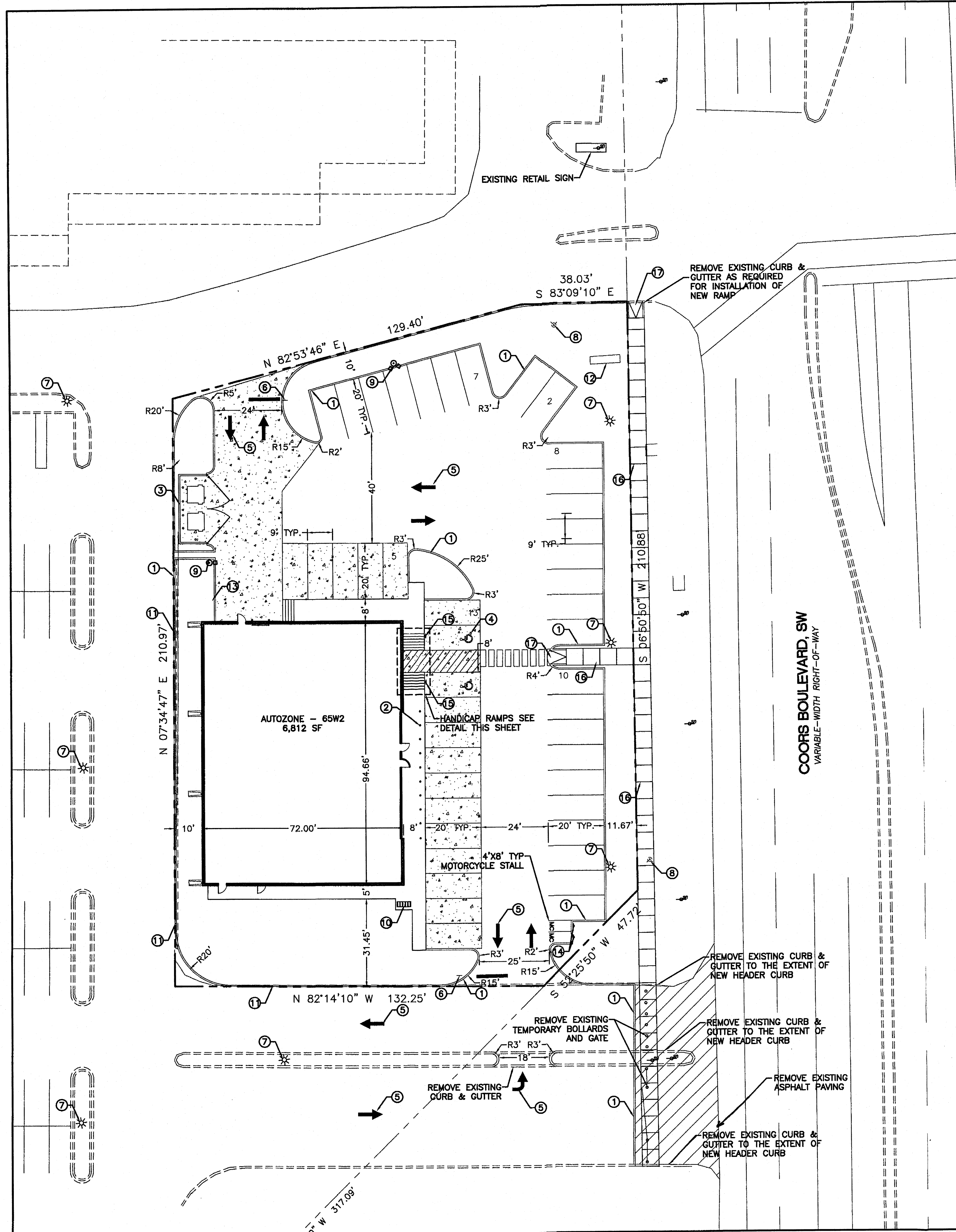
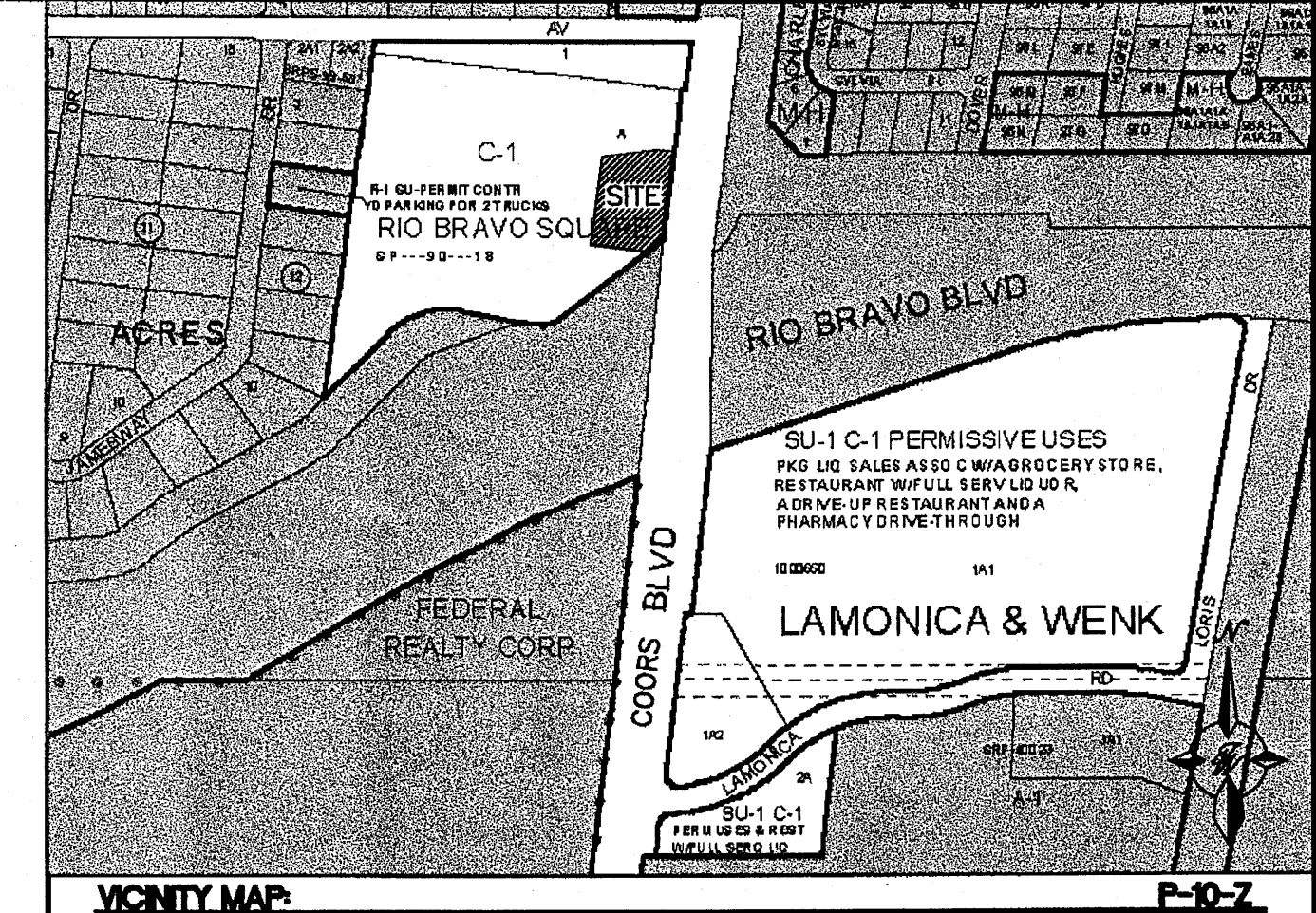


1000952



LEGEND

- CURB & GUTTER
- PROPOSED BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK CONCRETE
- SCREEN WALL
- RETAINING WALL
- ☼ EXISTING STREET LIGHTS
- LANE
- STRIPING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- EXISTING LANE
- EXISTING STRIPING
- ☼ NEW STREET LIGHT



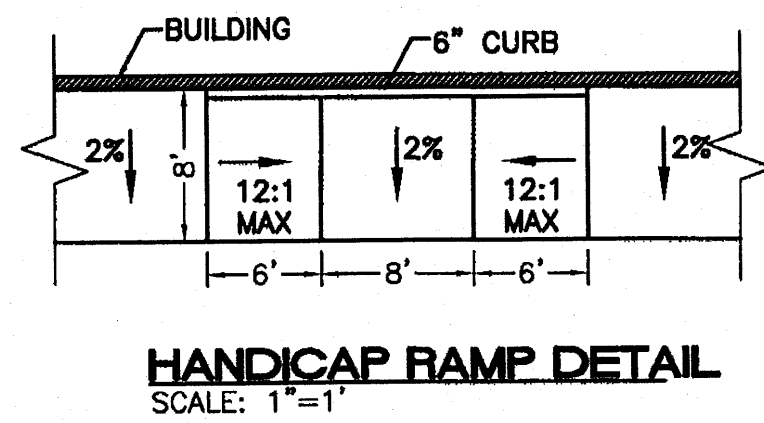
LEGAL DESCRIPTION
 TRACT A, RIO BRAVO SQUARE (9.7800 ACRES) WITHIN PROJECTED SECTION 10, TOWNSHIP 9 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO (VOL. 90-C, FOLIO 149 - JUN 28, 1990)

GENERAL NOTES
 1. NEW BUILDING COLORS AND MATERIALS WILL MATCH EXISTING BUILDINGS.

SITE DATA

PROPOSED USAGE:	RETAIL
LOT AREA:	37,589 SF (0.863 ACRE)
BUILDING AREA:	6,812 SF
PARKING PROVIDED:	45 SPACES
PARKING REQUIRED:	34 SPACES
HC PARKING PROVIDED:	2 SPACES
HC PARKING REQUIRED:	2 SPACES 1 SPACES VAN ACCESSIBLE
MC PARKING PROVIDED:	2 SPACES
MC PARKING REQUIRED:	2 SPACES

- KEYED NOTES**
- ① 6" HEADER CURB (PER COA STD DWG. 2415B)
 - ② 6" PIPE BOLLARD TYPICAL
 - ③ DUMPSTER ENCLOSURE (SEE DETAIL SHEET C6)
 - ④ HANDICAP SYMBOL (SEE DETAIL SHEET C6)
 - ⑤ PAINTED DIRECTIONAL ARROW TYPICAL
 - ⑥ STOP SIGN WITH 12" PAINTED WHITE STOP BAR
 - ⑦ EXISTING PARKING LOT LIGHT TO REMAIN
 - ⑧ EXISTING FIRE HYDRANT TO REMAIN
 - ⑨ NEW STREET LIGHT
 - ⑩ BIKE RACK
 - ⑪ REMOVE AND REPLACE EXISTING 6" HEADER CURB
 - ⑫ EXISTING SIGN STRUCTURE TO BE REMOVED
 - ⑬ 2' CONCRETE RUNDOWN
 - ⑭ "MOTORCYCLE PARKING ONLY" SIGN
 - ⑮ "HANDICAP PARKING ONLY" SIGN
 - ⑯ PROPOSED 6' WIDE SIDEWALK PER COA STD DWG #2430
 - ⑰ UNI-DIRECTIONAL RAMP (SEE DETAIL SHEET C6)



PROJECT NUMBER: 1000952
APPLICATION NUMBER: 08228-76524

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

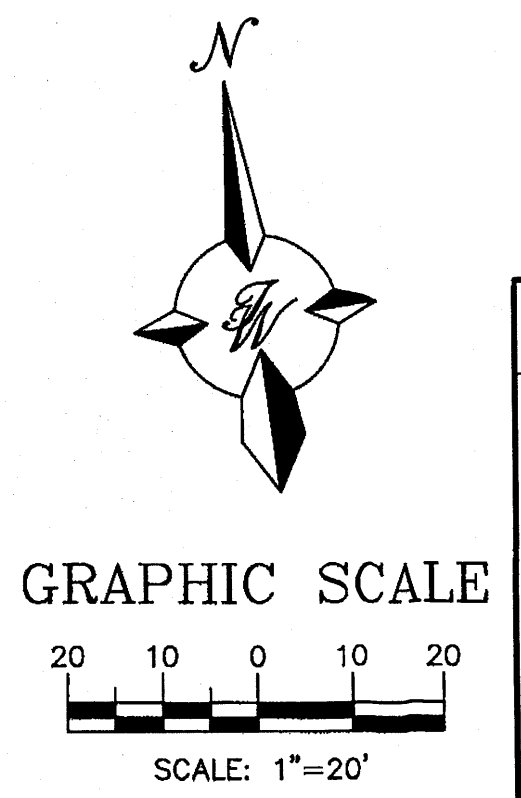
Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	02/10/09
Water Utility Development	1-21-09
Parks & Recreation Department	1/21/09
City Engineer	1-21-09
* Environmental Health Department (conditional)	2/9/9
Solid Waste Management	3-11-09
DRB Chairperson, Planning Department	

