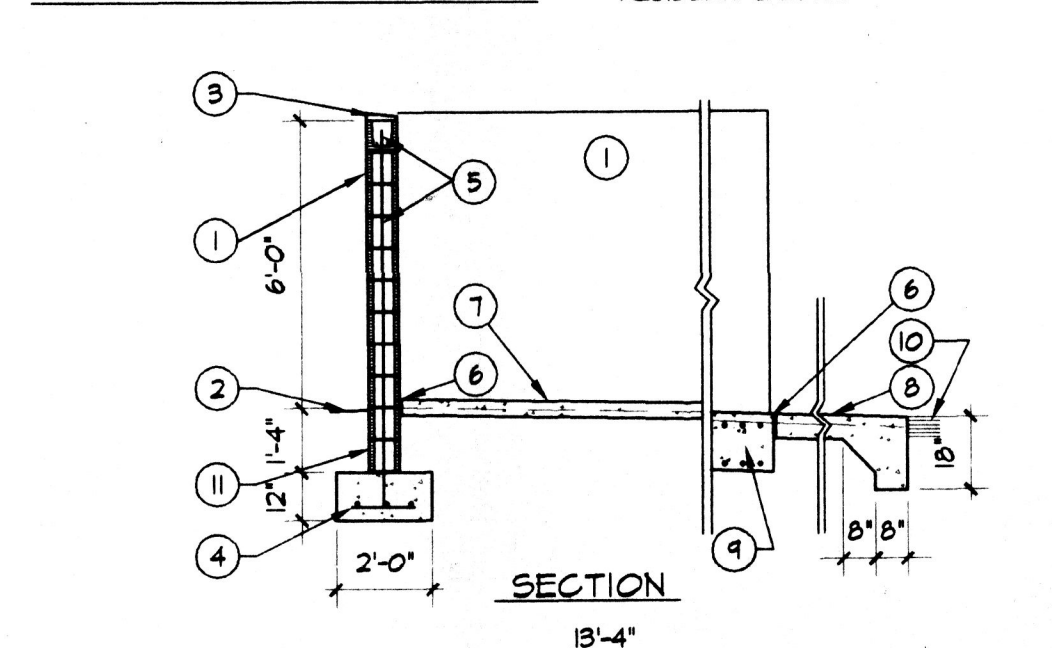
- A. *THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN***
- B. THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT EXCEPTED BY THE TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN: (1) UNLAWFUL DELAY OF INITIAL INSPECTION FOR TEMPORARY CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK; AND (2) INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.**
- C. ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL INSPECTION. FOR TEMPORARY C.O. WILL BE SCHEDULED.**
- D. ALL SIDEWALK AND C&G IN DISREPAIR WILL BE REMOVED AND REPLACED.**
- E. CONSTRUCT CURB RETURNS PER CITY OF ALBUQUERQUE STANDARD DETAIL DWS #2426. CONTRACTOR MUST BE MADE AWARE THAT ANY AGREEMENT WITH THE OWNER STATING PORTIONS OF THIS BUILDING PERMIT WORK TO BE COMPLETED BY THE OWNER OR A REPRESENTATIVE WILL MEAN CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL WORK IS FINISHED.**
- F. CERTIFICATION BY THE DESIGNER OF RECORD, REQUIRED BY THE TRANSPORTATION SECTION, NEEDS TO STATE THAT THIS SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT BEFORE C.O. IS RELEASED.**
- 1. 6' HIGH WROUGHT IRON FENCE AROUND POOL.**
- 2. 10'x20' POOL EQUIPMENT ROOM TYPICAL.**
- 3. BICYCLE RACK - SEE DETAIL (1 SPACE PER 2 DWELLING UNITS PROVIDED).**
- 4. TRASH COMPACTOR ENCLOSURE.**
- 5. GARAGE ENCLOSURE 20' DEEP X 11' WIDE PER NUMBER OF SPACES INDICATED.**
- 6. 10'x11' MAILBOX ENCLOSURE.**
- 7. MONUMENT SIGN MOUNTED ON SITE MALL.**
- 8. SITE MALL TYPE 'A' - SEE ELEVATIONS.**
- 9. SITE MALL TYPE 'B' - SEE ELEVATIONS.**
- 10. 3' TALL CMU SITE MALL.**
- 11. 4' TALL CMU SITE MALL.**
- 12. PEDESTRIAN CROSSINGS SHALL BE 6' WIDE WITH RAISED TEXTURED CONCRETE WITH WHITE STRIPING TYPICAL.**

LIGHTING NOTE:

LIGHTING TO BE BUILDING MOUNTED AND FROM POLES. AS INDICATED IN KEYED NOTES. AREA LIGHTING INCLUDING PARKING AND WALKS SHALL BE ARRANGED SO THAT THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS CUTOFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC R.O.N. IT SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 1000 FOOTLAMBERTS AND IT SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 200 FOOTLAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.

FIXTURE TO BE FULLY SHIELDED, OUT-OFF FIXTURE

POLE LIGHT DETAIL



PLAN VIEW

EPC NOTES

- A. ALL SIDEWALKS IN FRONT OF PARKING STALLS TO BE 6' WIDE CLEAR TYPICAL. ALL PEDESTRIAN CROSSINGS SHALL BE 6' WIDE TYPICAL. ALL OTHER SIDEWALKS SHALL BE 4' WIDE TYPICAL. ALL SIDEWALKS IN PUBLIC R.O.M. TO BE 6' WIDE TYPICAL.**
- B. THE TOP OF ALL ROOFTOP EQUIPMENT SHALL BE BELOW THE TOP OF PARAPET AND SCREENED FROM VIEW FROM THE PROPERTY LINE. ROOFTOP EQUIPMENT AND OTHER PENETRATIONS SHALL BE PAINTED TO MATCH THE ROOF COLOR OR OTHER PREDOMINANT BUILDING COLOR. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALLS.**

PROJECT INFORMATION

LOCATION: EUBANK NE BETWEEN STEPHEN MOODY ST. AND SOUTHERN BLVD.
DEVELOPER: GSL PROPERTIES INC.
LEGAL DESCRIPTION: TRACT 6-3 OF MANZANO MESA WITHIN SECTION 26, TOWNSHIP 10 NORTH, RANGE 4 EAST NMPM, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NM S/4 FOR R-2
CURRENT ZONING: S/4 FOR R-2
PROPOSED: SAME
TOTAL ACREAGE: 23.60 ACRES
ZONING ATLAS PAGE: L-21-Z
UPC #: 102105606415930301

MANZANO MESA WEST

OFFICE/REG. PARKING REQD. (2400 S.F. OFFICE/REG. BUILDING)	12
APARTMENT PARKING REQD. (UNITS 224 = 50% 1 BDR. + 50% 2 BDR.)	342
PARKING REQUIRED (TOTAL) (12 H.C. REQUIRED)	404
OPEN PARKING	381
GARAGE PARKING	54
TOTAL PROVIDED (INC. 14 H.C.)	435
NOTE: TYPICAL PARKING SPACE = 8.5' X 18'	
NET SITE AREA	482,544.15 (11.06)
BLDG'S	14 @ 16 DU = 224
BUILDING AREA: (INCLUDES OVERHANGS AND BALCONIES)	
GROUND FLOOR 1,004 PER BUILDING (14) = 90,056 S.F.	
SECOND FLOOR 1,004 PER BUILDING (14) = 90,056 S.F.	
TOTAL = 180,112 S.F.	
BICYCLE PARKING (1 PER 2 DUS)	112

MANZANO MESA EAST

OFFICE/REG. PARKING REQD. (5144 S.F. OFFICE/REG. BUILDING)	26
APARTMENT PARKING REQD. (UNITS 280 = 50% 1 BDR. + 50% 2 BDR.)	440
PARKING REQUIRED (TOTAL) (16 H.C. REQUIRED)	502
OPEN PARKING	450
GARAGE PARKING	66
TOTAL PROVIDED (INC. 16 H.C.)	516
NOTE: TYPICAL PARKING SPACE = 8.5' X 18'	
NET AREA	545,414.51 (12.52)
BLDG'S	7 @ 24 DU = 168 7 @ 16 DU = 112 TOTAL DUS = 280
BUILDING AREA: (INCLUDES OVERHANGS AND BALCONIES)	
GROUND FLOOR 8,365 PER BUILDING (14) = 117,110 S.F.	
SECOND FLOOR 8,365 PER BUILDING (14) = 117,110 S.F.	
THIRD FLOOR 8,265 PER BUILDING (7) = 58,855 S.F.	
TOTAL = 293,075 S.F.	
BICYCLE PARKING (1 PER 2 DUS)	140

RADIUS LEGEND

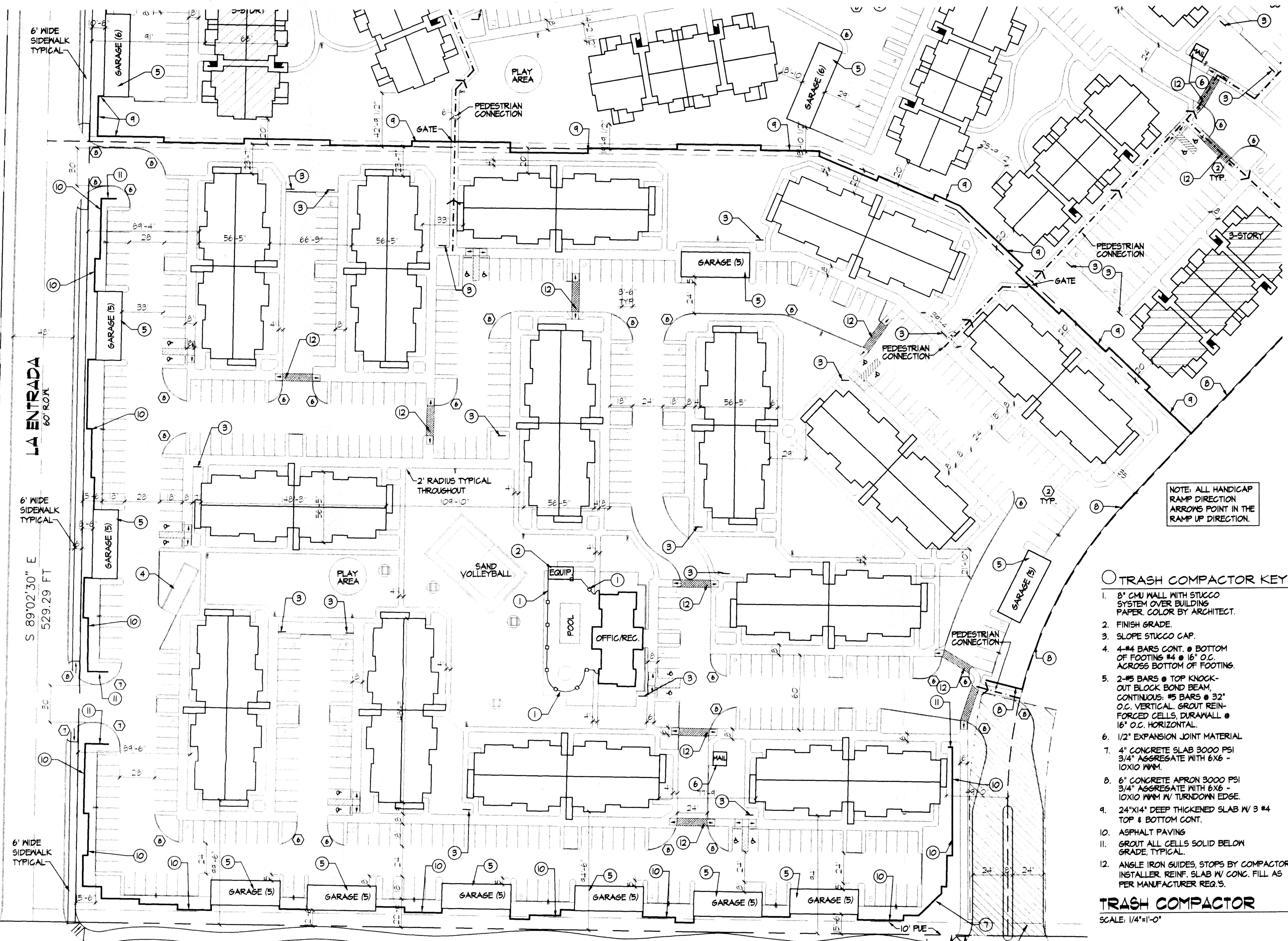
- ① 1' RADIUS
- ② 2' RADIUS
- ③ 3' RADIUS
- ④ 5' RADIUS
- ⑤ 10' RADIUS
- ⑥ 15' RADIUS
- ⑦ 20' RADIUS
- ⑧ 25' RADIUS
- ⑨ 35' RADIUS
- ⑩ 50' RADIUS
- ⑪ 100' RADIUS
- ⑫ 150' RADIUS

TRASH COMPACTOR KEYED NOTES

- 8" CMU WALL WITH STUCCO SYSTEM OVER BUILDING PAPER. COLOR BY ARCHITECT.
- FINISH GRADE.
- SLOPE STUCCO CAP.
- 4-#4 BARS CONT. @ BOTTOM OF FOOTING #4 @ 16" O.C. ACROSS BOTTOM OF FOOTING.
- 2-#5 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM, CONTINUOUS; #5 BARS @ 32" O.C. VERTICAL. GROUT REINFORCED CELLS, DURAWALL @ 16" O.C. HORIZONTAL.
- 1/2" EXPANSION JOINT MATERIAL.
- 4" CONCRETE SLAB 3000 PSI 3/4" AGGREGATE WITH 6x6 - 10x10 W/M.
- 6" CONCRETE APRON 3000 PSI 3/4" AGGREGATE WITH 6x6 - 10x10 W/M IV TURNDOWN EDGE.
- 24"x14" DEEP THICKENED SLAB W/ 3 #4 TOP & BOTTOM CONT.
- ASPHALT PAVING
- GROUT ALL CELLS SOLID BELOW GRADE, TYPICAL.
- ANGLE IRON GUIDES, STOPS BY COMPACTOR INSTALLER. REINF. SLAB W/ CONC. FILL AS PER MANUFACTURER REQ.

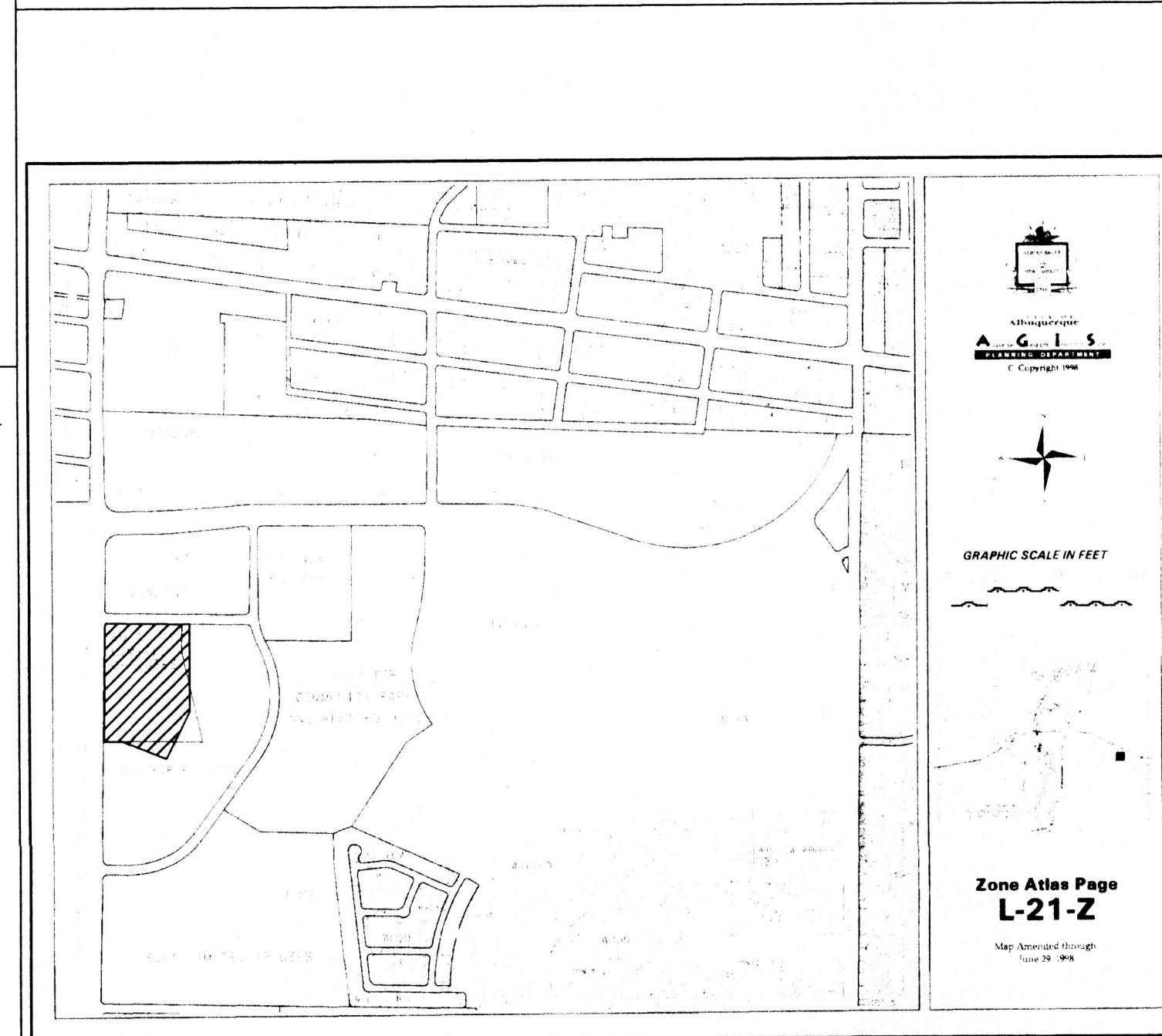
TRASH COMPACTOR

SCALE: 1/4"=1'-0"

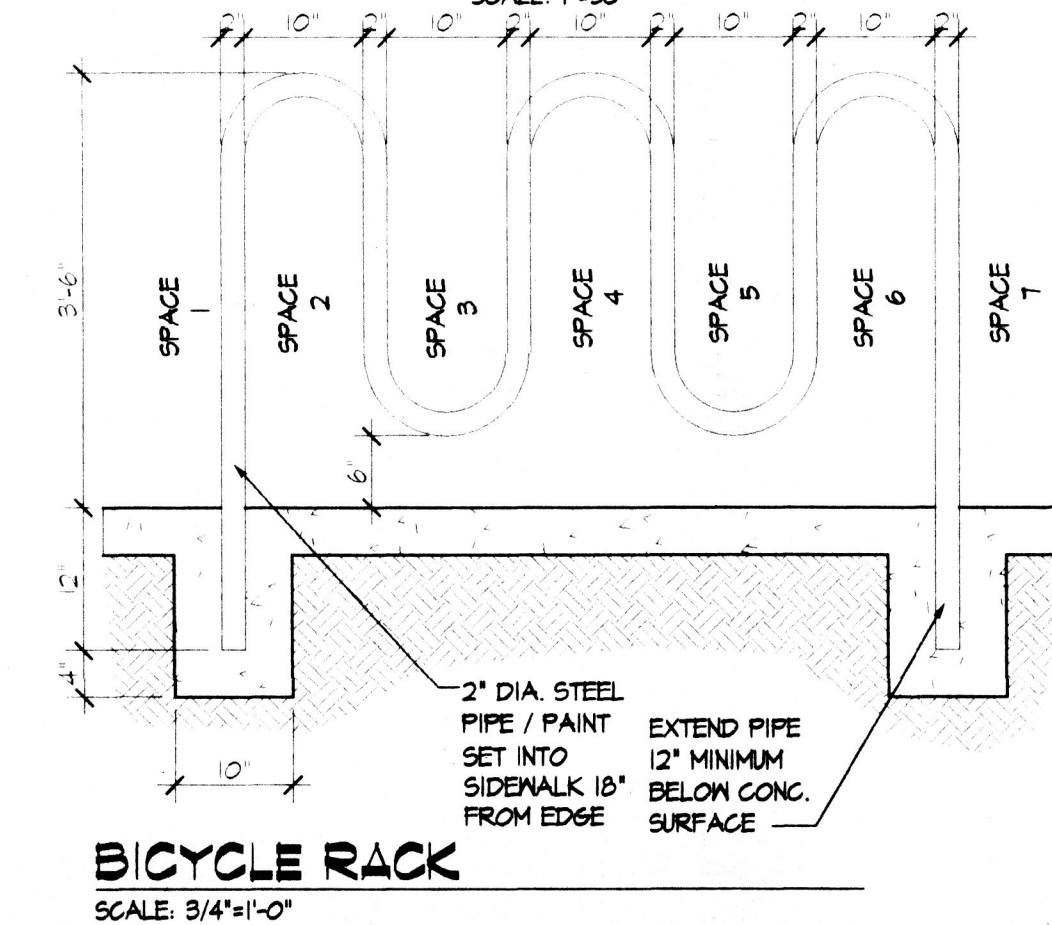


NOTE: FINAL SECTION FOR EUBANK, INCLUDING PAVING, MEDIAN, AND BIKE LANES TO BE DETERMINED BY SOUTH EUBANK SCOPING STUDY UNDERWAY BY THE COA PUBLIC WORKS DEPARTMENT.

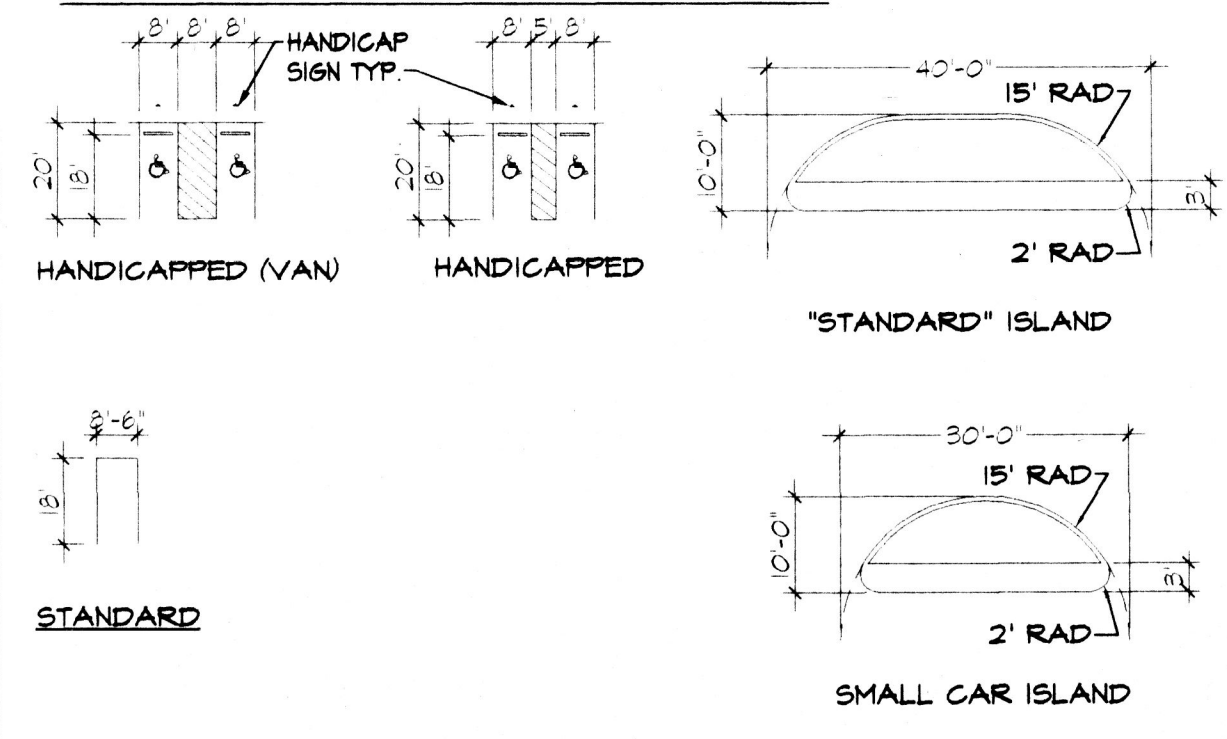
VICINITY MAP



SITE PLAN



PARKING TYPES & ISLAND DETAILS



LEGEND:

- METAL FENCE
- CHAIN LINK FENCE
- SANITARY SEWER MANHOLE
- × WATER VALVE
- ⊕ FIRE HYDRANT
- ⊙ WATER METER
- ⊕ ELECTRIC MANHOLE
- ⊕ ELECTRIC PEDESTAL
- OVERHEAD ELECTRIC LINE
- STREET LIGHT
- POWER POLE
- ANCHOR
- △ EXISTING LOT LIGHT
- TRAFFIC SIGNAL OR PULLBOX
- NEW POLE LIGHT
- GAS VALVE
- WATERLINE
- SAS - SANITARY SEWER LINE
- SD - STORM SEWER LINE
- LIGHT POLE

SIGNATURE BLOCK

SITE DEVELOPMENT PLAN - PROJECT # 1000999

CASE NUMBER: 00128 00000 01646, 01450 00000 00716

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SIDE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON MARCH 1, 2001 AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE, NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH:

<i>[Signature]</i>	6/13/01
<i>[Signature]</i>	7/16/01
<i>[Signature]</i>	4/13/01
<i>[Signature]</i>	6/13/01
<i>[Signature]</i>	7/16/01

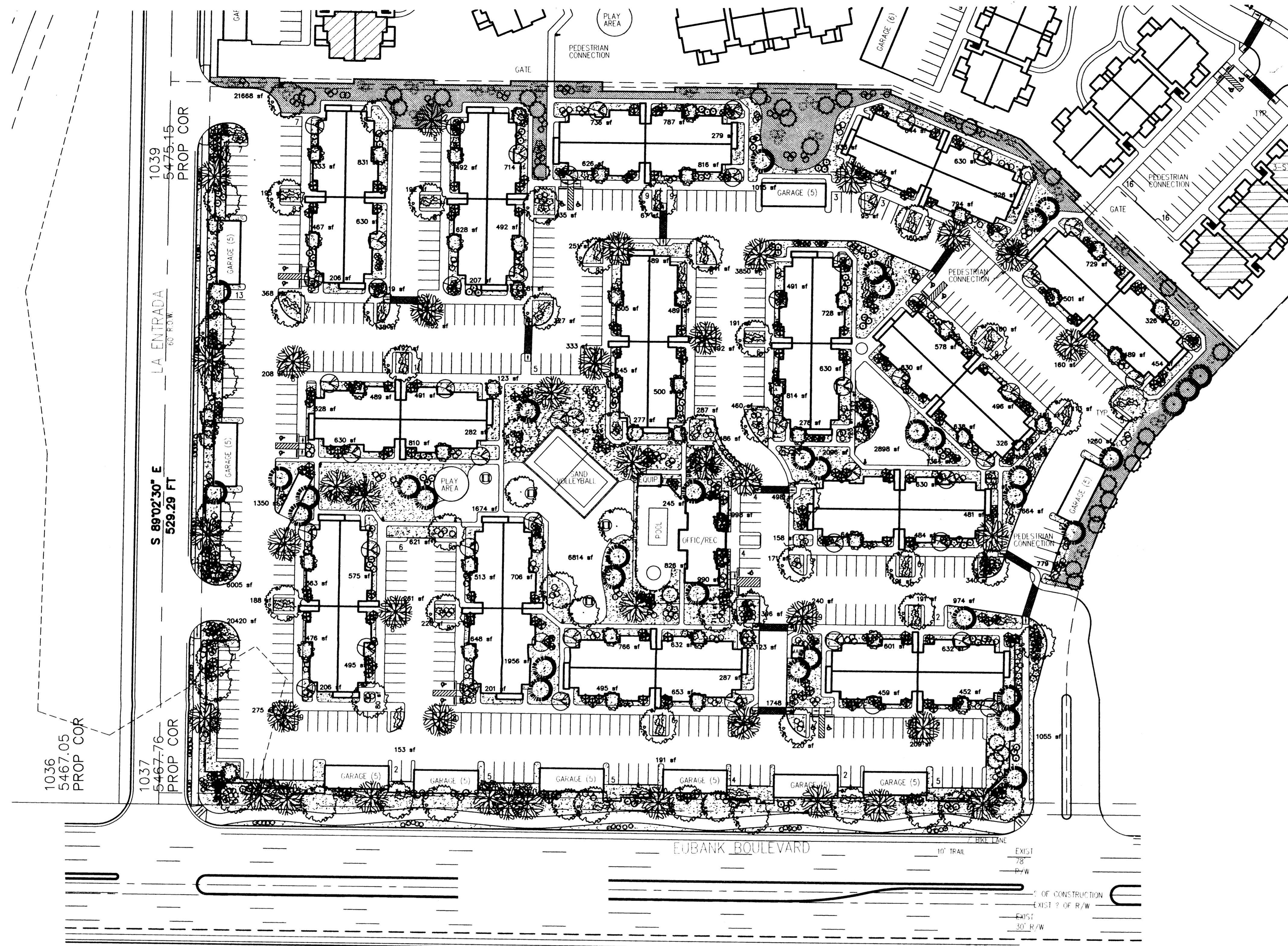
APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL.

