

SITE VICINITY MAP
 ZONE ATLAS INDEX MAP No. B-18
 SCALE 1:1000'-0"

Site Plan For Subdivision Required Information

THE SITE:
 THE SITE CONSISTS OF APPROXIMATELY 11,000 ACRES OF UNIMPROVED LAND. TRACTS H-1C (EASTERLY PORTION), EASTERLY PORTION OF LOT 1A UNIT B AND REMAINING PORTION OF LOT 28 UNIT B WILL BE REPLATTED INTO ONE TRACT A, NORTH GATEWAY THROUGH THE DEVELOPMENT REVIEW BOARD AS SHOWN ON THIS SITE PLAN AND THE CONCURRENTLY SUBMITTED REPLAT BY BOHANNON HUSTON, INC.

PROPOSED USE:
 THE SITE IS ZONED IP AND FALLS WITHIN THE NORTH I-25 SECTOR PLAN. THE INTENDED USE IS FOR A 135,000 SQUARE FOOT (MAXIMUM) SINGLE TENANT OFFICE BUILDING AND PARKING.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:
 VEHICULAR ACCESS - THE SITE IS ACCESSED FROM BALLOON FIESTA PARKWAY (73'-0" R.O.W.). TWO RIGHT-IN, RIGHT-OUT, LEFT-IN, LEFT-OUT ACCESS POINTS ARE PROPOSED TO SERVE THE SITE DEVELOPMENT SPACED NO CLOSER THAN 150'-0".
 PEDESTRIAN ACCESS - CURRENTLY SIDEWALKS DO NOT EXIST ACROSS THE BALLOON FIESTA PARKWAY FRONTAGE OF THE PROPERTY. THESE SIDEWALKS ARE PROPOSED IN THIS DEVELOPMENT.

INTERNAL CIRCULATION REQUIREMENTS:
 SINCE THE PROPOSED DEVELOPMENT IS A SINGLE PARCEL, INTERNAL CIRCULATION WILL BE VIA A PAVED PARKING AREA.

BUILDING HEIGHTS AND SETBACKS:
 SEE SHEET 3 OF 3, DESIGN STANDARDS. BUILDING HEIGHT SHALL BE CONSISTENT WITH THE NORTH I-25 SECTOR PLAN AND THE CITY OF ALBUQUERQUE COMPREHENSIVE ZONING CODE.

MAXIMUM F.A.R.:
 A MAXIMUM FLOOR AREA RATIO (F.A.R.) SHALL BE 50, CONSISTENT WITH IP ZONING.

LANDSCAPE PLAN:
 SEE THE DESIGN STANDARDS (SHEET 3 OF 3).

PROJECT NUMBER: **1000961**

DRB NUMBER: **05-00158**

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>[Signature]</i>	2-23-05
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
<i>[Signature]</i>	2-23-05
UTILITIES DIVISION	DATE
<i>[Signature]</i>	2/23/05
PARKS AND RECREATION DEPARTMENT	DATE
<i>[Signature]</i>	2/23/05
CITY ENGINEER	DATE
<i>[Signature]</i>	2/23/05
SOLID WASTE MANAGEMENT	DATE
<i>[Signature]</i>	2/23/05
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

SITE PLAN FOR SUBDIVISION
TRACT A, NORTH GATEWAY
North I-25 Office Building

AGENT:

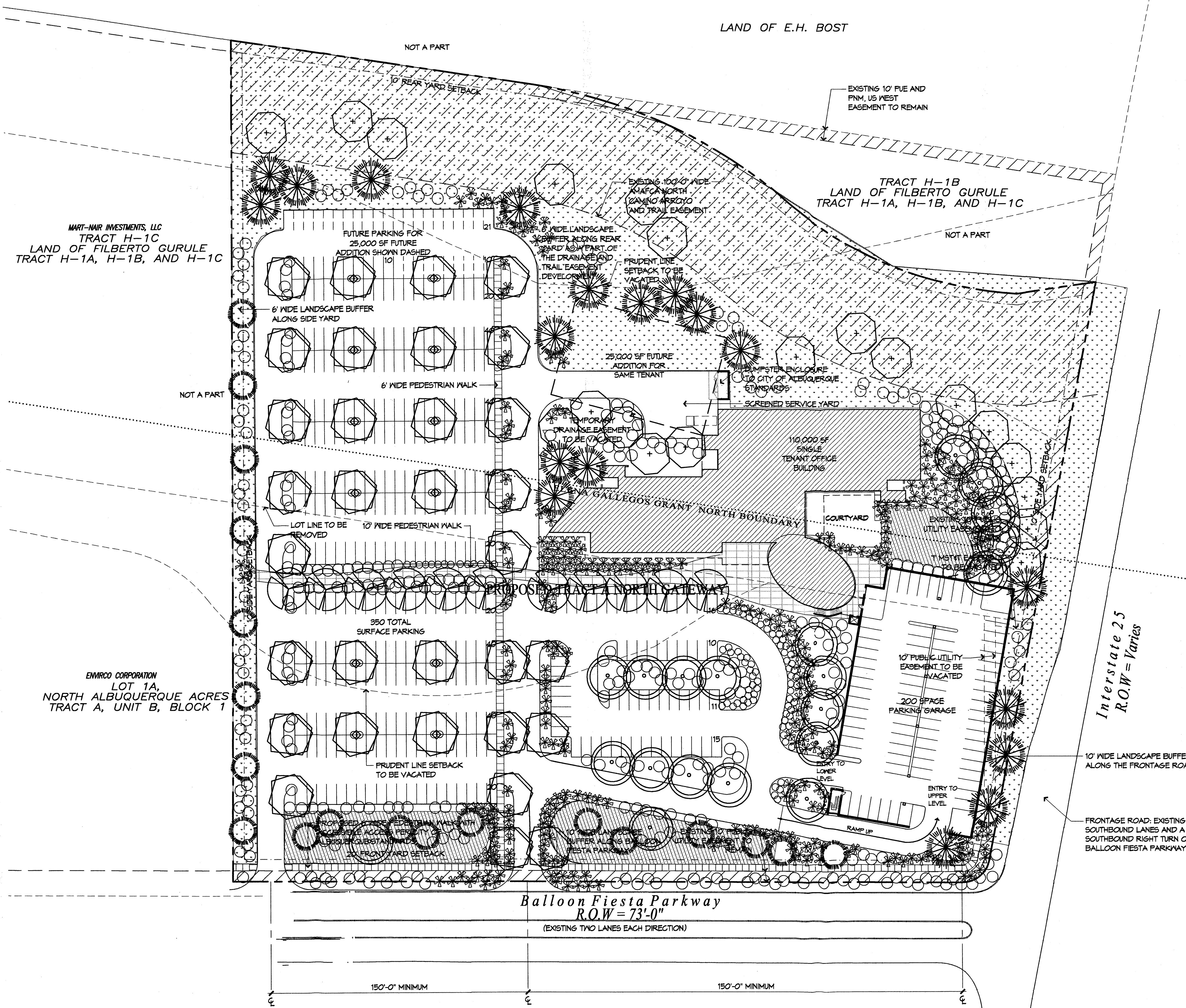
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Sheet 1 of 4
 February 21, 2005