* Environmental Health, if necessary

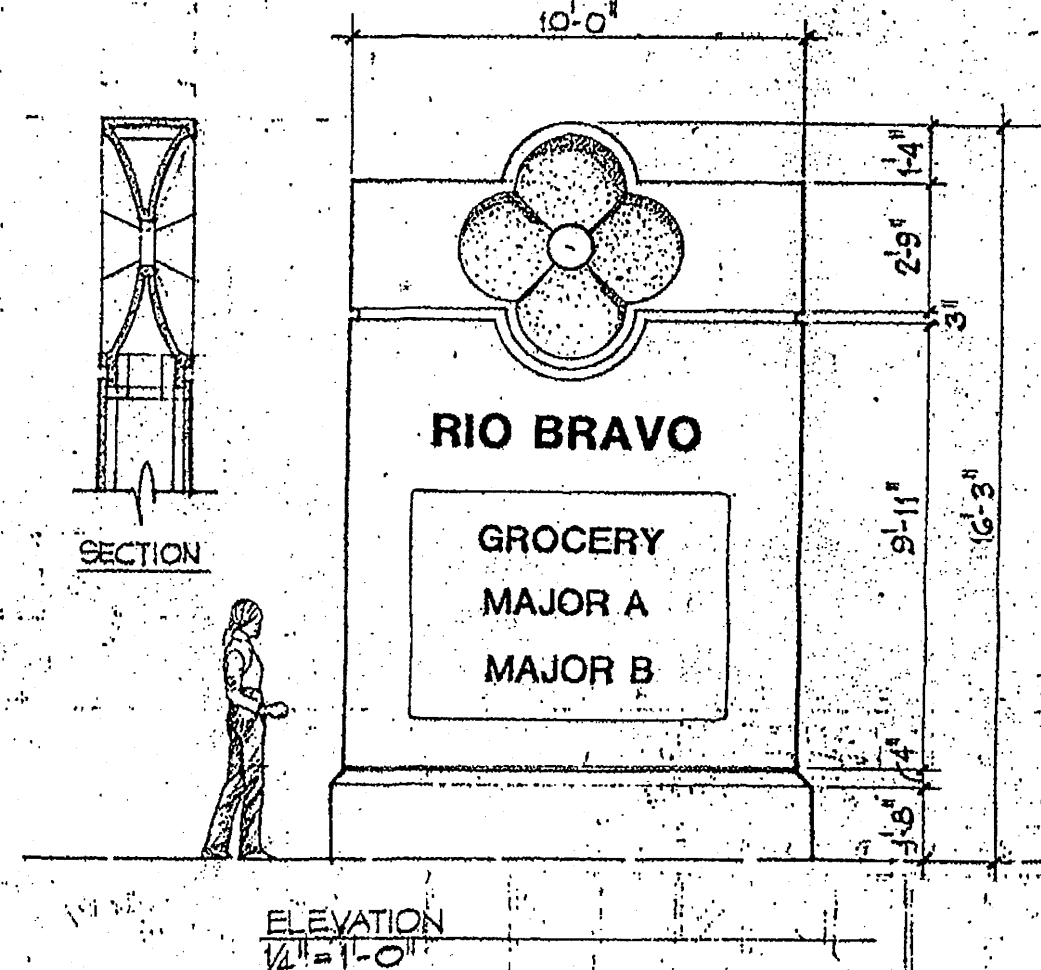
- INDEX TO DRAWINGS**
- C1. SITE PLAN FOR BUILDING PERMIT
 - C1A. PREVIOUSLY APPROVED SITE PLAN
 - C2. GRADING PLAN
 - C3. MASTER UTILITY PLAN
 - C4. LANDSCAPING PLAN
 - C5. BUILDING ELEVATIONS
 - C6. DETAIL SHEET



ENGINEER'S SEAL	AUTOZONE	DRAWN BY
	RIO BRAVO SQUARE	EMT
RONALD R. BOHANNAN P.E. #7868	SITE PLAN	DATE
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)958-3100	1/15/09
		28085-SPE
		SHEET #
		C1
		JOB #
		28085

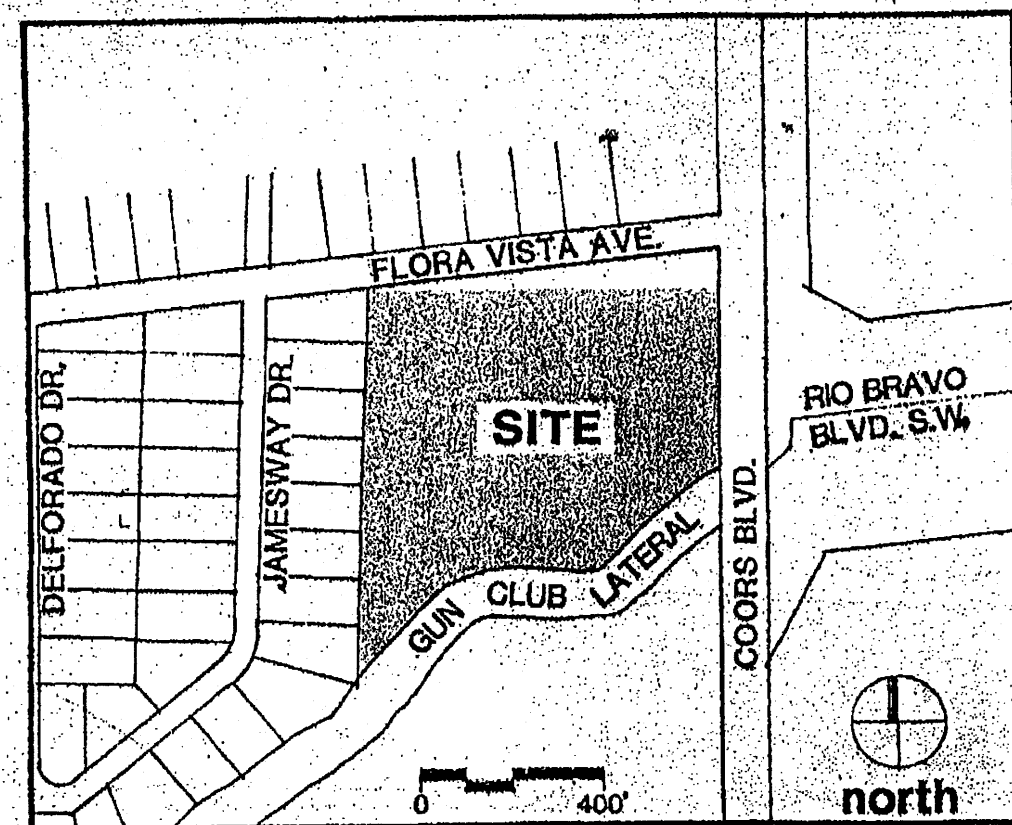
Original site-plan

SIGN



NOTE FOR GROCERY STORE ELEVATIONS
THE ELEVATION(S) FOR THE GROCERY STORE ELEMENT OF THIS SITE PLAN (SEE SHEET 1 FOR LOCATION) SHALL BE SUBSTANTIALLY THE SAME IN MATERIALS, HEIGHT, APPEARANCE AND FINISH AS THE MAJOR STORE ELEMENT OF THE SHOPPING CENTER (AS SHOWN ON SHEET 3 OF 3, THIS PLAN, SECTION A13) PRIOR TO CONSTRUCTION OF THIS STORE THE ACTUAL ELEVATIONS MUST BE DEPICTED AND REVIEWED BY THE PLANNING DEPARTMENT OF THE CITY FOR CONFORMANCE WITH THIS REQUIREMENT.

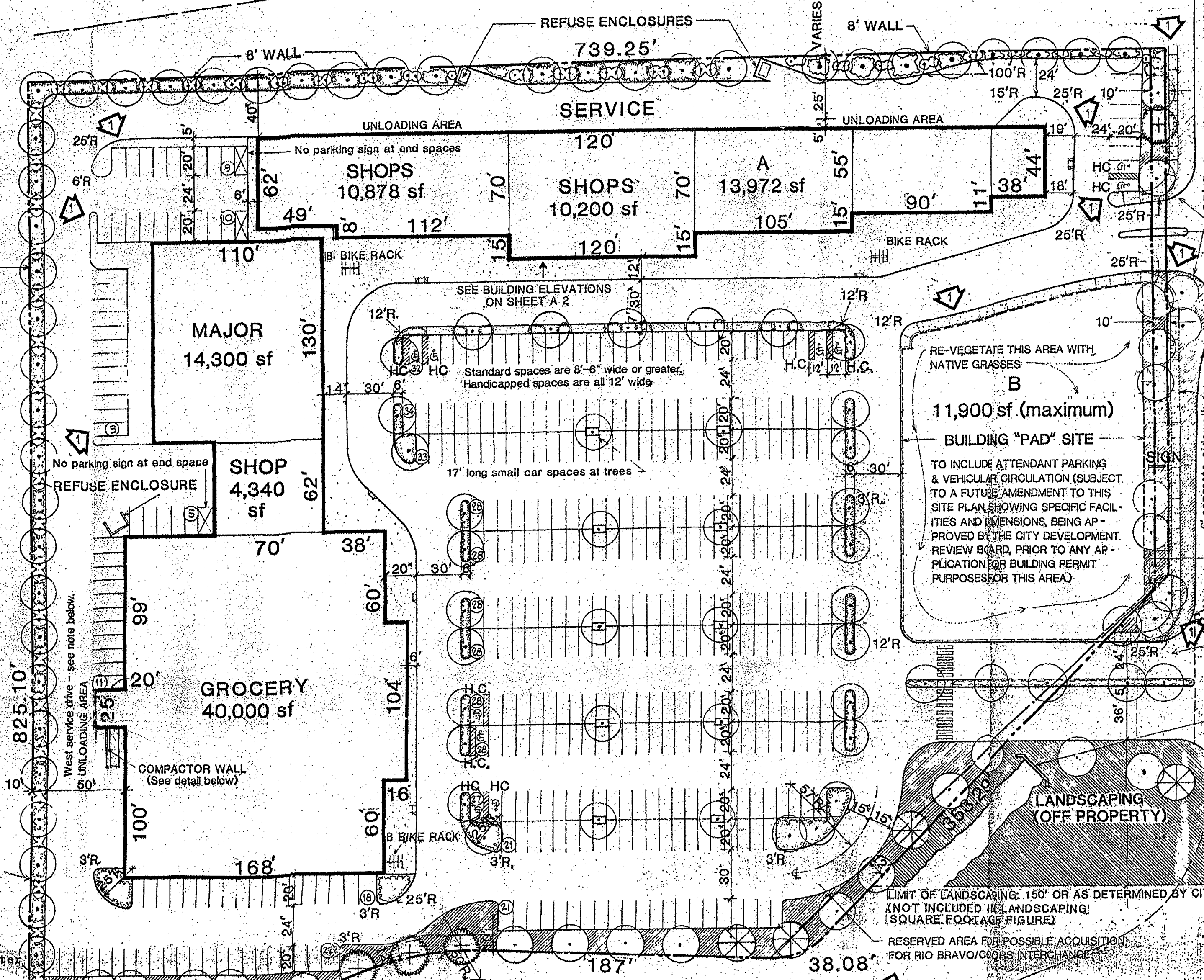
LOCATION MAP 1" = 400'



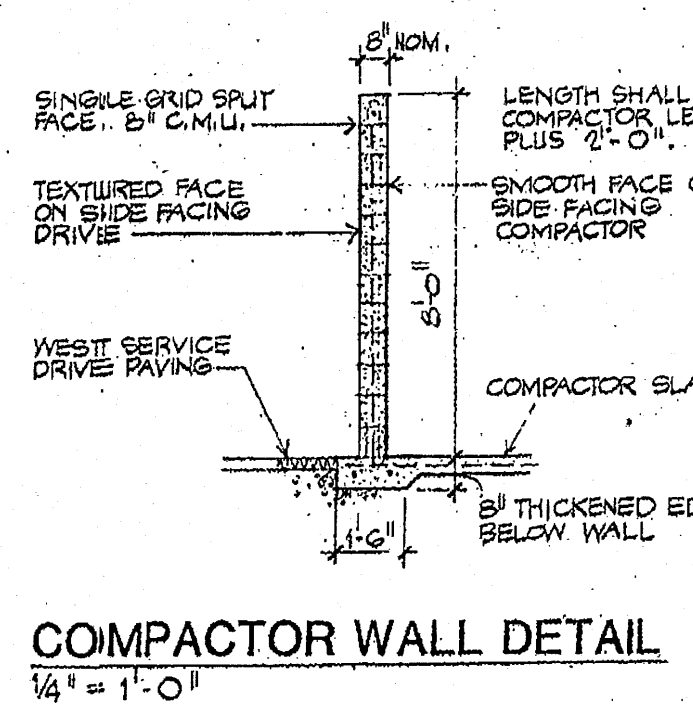
LEGEND (LANDSCAPING)

PROPOSED PLANT MATERIAL

- EVERGREEN TREES**
 - Blue Spruce - *Picea pungens*
 - Austrian Pine - *Pinus nigra*
- SHADE TREES**
 - Marshall Ash - *Fraxinus pennsylvanica*
 - Honeylocust - *Gleditsia triacanthos inermis*
 - London Planetree - *Platanus acerifolia*
- ORNAMENTAL TREES**
 - Redspire Pear - *Pyrus calleryana*
 - Thundercloud Plum - *Prunus cerasifera*
- SCREENING SHRUBS**
 - Spartan Juniper - *Juniperus chinensis 'Spartan'*
 - Photinia - *Photinia fraseri*
 - Cotoneaster - *Cotoneaster parneyii*
- SHRUBS**
 - Junipers - *Juniperus chinensis* and *sabina* vars.
 - Heavenly Bamboo - *Nandina domestica*
 - Oregon Grape - *Mahonia aquifolium compacta*
 - Mohave Pyracantha - *Pyracantha coccinea*
 - Silverberry - *Eleagnus pungens*
- Turf**
 - Bluegrass and fescue



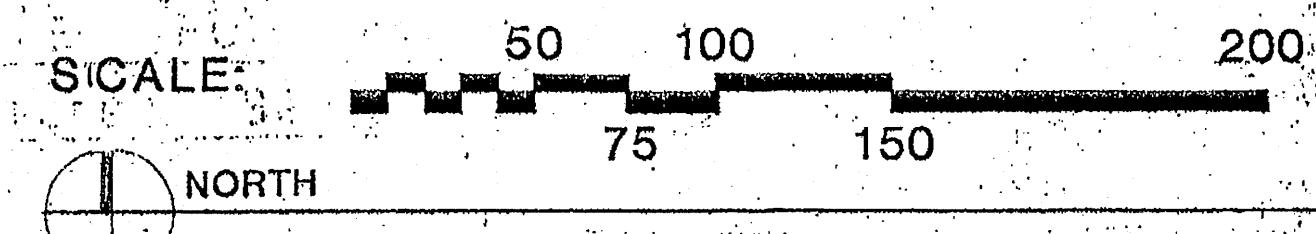
NOTE
TRUCKS PARKED WITH IDLING ENGINES OR RUNNING REFRIGERATOR COMPRESSORS SHALL TEMPORARILY PARK EAST OF THE BUILDINGS. SUCH TRUCKS SHALL NOT USE THE WEST SERVICE DRIVE ADJACENT TO THE RESIDENTIAL AREA FOR PARKING.