[Signature] 7/23/01

revisions 6/7/01 6/11/01	job title MANZANO MESA WEST EUBANK NE ALBUQUERQUE, NEW MEXICO 87123	job no 20048	date 5/22/01
	PROJECT MANAGER JORGE DE LA TORRE, AIA		
	SHEET TITLE SITE PLAN FOR BUILDING PERMIT	by NAP	

de la torre architecte, p.a. aia
 2400 louisiana blvd ne
 building 3 - suite 110
 albuquerque nm 87110 / 505-883-7918

sheet -
1
of - 5



STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Name of Street Eubank
Required # 23 Provided # 23

Total number of trees on site as required by The City Of Albuquerque are as follows:

Number of 1st story apartment units: 112
Number of 2nd story apartment units: 112
Number of trees to reach 25' at maturity required: 168
Number of trees to reach 25' at maturity provided: 335

PLANT LEGEND

- SHADE TREE 59
LONDON PLANE TREE (H)
Platanus acerifolia
- SHADE TREE 40
THORNLESS HONEYLOCUST
Gleditsia triacanthos 'inermis'
2" Cal
- FLOWERING PEAR (H) 54
Pyrus calleryana
1 1/2" Cal
- NEW MEXICO OLIVE/WASHINGTON HAWTHORN (M) 54
Forestiera neomexicana
Crataegus phoenopyrum
15 Gal.
- DESERT WILLOW (L) 30
Chilopsis linearis
15 Gal.
- AUSTRIAN PINE (H) 36
Pinus nigra
6-8
- SILVERBERRY (M) 176
Elaeagnus pungens
5 Gal.
- INDIAN HAWTHORN (M) 116
Raphiolepis indica
5 Gal.
- RUSSIAN SAGE (M) 98
Perovskia atriplicifolia
5 Gal.
- APACHE PLUME (L) 190
Eoljgia paradoxa
5 Gal.
- AUTUMN SAGE (M) 141
Salvia greggii
2 Gal.
- PROSTRATE ROSEMARY (M) 118
Rosmarinus officinalis
5 gal
- CHAMISA (L) 133
Chrysothamnus nauseosus
1 Gal.
- WILDFLOWER 105
1 Gal.
- TAM JUNIPER (M) 153
Juniperus sabina
5 Gal.
- BOSTON IVY 51
Parthenocissus tricuspidata
- OVERSIZED GRAVEL & BOULDERS
- 3/4" SANTA ANA TAN GRAVEL WITH FILTER FABRIC
- SOD (FESCUE)
- CRIMP STRAW NATIVE SEED
- COMMERCIAL GRADE STEEL EDGING
- POP-UP SPRINKLER HEADS

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque, Water Conservation Landscaping and Water Waste Ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping, and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

3/4" Santa Ana Tan Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

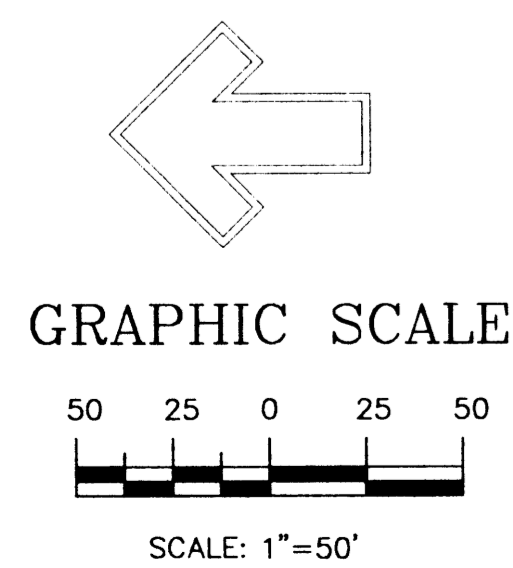
Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

LANDSCAPE CALCULATIONS

NET LANDSCAPE AREA		
TOTAL LOT AREA	479160	square feet
TOTAL BUILDINGS AREA	100,237	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	378923	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	56838	square feet
TOTAL LANDSCAPE PROVIDED	147,637	square feet
TOTAL BED PROVIDED	136,273	square feet
TOTAL SOD PROVIDED	11,364 (20%)	square feet
TOTAL NATIVE SEED PROVIDED	21,668	square feet



The Hilltop

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it@hilltoplandscaping.com

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revisions	job title MANZANO-MESA APTS. EUBANK N.E. ALBUQUERQUE, NEW MEXICO 87123			
	PROJECT MANAGER JORGE DE LA TORRE, AIA		job no 20048	date 6-11-01
	sheet title		by	
	de la torre architects, p.a. aia 22400 lousiana blvd n.e. building 3 / suite 110 albuquerque nm 87110 / 505-883-7918			

sheet - **2** of - 5
START DATE:

CONCEPTUAL DRAINAGE MANAGEMENT PLAN

I. INTRODUCTION
The purpose of this plan is to present a conceptual drainage plan for the Manzano Mesa Apartments. The site contains approximately 23.6 acres. The project must go through the EPC for zone change approval and site plan approval. Due to the preliminary nature of this study, quantitative drainage calculations are not provided, only general drainage concepts are shown.

II. SITE LOCATION
The site is located on the east side of Eubank south of Southern. In its current condition, the majority of the site is undeveloped portions of this site have been graded at some point in the past. The site currently drains to the west at a slope of just under 2%. The site is located within zone atlas map (B-2), and hydrologic zone 3.

III. EXISTING HYDROLOGIC CONDITIONS
Both the existing basins and proposed basins are shown on the basin map included on this sheet. A pending ordinance to the existing Manzano Mesa master Drainage Study (1985, Smith Engineering) identifies the site as basins 601, 603, and 701. The tract boundaries from the original study do not match the current platting for the area, hence the site requested that Smith Engineering provide and calculate to modify the study to match the current tract lines. The ordinance identifier that Sub-basins 601 should drain to the east to the Manzano Mesa Park Pond. Basins 603 and 701 drain to the south and west.

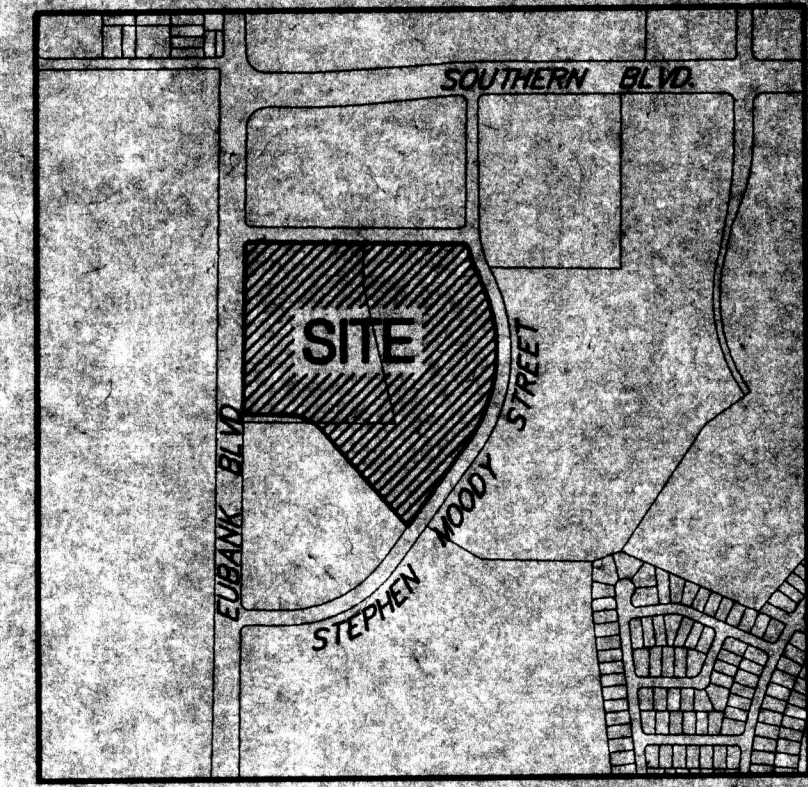
IV. PROPOSED HYDROLOGIC CONDITIONS
As the basin map on this sheet indicates, existing Sub-Basins 601, 603, and 701 are divided into Basins A, B, C, and D under proposed conditions. Specifically, Sub-Basin 601 is divided into Basins B and C. Due to the constraints imposed by the site topography, only a small portion of existing Sub-Basin 601 (proposed basin C) can drain to the Manzano Mesa Park Pond. The remaining portions of the basin must drain to the west.

Proposed Basin B also contains most of Sub-Basin 603. Basin B is proposed to drain to the south in a new Storm Drain along Eubank. The new storm drain would be into the 11000' Outfall Storm Drain at the intersection of Eubank and Stephen Woody. Because the total portion of the site which drains to the west and south is significantly larger than was anticipated by the Master Drainage Plan, ponding will be required. Sufficient ponding volume to mitigate the peak flow from Basin B to the peak flow for Sub-Basin 601 intercepted by the addition to the Master Drainage Plan will be required.

Proposed Basin A is a portion of existing Sub-Basin 603. Existing topography constraints require Basin A to drain to the north. The interim outfall for Basin A should be the existing culvert under Eubank just north of the site. The ultimate outfall for Basin A would be down the Gibson East Corridor.

Proposed Basin D corresponds closely to existing Sub-Basin 701, and will drain in the same manner indicated by the Master Drainage Plan.

V. CONCLUSION
This conceptual drainage management plan proposes concepts which are capable of safely passing the 100 year storm and which meet city requirements.

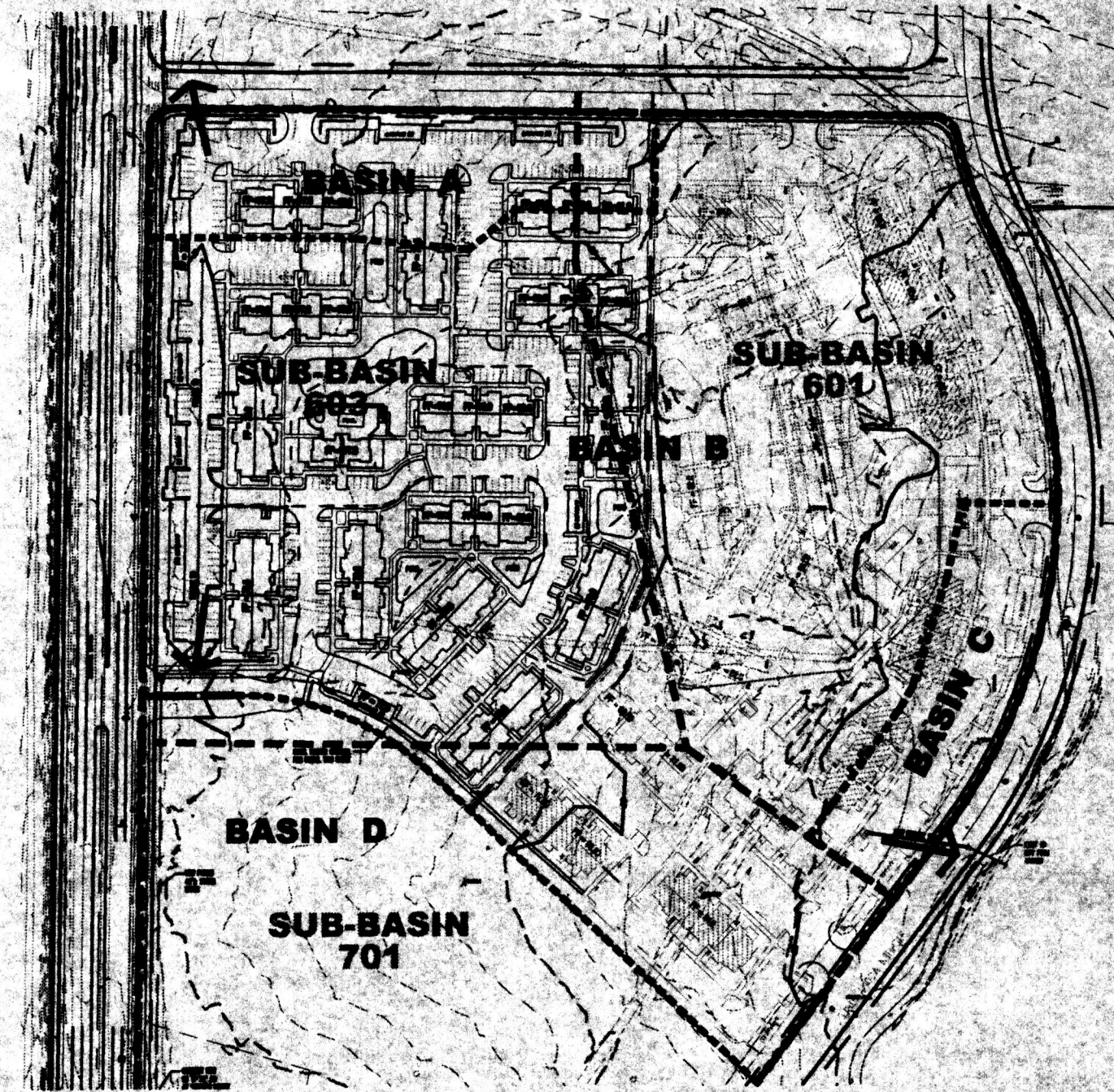


VICINITY MAP
ZONE ATLAS MAP NO. L-21-2

LEGAL DESCRIPTION:
TRACT C-3 OF MANZANO MESA
WITHIN SECTION 28, TOWNSHIP 10 NORTH, RANGE 4 EAST
NMPM, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NM

LEGEND

- PROPERTY LINE
- 5301 --- EXISTING CONTOURS
- 5301.15 --- EXISTING GROUND SPOT ELEVATION
- EXISTING ELECTRICAL POLE
- 6523 --- PROPOSED SPOT ELEVATION TO TOP OF CURB, FIN-FLOOR LINE TO TOP OF WALL, OR BOTTOM OF WALL OR EXISTING TO TOP OF CURB
- S=2.0% --- PROPOSED DIRECTION OF FLOW
- 5305 --- PROPOSED INDEX CONTOURS
- 5305 --- PROPOSED WATER CONTOURS
- 5305 --- PROPOSED CURB & GUTTER
- SD --- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN BLEED
- ⊙ EXISTING STORM DRAIN MANHOLE



BASIN MAP
SCALE: 1"=200'

- EXISTING BASIN BOUNDARY PER MANZANO MESA MASTER DRAINAGE STUDY, 1985, BY SMITH ENGR.
- PROPOSED CONDITIONS BASINS

Coltman Houston

Courtyard One 7500 JEFFERSON NE, Albuquerque, NEW MEXICO 87109

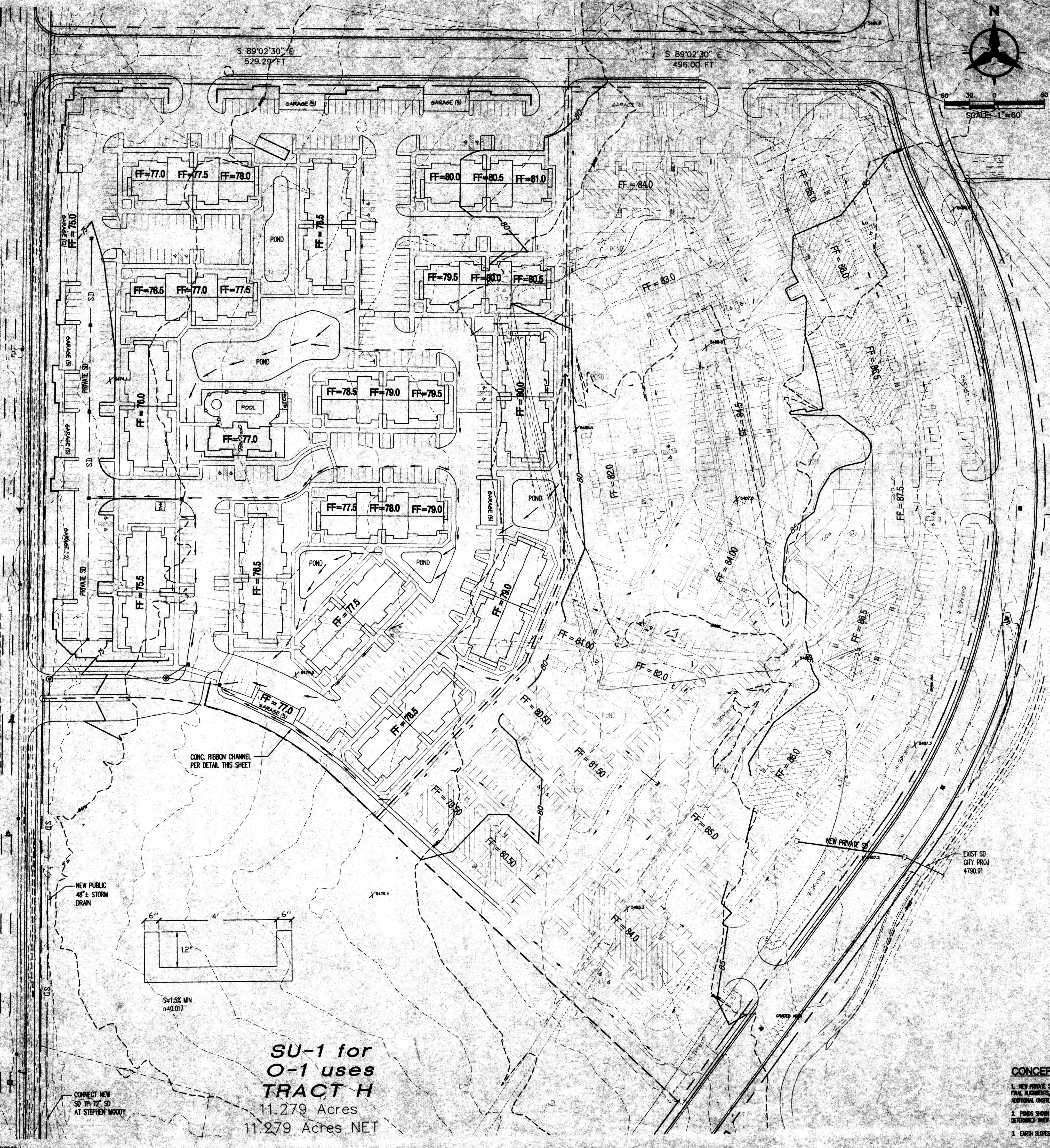
ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

revisions	job title	MANZANO-MESA WEST	
	PROJECT MANAGER	job no	date
	JORGE DE LA TORRE, AIA	20046	11/27/00
	sheet title	CONCEPTUAL GRADING PLAN	

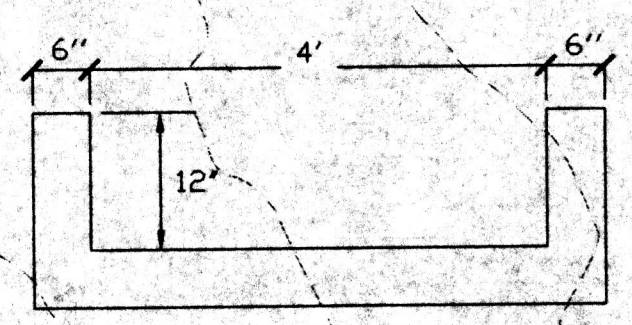
de la torre architects p.a.c.a.
2400 bulevara blvd ne
building 3 suite 110
albuquerque nm 87110 / 505 863 7916

CONCEPTUAL GRADING & DRAINAGE NOTES

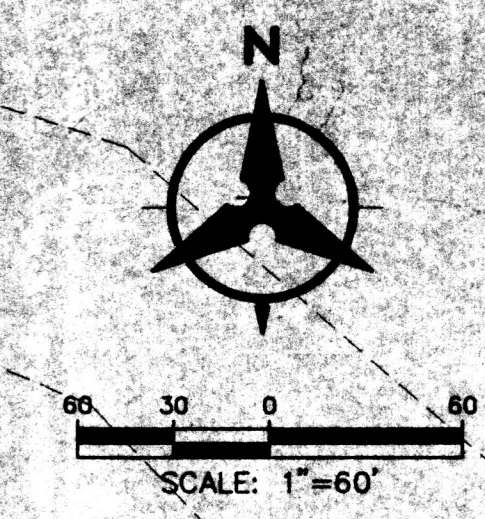
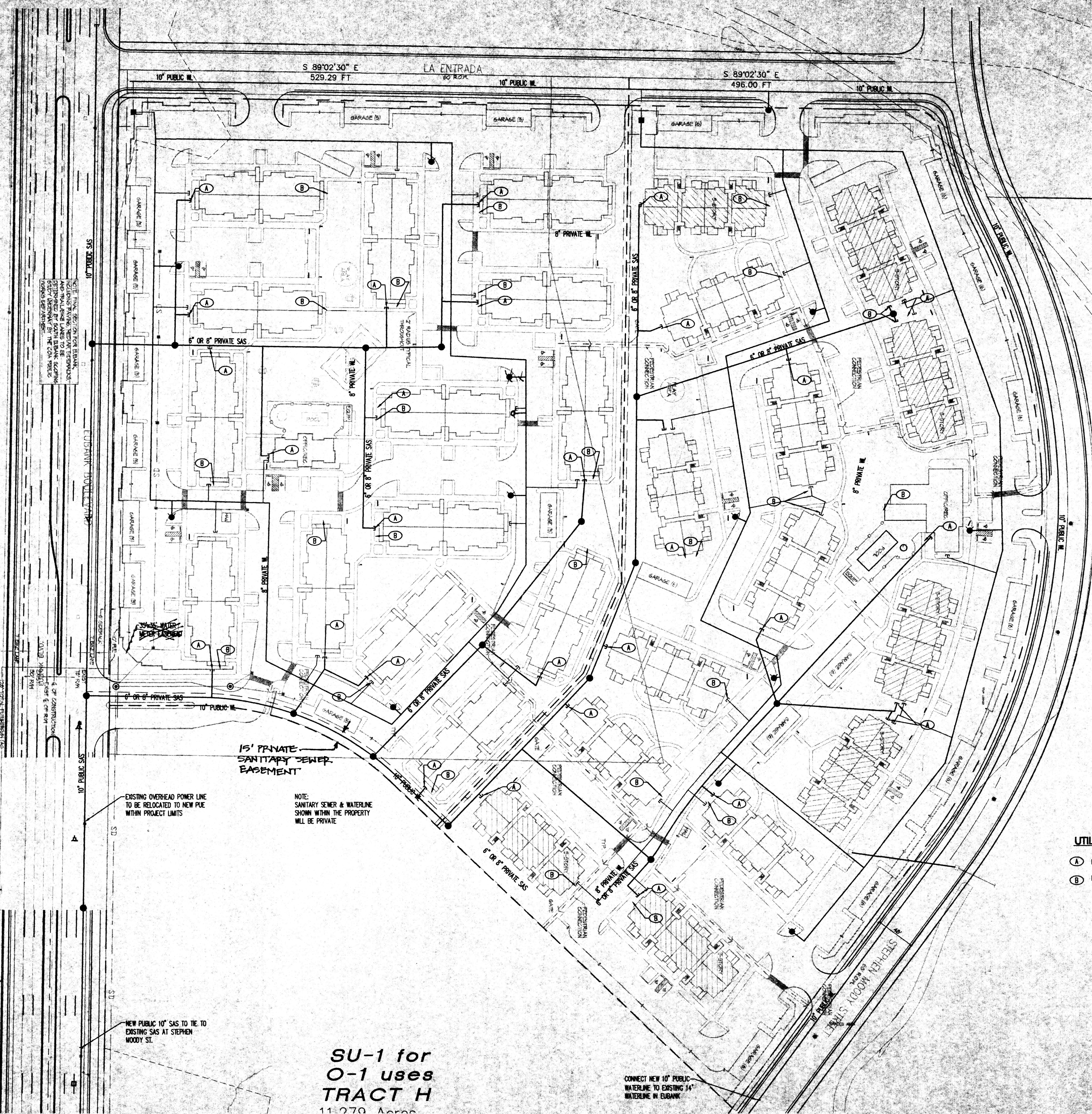
- NEW PRIVATE STORM DRAIN LINES SHOWN ON THIS PLAN ARE POSSIBLE CONCEPTS ONLY. FINAL ALIGNMENTS, SIZES, ETC. WILL BE DETERMINED WHEN THE FINAL DESIGN IS DONE. ADDITIONAL ON-SITE STORM DRAIN MAY BE REQUIRED.
- PONDS SHOWN ARE SCHEMATIC ONLY. EXACT SIZE, LOCATION, AND QUANTITY OF PONDS WILL BE DETERMINED WHEN FINAL DESIGN IS DONE.
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.