PROJ 1000961
 1000961



PLANTING NOTES

1. THE LANDSCAPE DESIGN AND PLANTING PALETTE REFLECT THE SITE'S ENVIRONMENTAL CONTEXT WHILE CREATING A VISUALLY APPEALING AND COMFORTABLE SETTING FOR USERS OF THE SITE. NATIVE AND REGIONALLY ADAPTED PLANTS COMPRISE THE MAJORITY OF THE LANDSCAPE COVERAGE. THIS APPROACH HELPS TO RECREATE PLANT AND ANIMAL HABITAT, AND LOWER POTENTIAL WATER USE FOR IRRIGATION.
2. INSTALLATION AND MAINTENANCE OF LANDSCAPING AND IRRIGATION SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
3. THE LANDSCAPE DESIGN SHALL COMPLY WITH THE INTENT OF THE CITY OF ALBUQUERQUE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE.
4. THE USE OF HIGH WATER USE PLANT MATERIALS SHALL BE LIMITED.
5. MINIMUM INSTALLATION SIZES FOR PLANT MATERIAL VARY BY SPECIES. SEE DESIGN GUIDELINES.
6. LANDSCAPE AREAS WITHOUT SEED SHALL BE COVERED WITH 2" DEPTH OF CRUSHER FINE GRAVEL MULCH. COLOR: TAN OR BROWN.
7. IRRIGATION: AUTOMATED DRIP IRRIGATION SHALL BE PROVIDED TO TREES, SHRUBS, ACCENTS, GROUNDCOVERS AND TURF SEEDING AREAS IN HIGH VISIBILITY AREAS. MAY BE IRRIGATED WITH THE AUTOMATED SYSTEM, BUT THE MAJORITY OF SEEDED AREAS WILL NOT BE IRRIGATED.
8. PASSIVE WATER HARVESTING FROM PAVED SURFACES AND ROOF RUNOFF WILL BE USED TO SUPPLEMENT IRRIGATION WHEREVER POSSIBLE.
9. WATER USE DESCRIPTIONS REFLECT MINIMUM WATER USE REQUIREMENTS FOR THE SPECIES. "ADAPTABLE" (A) INDICATES THAT THE PLANT CAN THRIVE IN VARYING MOISTURE CONDITIONS SUCH AS DETENTION BASINS WHERE THERE MAY BE PERIODIC INUNDATION.

PLANTING LEGEND

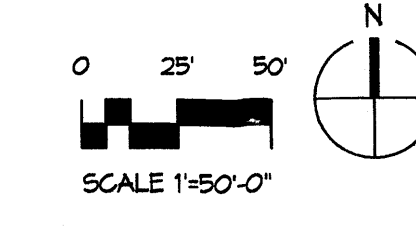
SYMBOL	APPROX QUANTITY	COMMON NAME Botanical name	WATER USE
TREES			
	19	AFGHAN PINE <i>Pinus eiderica</i>	M (MEDIUM)
	20	DESERT WILLOW <i>Chilopsis linearis</i>	L (LOW) / A (ADAPTABLE)
	20	ESCAPMENT LIVE OAK <i>Quercus fusiformis</i>	M
	19	PINON <i>Pinus edulis</i>	L
	11	RAYWOOD ASH <i>Fraxinus angustifolia "Raywood"</i>	M
	82	SHUMARD OAK <i>Quercus shumardii</i>	M
SHRUBS/PERENNIALS			
	850	APACHE PLUME <i>Fallugia paradoxa</i>	L
	115	CHERRY SAGE <i>Salvia greggii</i>	M
		FOUR-WING SALTBUUSH <i>Atriplex canescens</i>	L
		LAVENDER VAR. <i>Lavandula var.</i>	M
		PRAIRIE SAGE <i>Artemisia ludoviciana</i>	L
		ROSEMARY (SEMI-PROSTRATE) <i>Rosmarinus "Collingwood Ingram"</i>	L
		THOMPSON BROOM <i>Baccharis "Starn" Thompson</i>	L
		THREELF SAGE <i>Rhus trilobata</i>	L
		TURPENTINE BUSH <i>Ericameria laricina</i>	L
ACCENTS			
	815	AGAVE LECHUGUILLA <i>Lechuguilla</i>	L
		ALKALI SACATON <i>Sporobolus wrightii "Los Lunas"</i>	M / A
		DEER GRASS <i>Muhlenbergia rigens</i>	L / M
		MEXICAN FEATHERGRASS <i>Nasella tenuissima</i>	L
		RED HESPERALOE <i>Hesperaloe parviflora</i>	M
		SACAHUISTA <i>Nolina texana</i>	L
GROUNDCOVERS			
	3.5 AC	DRYLAND BLEND NATIVE GRASS SEED MIX Curtis & Curtis	L
	5 AC	BLUE GRAMA / BUFFALO GRASS SEED MIX Curtis & Curtis	M