SITE DATA
DRB CASE NO. 89-241
EPC CASE NUMBER AX-87-12-87-33
ZONE ATLAS INDEX NO. P-10
ZONED C-1
PROPOSED ZONING C-1
PARCEL AREA 678 ACRES
CERTIFICATION
I CERTIFY THAT THIS PLAN IS CONSISTENT WITH THE SPECIFIC DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON JUNE 22, 1987.
CASE NUMBER AX-87-12-87-33
DATE 9-5-87
PLANNING DIRECTOR [Signature]
DATE 6/16/89
DATE 5-11-89
DATE 8-31-89
DATE 5-16-88
DATE 8-31-85
CITY ENGINEER [Signature]

RIO BRAVO SHOPPING CENTER ALBUQUERQUE, NEW MEXICO

SUMMARY	
LAND AREA:	437,035 sf (10.03 acres)
GROCERY:	40,000 sf
MAJOR:	14,300 sf
MAJOR:	10,200 sf
A:	13,972 sf
B:	Future Site Plan Required
GROSS BUILDING AREA:	105,590 sf
PARKING REQUIRED:	475 spaces (528-53)
BUS CREDIT:	10% spaces 53 spaces (Bus route 53 on Coors Blvd. S.W.)
PARKING PROVIDED:	433 spaces (10 handicapped) and 42 spaces (2 handicapped) minimum, at future "pad" site B
BUILDING AREA/ LAND AREA:	24.16%
LANDSCAPED AREA:	61,014 sf (18.4% of open sf area)



RIO BRAVO SQUARE - FINAL SITE DEVELOPMENT PLAN - 9/5/89
SHEET 1 OF 3

CHARTER OAK DEVELOPMENT COMPANY

NOT PUBLISHED: ALL RIGHTS RESERVED
NOTES:
REVISION 5/31/89
Maintenance of drainage facilities covered by Private Facility Drainage Covenant filed with the Bernalillo County Clerk on June 15, 1989 in Misc. Book 757A, Pg. 760-765 as Document No. 8951381.

INDEX TO DRAWINGS

1. SITE PLAN AND LANDSCAPING
2. BUILDING ELEVATIONS
3. DRAINAGE AND CONCEPTUAL GRADING PLAN
4. GRADING AND PAVING PLAN
5. UTILITY PLAN

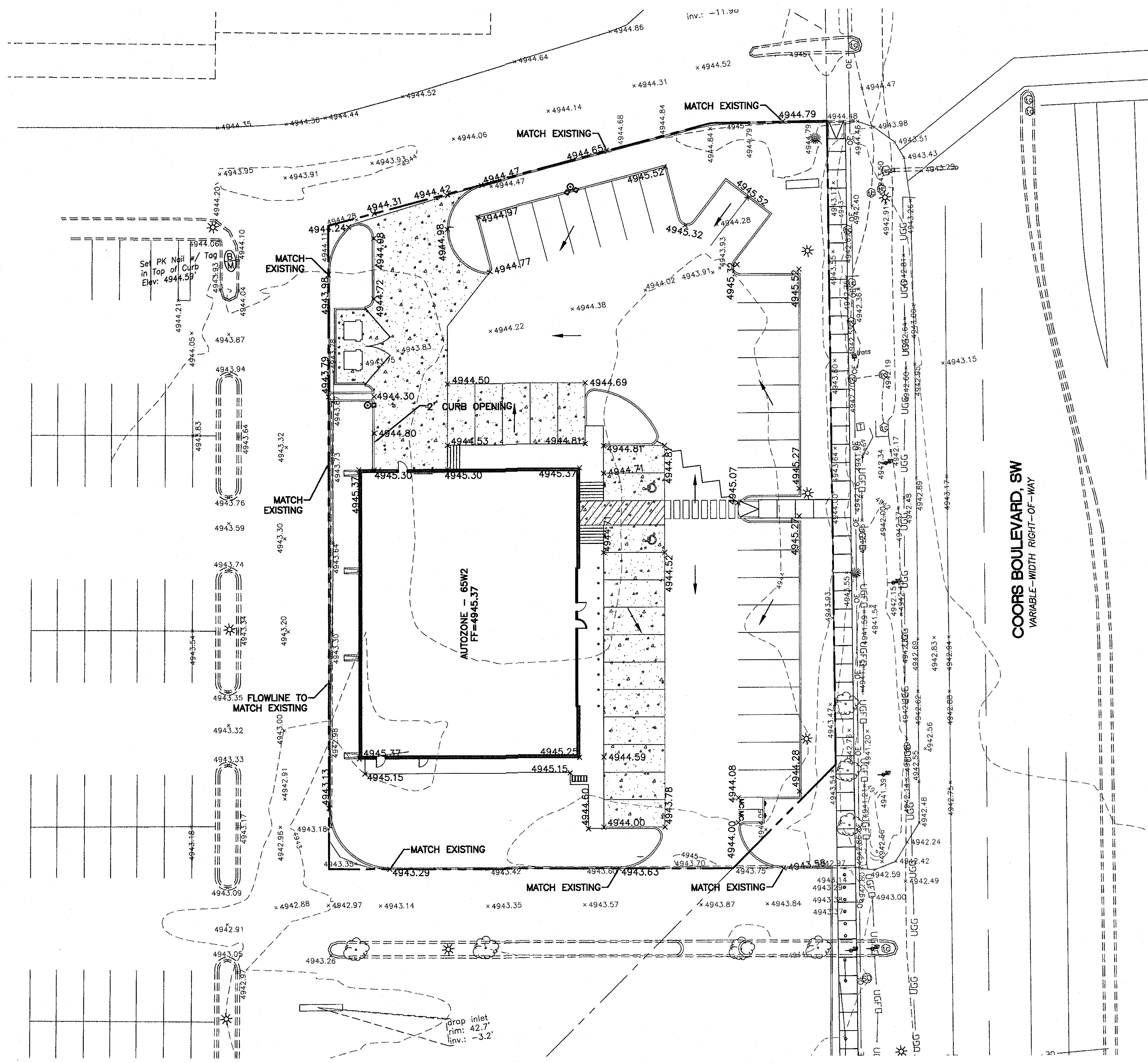
BROOKS • HENSLEY • CREAGER
ARCHITECTS, P.S., SPOKANE
121 SOUTH WALL ST. 99204
TELEPHONE 509 / 747-7181

PROJECT:
RIO BRAVO SQUARE
ALBUQUERQUE, NEW MEXICO

ISSUE DATE: 7/5/88 1/4/89
REVISIONS: 12/1/88 12/21/88

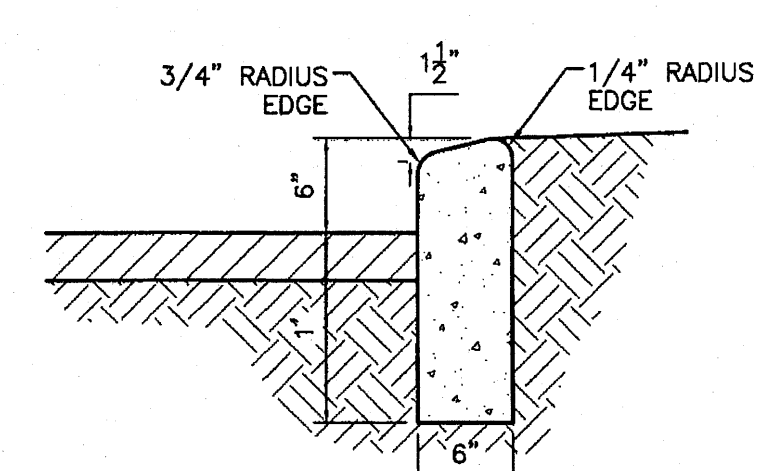
SHEET TITLE: 5/1/89
SITE PLAN & LANDSCAPING

SHEET NO: C1A



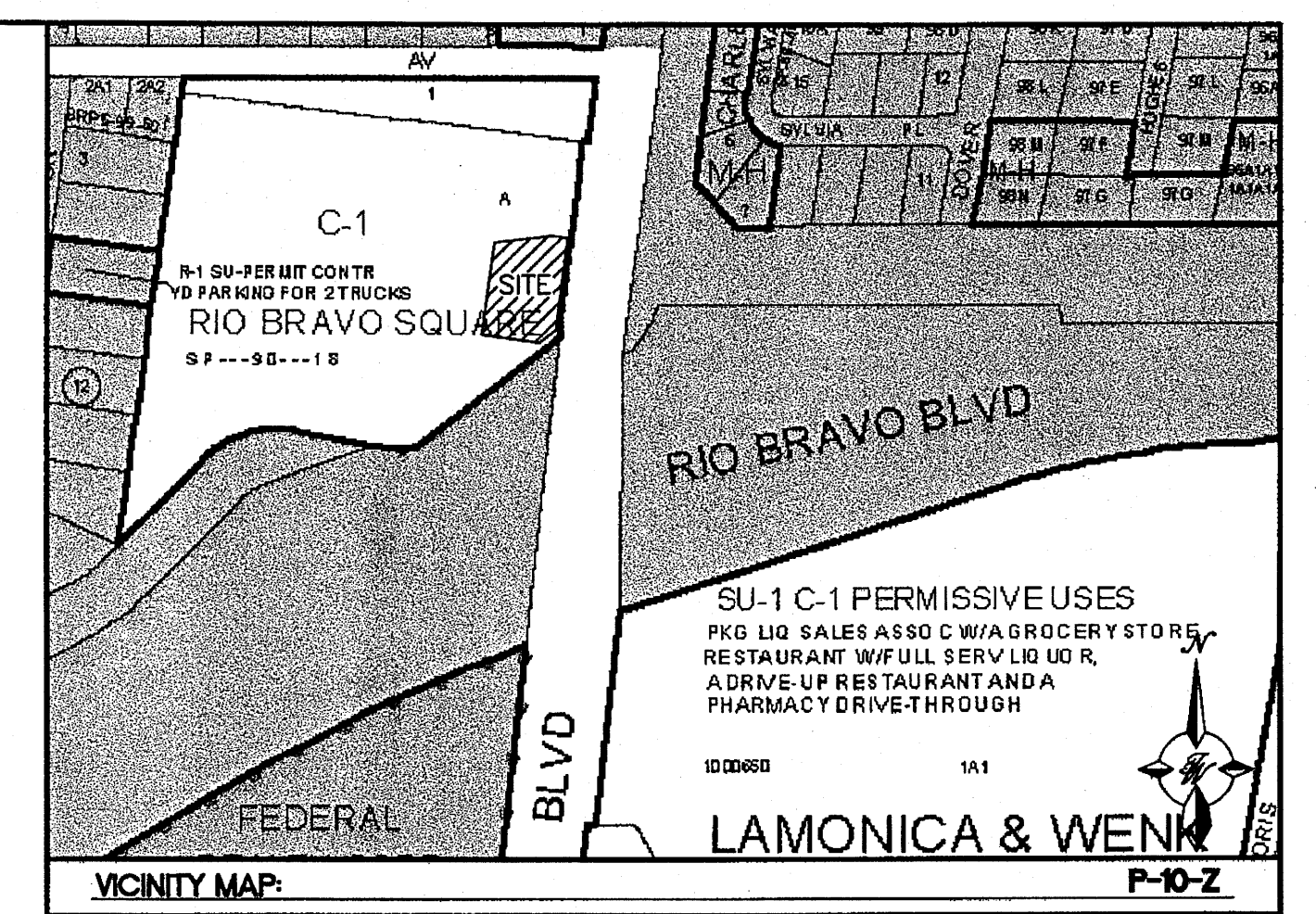
LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- 5010 CONTOUR MAJOR
- 5011 CONTOUR MINOR
- x 5048.25 SPOT ELEVATION
- FLOW ARROW
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- 5010 EXISTING CONTOUR MAJOR
- 5011 EXISTING CONTOUR MINOR
- x 5048.25 EXISTING SPOT ELEVATION
- GRADE BREAK



- CURB GENERAL NOTES:**
1. ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, PER CITY OF ALBUQUERQUE SPECIFICATIONS.
 2. PROVIDE CONTRACTION JTS. 12' MAX., SPACING 1/2" EXP. JTS. AT CURB RETURNS AND AT A MAX. SPACING OF 120' BETWEEN CURB RETURNS AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JTS., SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES.
 3. ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.
 4. 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.

6" HEADER CURB DETAIL
1"=1'



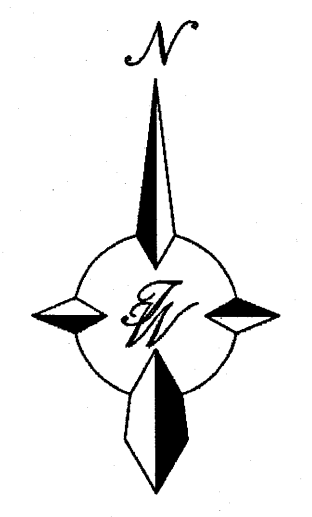
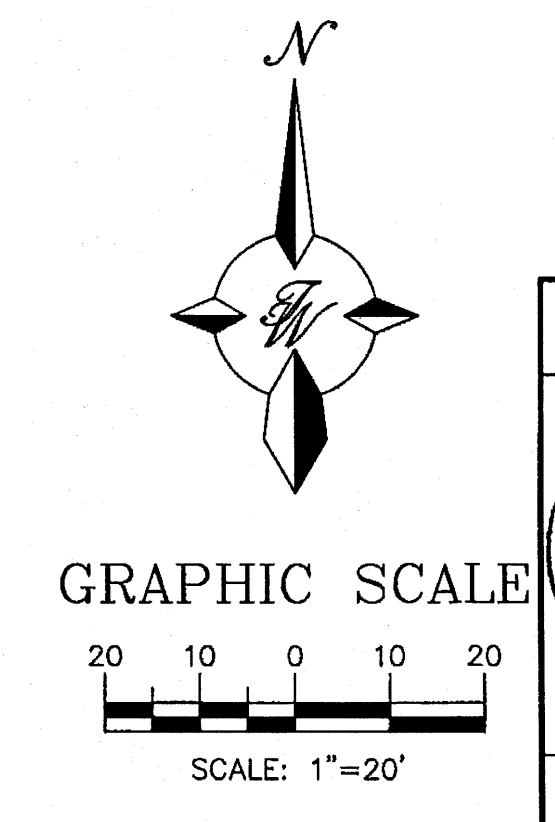
NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