SU-1 for O-1 uses TRACT H
11.279 Acres
11.279 Acres NET



CONNECT NEW SD TO 12" SD AT STEPHEN WOODY



LEGEND

---	PROPERTY LINE
- - -	EXISTING EASEMENT
---	SAS
---	EXISTING SANITARY SEWER
---	EXISTING WATER LINE
○	EXISTING WATER METER
□	EXISTING CAP
○	EXISTING VALVE
○	EXISTING FIRE HYDRANT
○	EXISTING SANITARY SEWER MANHOLE
○	EXISTING STORM DRAIN MANHOLE
○	EXISTING INLET
- - -	PROPOSED EASEMENT
---	SAS
●	PROPOSED SANITARY SEWER MANHOLE
○	PROPOSED CLEANOUT
---	PROPOSED WATER LINE
○	PROPOSED VALVE
---	PROPOSED FIRE LINE
○	PROPOSED HYDRANT
□	PROPOSED CAP
○	PROPOSED WATER METER

- UTILITY NOTES**
1. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PIPS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
 2. MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
 3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE UPMO UNIFORM PLUMBING CODE, LATEST EDITION.
 4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND CUTTER, AND/OR SIDEWALK, AS APPLICABLE.
 5. ROUGH GRADING OF SITE (±0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
 6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
 7. ALL VALVES SHALL BE ANCHORED PER COA STANDARD DWG: 2333.
 8. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
 9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOODUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
 10. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.
 11. PROVIDE BOLLARDS TO PROTECT METER, AS PER PNM & UPC REQUIREMENTS.
 12. UTILITY EASEMENTS SHOWN ON CONSTRUCTION DOCUMENTS ARE A GRAPHICAL REPRESENTATION ONLY, NOT NECESSARILY RECORDED EASEMENTS. SEE PLAN FOR EXACT EASEMENT GEOMETRY.

AFD PLANS CHECKING OFFICE
 924-3611
 APPROVED/DISAPPROVED
 HYDRANT(S) ONLY
 [Signature]
 SIGNATURE & DATE

- UTILITY KEYED NOTES**
- (A) NEW PRIVATE SANITARY SEWER SERVICE
 - (B) NEW PRIVATE WATERLINE SERVICE

15' PRIVATE SANITARY SEWER EASEMENT

NOTE: SANITARY SEWER & WATERLINE SHOWN WITHIN THE PROPERTY WILL BE PRIVATE

EXISTING OVERHEAD POWER LINE TO BE RELOCATED TO NEW PUE WITHIN PROJECT LIMITS

NEW PUBLIC 10" SAS TO TIE TO EXISTING SAS AT STEPHEN WOODY ST.

CONNECT NEW 10" PUBLIC WATERLINE TO EXISTING 14" WATERLINE IN ELBANK

SU-1 for O-1 uses TRACT H
 11,270 Acres

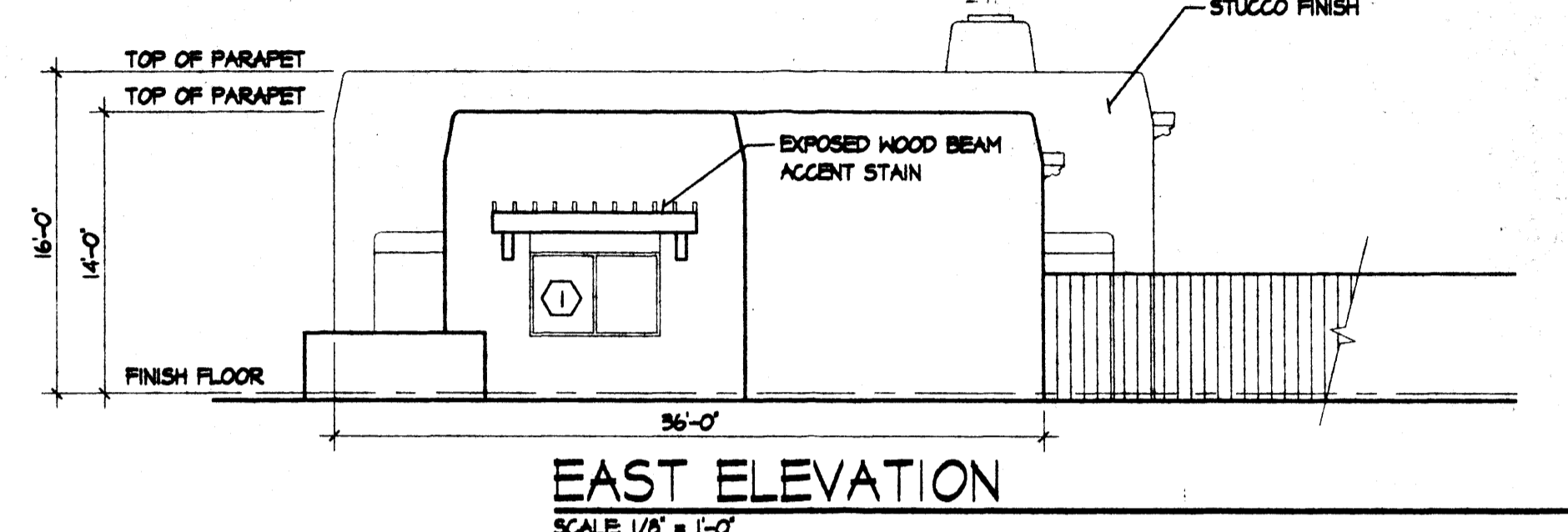
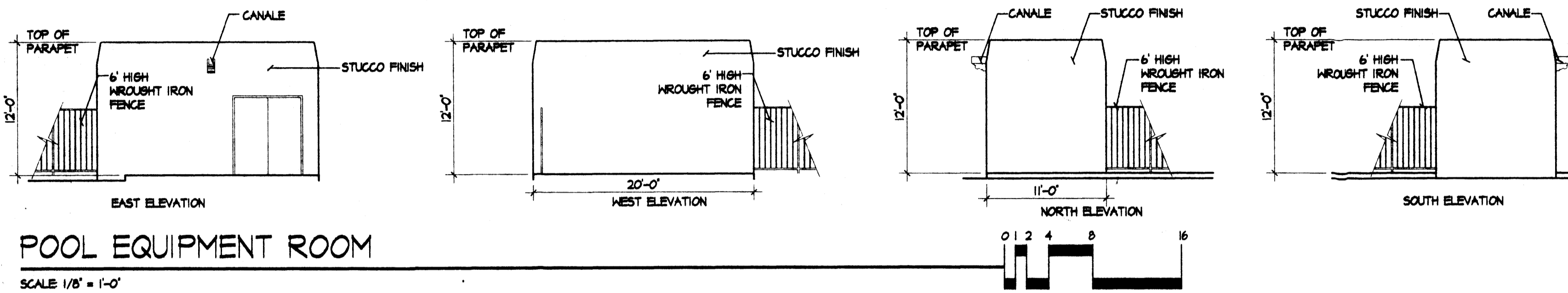
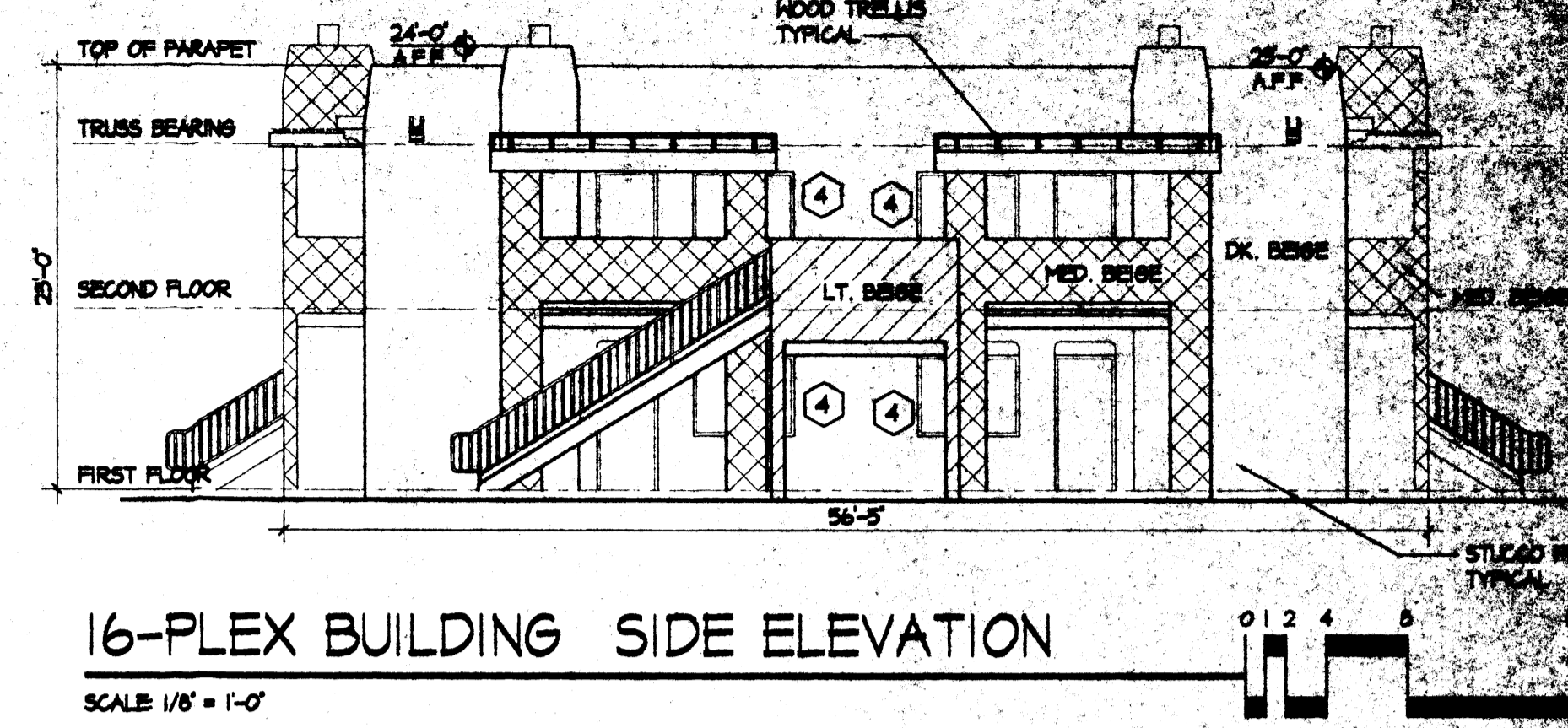
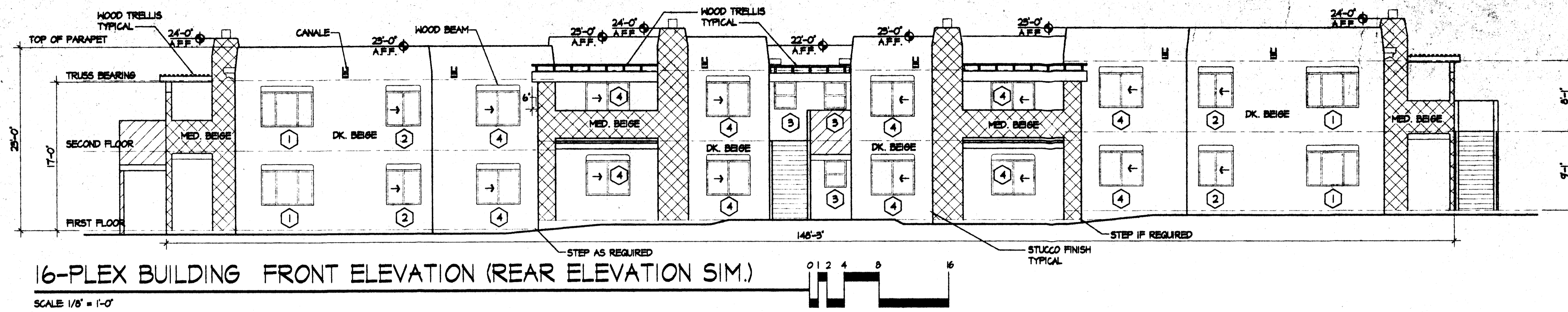
Bolhaman & Huston
 Civil/Architectural Engineers
 7500 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87109
 ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

revisions	job title
	MANZANO-MESA WEST
	ELBANK N.E.
	ALBUQUERQUE, NEW MEXICO 87123
PROJECT MANAGER	job no
JORGE DE LA TORRE, AIA	20046
	date
	11/27/00
	by
sheet title	
CONCEPTUAL UTILITY PLAN	

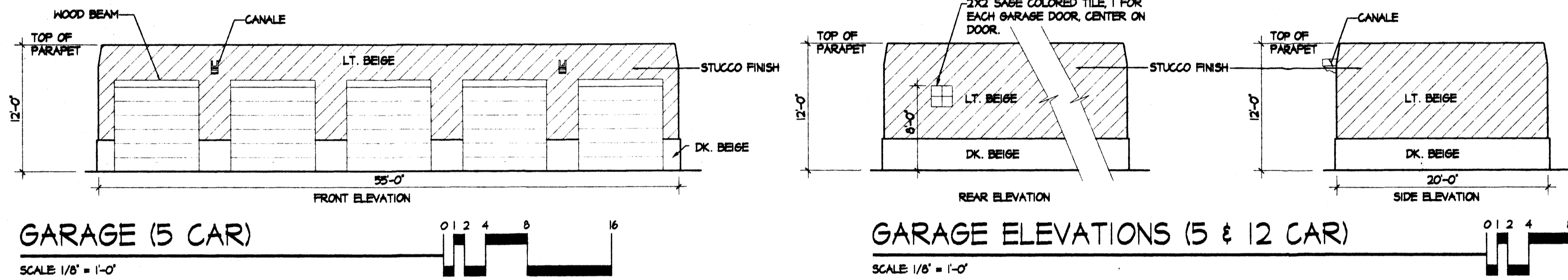


de la torre architect, p.a. llc
 2400 LOUISIANA BLVD NE
 BUILDING 3 SUITE 110
 ALBUQUERQUE, NM 87110-505-883-7918