**LANDSCAPE PLAN
TRACT A, NORTH GATEWAY
North I-25 Office Building**

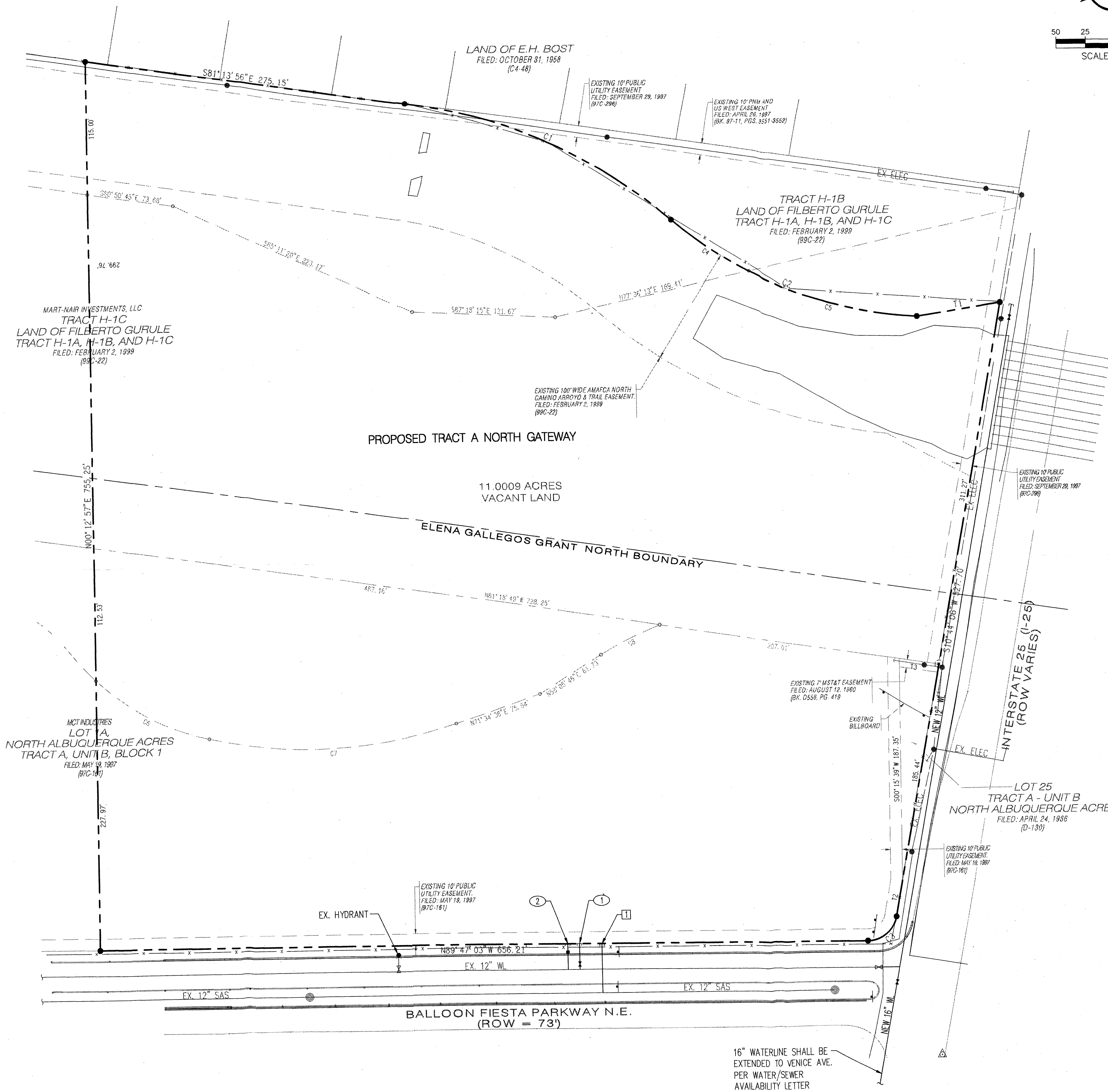
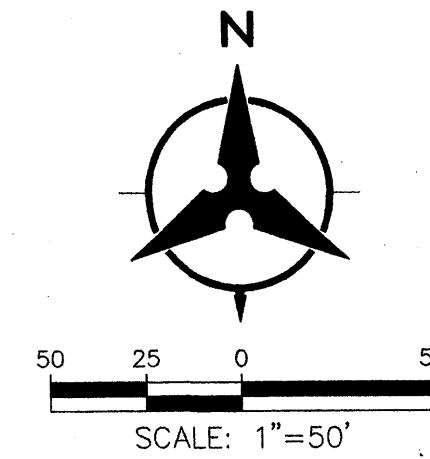
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February 21, 2005