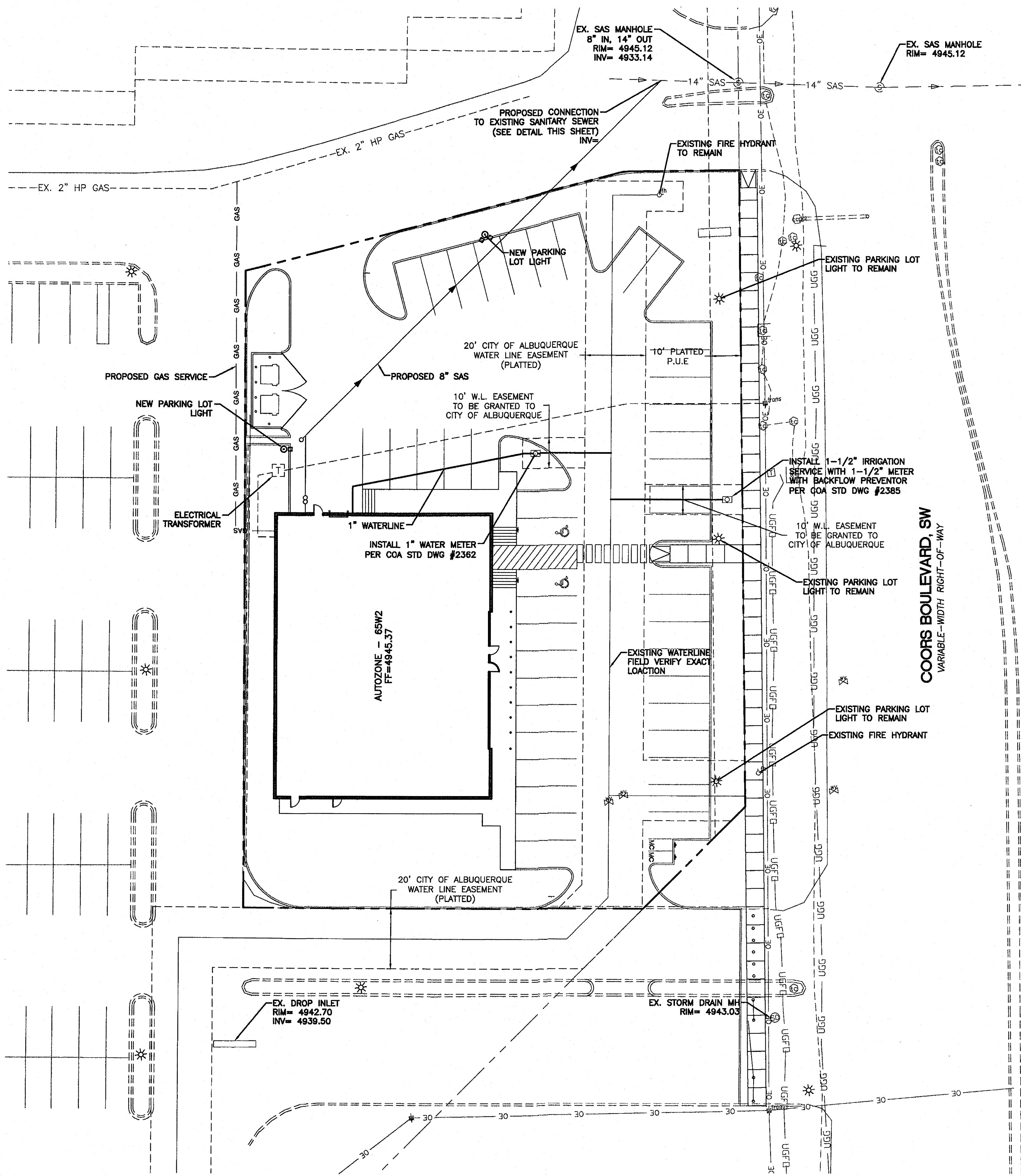
APPROVAL	NAME	DATE
INSPECTOR		

ROUGH GRADING APPROVAL _____ DATE _____

CAUTION:
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



	ENGINEER'S SEAL AUTOZONE RIO BRAVO SQUARE	DRAWN BY EMT DATE 11/26/08 28085-GRE
	GRADING AND DRAINAGE PLAN TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100	SHEET # C2 JOB # 28085

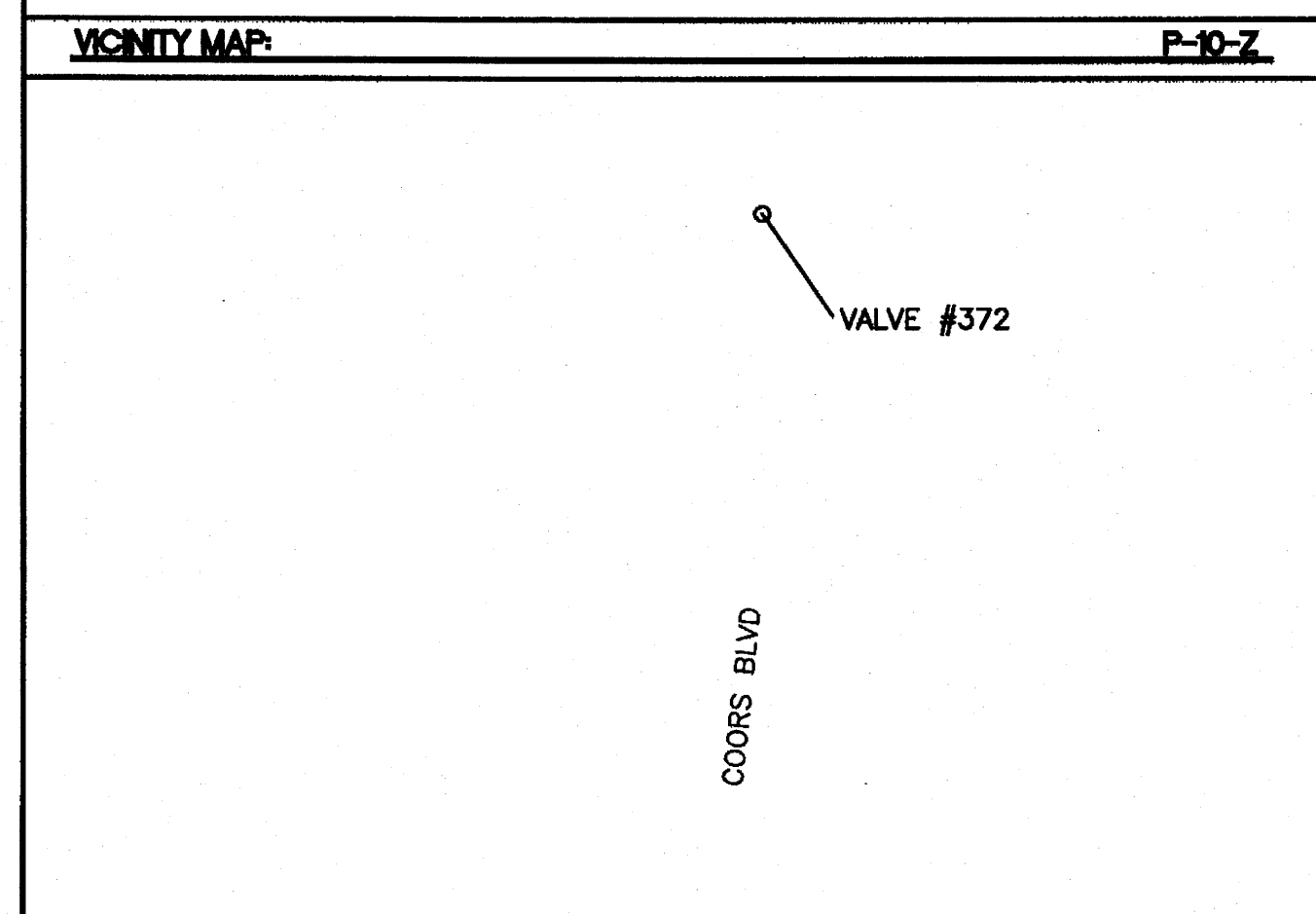
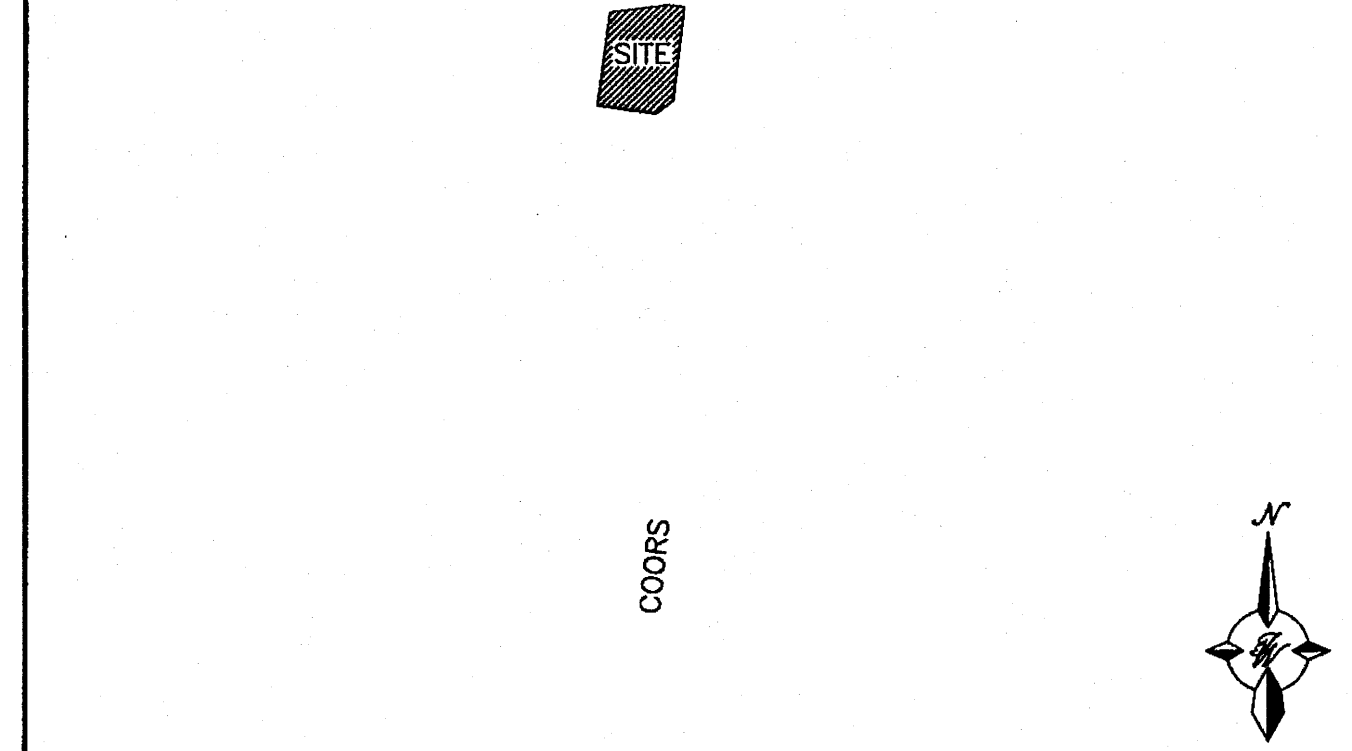


NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

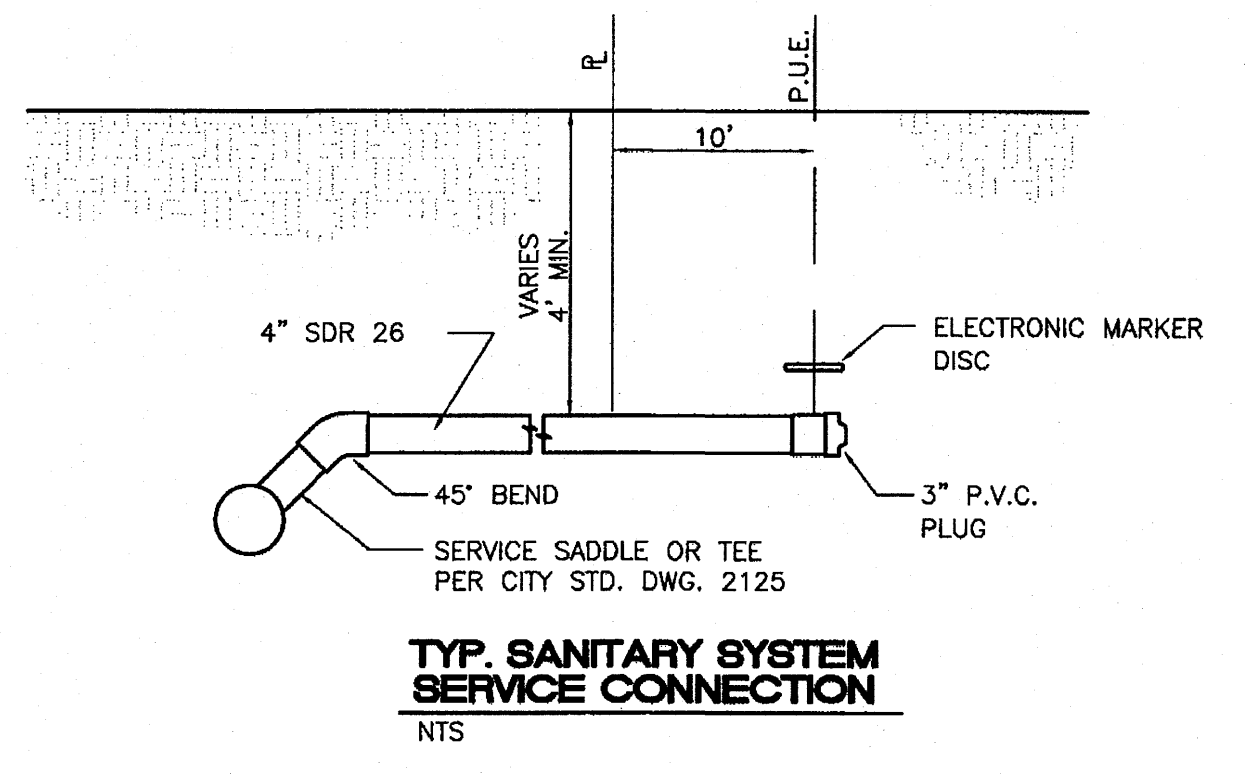
LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- - - EASEMENT
- ▨ SIDEWALK
- - - EXISTING CURB & GUTTER
- 36" SD — STORM SEWER LINE
- 8" SAS — SANITARY SEWER LINE
- 8" WL — WATERLINE
- SINGLE CLEAN OUT
- ⊙ DOUBLE CLEAN OUT
- ⊙ EXISTING SD MANHOLE
- ⊙ EXISTING INLET
- ⊙ EXISTING SAS MANHOLE
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING WATER METER
- ⊙ EXISTING POWER POLE
- ⊙ EXISTING GAS VALVE
- - - EXISTING OVERHEAD UTILITIES
- - - EX. UGE — EXISTING UNDERGROUND UTILITIES
- - - EX. 2" GAS — EXISTING GAS
- - - EX. 8" SAS — EXISTING SANITARY SEWER LINE
- - - EX. 10" WL — EXISTING WATER LINE
- - - EX. 18" RCP — EXISTING STORM SEWER LINE