sheet 4 of 5
 START PAGE 10/20/00

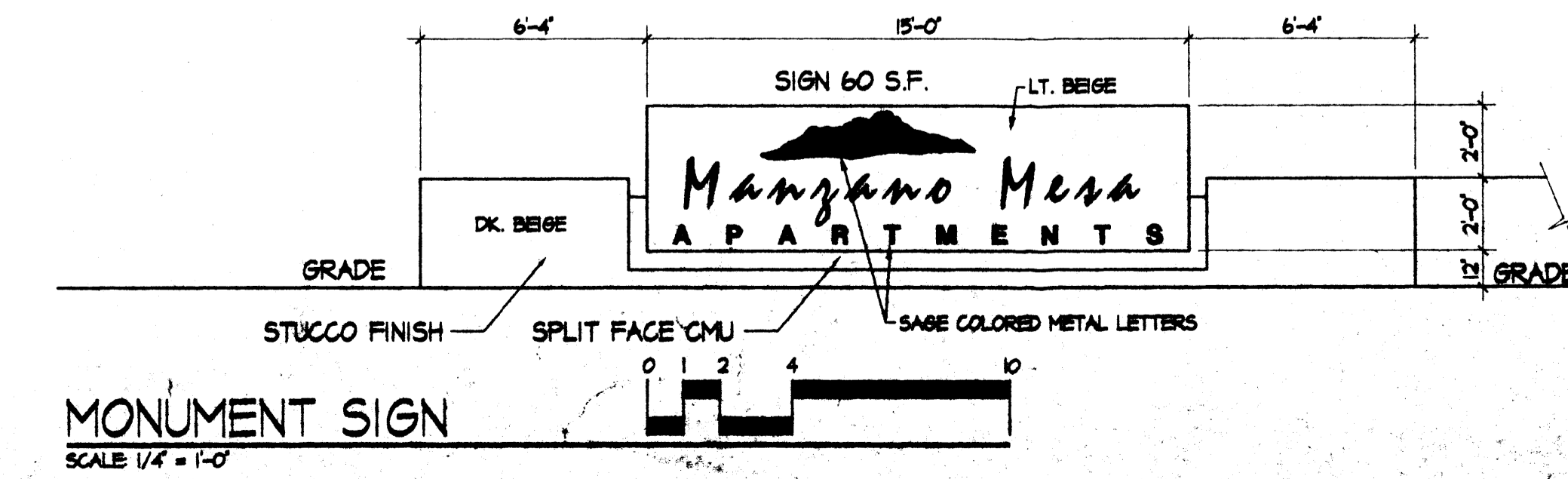
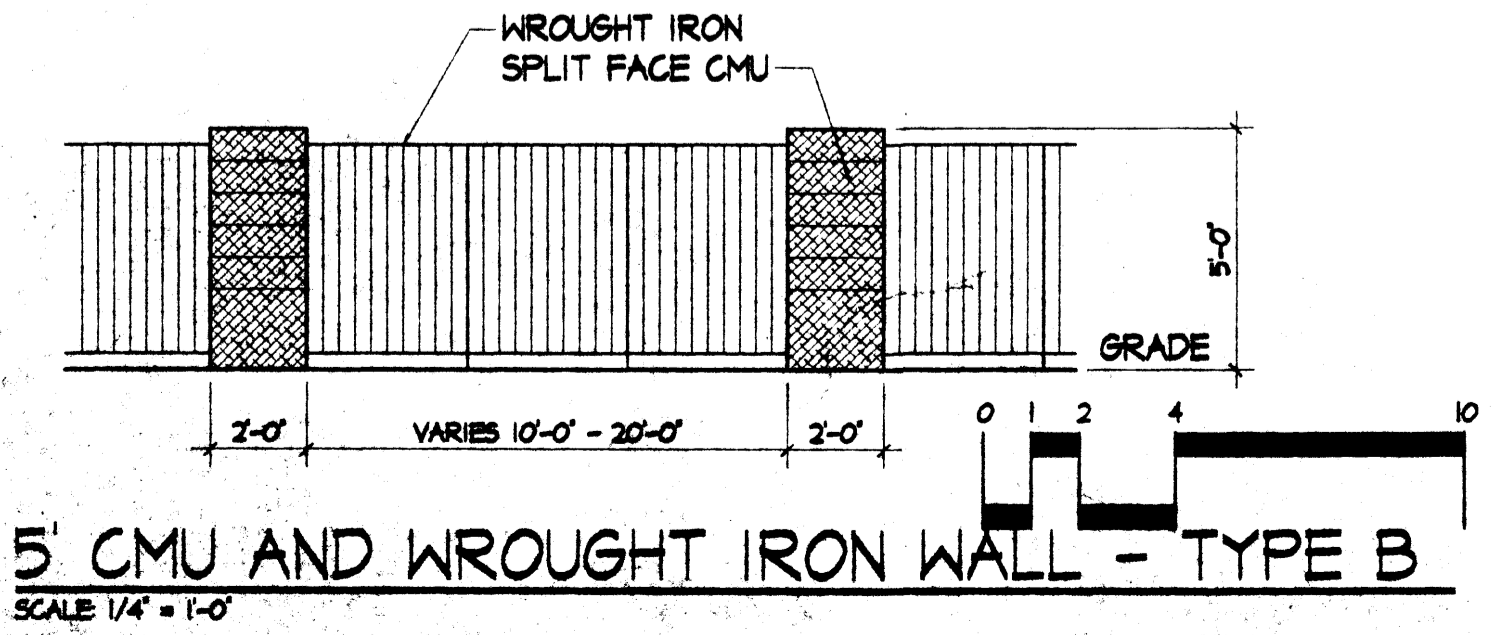
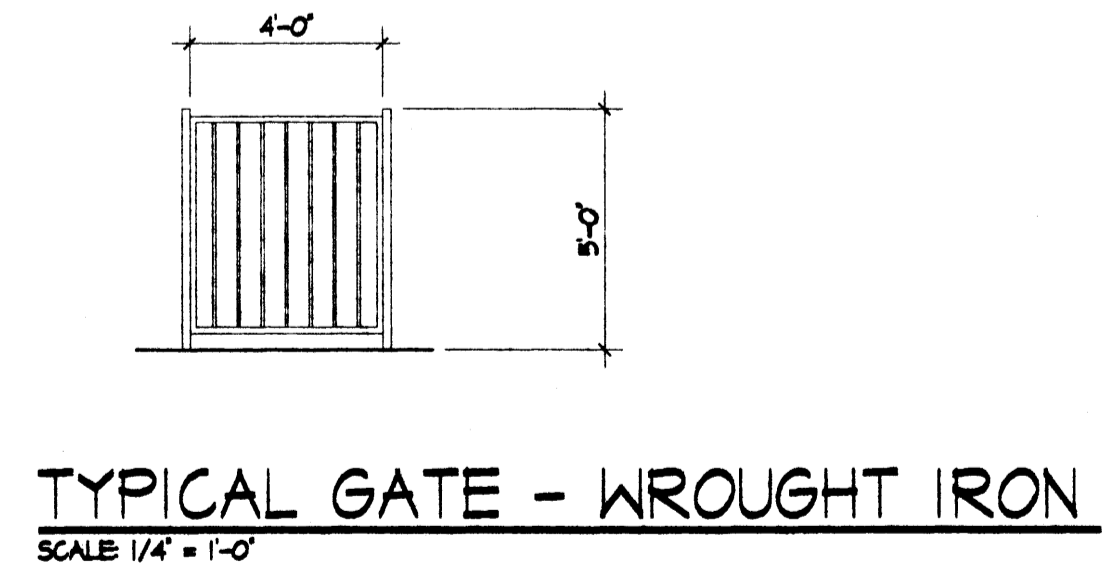
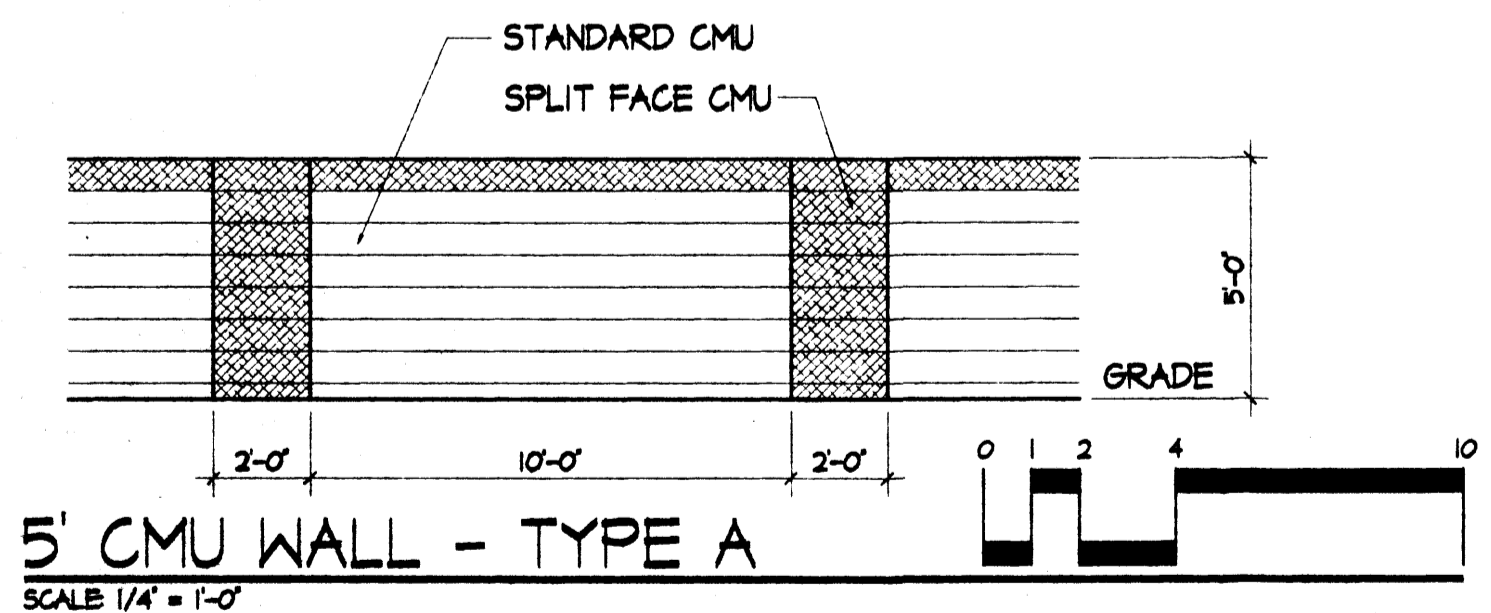
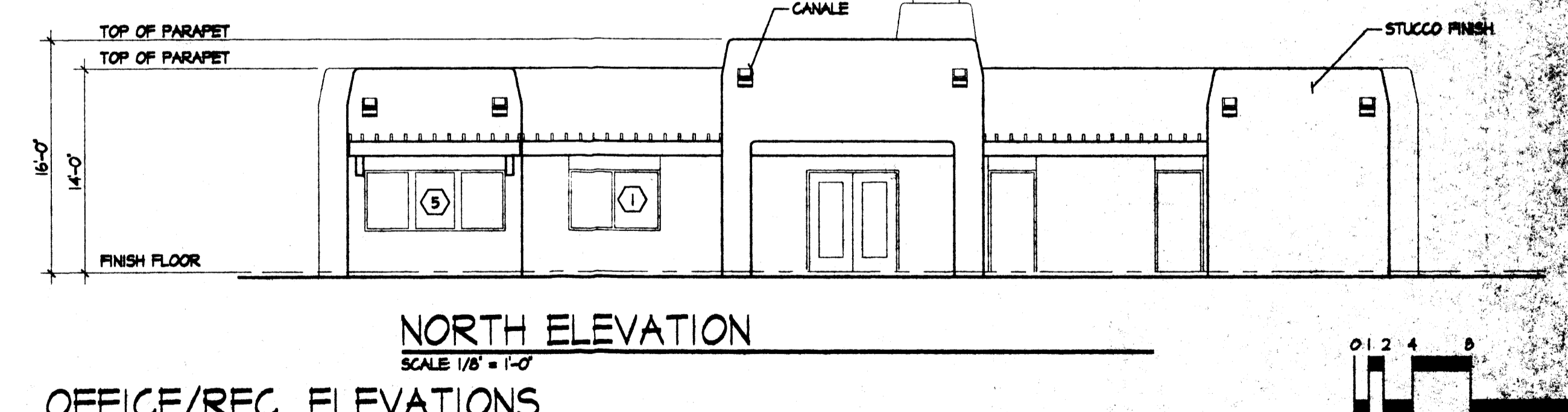
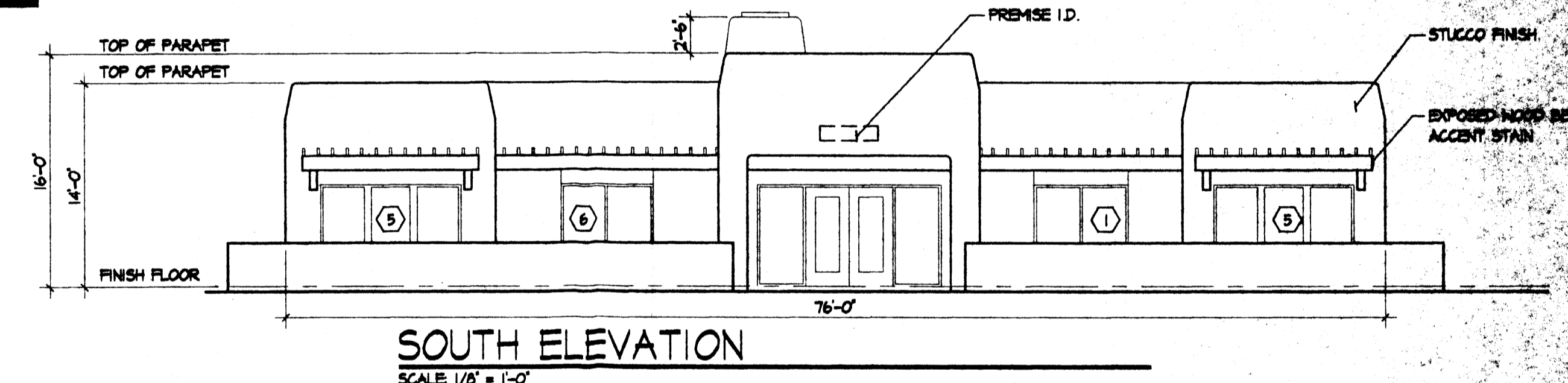
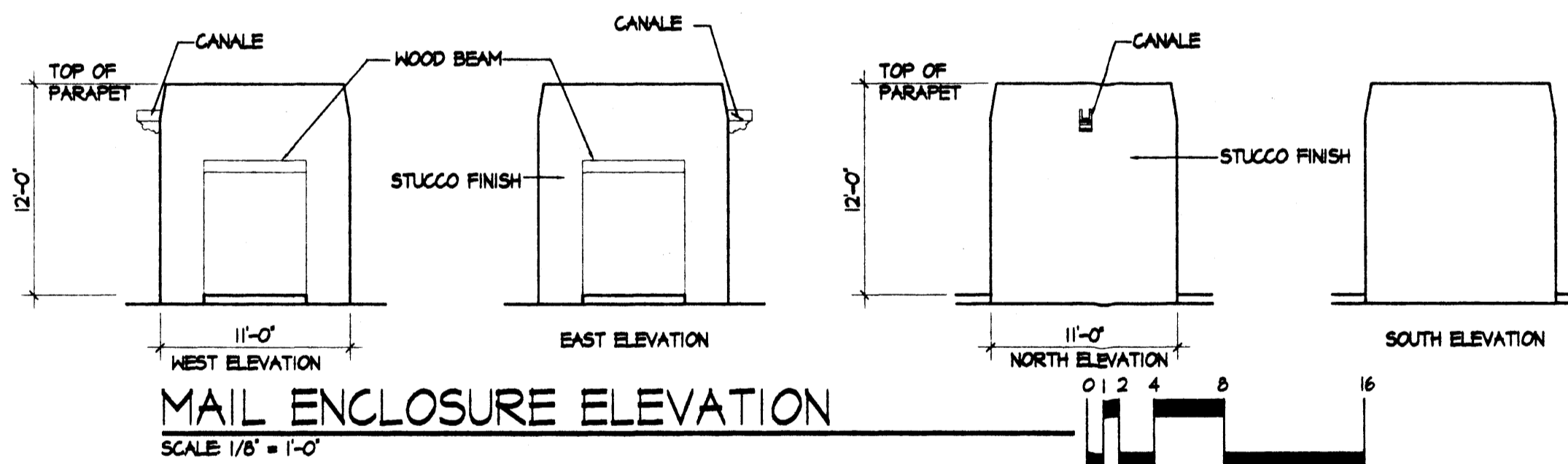
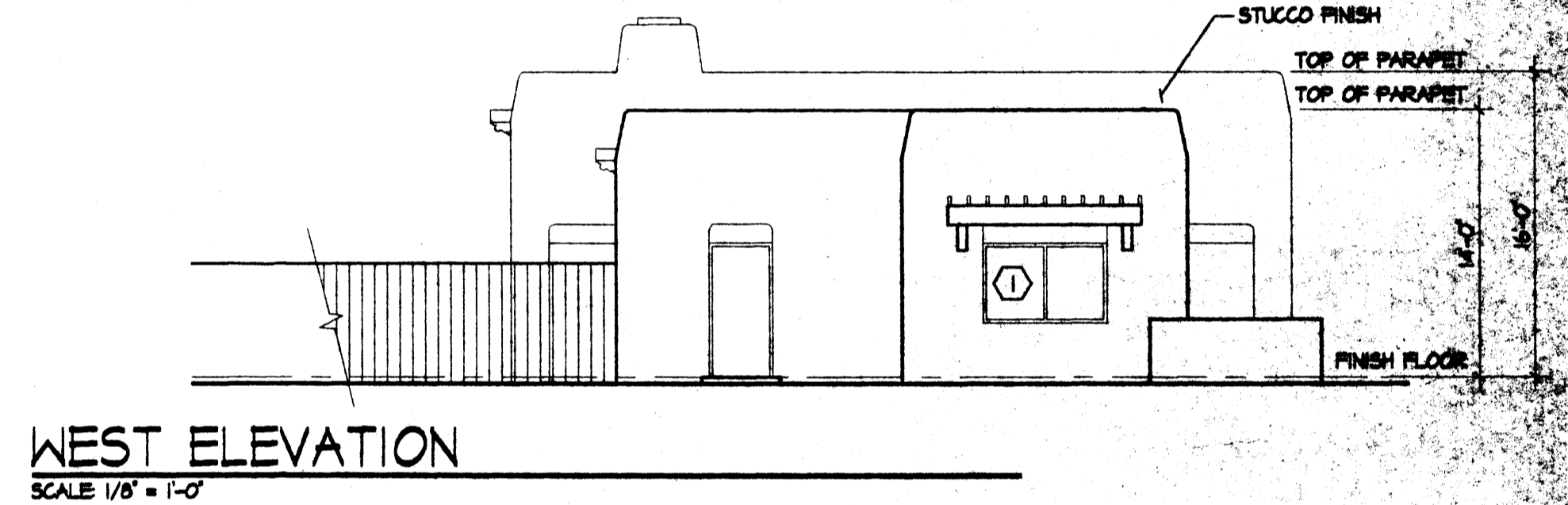


ROOFTOP EQUIPMENT NOTE:
THE TOP OF ALL ROOFTOP EQUIPMENT SHALL BE BELOW THE TOP OF PARAPET AND SCREENED FROM VIEW FROM THE PROPERTY LINE. ROOFTOP EQUIPMENT AND OTHER PENETRATIONS SHALL BE PAINTED TO MATCH THE ROOF COLOR OR OTHER PREDOMINANT BUILDING COLOR. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALLS.



WINDOW SCHEDULE

- 6040
- 4040
- 2640
- 3040
- 9040
- 8040



OFFICE/REC. ELEVATIONS

GENERAL NOTES:

STUCCO FINISH
THERE WILL BE 3 DIFFERENT COLORS TO BE USED THROUGHOUT THE PROJECT. THESE COLORS WILL BE LIGHT BEIGE, MEDIUM BEIGE, AND DARK BEIGE. EACH APARTMENT BUILDING WILL BE COMPRISED OF ALL 3 COLORS. ALL OTHER BUILDINGS WILL BE 1 COLOR UNLESS NOTED OTHERWISE.

EXPOSED WOOD
ALL EXPOSED WOOD WILL BE STAINED BROWN.

WROUGHT IRON & HANDRAILS
ALL WROUGHT IRON FENCING AND STAIR RAILS TO BE SAGE. (E.G. WALL TYPE 'B', GATE, FENCE AROUND POOL, ETC.)

AREA LIGHTING, INCLUDING PARKINGS, AND WALKS, SHALL BE ARRANGED SO THAT THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS CUTOFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC ROW. IT SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 100 FOOTLAMBERTS AND IT SHALL NOT HAVE ANY OFFSITE LUMINANCE GREATER THAN 300 FOOTLAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.

revisions	job title MANZANO MESA WEST	
	job no. 20046	
	PROJECT MANAGER JORGE DE LA TORRE AIA	date 5/22/01
	sheet title EXTERIOR ELEVATIONS	by NAP

de la torre architecte, p.a. d.c.
2400 boulevards blvd no
building 3, suite 110
albuquerque nm 87110 / 505-683-7918

GENERAL NOTES - CITY REQUIRED

1. THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN.
2. THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT EXCEPTED BY THE TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN (1) UNTIMELY DELAY OF INITIAL INSPECTION FOR TEMPORARY CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK, AND (2) INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.
3. ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL INSPECTION FOR TEMPORARY C.O. WILL BE SCHEDULED.
4. ALL SIDEWALK AND G.I.B. IN DISREPAIR WILL BE REMOVED AND REPLACED.
5. CONSTRUCT CURBS RETURNS PER CITY OF ALBUQUERQUE STANDARD DETAIL DWS #2426.
6. CONTRACTOR MUST BE MADE AWARE THAT ANY AGREEMENT WITH THE OWNER STATING PORTIONS OF THIS BUILDING PERMIT WORK TO BE COMPLETED BY THE OWNER OR A REPRESENTATIVE, WILL MEAN CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL WORK IS FINISHED.
7. CERTIFICATION BY THE DESIGNER OF RECORD, REQUIRED BY THE TRANSPORTATION SECTION NEEDS TO STATE THAT THIS SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT BEFORE C.O. IS RELEASED.

KEYED NOTES

1. 6' HIGH POUND IRON FENCE AROUND POOL.
2. 10'X20' POOL EQUIPMENT ROOM TYPICAL.
3. BICYCLE RACK - SEE DETAIL (1 SPACE PER 2 DWELLING UNITS PROVIDED).
4. TRASH COMPACTOR ENCLOSURE.
5. GARAGE ENCLOSURE 20' DEEP X 11' WIDE PER NUMBER OF SPACES INDICATED.
6. 11'X11' MAILBOX ENCLOSURE.
7. MONUMENT SIGN MOUNTED ON SITE MALL.
8. SITE MALL TYPE 'A' SEE ELEVATIONS.
9. SITE MALL TYPE 'B' SEE ELEVATIONS.
10. 3' TALL CMU SITE MALL.
11. 4' TALL CMU SITE MALL.
12. PEDESTRIAN CROSSINGS SHALL BE 6' WIDE WITH RAISED TEXTURED CONCRETE WITH WHITE STRIPING TYPICAL.

EPC NOTES

- A. ALL SIDEWALKS IN FRONT OF PARKING STALLS TO BE 6' WIDE CLEAR TYPICAL. ALL PEDESTRIAN CONNECTIONS SHALL BE 6' WIDE TYPICAL. ALL OTHER SIDEWALKS SHALL BE 4' WIDE TYPICAL. ALL SIDEWALKS IN PUBLIC ROOM TO BE 6' WIDE TYPICAL.
- B. THE TOP OF ALL ROOFTOP EQUIPMENT SHALL BE BELOW THE TOP OF PARAPET AND SCREENED FROM VIEW FROM THE PROPERTY LINE. ROOFTOP EQUIPMENT AND OTHER PENETRATIONS SHALL BE PAINTED TO MATCH THE ROOF COLOR OR OTHER PREDOMINANT BUILDING COLOR. ALL GRASS MOUNTED EQUIPMENT SHALL BE SCORED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALLS.

LIGHTING NOTE:
LIGHTING TO BE BUILDINGS MOUNTED AND FROM POLES AS INDICATED IN KEYED NOTES. AREA LIGHTING INCLUDING PARKING AND WALKS SHALL BE ARRANGED SO THAT THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS CUTOFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC ROOM. IT SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 1000 FOOTLAMBERTS AND IT SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 200 FOOTLAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.

PROJECT INFORMATION

LOCATION: EUBANK NE BETWEEN STEPHEN MOODY ST. AND SOUTHERN BLVD.
DEVELOPER: 65L PROPERTIES INC.
LEGAL DESCRIPTION: TRACT 6-3 OF MANZANO MESA WITHIN SECTION 28, TOWNSHIP 10 NORTH, RANGE 4 EAST NPM4 CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NM
CURRENT ZONING: SU-1 FOR R-2
PROPOSED: SAME
TOTAL ACREAGE: 23.60 ACRES
ZONING ATLAS PAGE: L-21-2
UPC #: 10210560641530301

MANZANO MESA WEST

OFFICE/REG. PARKING REQ'D. (2400 S.F. OFFICE/REG. BUILDING)	12
APARTMENT PARKING REQ'D. (UNITS 224 = 50% 1 BDR. + 50% 2 BDR.)	342
PARKING REQUIRED (TOTAL) (12 H.G. REQUIRED)	404
OPEN PARKING	391
GARAGE PARKING	54
TOTAL PROVIDED (INC. 14 H.G.)	495
NOTE: TYPICAL PARKING SPACE = 8.5' X 18'	
NET SITE AREA	482,944.15 (11.06)
BLDG'S	14 @ 16 DU = 224
BUILDING AREA: (INCLUDES OVERHANGS AND BALCONIES)	
GROUND FLOOR 1,004 PER BUILDING (14) = 14,056 S.F.	
SECOND FLOOR 1,004 PER BUILDING (14) = 14,056 S.F.	
TOTAL = 28,112 S.F.	112

MANZANO MESA EAST

OFFICE/REG. PARKING REQ'D. (5144 S.F. OFFICE/REG. BUILDING)	26
APARTMENT PARKING REQ'D. (UNITS 280 = 50% 1 BDR. + 50% 2 BDR.)	440
PARKING REQUIRED (TOTAL) (16 H.G. REQUIRED)	502
OPEN PARKING	450
GARAGE PARKING	66
TOTAL PROVIDED (INC. 16 H.G.)	516
NOTE: TYPICAL PARKING SPACE = 8.5' X 18'	
NET AREA	548,419.51 (12.52)
BLDG'S	7 @ 24 DU = 168 7 @ 16 DU = 112 TOTAL DUS = 280
BUILDING AREA: (INCLUDES OVERHANGS AND BALCONIES)	
GROUND FLOOR 8,265 PER BUILDING (14) = 115,710 S.F.	
SECOND FLOOR 8,265 PER BUILDING (14) = 115,710 S.F.	
THIRD FLOOR 8,265 PER BUILDING (7) = 58,856 S.F.	
TOTAL = 242,176 S.F.	140

RADIUS LEGEND

1	1' RADIUS	4	5' RADIUS	7	20' RADIUS	10	50' RADIUS
2	2' RADIUS	5	10' RADIUS	8	25' RADIUS	11	100' RADIUS
3	3' RADIUS	6	15' RADIUS	9	35' RADIUS	12	150' RADIUS

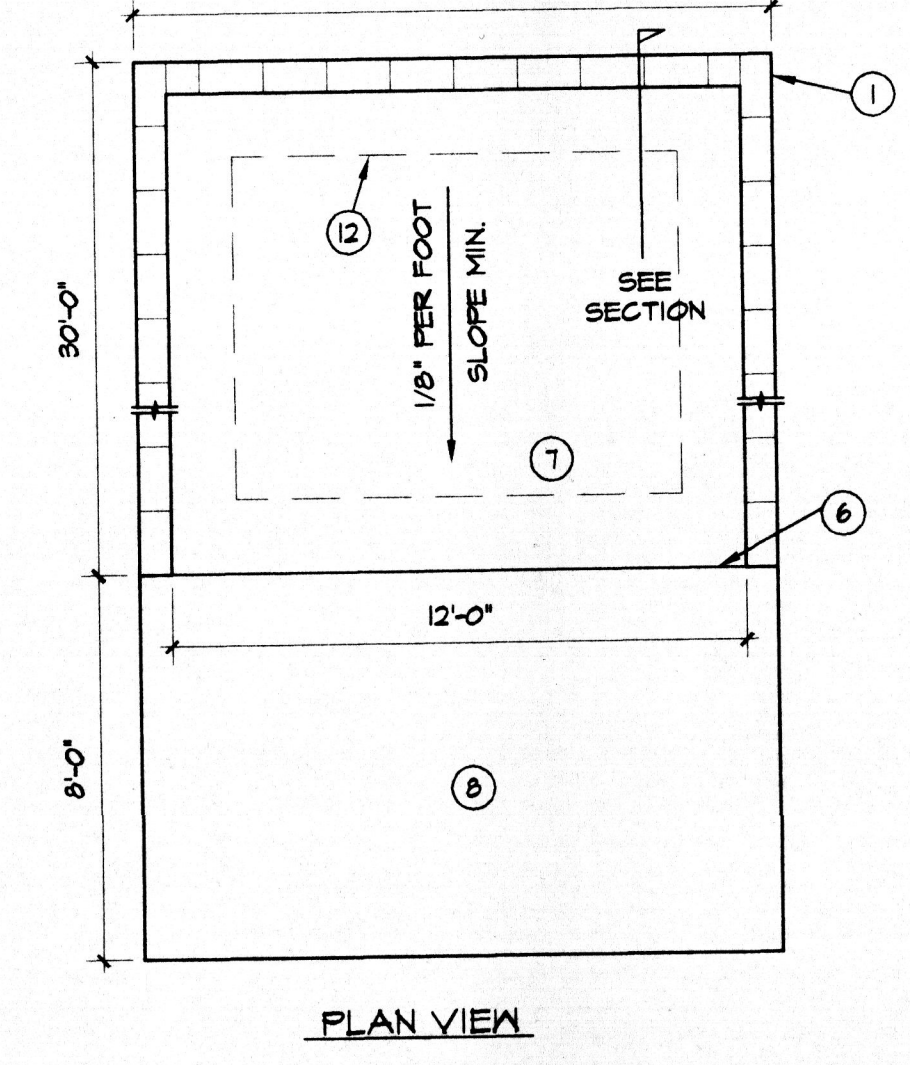
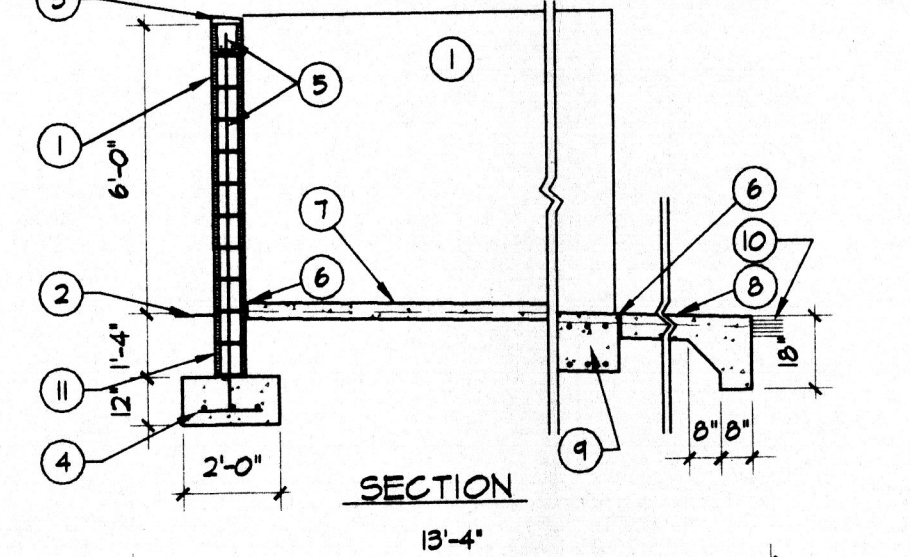
SITE DEVELOPMENT PLAN

CASE NUMBER: 00128 00000 01647, 01450 00000 00719

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SIDE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON MARCH 1, 2001 AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE, NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH:

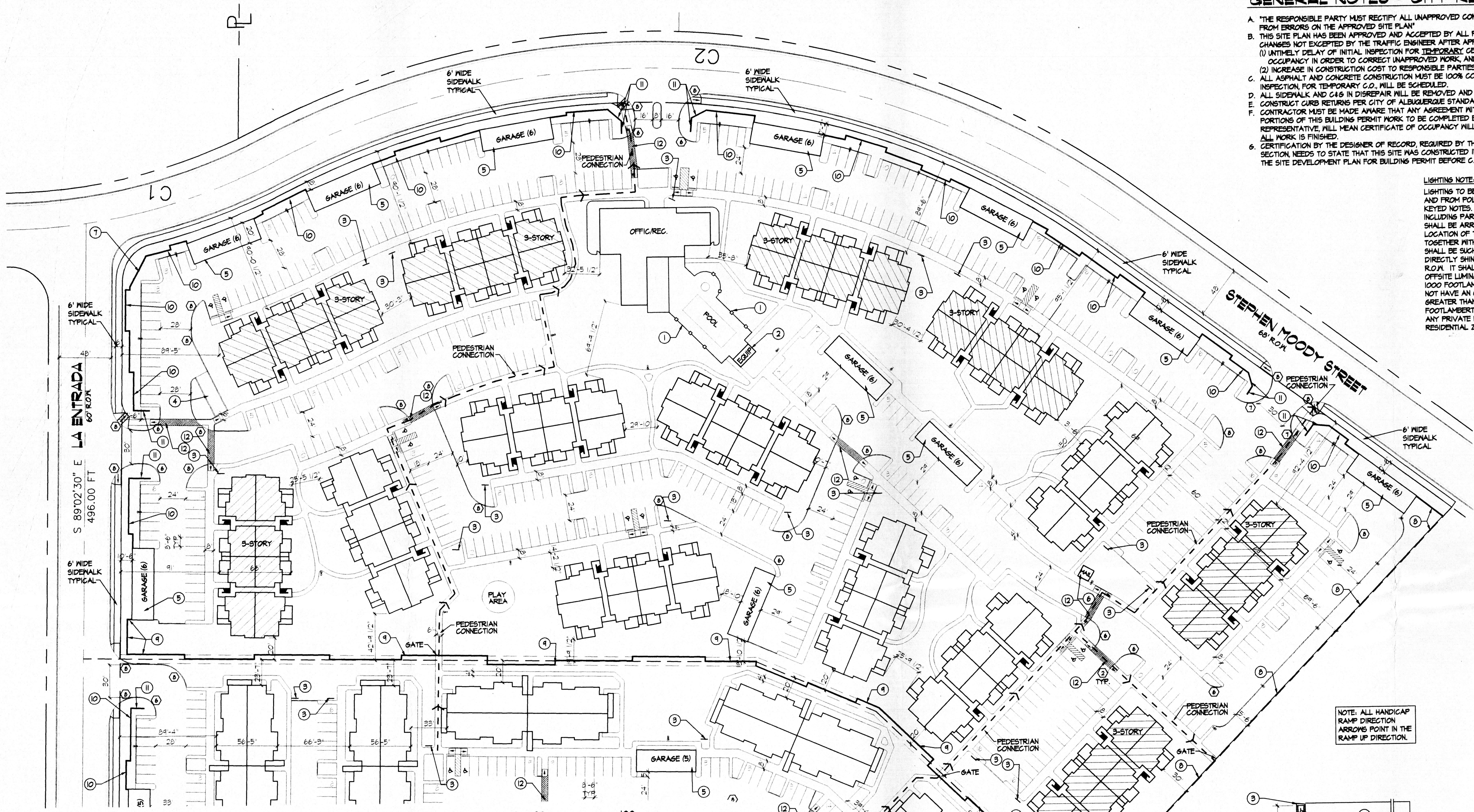
SIGNATURE BLOCK

SOLID WASTE DEPARTMENT	6-13-01	DATE
<i>John D. Smith</i>	7-16-01	DATE
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	6/13/01	DATE
<i>William E. Carls</i>	6/13/01	DATE
PARKS & RECREATION DEPARTMENT	6/13/01	DATE
<i>Robert S. Dumas</i>	7/16/01	DATE
PUBLIC WORKS, WATER UTILITIES DIVISION		DATE
<i>Robert S. Dumas</i>		DATE
CITY ENGINEER, ENGINEERING DIVISION, AMAFCA		DATE
CITY PLANNER, ALBUQUERQUE		DATE