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○ WATERLINE KEYED NOTES

1. INSTALL 12" x 6" TEE, VALVE BOX AND COVER, INSTALL 6" FIRELINE, CAP AT R/W LINE
 2. INSTALL 2" SADDLE, WATER SERVICE METER AND BOX, CAP AT R/W LINE
- NOTE: FIRE HYDRANTS SHALL BE INSTALLED ALONG PROPOSED PUBLIC WATER LINES AT THE DIRECTION OF THE FIRE MARSHALL.

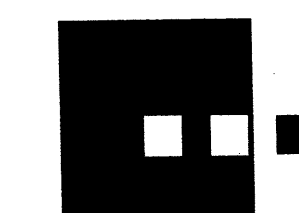
□ SANITARY SEWER KEYED NOTES

1. INSTALL 8" SAS SERVICE CAP AT R/W LINE.

CONCEPTUAL UTILITY PLAN

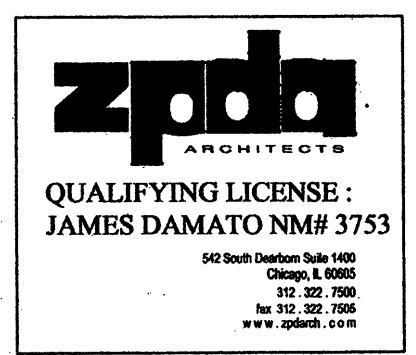
North I-25 Office Building

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QUALIFYING LICENSE:
JAMES DAMATO NM# 3753

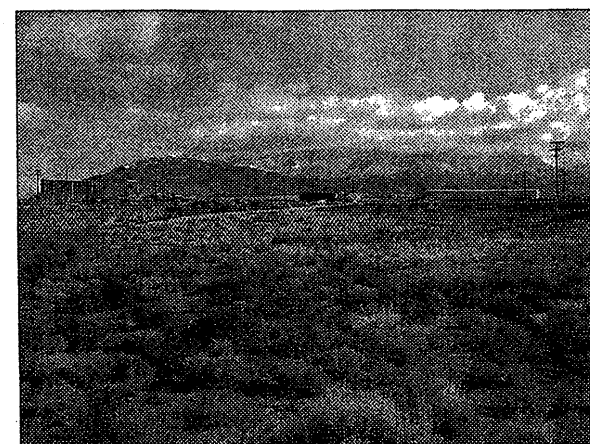
SHEET 3 of 4
February 14, 2005

Bohannon ■ Huston

Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING ■ SPATIAL DATA ■ ADVANCED TECHNOLOGIES

Design Standards

Design Standards



MOUNTAIN VIEWS FROM SITE

The purpose of these design standards is to establish a framework for the quality development of the subject development area shown on the Site Development Plan for Subdivision. These standards are being proposed for the single-tenant 110,000 sf office building and would guide a possible future expansion of 25,000 sf by the same tenant. These standards address the issues of pedestrian pathways and plazas, parking, setbacks, landscape, screen walls and fences, architecture, lighting, and signage to create the quality image desired for this development.