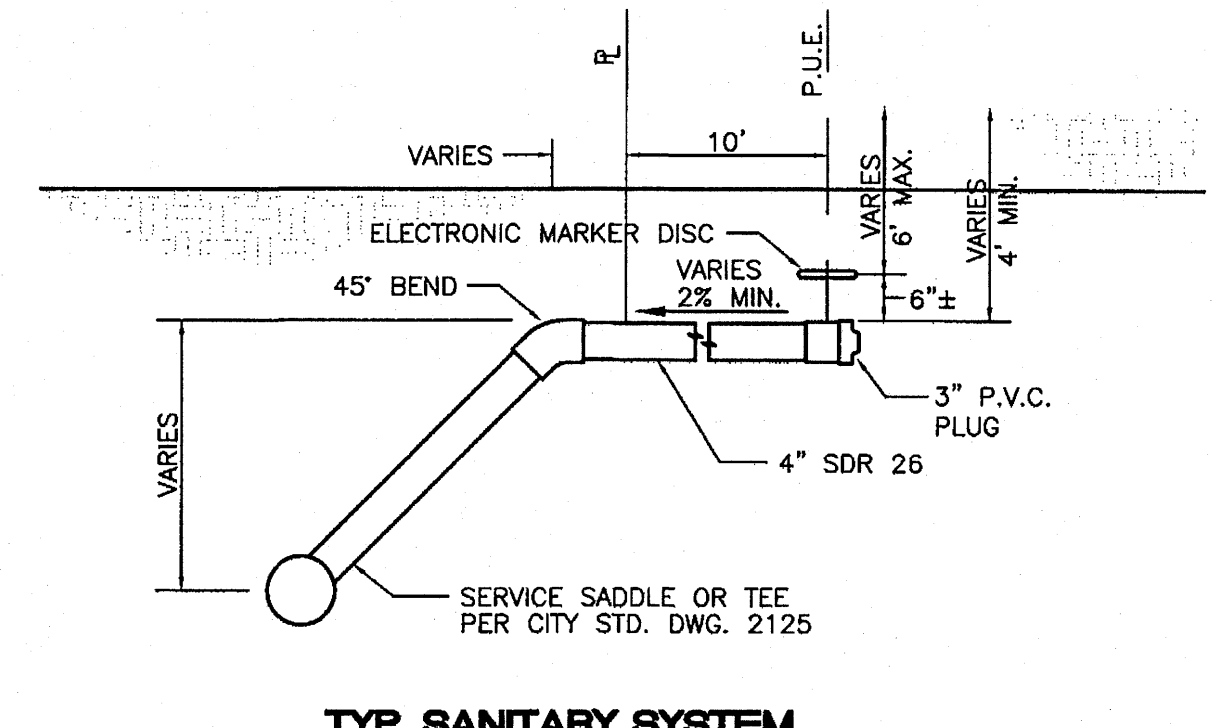


- GENERAL NOTES:**
1. ONLY ABCWUA WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
 2. NOTIFY ABCWUA WATER SYSTEMS DIVISION (PHONE 857-8200) SEVEN (7) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN.
 3. APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
 4. SHUTOFF THE VALVES INDICATED IN THE PLAN ABOVE.

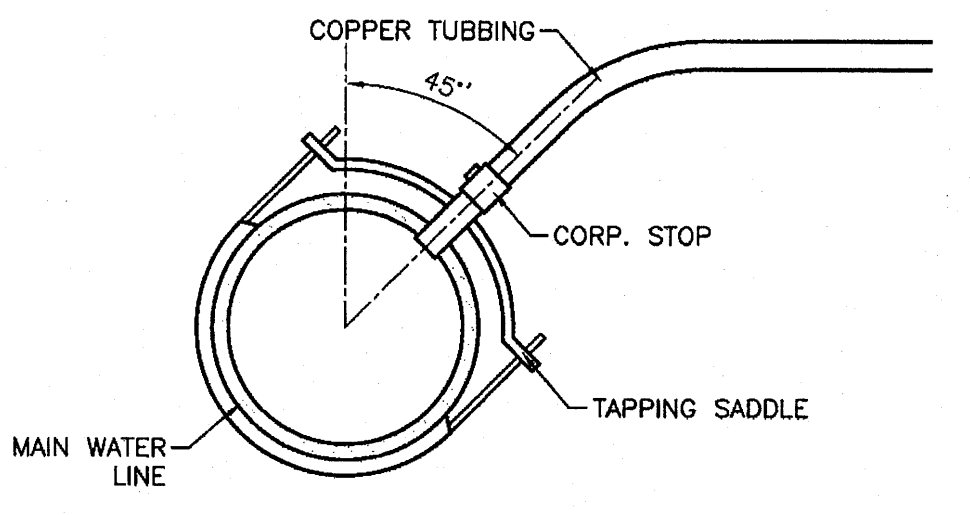
- GENERAL NOTES:**
1. 4" MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS NOTED.
 2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATION.
 3. ALL STUBS AND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
 4. CLEAN OUTS TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
 5. CLEAN OUTS & MANHOLE TIE POINTS ARE TAKEN USING THE NW PROPERTY CORNER X=10,000, Y=10,000
 6. SEE ARCHITECTURAL PLANS FOR LIGHTING CONDUITS AND TELEPHONE LINES.
 7. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.



TYP. SANITARY SYSTEM SERVICE CONNECTION
NTS

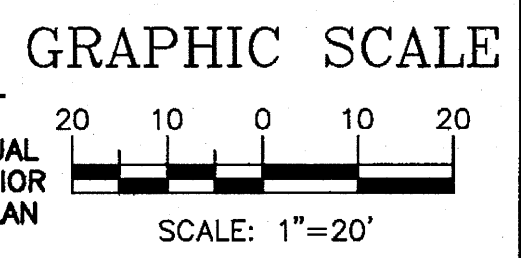


TYP. SANITARY SYSTEM SERVICE CONNECTION FOR DEEP SANITARY SEWERS
NTS

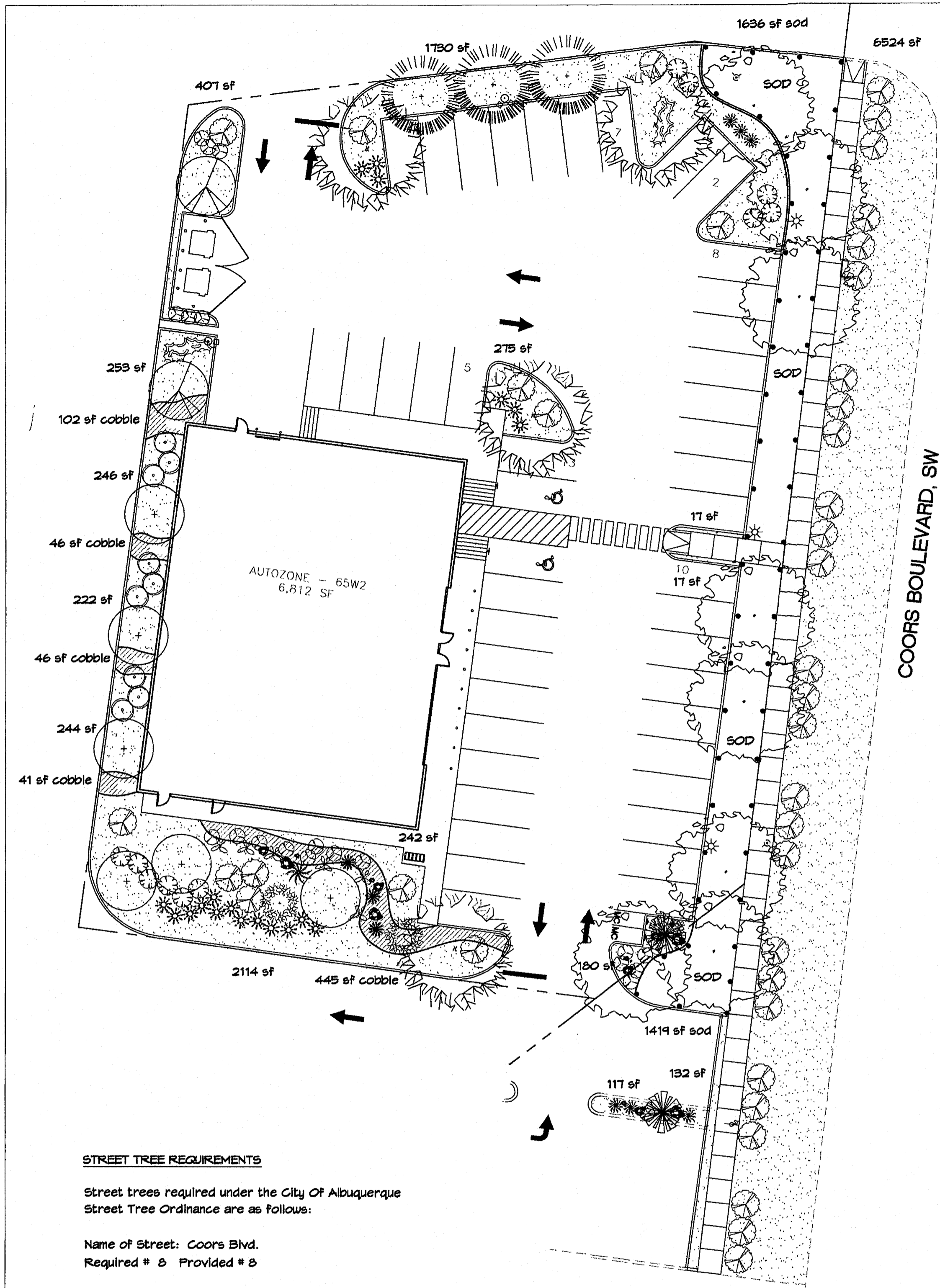


SERVICE TAP CONNECTION

CAUTION:
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



	AUTOZONE RIO BRAVO SQUARE	DRAWN BY EMT
	MASTER UTILITY PLAN	DATE 2/29/08
	5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100	28085-MUE
RONALD R. BOHANNON P.E. #7868	C3	SHEET # C3
		JOB # 28085



STREET TREE REQUIREMENTS

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Name of Street: Coors Blvd.
Required # 8 Provided # 8

PARKING LOT TREE REQUIREMENTS

Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces
Required # 4 Provided # 4

NOTE TO CLIENT:
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

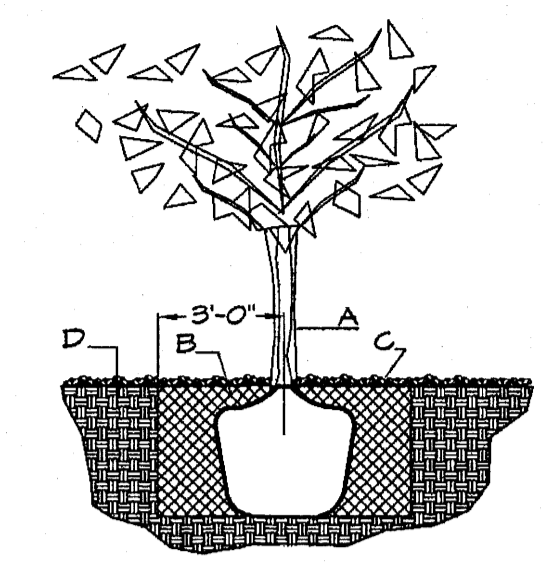
LANDSCAPE CALCULATIONS

TOTAL LOT AREA	37524	square feet
TOTAL BUILDINGS AREA	6812	square feet
NET LOT AREA	30712	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	4617	square feet
TOTAL BED PROVIDED	6876	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	5157	square feet
TOTAL GROUNDCOVER PROVIDED	5214 (76%)	square feet
TOTAL SOD AREA (max. 20% of landscape required)	3055 (31%)	square feet
TOTAL LANDSCAPE PROVIDED	9931 (92%)	square feet
PLUS: GRAVEL AREA OUTSIDE PROPERTY LINE	6524	square feet

PLANT LEGEND

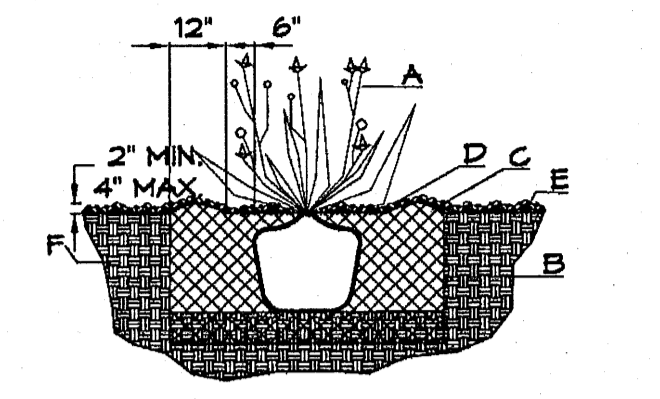
All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