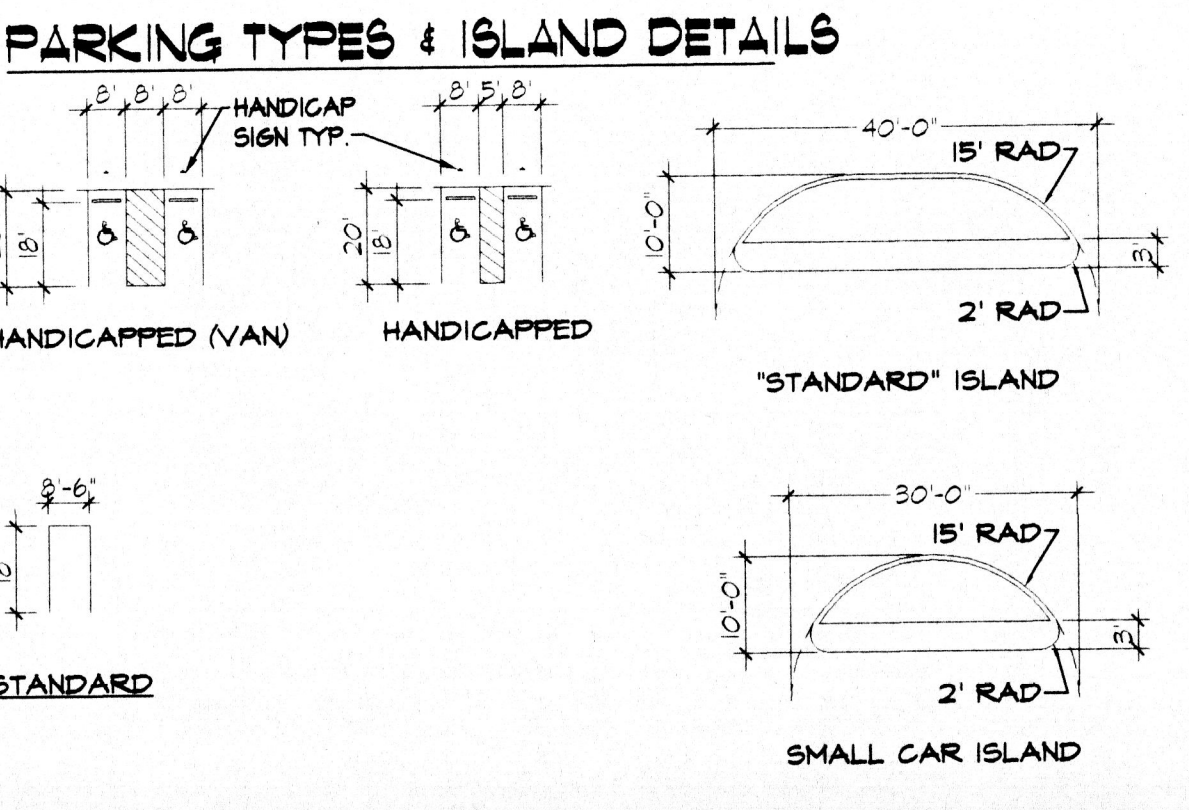
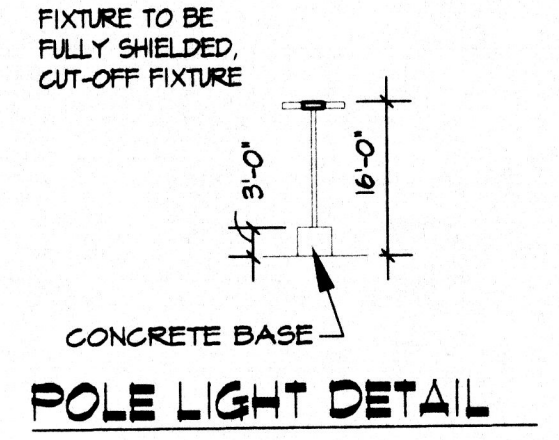
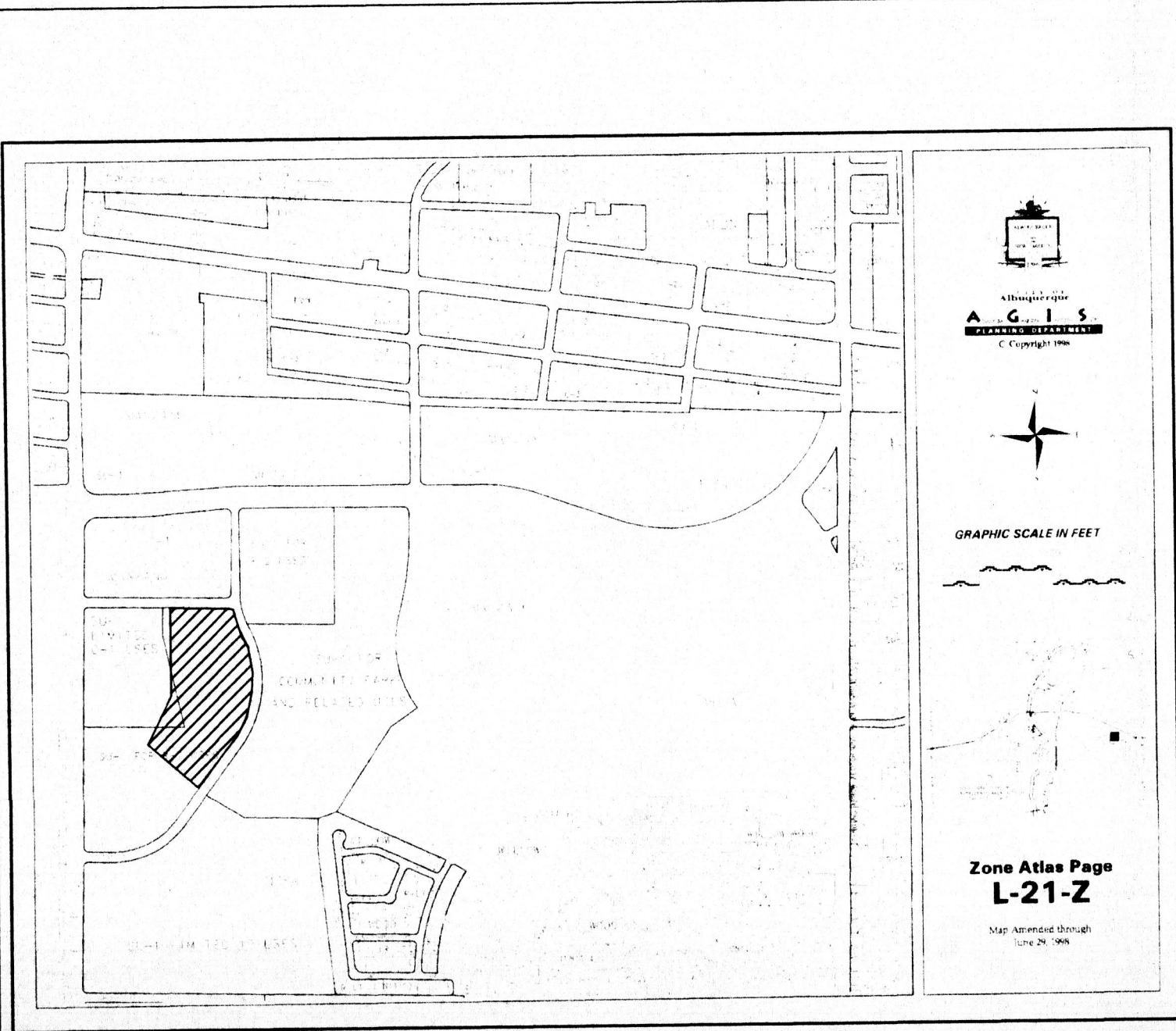
TRASH COMPACTOR KEYED NOTES

1. 8" CMU WALL WITH STUCCO SYSTEM ON BUILDING PAPER COLOR BY ARCHITECT.
 2. FINISH GRADE.
 3. SLOPE STUCCO CAP.
 4. 4-#4 BARS CONT. @ BOTTOM OF FOOTING #4 @ 16" O.C. ACROSS BOTTOM OF FOOTING.
 5. 2-#5 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM CONTINUOUS. #5 BARS @ 32" O.C. VERTICAL. GROUT REINFORCED CELLS, DURAWALL @ 16" O.C. HORIZONTAL.
 6. 1/2" EXPANSION JOINT MATERIAL.
 7. 1/2" CONCRETE SLAB 3000 PSI 3/4" AGGREGATE WITH 6x6 - 10X10 W/M.
 8. 6" CONCRETE APRON 3000 PSI 3/4" AGGREGATE WITH 6x6 - 10X10 W/M IN TURNDOWN EDGE.
 9. 24"X14" DEEP THICKENED SLAB W/ 3 #4 TOP & BOTTOM CONT.
 10. ASPHALT PAVING.
 11. GROUT ALL CELLS SOLID BELOW GRADE, TYPICAL.
 12. ANGLE IRON GUIDES, STOPS BY COMPACTOR INSTALLER. REINF. SLAB IN CONC. FILL AS PER MANUFACTURER REQ'S.
- TRASH COMPACTOR**
SCALE: 1/4"=1'-0"



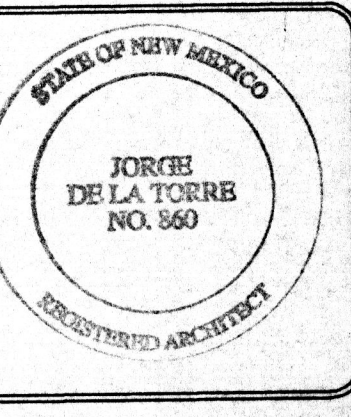
SITE PLAN
SCALE: 1"=50'

VICINITY MAP



LEGEND:

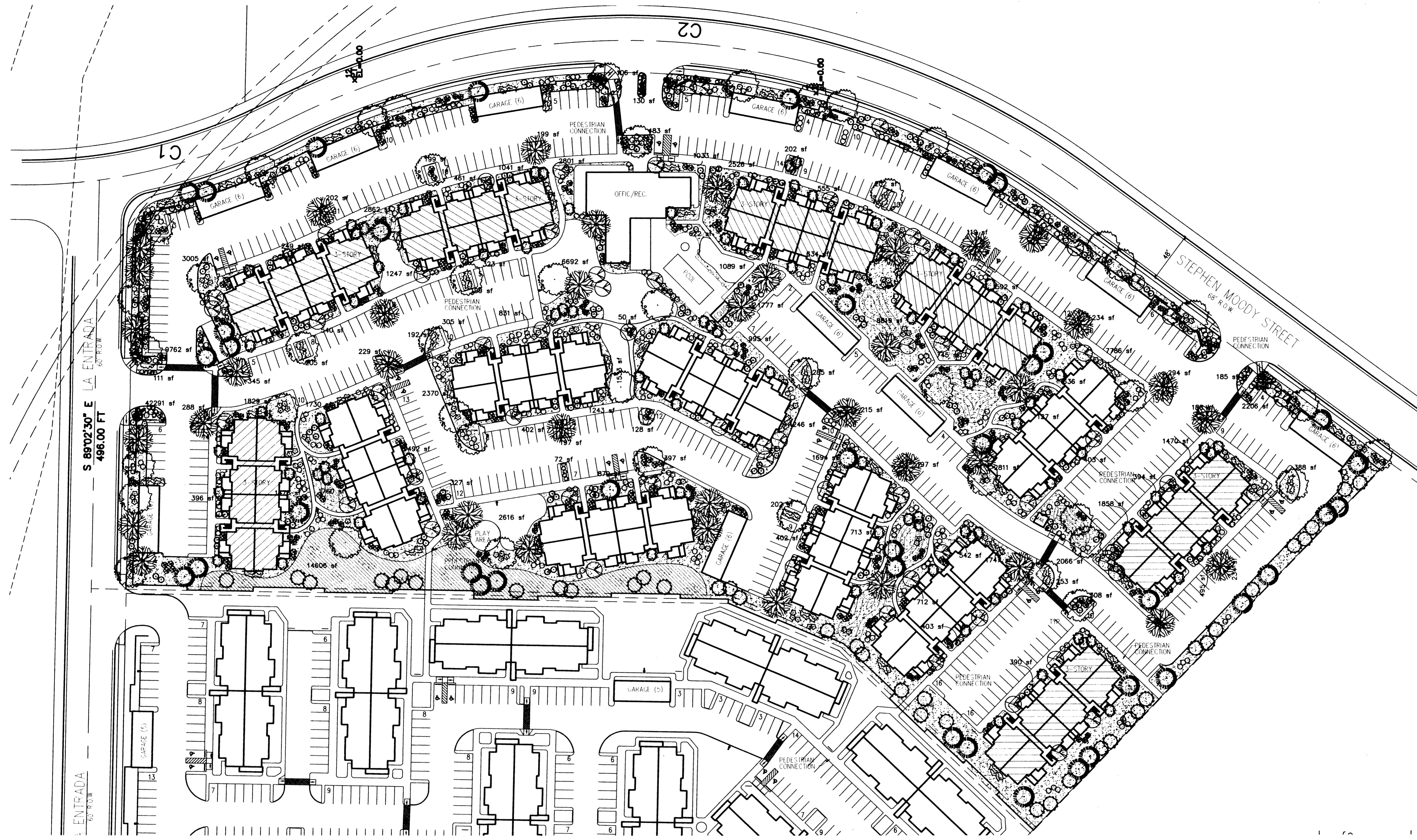
- METAL FENCE
- CHAIN LINK FENCE
- SANITARY SEWER MANHOLE
- WATER VALVE
- FIRE HYDRANT
- WATER METER
- ELECTRIC MANHOLE
- ELECTRIC PEDESTAL
- OVERHEAD ELECTRIC LINE
- STREET LIGHT
- POWER POLE
- ANCHOR
- EXISTING LOT LIGHT
- TRAFFIC LIGHT
- TRAFFIC SIGNAL OR PULLBOX
- NEW POLE LIGHT
- GAS VALVE
- WATERLINE
- SANITARY SEWER LINE
- STORM SEWER LINE
- LIGHT POLE










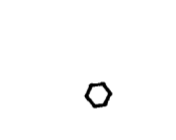


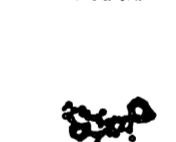
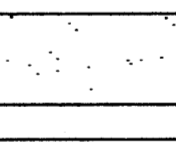
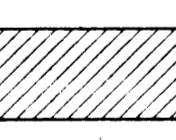


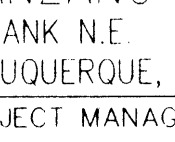
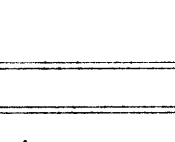
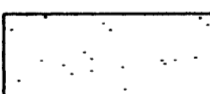
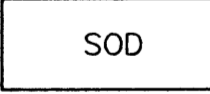
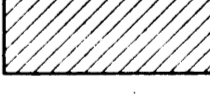
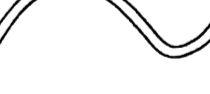

job title	MANZANO MESA EAST	
PROJECT MANAGER	job no	date
JORGE DE LA TORRE, AIA	20046	5/22/01
sheet title	SITE PLAN FOR BUILDING PERMIT	
by	NAP	

de la torre architects, p.a. 2400 louisiana blvd ne building 3 suite 110 albuquerque nm 87110 / 505-883-7918

sheet- 1 of- 7



PLANT LEGEND

-  SHADE TREE 46
LONDON PLANE TREE (H)
Platanus acerifolia
-  SHADE TREE 39
THORNLESS HONEYLOCUST
Gleditsia triacanthos 'inermis'
2" Cal
-  FLOWERING PEAR (H) 66
Pyrus calleryana
1 1/2" Cal
-  NEW MEXICO OLIVE/WASHINGTON HAWTHORN(M)86
Forestiera neomexicana
Crataegus phoenopyrum
15 Gal.
-  DESERT WILLOW (L) 40
Chilopsis linearis
15 Gal.
-  AUSTRIAN PINE (H) 39
Pinus nigra
6-8"
-  SILVERBERRY (M) 101
Elaeagnus pungens
5 Gal.
-  INDIAN HAWTHORN (M) 218
Raphiolepis indica
5 Gal.
-  RUSSIAN SAGE (M) 186
Perovskia atriplicifolia
5 Gal.
-  APACHE PLUME (L) 196
Elymus paradoxo
1 Gal.
-  AUTUMN SAGE (M) 235
Salvia greggii
2 Gal.
-  PROSTRATE ROSEMARY (M) 171
Rosmarinus officianalis
5 gal
-  CHAMISA (L) 75
Chrysothamnus nauseosus
1 Gal.
-  WILDFLOWER 72
1 Gal.
-  TAM JUNIPER (M) 195
Juniperus sabino
5 Gal.
-  BOSTON IVY 42
Parthenocissus tricuspidata
-  OVERSIZED GRAVEL & BOULDERS
-  3/4" SANTA ANA TAN GRAVEL WITH FILTER FABRIC
-  SOD (FESCUE)
-  CRIMP STRAW NATIVE SEED
-  COMMERCIAL GRADE STEEL EDGING
-  POP-UP SPRINKLER HEADS

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque, Water Conservation Landscaping and Water Waste Ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

3/4" Gray Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Total number of trees on site as required by The City Of Albuquerque are as follows:

- Number of 1st story apartment units: 112
- Number of 2nd story apartment units: 56
- Number of trees to reach 25' at maturity required: 168
- Number of trees to reach 25' at maturity provided: 316

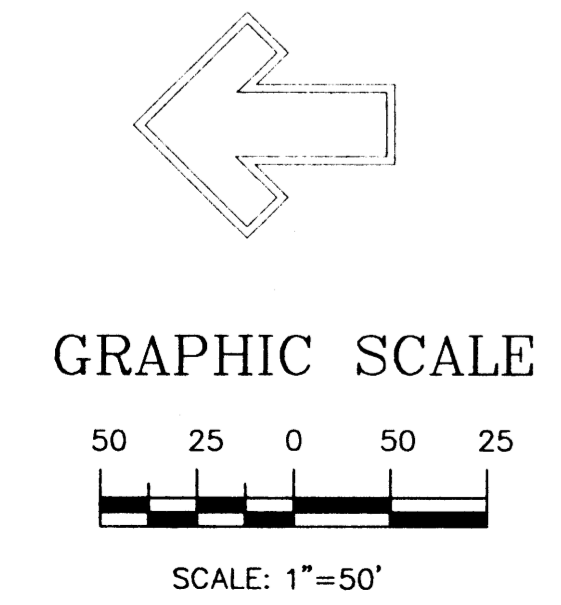
LANDSCAPE CALCULATIONS

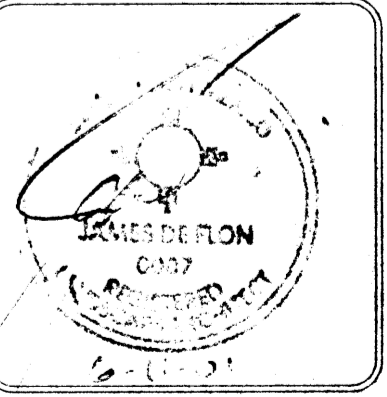
NET LANDSCAPE AREA		
TOTAL LOT AREA	544,641	square feet
TOTAL BUILDINGS AREA	95,942	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	448,699	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	67,305	square feet
TOTAL LANDSCAPE PROVIDED	163,317	square feet
TOTAL BED PROVIDED	135,534	square feet
TOTAL SOD PROVIDED	13,177	square feet
TOTAL NATIVE SEED PROVIDED	14,606	square feet



LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
it@hilltoplandscaping.com

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revisions	job title MANZANO-MESA APTS. EUBANK N.E. ALBUQUERQUE, NEW MEXICO 87123		
	PROJECT MANAGER JORGE DE LA TORRE, AIA		
	job no 20048		date 6/11/01
	sheet title		by
de la torre architects p.a. aia 2400 louisiana blvd ne building 3 suite 110 albuquerque n.m. 87110 / 505-883-7918		sheet- 2 of-7 START DATE:	

CONCEPTUAL DRAINAGE MANAGEMENT PLAN

I. INTRODUCTION
The purpose of this document is to present a conceptual drainage plan for the Manzano Mesa Apartments. The site contains approximately 23.6 acres. The project must go through the EPC for zone change approval and site plan approval. Due to the preliminary nature of this document, quantitative drainage calculations are not provided, only general drainage concepts are discussed.

II. SITE LOCATION
The site is located on the east side of Eubank south of Southern. In its current condition, the majority of the site is undeveloped, portions of the site have been graded at various points in the past. The site currently drains to the west at a slope of just under 2%. The site is located within zone atlas map #1-21, and hydrologic zone 1.

III. EXISTING HYDROLOGIC CONDITIONS
Both the existing basins and proposed basins are shown on the Basin map included on this sheet. A pending addendum to the existing Manzano Mesa Master Drainage Study (1996, Smith Engineering) identifies the site as basins 601, 603, and 701. The tract boundaries from the original study do not match the current platting for the area, hence the city requested that Smith Engineering provide and addendum to modify the study to match the current tract lines. The addendum indicates that Sub-Basin 601 should drain to the east to the Manzano Mesa Park Pond. Basins 603 and 701 drain to the south and west.

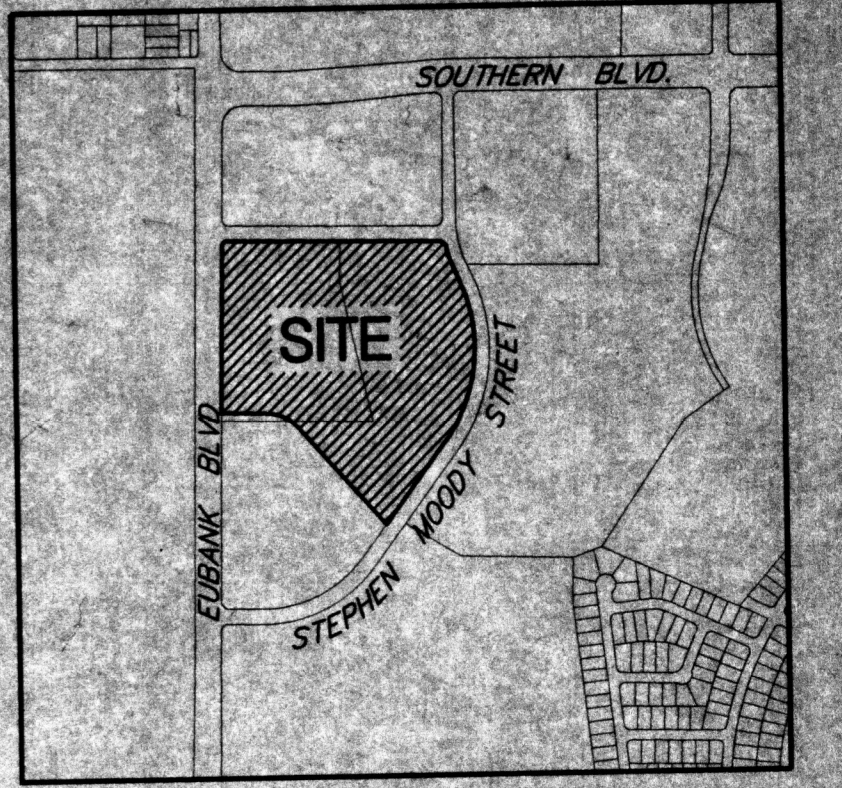
IV. PROPOSED HYDROLOGIC CONDITIONS
As the basin map on this sheet indicates, Existing Sub-Basins 601, 603, and 701 are divided into Basins A, B, C, and D under proposed conditions. Specifically, Sub-Basin 601 is divided into Basins B and C. Due to the constraints imposed by the site topography, only a small portion of existing Sub-Basin 601 (proposed Basin C) can drain to the Manzano Mesa Park Pond. The remaining portion of the basin must drain to the west.