Subsequent Site Development Plans for Building Permit shall be consistent with the design standards established in this Site Development Plan for Subdivision and shall be approved by the planning director.

It is the design intention that this development conform with the North I-25 Sector Plan and City of Albuquerque Comprehensive Zoning Code.

Pedestrian Pathways and Plazas

Creation of a safe, pedestrian friendly environment is a primary goal of these design standards. Objectives for achieving this goal include establishing an organized and continuous network of pedestrian paths, creating a variety of outdoor sitting opportunities to take advantage of the region's fine climate and the site's mountain views, and the use of consistent site furnishings, pathway materials and lighting throughout the development. The proposed pedestrian pathway system shall include sidewalks and pedestrian pathways across parking areas and other vehicular paths, as well as a future trail along the arroyo on the north side of the property.

- Perimeter sidewalks shall be six feet wide and of concrete construction, and shall connect with the internal pedestrian pathway system.
- Pedestrian pathways through vehicular areas shall be at least six feet wide and shall be clearly demarcated through the use of contrasting paving material, such as colored concrete, brick, concrete pavers or striping.
- Pedestrian pathways connecting buildings to perimeter sidewalks shall be provided through parking areas and shall be at least six feet wide. These pathways can be provided at the perimeter of parking areas, or between parking rows.
- Plaza areas for gathering or outdoor dining shall be conveniently located near public building spaces and shall be shaded with trees and/or shade structures architecturally integrated with the adjacent building.

Parking

Lessening the impact of parking areas is a primary goal of this development; therefore, careful attention should be paid to parking area design. The overall number of parking spaces required for shall be broken into smaller areas through the careful location of pedestrian pathways or landscaped areas.

- The maximum number of parking spaces shall meet the requirements of the Albuquerque Comprehensive Zoning Ordinance.
- Handicapped parking spaces shall be provided at or near the building entry.
- Parking areas shall be designed to include pedestrian links between perimeter sidewalks and the building.
- Where parking is adjacent to public roadways, low walls, berms or landscaping shall be utilized to screen cars from view. Walls and mature landscaping shall be at least thirty inches but not more than forty-two inches tall.

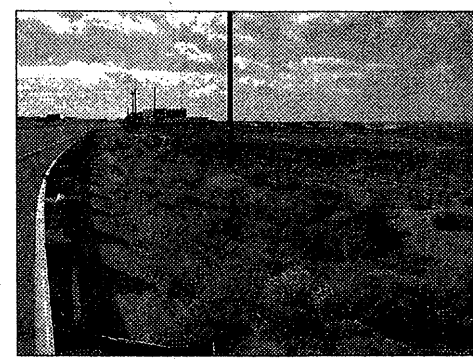
Setbacks

Building and parking area setbacks are required to create a visually appealing environment. These setbacks may contain pedestrian pathways, screen walls, landscaping and/or signage. Setbacks and buffers shall be in accordance with the Albuquerque Comprehensive Zoning Code - IP and the site development plan design standards for non-residential properties within the North I-25 Sector Plan. Refer to the section at right for the required setback off of the Frontage Road per the City of Albuquerque Comprehensive Zoning Code.