- SHADE TREES PER MASTER PLAN 8**
- MARSHALL ASH 1
Fraxinus pennsylvanica 'Marshall'
 - HONEY LOCUST 1
Gleditsia triacanthos Inermis 'Shademaster'
 - LONDON PLANETREE 1
Platanus acerifolia
2" Cal., 12'-14" Inst./60' x 60' maturity
Water (M) Allergy (H) Osf
 - COMMON HACKBERRY 4
Celtis occidentalis
2" Cal., 12'-14" Inst./40' x 40' maturity
Water (M) Allergy (L) Osf
 - AUSTRIAN PINE 3
Pinus nigra
6'-8" Inst., 35' x 25' maturity
Water (M) Allergy (L) Osf
- DESERT ACCENTS**
- BANANA YUCCA 1
Yucca baccata
5 Gal., 18"-3' Inst./4' x 5' maturity
Water (L) Allergy (L) 25sf
 - PRICKLY PEAR 8
Opuntia macrocentra
5 Gal., 12"-3' Inst./3' x 3' maturity
Water (L) Allergy (L) 9sf
 - PALM YUCCA 2
Yucca faxonla
4"-8" Inst., 15' x 6' maturity
Water (L) Allergy (L) Osf
 - BLUE SOTOL 3
Dasyliion wheeleri
18"-3' Inst./5' x 5' maturity
Water (L+) Allergy (L) 25sf
- SHRUBS/ORNAMENTAL TREES FIFTEEN GAL.**
- NEW MEXICO OLIVE 6
Forestiera neomexicana
15 Gal., 4'-10" Inst./15' x 15' maturity
Water (M) Allergy (L) 225sf
 - WESTERN RED CEDAR 2
Thuja plicata 'Green Giant'
15 Gal., 4'-10" Inst./40' x 15' maturity
Water (M) Allergy (L) 225sf
- SHRUBS/ORNAMENTAL GRASSES FIVE GAL.**
- BROOM BACCHARIS 2
Baccharis sarothroides
5 Gal., 2'-4" Inst./10' x 10' maturity
Water (L+) Allergy (L) 100sf
 - RUSSIAN SAGE 4
Perovskia atriplicifolia
5 Gal., 18"-3' Inst./6' x 6' maturity
Water (M) Allergy (L) 36sf
 - CHAMISA 11
Chrysothamnus nauseosus
1 Gal., 6'-15" Inst./5' x 5' maturity
Water (L) Allergy (L) 25sf
 - DEER GRASS 20
Muhlenbergia rigens
1 Gal., 6'-15" Inst./4' x 4' maturity
Water (M) Allergy (L) 16sf
 - BLUE AVENA/OAT GRASS 6
Helictotrichon sempervirens
1 Gal., 5'-15" Inst./2' x 3' maturity
Water (M) Allergy (L) 9sf
 - WINTER JASMINE 2
Jasminum nudiflorum
1 Gal., 6'-15" Inst./4' x 12' maturity
Water (L+) Allergy (L) 144sf
 - HONEYSUCKLE 12
Lonicera japonica 'Halliana'
1 Gal., 6'-15" Inst./3' x 12' maturity
Water (M) Allergy (L) 144sf
Unstaked-Groundcover
 - PLUS HONEYSUCKLE 27
OUTSIDE PROPERTY LINE
- HARDSCAPES**
- NATURAL EDGE
 - COMMERCIAL GRADE STEEL EDGE
 - SANTA FE BROWN GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH
 - COBBLE WITH FILTER FABRIC
 - OVERSIZED GRAVEL 4 11 BOULDERS
 - SOD WITH POP UP SPRINKLERS PER MASTER PLAN
- GROUNDCOVERS**
- PLUS HONEYSUCKLE 27 OUTSIDE PROPERTY LINE



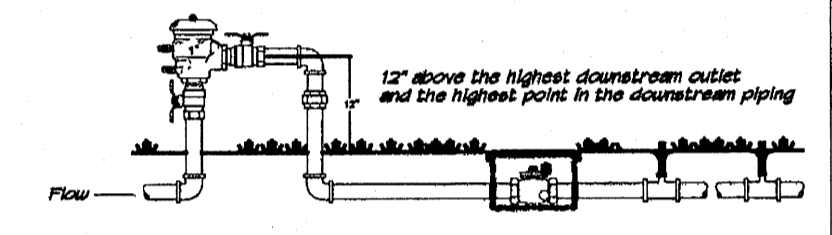
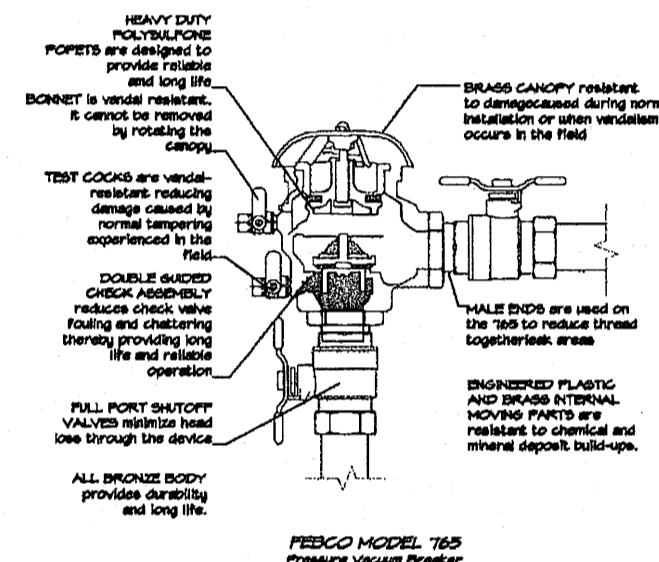
TREE PLANTING DETAIL

- NTS
GENERAL NOTES:
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.
CONSTRUCTION NOTES:
A. TREE
B. BACKFILL WITH EXISTING SOIL.
C. 3" DEPTH OF GRAVEL MULCH.
D. UNDISTURBED SOIL.



SHRUB PLANTING DETAIL

- NTS
GENERAL NOTES:
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.
CONSTRUCTION NOTES:
A. SHRUB
B. BACKFILL WITH EXISTING SOIL.
C. EARTH BERM AROUND WATER RETENTION BASIN.
D. 3" DEPTH OF GRAVEL MULCH.
E. FINISH GRADE.
F. UNDISTURBED SOIL.



LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

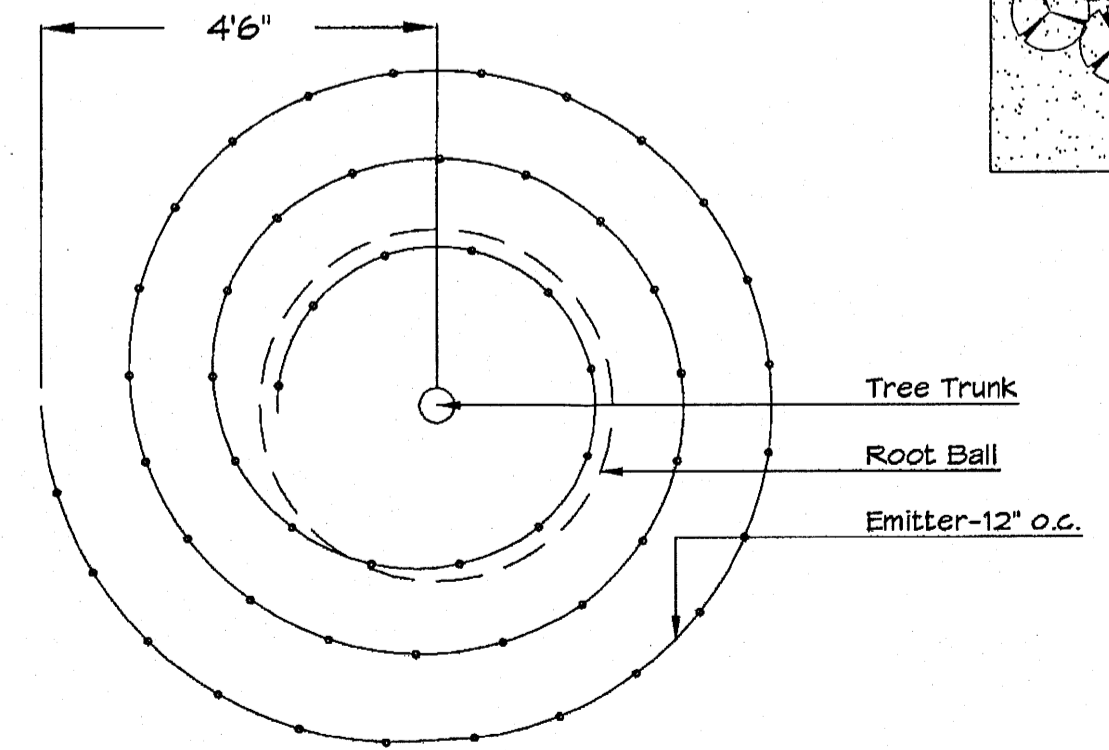
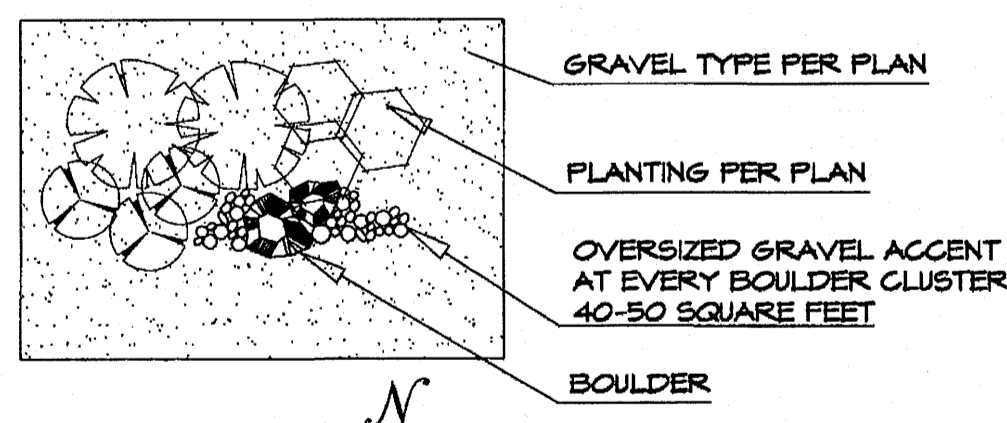
Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

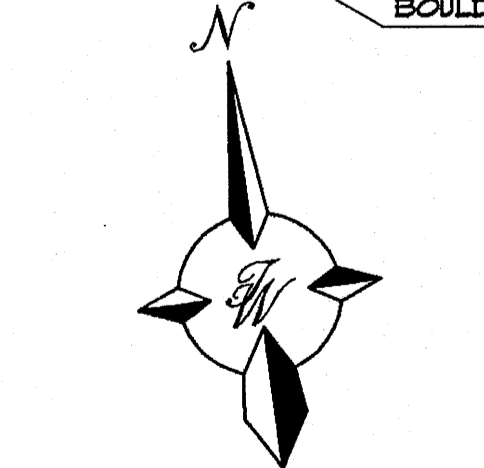
Santa Fe Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.
Point of connection for Irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.
Location of controller to be field determined and power source for controller to be provided by others.
Irrigation maintenance shall be the responsibility of the Property Owner.
Water and Power source shall be the responsibility of the Developer/Builder.

GRAVEL ACCENT DETAIL



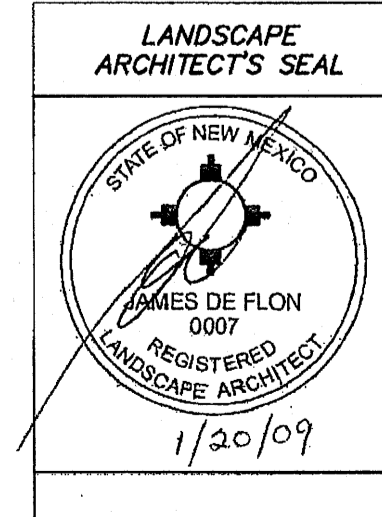
Netafim Spiral Detail



GRAPHIC SCALE

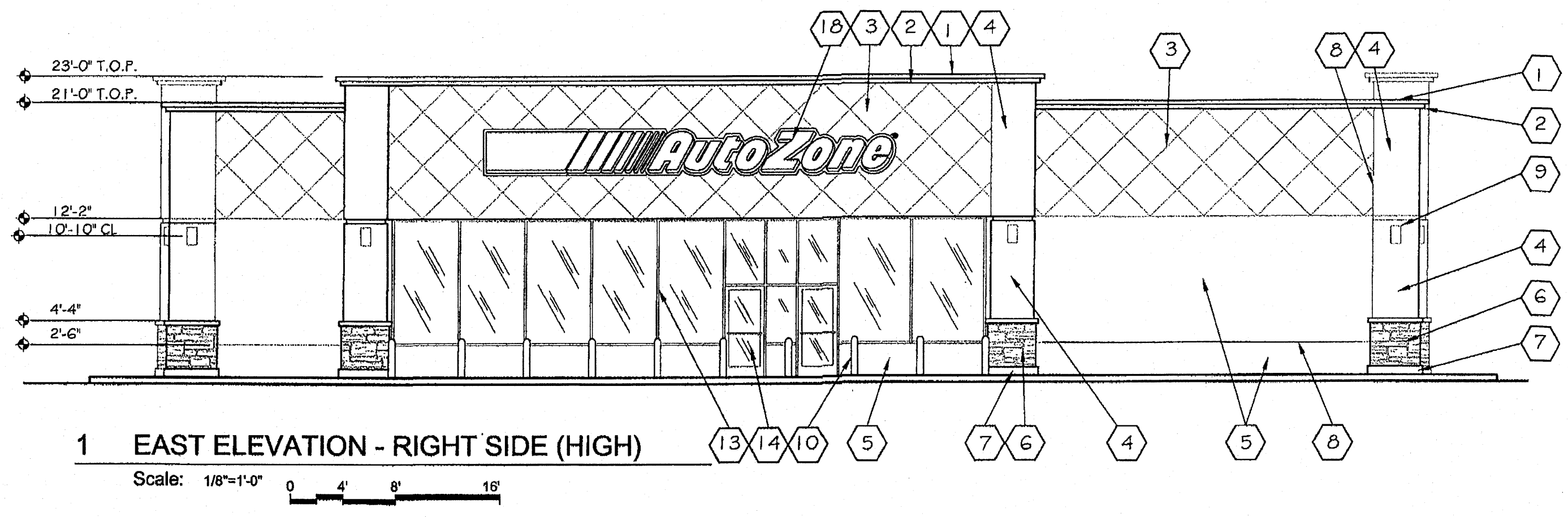
The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS

Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cm@hilltoplandscaping.com
All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be reproduced or copied unless applicable fees have been paid or job order placed. All plants shall be sized per American Standard for Nursery Stock.