Proposed Basin B also contains most of Sub-Basin 603. Basin B is proposed to drain to the south in a new Storm Drain along Eubank. The new storm drain would tie into the Tigres Outfall Storm Drain at the intersection of Eubank and Stephen Moody. Because the total portion of the site which drains to the west and south is significantly larger than was anticipated by the Master Drainage Plan, ponding will be required. Sufficient ponding volume to mitigate the peak flow from Basin B to the peak flow for Sub-Basin 603 anticipated by the addendum to the Master Drainage Plan will be required.

Proposed Basin A is a portion of existing Sub-Basin 603. Existing topography constraints require Basin A to drain to the north. The interim outfall for Basin A would be the existing culvert under Eubank just north of the site. The ultimate outfall for Basin A would be down the Gibson East Corridor.

Proposed Basin D corresponds closely to existing Sub-Basin 701, and will drain in the same manner indicated by the Master Drainage Plan.

V. CONCLUSION
This conceptual drainage management plan proposes concepts which are capable of safely passing the 100 year storm, and which meet city requirements.

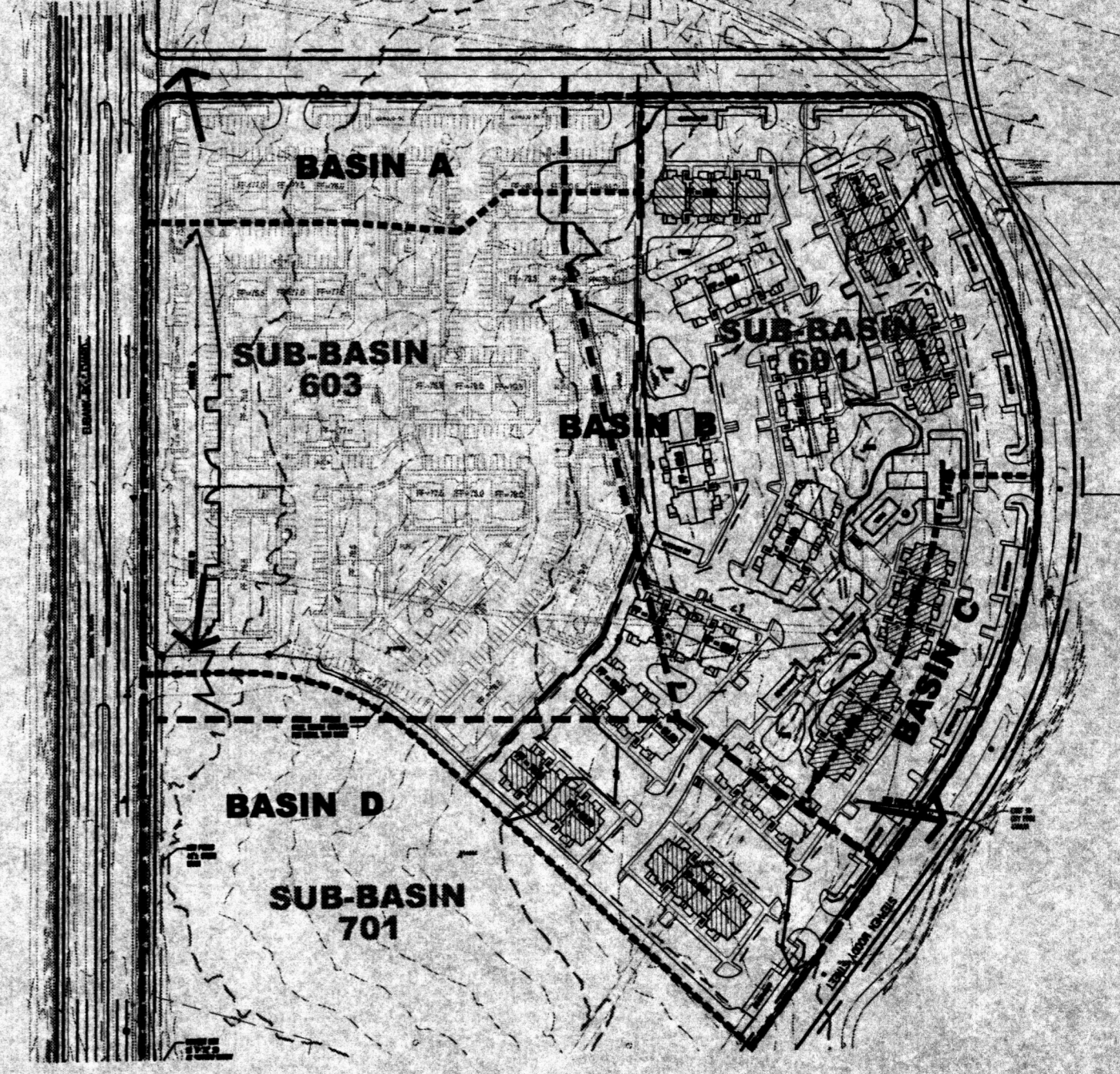


VICINITY MAP
ZONE ATLAS MAP NO. 1-21-7

LEGAL DESCRIPTION:
TRACT C-3 OF MANZANO MESA
WITHIN SECTION 28, TOWNSHIP 10 NORTH, RANGE 4 EAST
NMPM, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NM

LEGEND

---	PROPERTY LINE
---	EXISTING CONTOURS
5.301	EXISTING GROUND SPOT ELEVATION
5.301.15	EXISTING ELECTRICAL POLE
●	PROPOSED SPOT ELEVATION
65.23	TO-TOP OF CURB, FIN-FLOW LINE
○	TO-TOP OF WALL, FIN-BOTTOM OF WALL
○	EX-EXISTING TO-TOP OF GRADE
S=2.0%	PROPOSED DIRECTION OF FLOW
---	PROPOSED INDEX CONTOURS
---	PROPOSED INTER CONTOURS
---	PROPOSED CURB & GUTTER
SD	PROPOSED STORM DRAIN LINE
○	PROPOSED STORM DRAIN MANHOLE
■	PROPOSED STORM DRAIN INLET
○	EXISTING STORM DRAIN MANHOLE



BASIN MAP
SCALE: 1"=200'

--- EXISTING BASIN BOUNDARY PER MANZANO MESA MASTER DRAINAGE STUDY, 1996, BY SMITH ENGR.
--- PROPOSED CONDITIONS BASINS

Bohannon - Huston
Courtesy One 7500 JEFFERSON NE ALBUQUERQUE NEW MEXICO 87109
ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

revisions	job title MANZANO-MESA EAST EUBANK N.E. ALBUQUERQUE, NEW MEXICO 87123
	PROJECT MANAGER JORGE DE LA TORRE, AIA
	job no 20048
	date 11/27/00
	sheet title CONCEPTUAL GRADING PLAN
	by

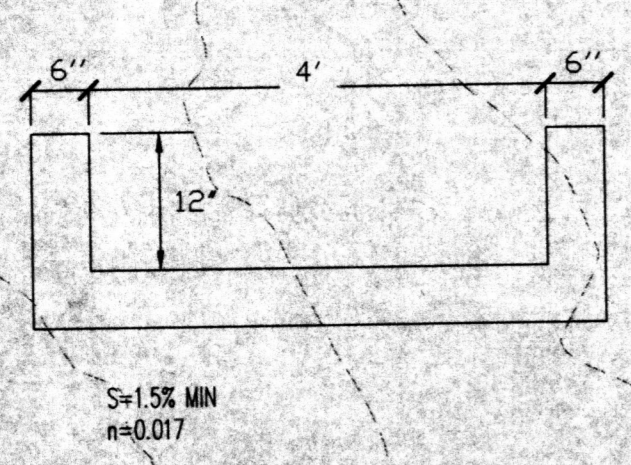
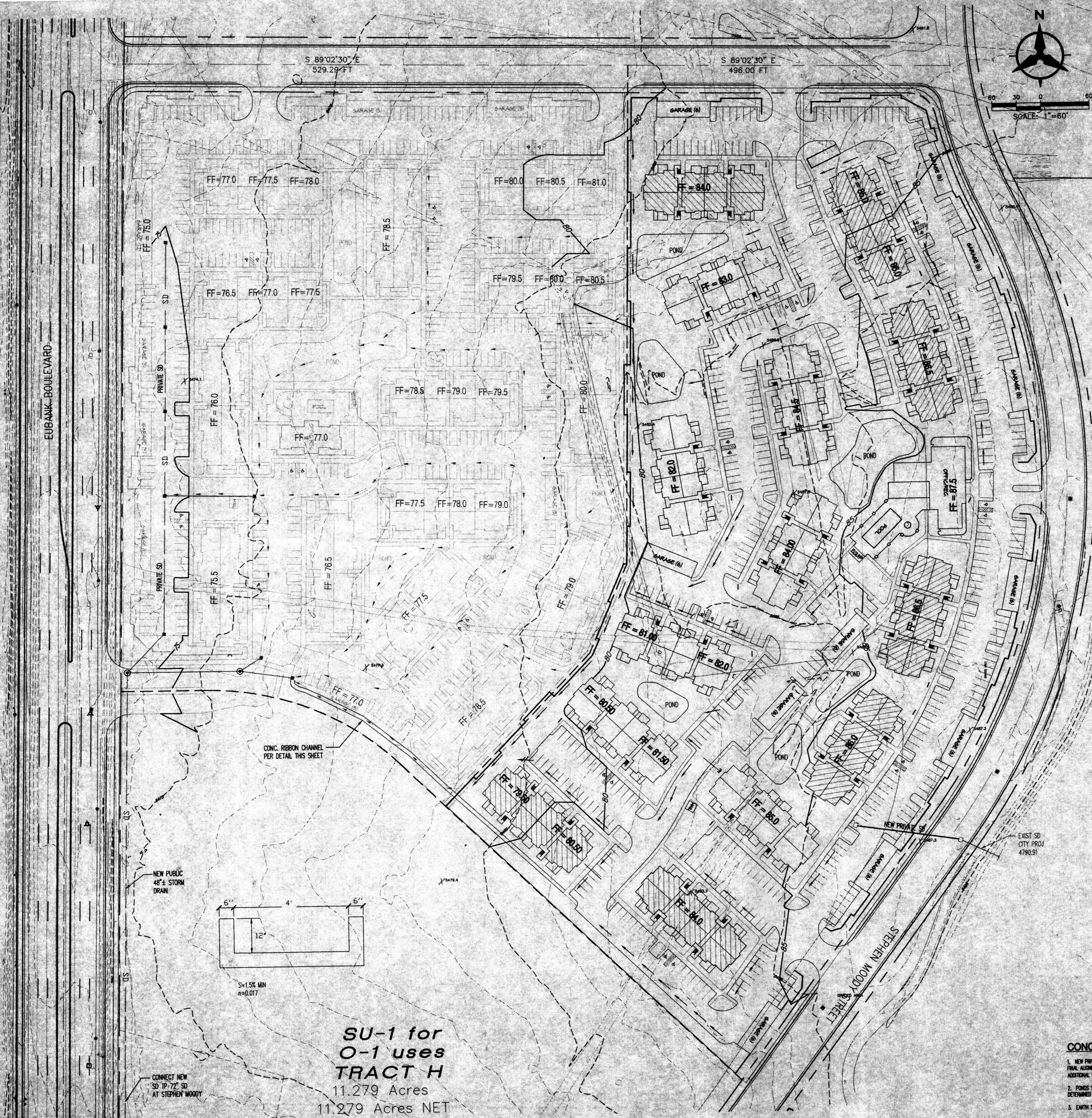
CONCEPTUAL GRADING & DRAINAGE NOTES

1. NEW PRIVATE STORM DRAIN LINES SHOWN ON THIS PLAN ARE POSSIBLE CONCEPTS ONLY. FINAL ALIGNMENTS, SIZES, ETC. WILL BE DETERMINED WHEN THE FINAL DESIGN IS DONE. ADDITIONAL GROUND STORM DRAIN MAY BE NEEDED.
2. PONDS SHOWN ARE SCHEMATIC ONLY. EXACT SIZE, LOCATION, AND QUANTITY OF PONDS WILL BE DETERMINED WHEN FINAL DESIGN IS DONE.
3. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.

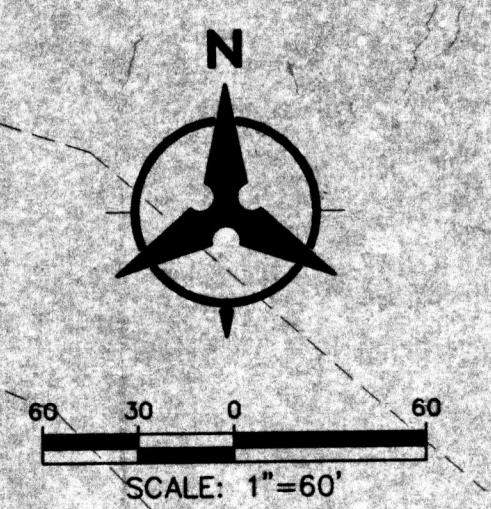
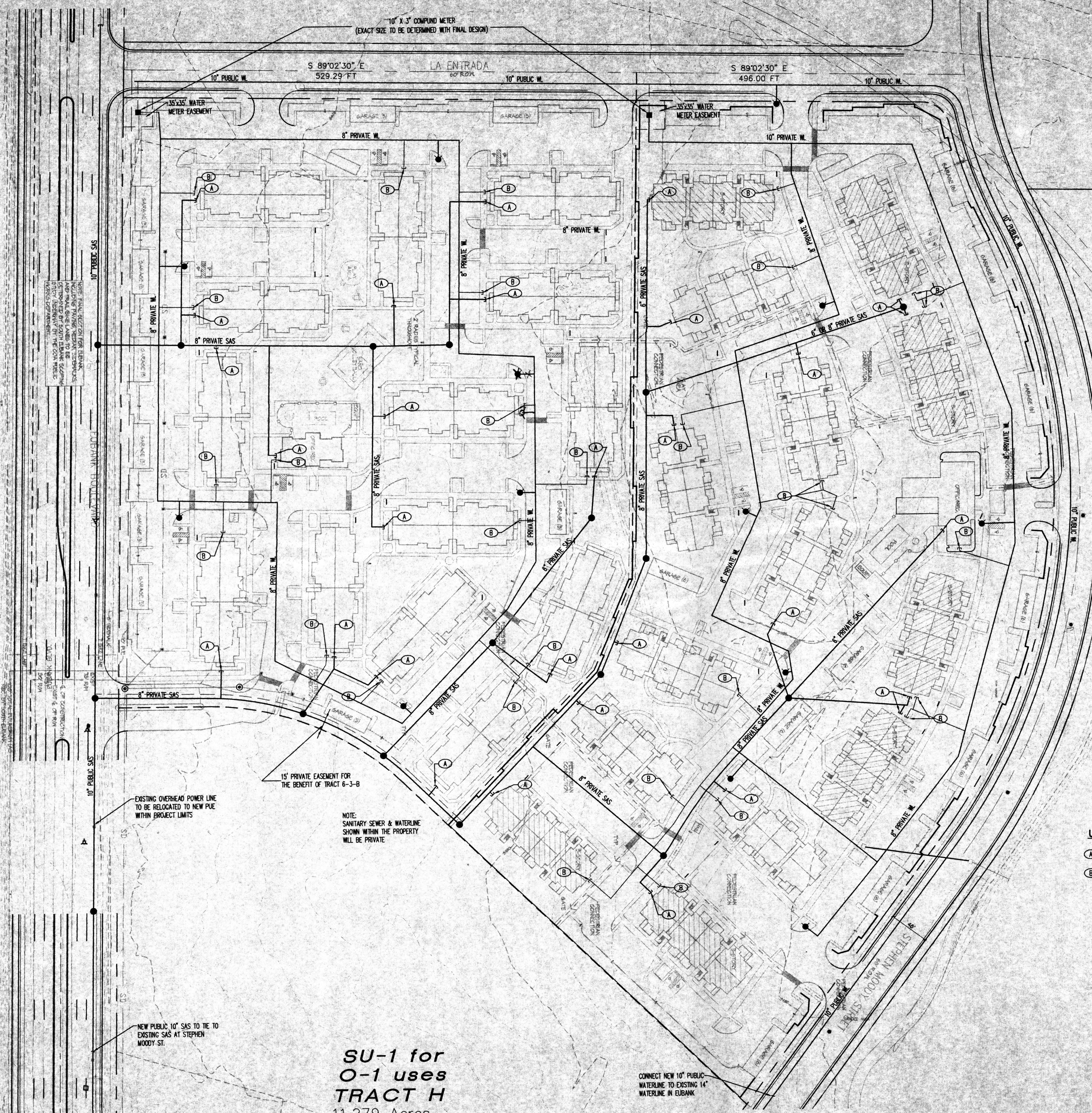
de la torre architecte p.a.c.a.
2400 louisiana blvd ne
building 3 suite 110
albuquerque nm 87110 505-883-7918

sheet-
3
of-7

START DATE 10/30/00



SU-1 for O-1 uses TRACT H
11.279 Acres
11.279 Acres NET



LEGEND

---	PROPERTY LINE
---	EXISTING EASEMENT
---	SAS
---	EXISTING SANITARY SEWER
---	EXISTING WATER LINE
---	EXISTING WATER METER
---	EXISTING CAP
---	EXISTING VALVE
---	EXISTING FIRE HYDRANT
---	EXISTING SANITARY SEWER MANHOLE
---	EXISTING STORM DRAIN MANHOLE
---	EXISTING INLET
---	PROPOSED EASEMENT
---	SAS
---	PROPOSED SANITARY SEWER LINE
---	PROPOSED SANITARY SEWER MANHOLE
---	PROPOSED CLEANOUT
---	PROPOSED WATER LINE
---	PROPOSED VALVE
---	PROPOSED FIRE LINE
---	PROPOSED HYDRANT
---	PROPOSED CAP
---	PROPOSED WATER METER

- UTILITY NOTES**
1. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
 2. MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
 3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM PLUMBING CODE, LATEST EDITION.
 4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
 5. ROUGH GRADING OF SITE (±0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
 6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
 7. ALL VALVES SHALL BE ANCHORED PER CDA STANDARD Dwg. 2333.
 8. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
 9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
 10. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.
 11. PROVIDE BOLLARDS TO PROTECT METER, AS PER PFM & UPC REQUIREMENTS.
 12. UTILITY EASEMENTS SHOWN ON CONSTRUCTION DOCUMENTS ARE A GRAPHICAL REPRESENTATION ONLY, NOT NECESSARILY RECORDED EASEMENTS. SEE PLAT FOR EXACT EASEMENT GEOMETRY.
 13. PIPE SIZES HAVE NOT BEEN DETERMINED FOR THE PRIVATE WATER LINES.

AFD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
[Signature]
SIGNATURE & DATE

- UTILITY KEYED NOTES**
- (A) NEW PRIVATE SANITARY SEWER SERVICE
 - (B) NEW PRIVATE WATERLINE SERVICE

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 Courtyard One 7500 JEFFERSON NE ALBUQUERQUE NEW MEXICO 87109
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PROJECT MANAGER	job no	date
JORGE DE LA TORRE, AIA	20048	11/27/00
sheet title	by	
CONCEPTUAL UTILITY PLAN		



de la torre architecte.p.a.c.a
 2400 LOUISIANA BLVD NE
 BUILDING 3, SUITE 110
 ALBUQUERQUE, NM 87110 / 505-883-7918

sheet-
4
 of 7

SU-1 for
O-1 uses
TRACT H
 11 270 Acres

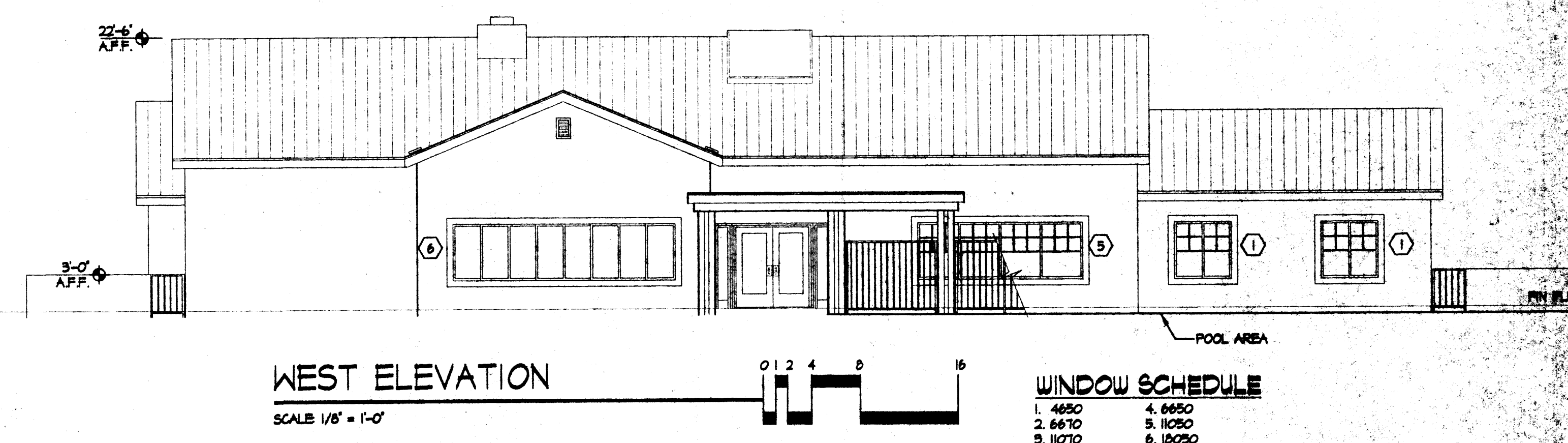
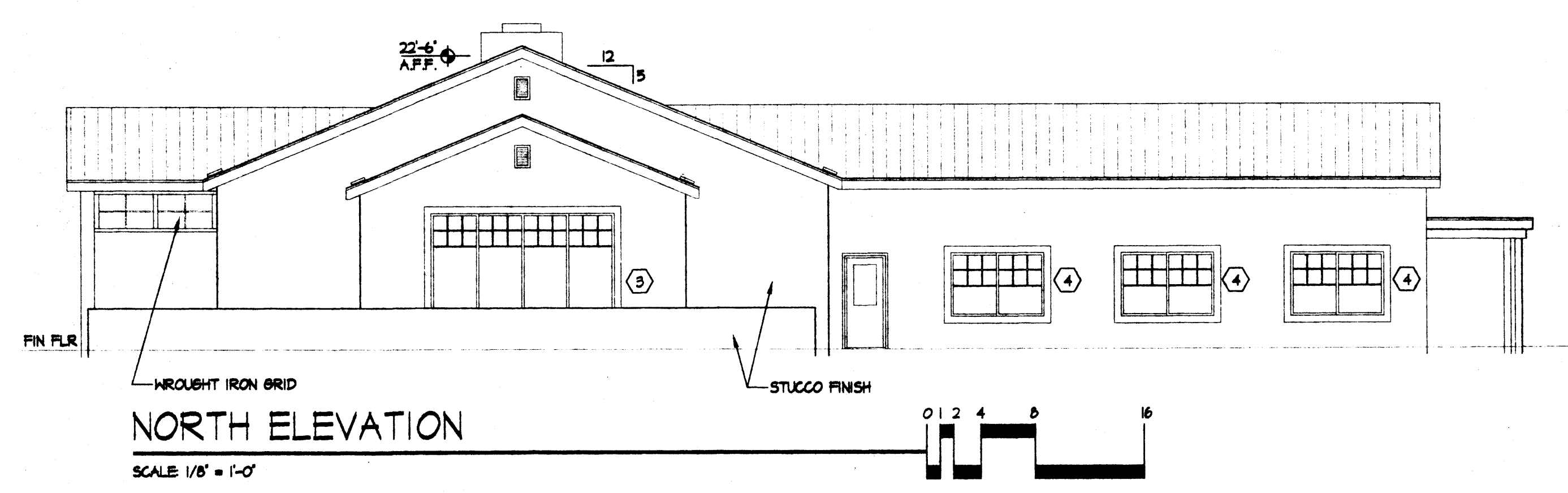
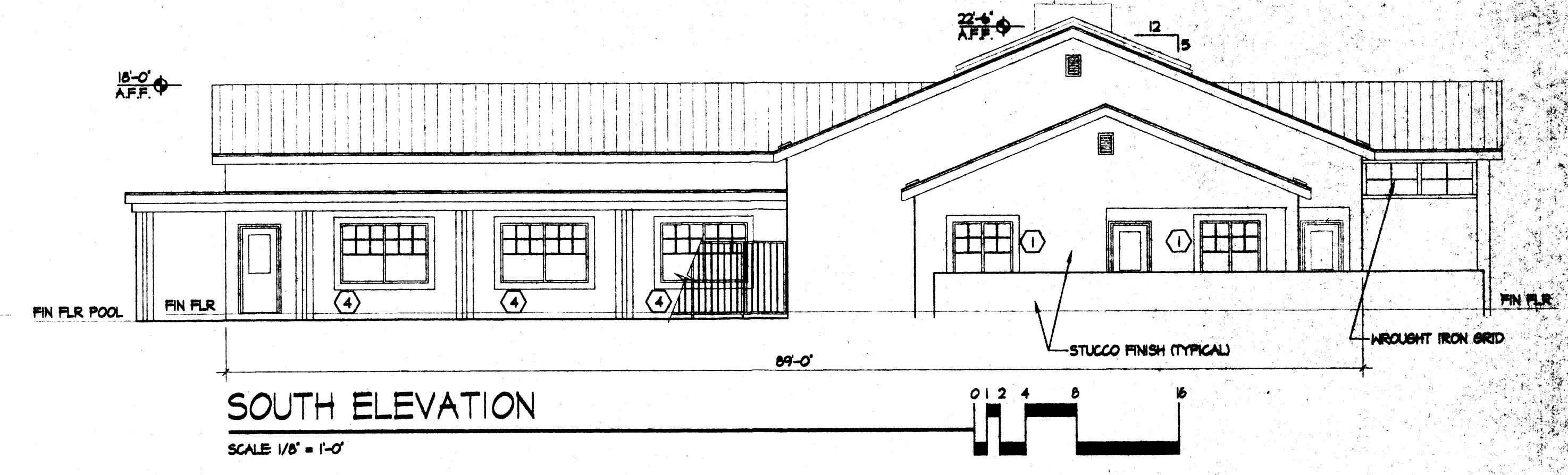
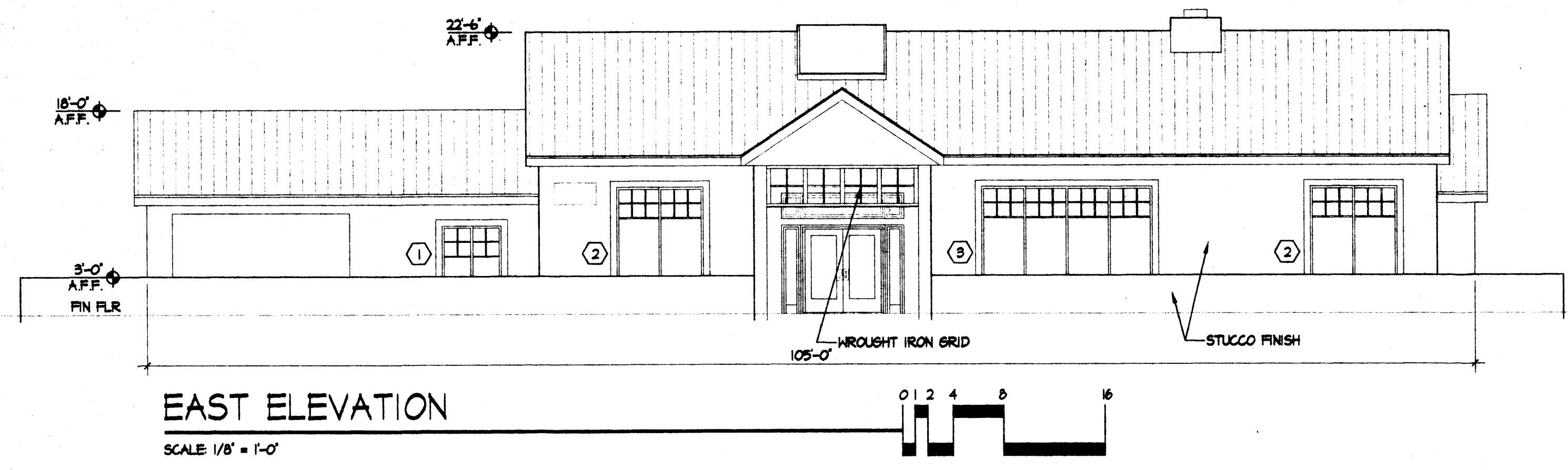
CONNECT NEW 10" PUBLIC WATERLINE TO EXISTING 14" WATERLINE IN EUBANK

EXISTING OVERHEAD POWER LINE TO BE RELOCATED TO NEW PUE WITHIN PROJECT LIMITS

NOTE: SANITARY SEWER & WATERLINE SHOWN WITHIN THE PROPERTY WILL BE PRIVATE

NEW PUBLIC 10" SAS TO TIE TO EXISTING SAS AT STEPHEN WOODY ST.

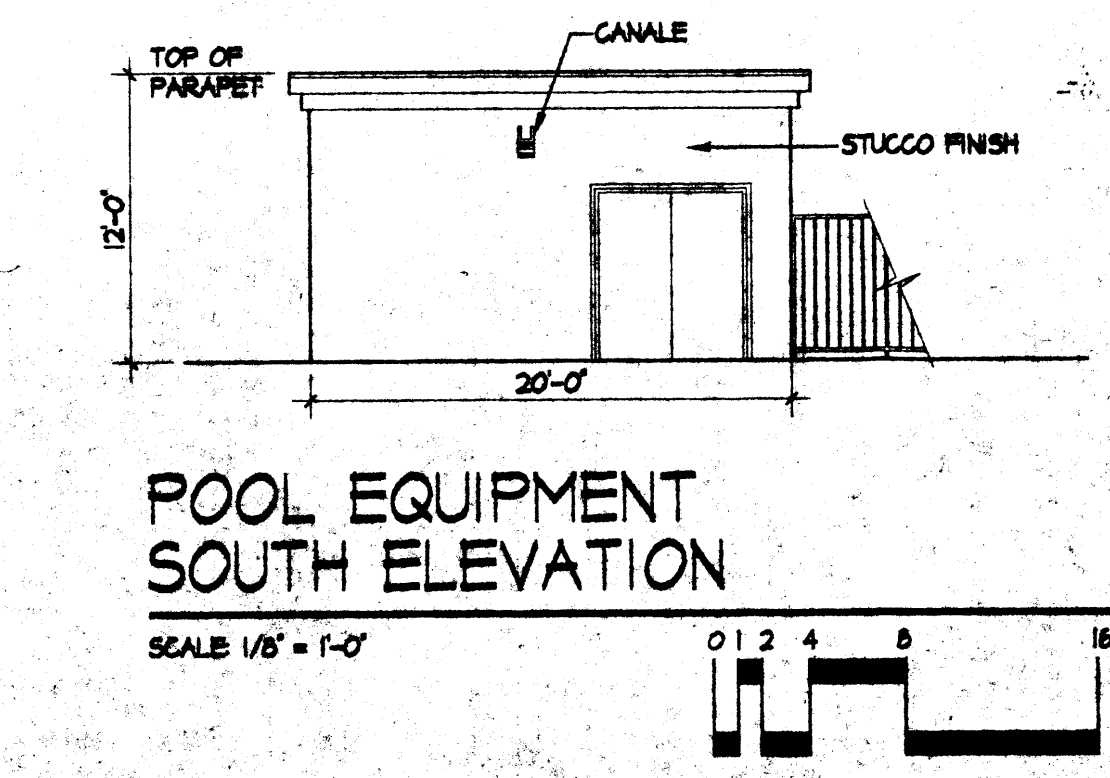
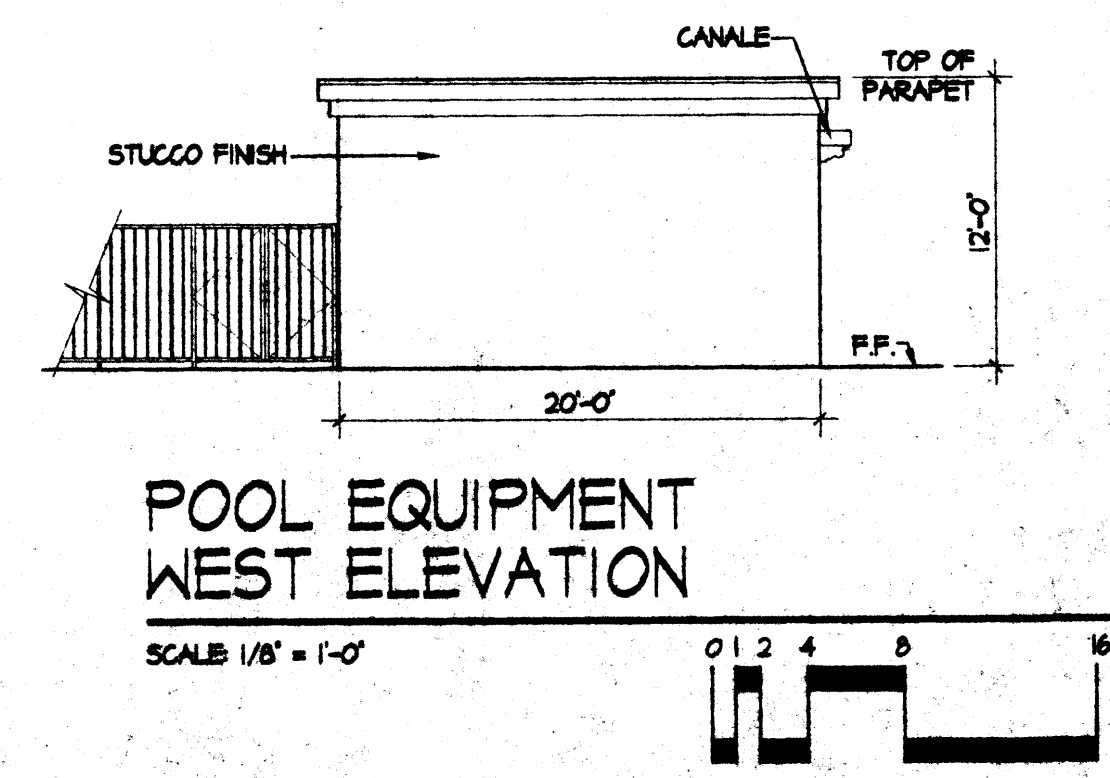
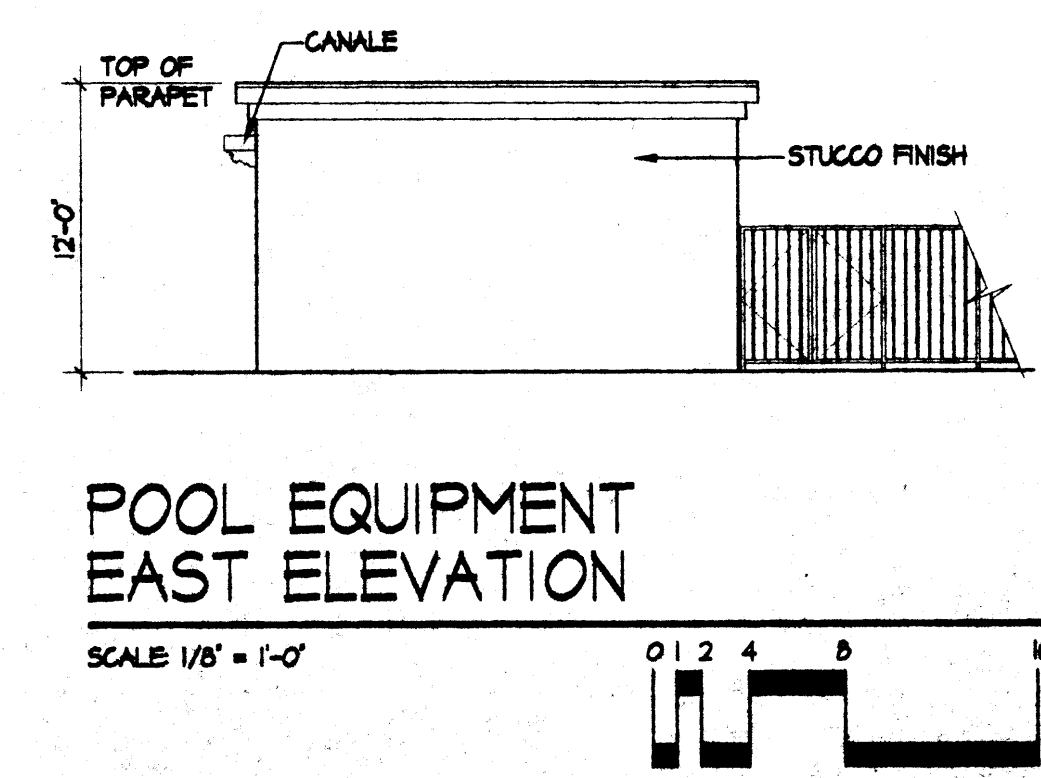
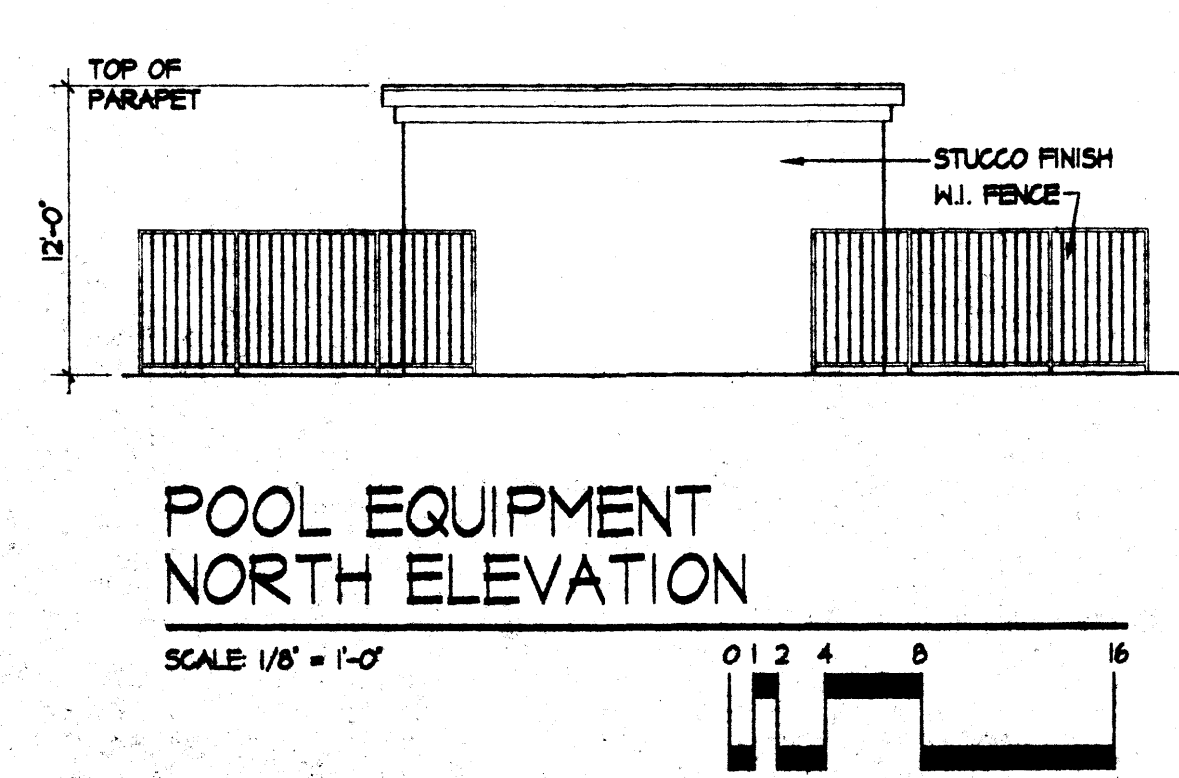
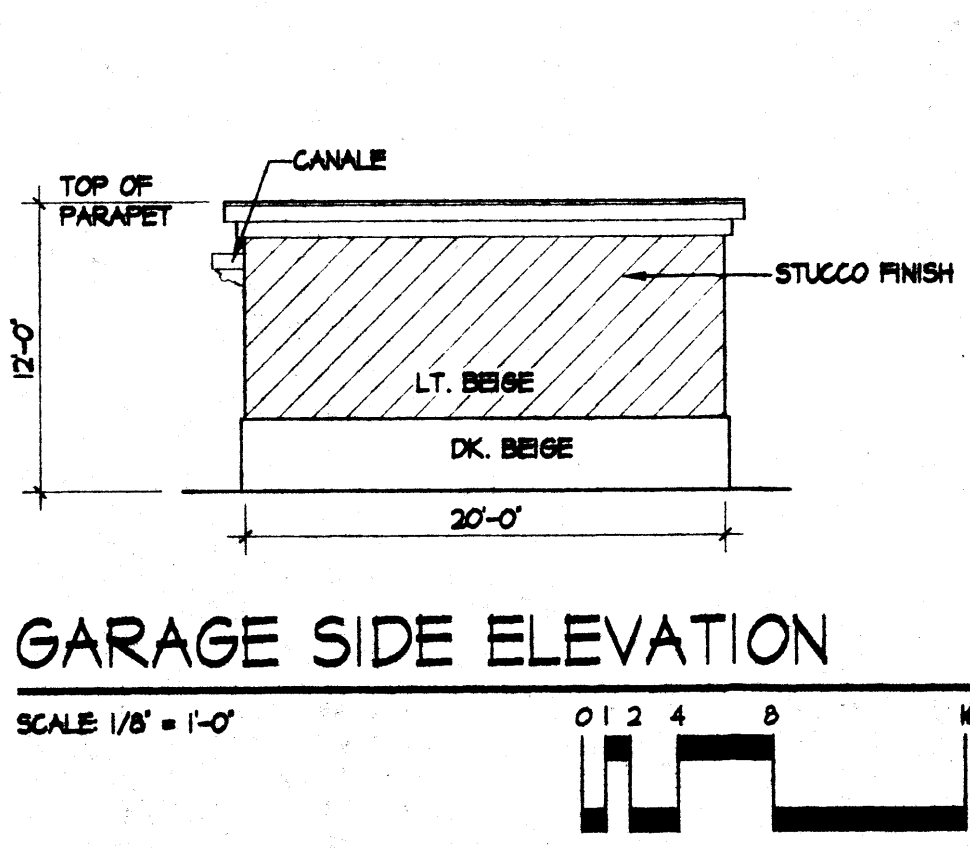
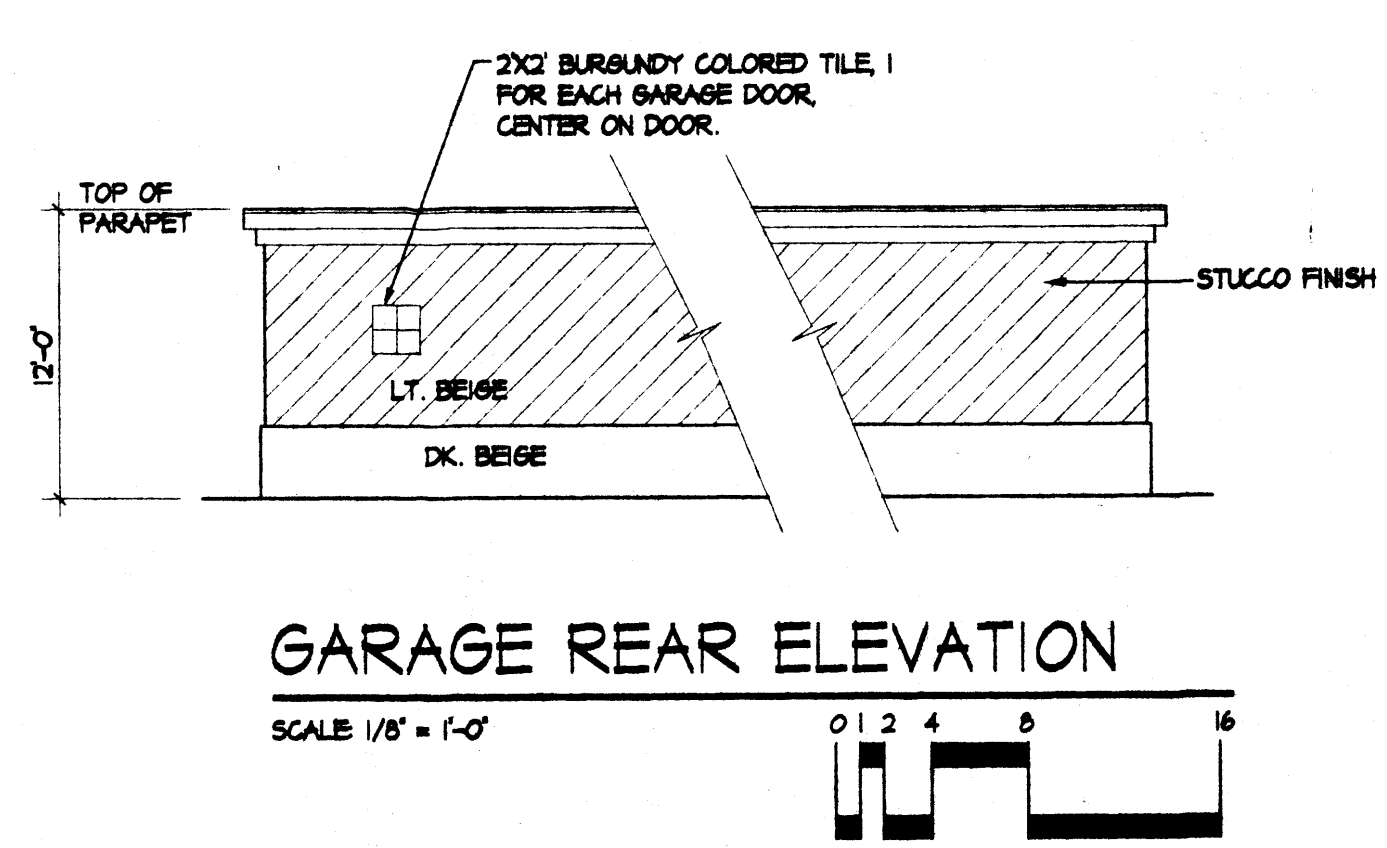
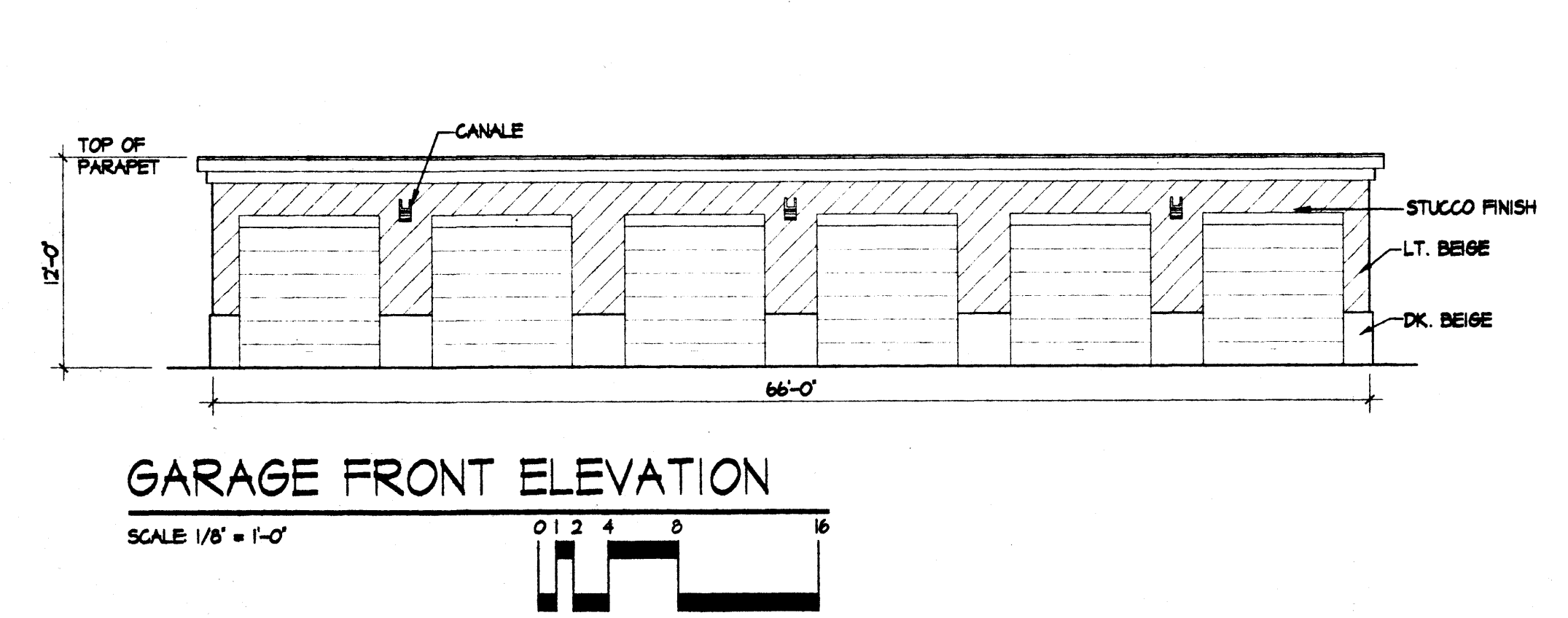
ROOFTOP EQUIPMENT NOTE:
 THE TOP OF ALL ROOFTOP EQUIPMENT SHALL BE BELOW THE TOP OF PARAPET AND SCREENED FROM VIEW FROM THE PROPERTY LINE. ROOFTOP EQUIPMENT AND OTHER PENETRATIONS SHALL BE PAINTED TO MATCH THE ROOF COLOR OR OTHER PREDOMINANT BUILDING COLOR. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALLS.



WINDOW SCHEDULE

1. 4650	4. 6650
2. 6670	5. 11050
3. 11070	6. 18090

OFFICE/REC. ELEVATIONS



GENERAL NOTES:

STUCCO FINISH
 THERE WILL BE 3 DIFFERENT COLORS TO BE USED THROUGHOUT THE PROJECT. THESE COLORS WILL BE LIGHT BEIGE, MEDIUM BEIGE, AND DARK BEIGE. ALL BUILDINGS WILL BE 1 COLOR UNLESS NOTED OTHERWISE.