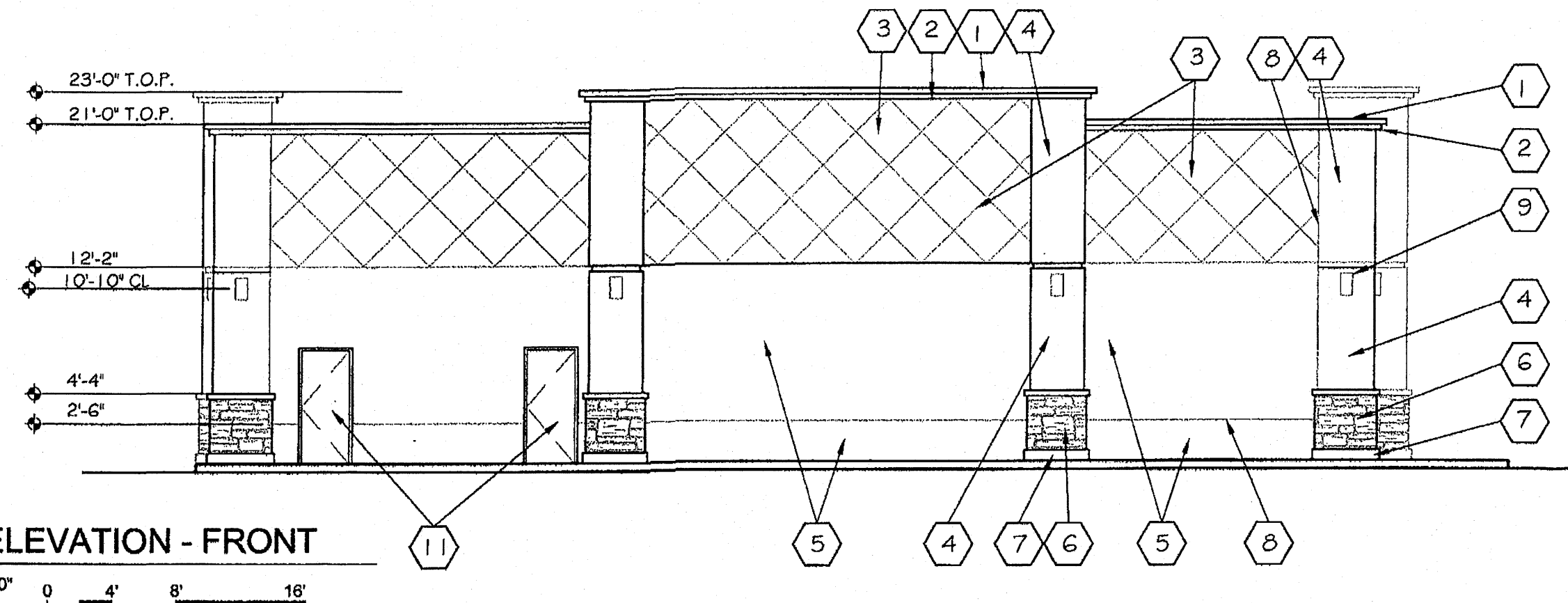
AUTOZONE RIO BRAVO SQUARE LANDSCAPE PLAN	DRAWN BY RMC
	DATE 12/15/08
TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100	28085-SPE
	SHEET # L1
	JOB # 28085

1-19-09 rmc Add more landscaping to south
1-16-09 rmc Revised site plan and match Coors master plan



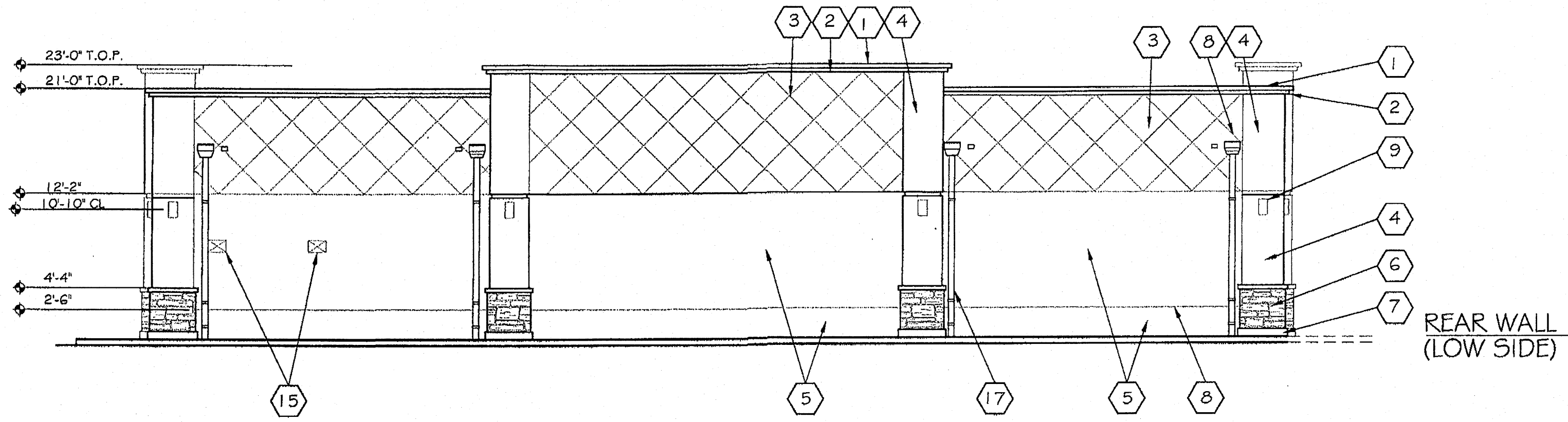
1 EAST ELEVATION - RIGHT SIDE (HIGH)

Scale: 1/8"=1'-0" 0 4' 8' 16'



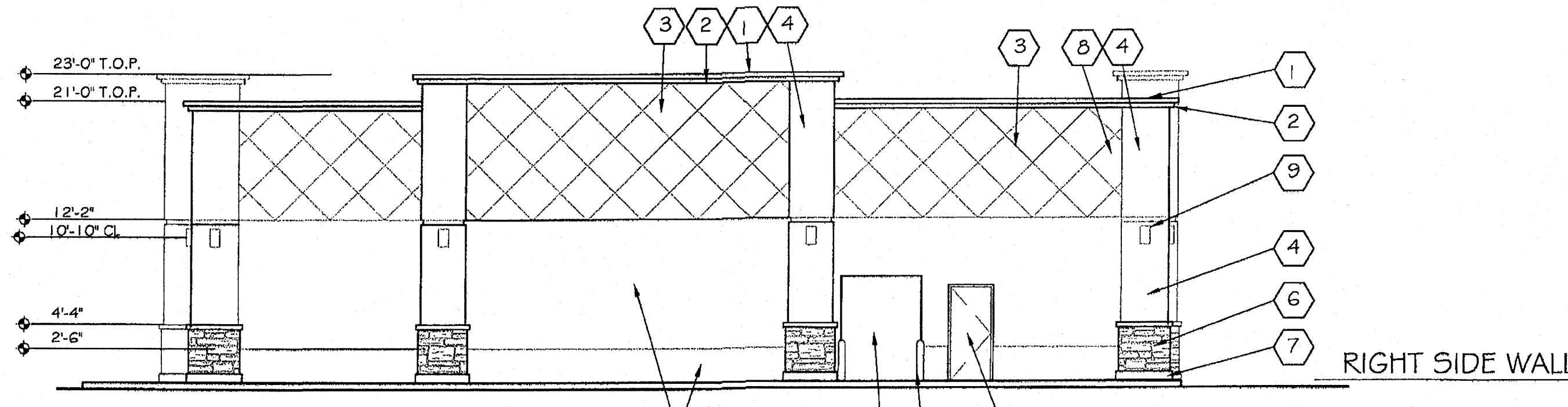
2 SOUTH ELEVATION - FRONT

Scale: 1/8"=1'-0" 0 4' 8' 16'



3 WEST ELEVATION - LEFT SIDE (LOW)

Scale: 1/8"=1'-0" 0 4' 8' 16'



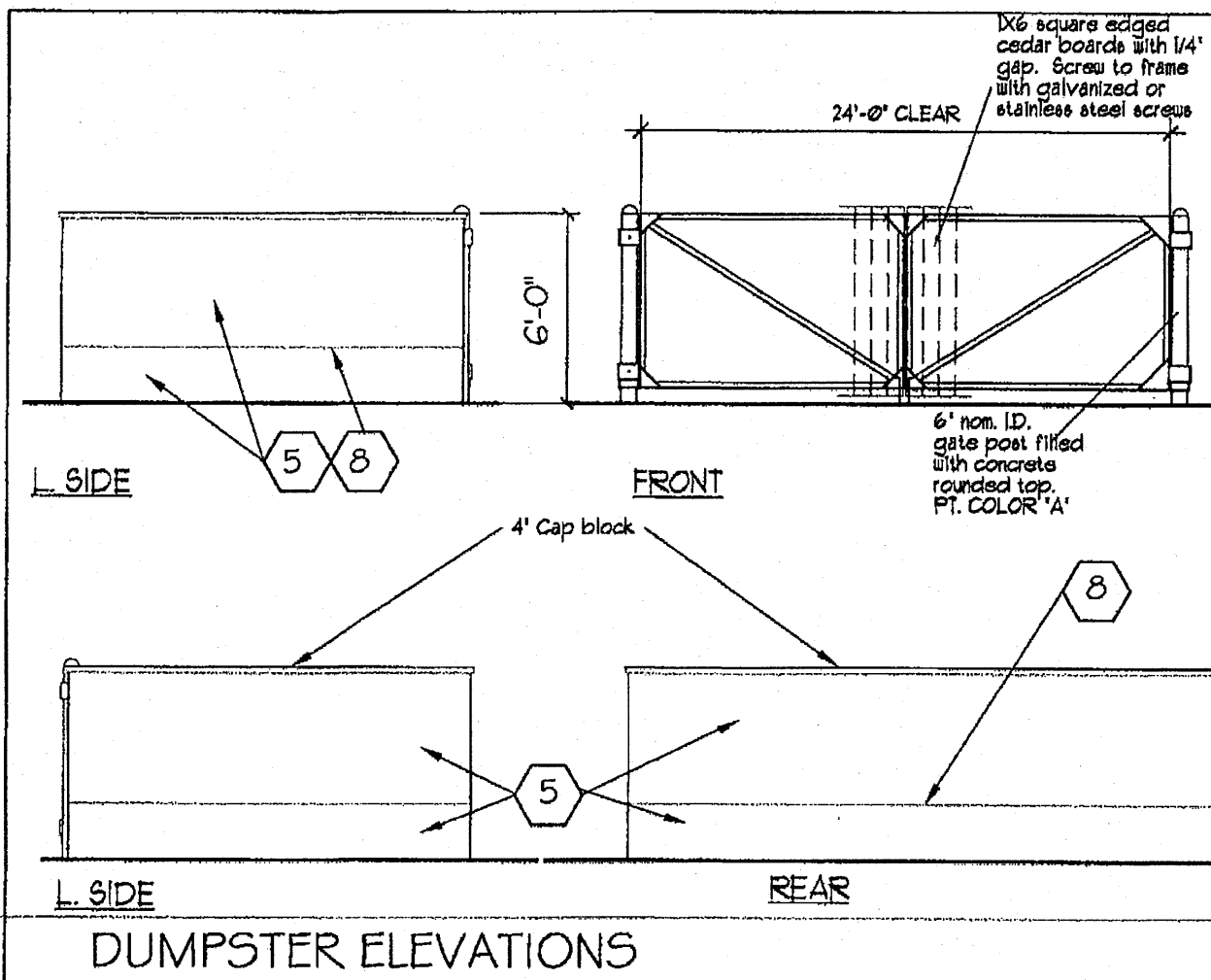
4 NORTH ELEVATION - REAR

Scale: 1/8"=1'-0" 0 4' 8' 16'

LEFT SIDE WALL

REAR WALL (LOW SIDE)

RIGHT SIDE WALL



DUMPSTER ELEVATIONS

- 1 PRIMED AND PAINTED GALVANIZED ALUMINUM COPING. COLOR "A"
- 2 E.I.F.S CORNICE. COLOR "A"
- 3 2" THICK E.I.F.S WITH 3/4" DEEP V- GROOVE SCORE JOINTS ON 2' x 2' PATTERN. COLOR "B"
- 4 2" THICK E.I.F.S COLOR "A"
- 5 SMOOTH FACE CONCRETE MASONRY UNITS WITH 1" STUCCO FINISH. COLOR "B"
- 6 OWENS CORNING PRO-FIT LEDGESTONE, AUTUMN COLOR WITH MATCHING SILL BLOCK
- 7 POURED CONCRETE BASE. BRUSHED FINISH
- 8 1" V GROOVE SCORE JOINT IN STUCCO
- 9 WALL MOUNTED LIGHT FIXTURE
- 10 PIPE GUARD WITH RED SLEEVE
- 11 PAINT MAN DOOR METAL FRAMES COLOR "B"
- 12 DO NOT PAINT OVERHEAD DOOR PAINT ANGLES COLOR "B"
- 13 ALUMINUM STOREFRONT - RED KYNAR FINISH
- 14 GLASS AND ALUMINUM DOORS - CLEAR ANODIZED FINISH
- 15 TOILET WALL VENTS PAINT TO MATCH WALL
- 16 STORE ADDRESS - 6" WHITE REFLECTIVE NUMBERS
- 17 PAINT GUTTER AND DOWNSPOUTS TO MATCH BACKGROUND WALL COLOR.
- 18 42" AUTOZONE CLOUD SIGN. RED LETTERS, ORANGE STRIPE
- 19 HVAC UNITS SCREENED BY PARAPETS

NOTE: ALL PAINTS TO BE SHERWIN WILLIAMS BRAND TO MATCH COLORS LISTED. AND SHALL MATCH EXISTING BUILDING COLORS AND MATLS.
 COLOR A - SHERWIN WILLIAMS SW6095 'TOASTY'
 COLOR B - BENJAMIN MOORE CODE 183-2B