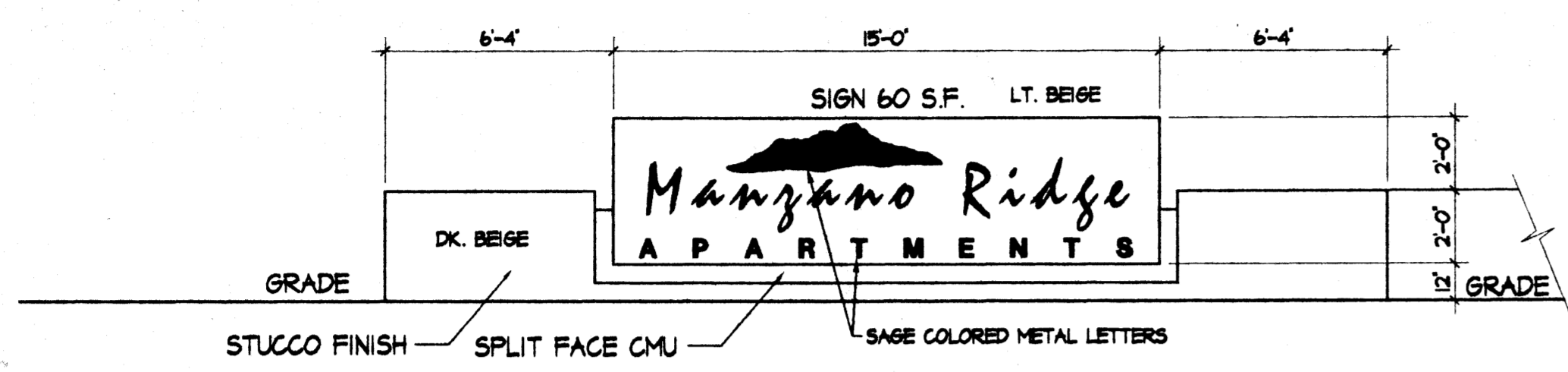
EXPOSED WOOD
 ALL EXPOSED WOOD WILL BE PAINTED WHITE.

WROUGHT IRON & HANDRAILS
 ALL WROUGHT IRON FENCING AND STAIR RAILS TO BE WHITE FENCE AROUND POOL, HANDRAILS, ETC.) EXCEPT WALL TYPE 'B' AND GATE TO BE SAGE.

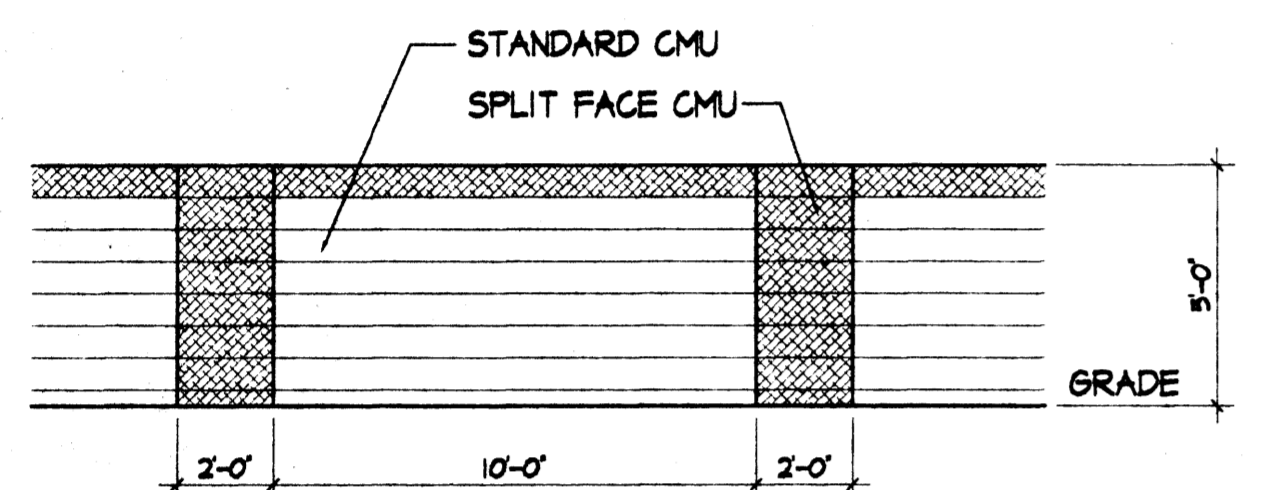
METAL ROOF
 GALVANIZED METAL ROOFING, GRAY COLOR, MATTE FINISH TYPICAL THROUGHOUT.

AREA LIGHTING, INCLUDING PARKING, AND WALKS, SHALL BE ARRANGED SO THAT THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS CUTOFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC R.O.M. IT SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 100 FOOTLAMBERTS AND IT SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 200 FOOTLAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.

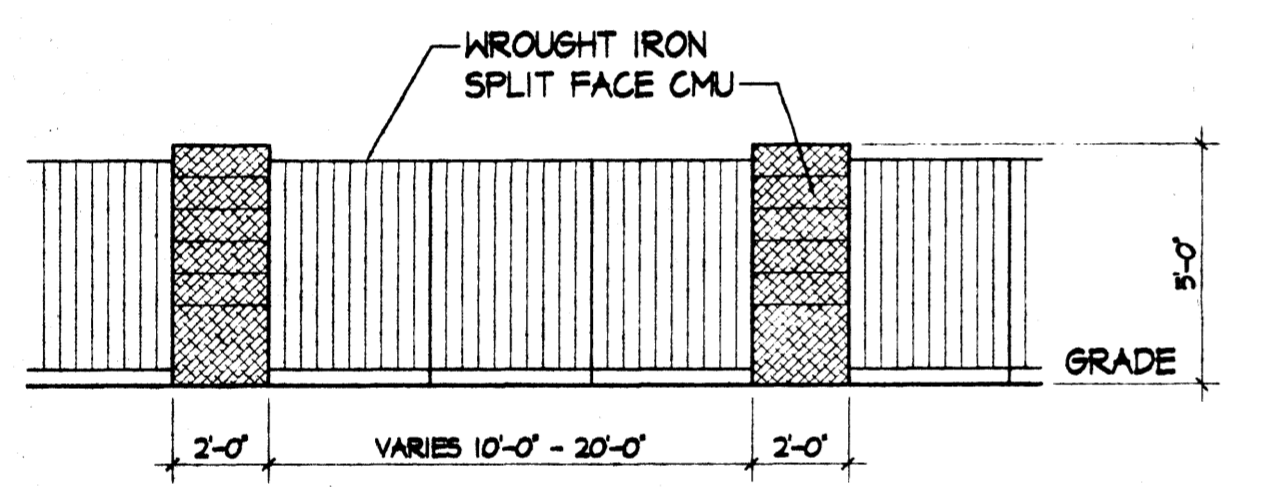
revisions	job title MANZANO MESA EAST	
	job no. date	
	PROJECT MANAGER JORGE DE LA TORRE, AIA	
	sheet title ELEVATIONS	
de la torre architecte, p.a. aia 2400 louisiana Blvd ne building 3 suite 110 albuquerque nm 87110-505-883-7918		



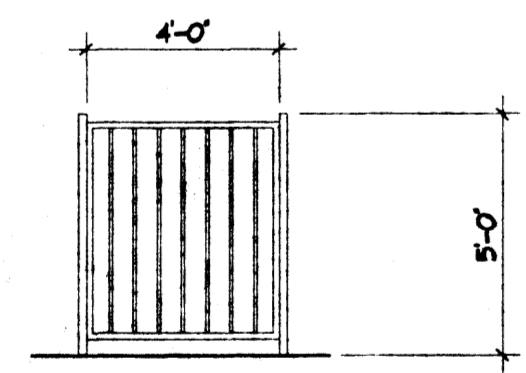
MONUMENT SIGN
SCALE 1/4" = 1'-0"



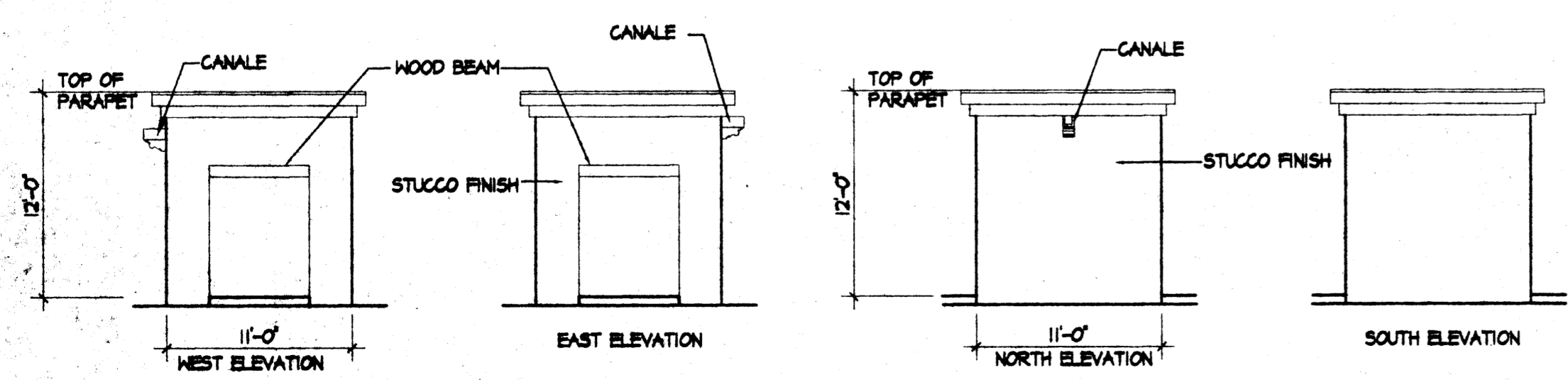
5' CMU WALL - TYPE A
SCALE 1/4" = 1'-0"



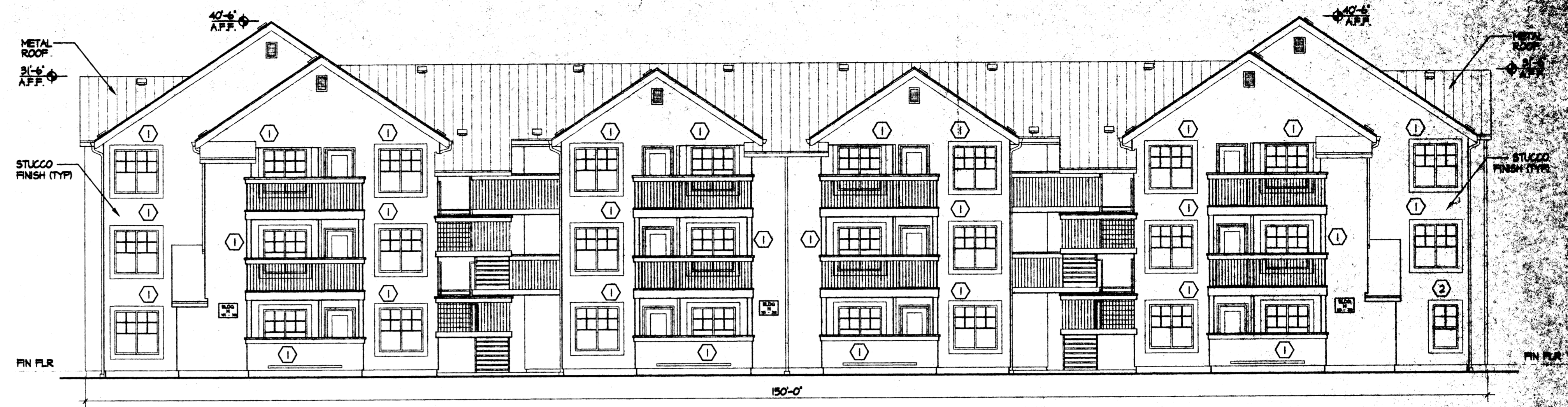
5' CMU AND WROUGHT IRON WALL - TYPE B
SCALE 1/4" = 1'-0"



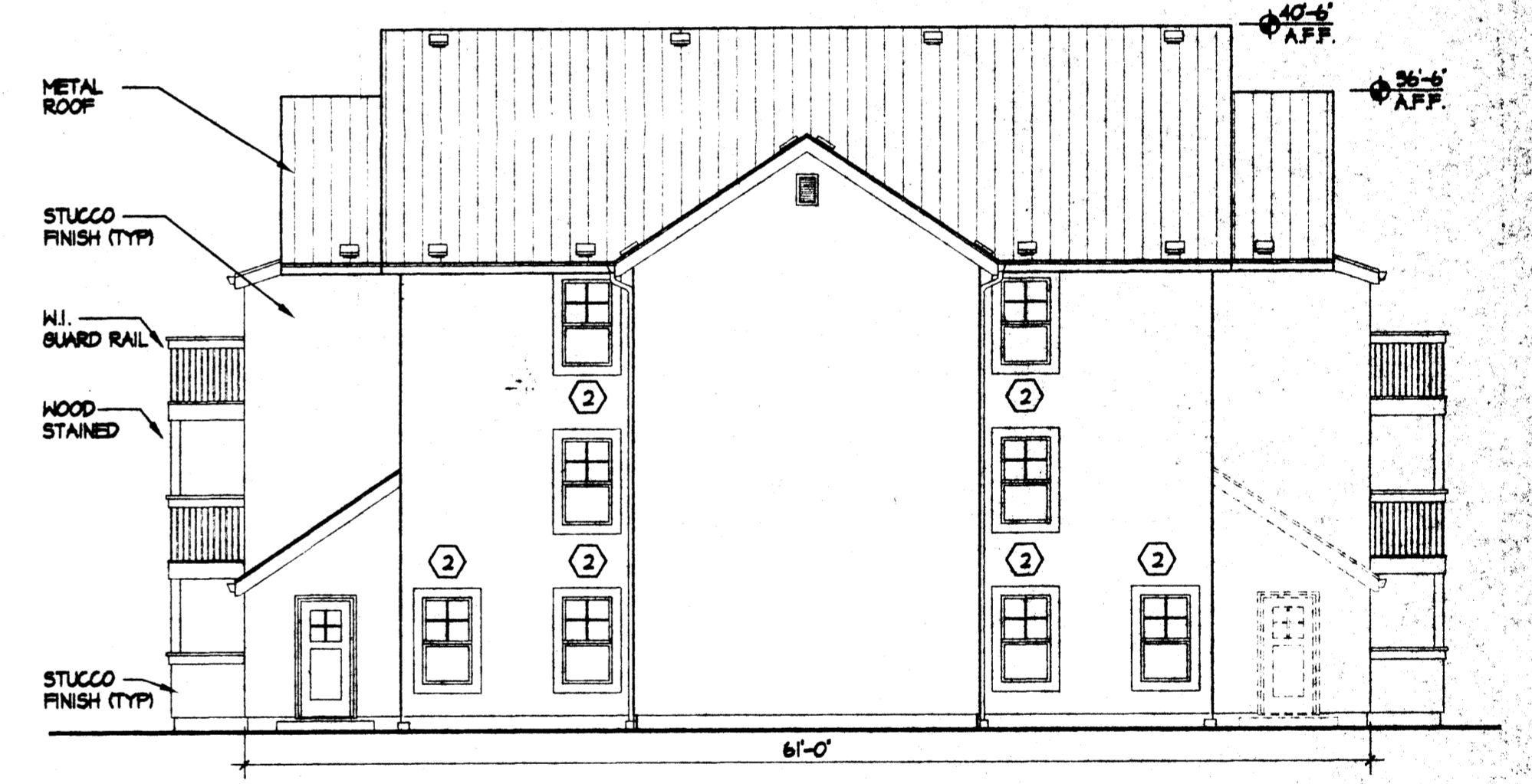
TYPICAL GATE - WROUGHT IRON
SCALE 1/4" = 1'-0"



MAIL ENCLOSURE ELEVATION
SCALE 1/8" = 1'-0"

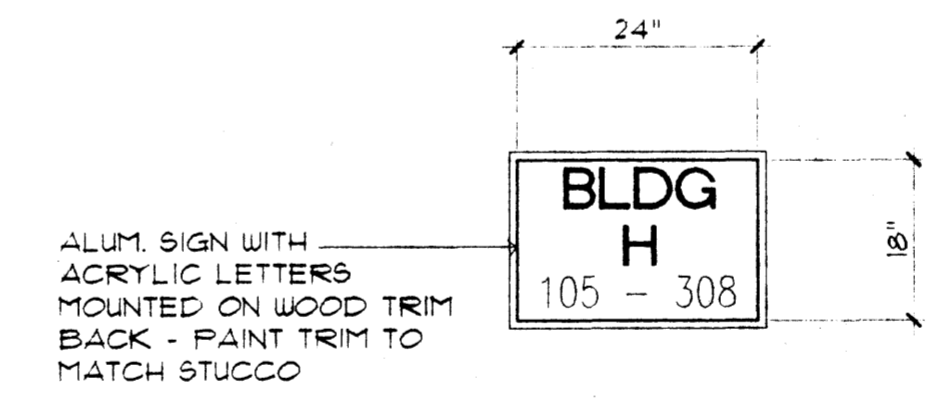


24-PLEX BUILDING - FRONT / REAR ELEVATION
SCALE 1/8" = 1'-0"



24-PLEX BUILDING - SIDE ELEVATION
SCALE: 1/8" = 1'-0"

WINDOW SCHEDULE
1. 4650
2. 2650



BUILDING SIGNAGE
SCALE: NTS

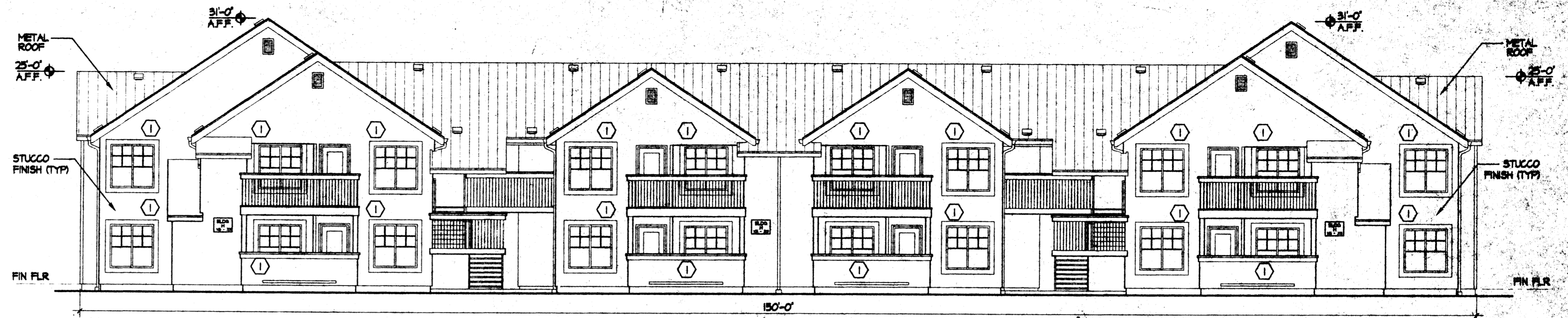
GENERAL NOTES:

- STUCCO FINISH**
THERE WILL BE 3 DIFFERENT COLORS TO BE USED THROUGHOUT THE PROJECT. THESE COLORS WILL BE LIGHT BEIGE, MEDIUM BEIGE, AND DARK BEIGE. ALL BUILDINGS WILL BE 1 COLOR UNLESS NOTED OTHERWISE.
- EXPOSED WOOD**
ALL EXPOSED WOOD WILL BE PAINTED WHITE.
- WROUGHT IRON & HANDRAILS**
ALL WROUGHT IRON FENCING AND STAIR RAILS TO BE WHITE (FENCE AROUND POOL, HANDRAILS, ETC.) EXCEPT # WALL TYPE 'B' AND GATE TO BE SAGE.
- METAL ROOF**
GALVANIZED METAL ROOFING, GRAY COLOR, MATTE FINISH TYPICAL THROUGHOUT.
- AREA LIGHTING, INCLUDING PARKING, AND WALKS, SHALL BE ARRANGED SO THAT THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS CUTOFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC R.O.M. IT SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 100 FOOTLAMBERTS AND IT SHALL NOT HAVE ANY OFFSITE LUMINANCE GREATER THAN 200 FOOTLAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.**

ROOFTOP EQUIPMENT NOTE:
THE TOP OF ALL ROOFTOP EQUIPMENT SHALL BE BELOW THE TOP OF PARAPET AND SCREENED FROM VIEW FROM THE PROPERTY LINE. ROOFTOP EQUIPMENT AND OTHER PENETRATIONS SHALL BE PAINTED TO MATCH THE ROOF COLOR OR OTHER PREDOMINANT BUILDING COLOR. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALLS.

revisions	job title MANZANO MESA EAST	
	PROJECT MANAGER EUBANK NE	
	ALBUQUERQUE, NEW MEXICO 87125	
	PROJECT MANAGER JORGE DE LA TORRE, AIA	
sheet title ELEVATIONS	by NAP	

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2400 louisiana blvd ne
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albuquerque n.m. 87110 / 505-863-7916



16-PLEX BUILDING - FRONT ELEVATION

SCALE: 1/8"=1'-0"

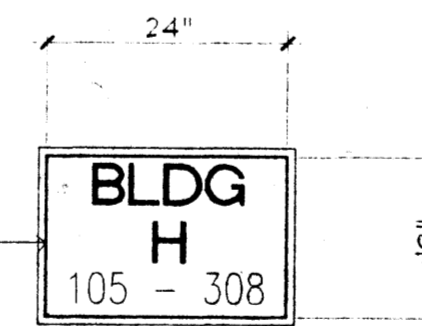


16-PLEX BUILDING - REAR ELEVATION

SCALE: 1/8"=1'-0"

WINDOW SCHEDULE

- 1. 4650
- 2. 2650



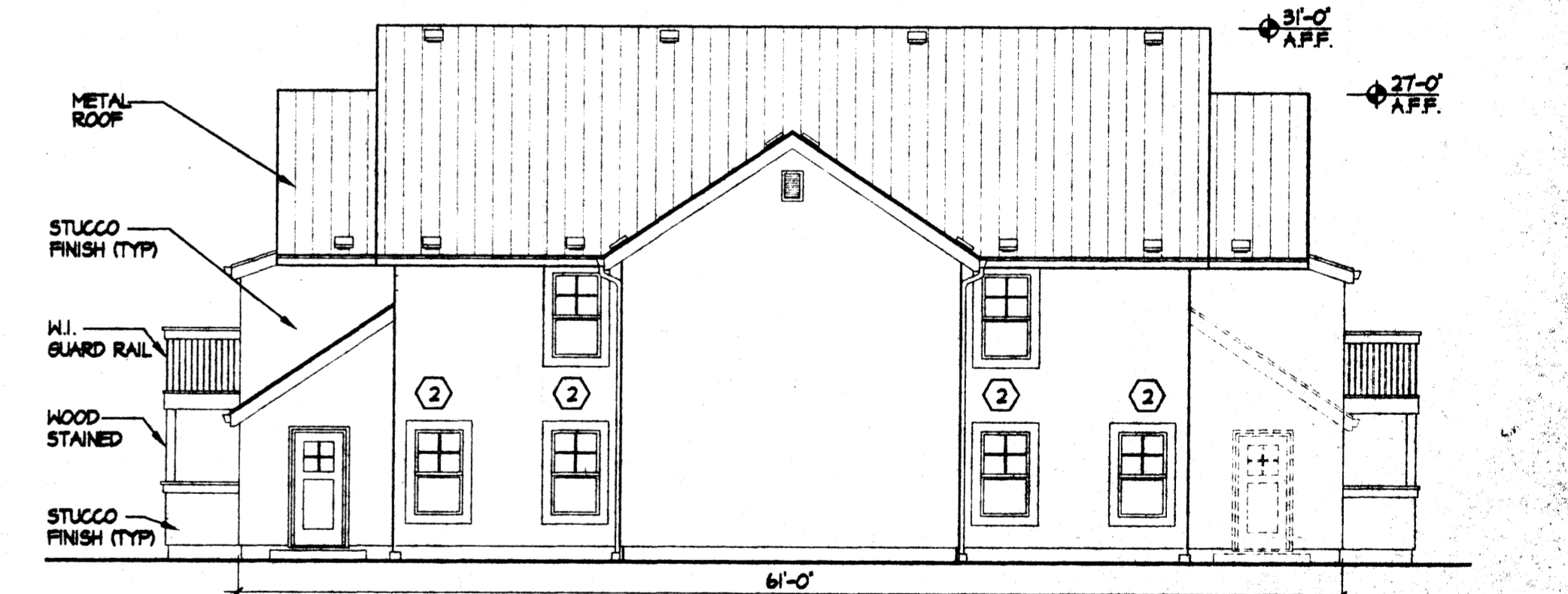
ALUM. SIGN WITH
ACRYLIC LETTERS
MOUNTED ON WOOD TRIM
BACK - PAINT TRIM TO
MATCH STUCCO

BUILDING SIGNAGE

SCALE: NTS

ROOFTOP EQUIPMENT NOTE:

THE TOP OF ALL ROOFTOP EQUIPMENT SHALL BE BELOW THE TOP OF PARAPET AND SCREENED FROM VIEW FROM THE PROPERTY LINE. ROOFTOP EQUIPMENT AND OTHER PENETRATIONS SHALL BE PAINTED TO MATCH THE ROOF COLOR OR OTHER PREDOMINANT BUILDING COLOR. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALLS.



16-PLEX BUILDING - SIDE ELEVATION

SCALE: 1/8"=1'-0"

GENERAL NOTES:

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THERE WILL BE 3 DIFFERENT COLORS TO BE USED THROUGHOUT THE PROJECT. THESE COLORS WILL BE LIGHT BEIGE, MEDIUM BEIGE, AND DARK BEIGE. ALL BUILDINGS WILL BE 1 COLOR UNLESS NOTED OTHERWISE.

EXPOSED WOOD
ALL EXPOSED WOOD WILL BE PAINTED WHITE.

WROUGHT IRON & HANDRAILS
ALL WROUGHT IRON FENCING AND STAIR RAILS TO BE WHITE (FENCE AROUND POOL, HANDRAILS, ETC.) EXCEPT 6" WALL TYPE 'B' AND GATE TO BE SAGE.

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revisions	job title	MANZANO MESA EAST	
	PROJECT-MANAGER	job no	date
	JORGE DE LA TORRE, AIA	20048	5/22/01
	sheet title	by	
ELEVATIONS		NAP.	

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