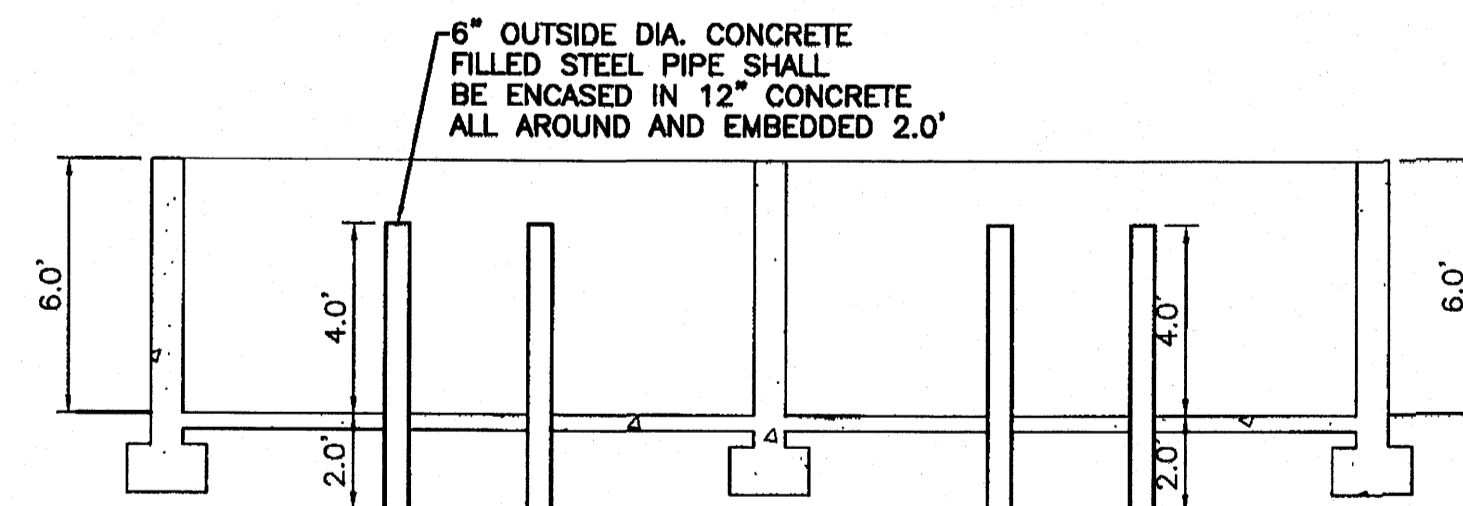
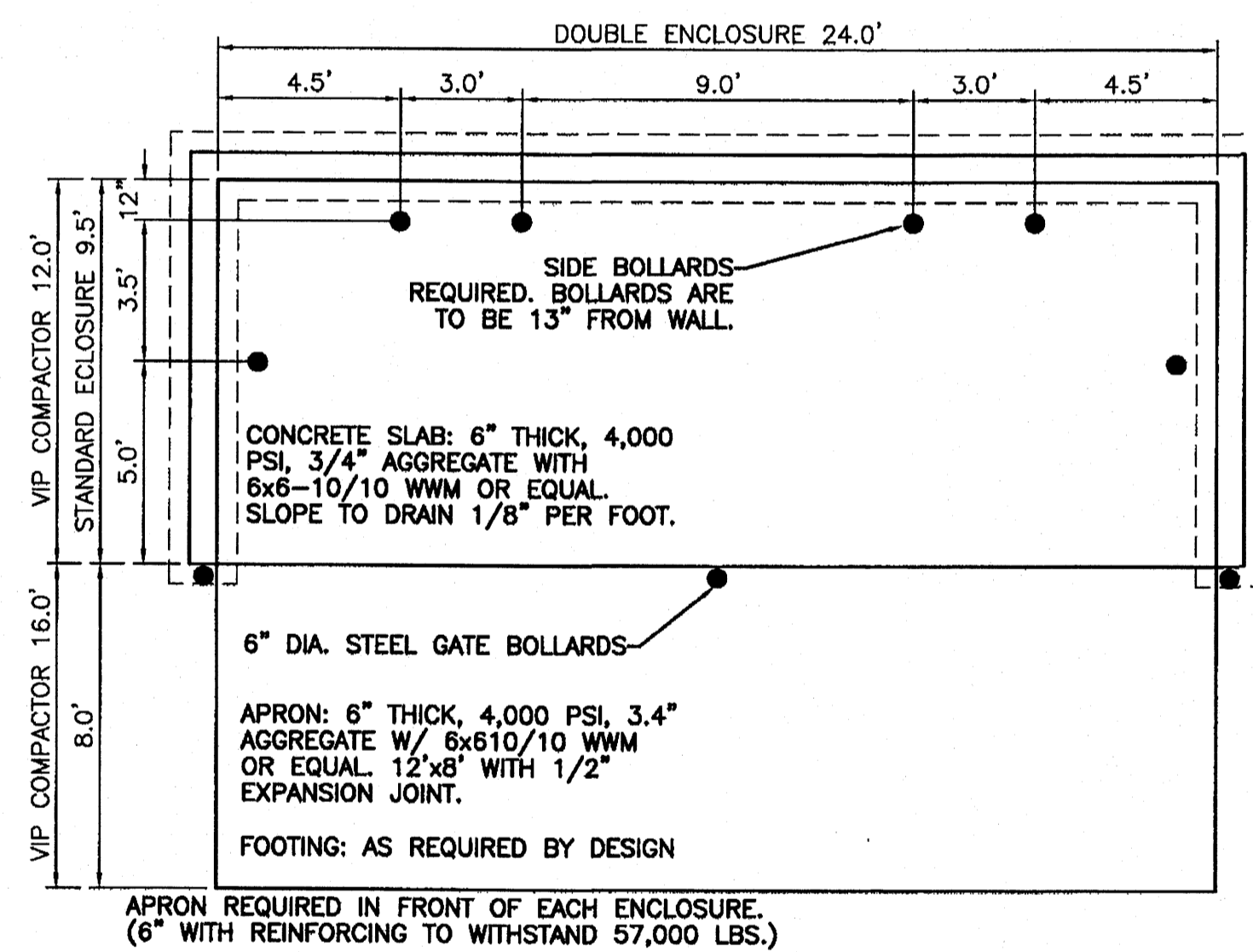
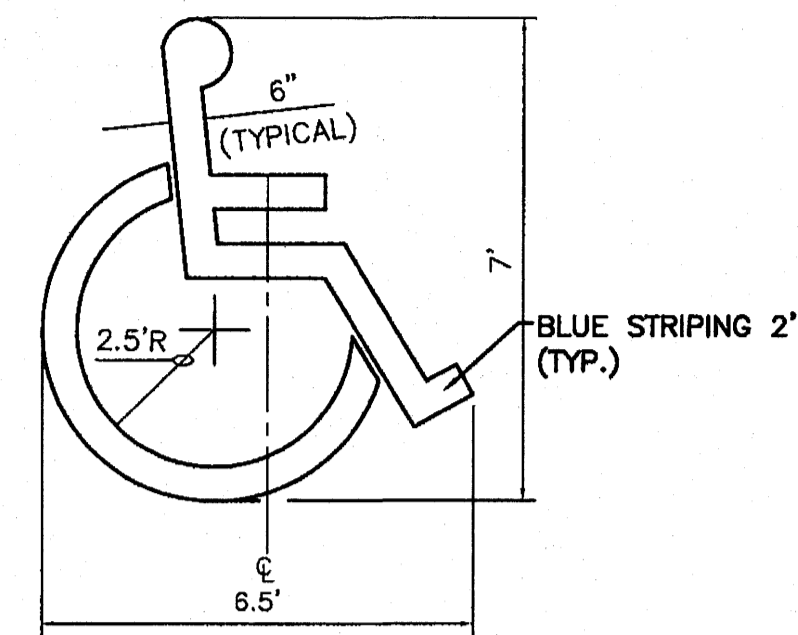
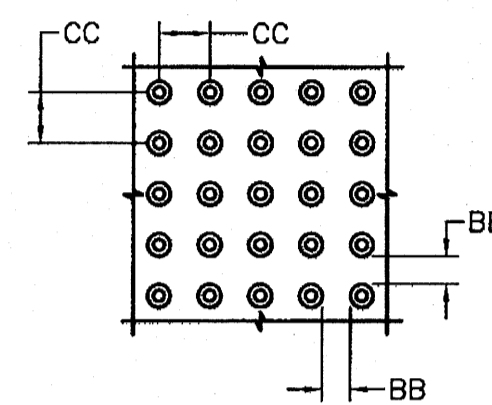
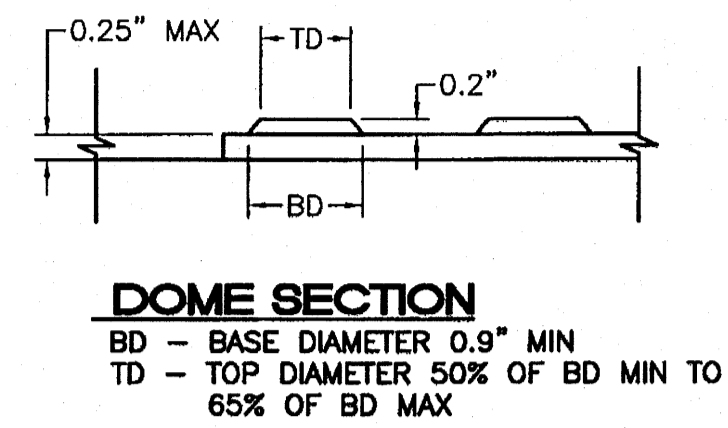
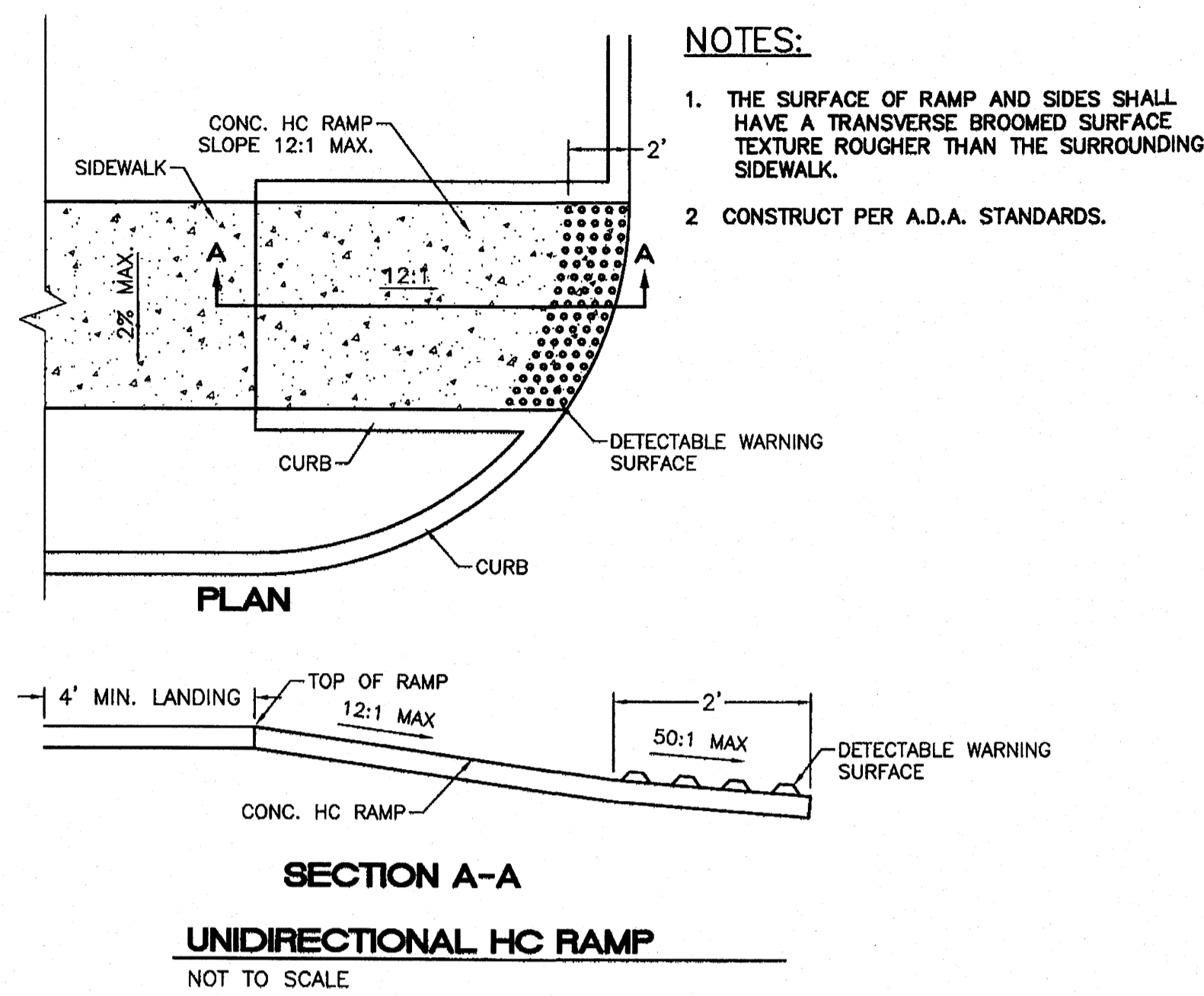
REVISIONS		
1	2	3
4	5	6

AutoZone Store No. 4051
 COORS BLVD
 ALBUQUERQUE NM 87121
EXTERIOR ELEVATIONS AND NOTES

Architect:
 123 South Front Street
 Memphis, Tennessee 38103
 TEL: 901-495-8726 FAX: (901) 495-8969

11/21/08
 65W2-R

C5



NOTE: THESE ARE THE MINIMUM REQUIREMENTS FOR TRASH ENCLOSURES. DESIGNS MAY VARY TO FIT THE SELECTED ENCLOSURE.

DOUBLE DUMPSTER ENCLOSURE DETAIL

NTS

	AUTOZONE	DRAWN BY EMT
	RIO BRAVO SQUARE	DATE 2/29/08
	DETAIL SHEET	28085-DETAIL SHEET
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100	SHEET # C6
RONALD R. BOHANNAN P.E. #7868		JOB # 28085