Landscape

The purpose of the following landscape standards is to establish an aesthetic that is considerate of the site's existing context and the building's design. Achieving overall project unity will generally be accomplished through a coordinated palette of low water use native and adapted plants and mulches appropriate to the site and architecture, along with a design that recognize existing patterns of density, variety and location of plant materials. The site is located in an urbanizing high desert grassland landscape adjacent to a large natural arroyo, with a strong visual connection to the Sandia Mountains. The landscape design will feature native and drought tolerant grasses to reinforce the sense of place and reduce demands for soil amendment and irrigation.

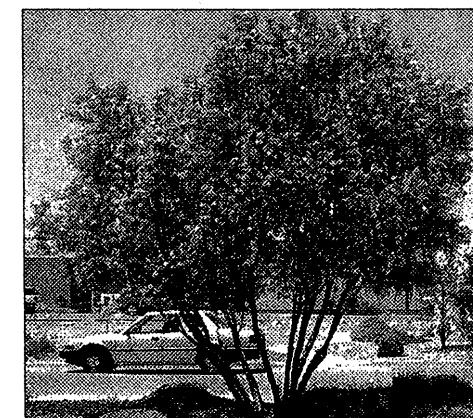
- Xeriscape principals shall be applied to all landscape areas including the use of drought tolerant plant materials and water harvesting areas where practical.
- Landscape buffers shall be provided between the site and adjacent properties and streets. A minimum buffer of 6' shall be used along side and rear property boundaries and a minimum buffer of 10' will be used along the streets to the east and south of the property.
- A minimum of 15% of the net site area will be landscape area with an emphasis placed on areas with internal street and pedestrian path exposure.
- Landscaping shall comply with the intent of the City regulation requiring 75% vegetative coverage for landscape areas.
- All planting areas shall be stabilized with either mulch, seeding or turf.
- Street trees, where required, shall comply with City of Albuquerque Street Tree planting regulations.



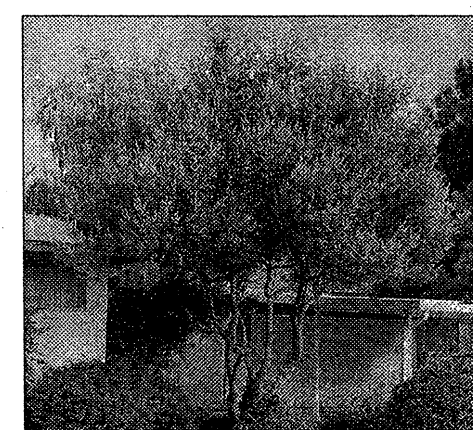
VEGETATION ALONG INTERSTATE 25



ROSEMARY



DESERT WILLOW



CHASTE TREE

- The landscape treatment at prominent entryways shall achieve a greater concentration or density of plant material.
- Off street parking areas shall have a minimum of one tree for every ten parking spaces.
- A minimum 36" high wall or landscape screen, or a combination of the wall and plantings, shall be used to obscure views of parking areas from adjacent right of way.
- An automatic underground irrigation system will be used to support landscaping. Irrigation components will be checked periodically to ensure maximum efficiency.
- All plant material including trees, shrubs and groundcovers shall be maintained by owners in living, attractive conditions. All area shall be maintained free of weeds and litter.
- The plant palette may consist of native native perennials and the species in the following list:

Trees:

- Afghan Pine, *Pinus eldarica*
- Ash (Modesto), *Fraxinus velutina "Modesto"*
- Ash (Raywood), *Fraxinus angustifolia "Raywood"*
- Chaste Tree, *Vitex agnus-castus*
- Chinese Pistache, *Pistacia chinensis*
- Desert Willow, *Chilopsis linearis*
- Escarpment Live Oak, *Quercus fusiformis*
- One Seed Juniper, *Juniperus monosperma*

Shrubs:

- Apache Plume, *Fallugia paradoxa*
- Chamisa, *Chrysothamnus nauseosus*
- Cherry Sage, *Salvia greggii*
- Cotoneaster var., *Cotoneaster var.*
- Blue Mist Shrub, *Caryopteris clandonensis*
- Butterfly Bush var., *Buddleia var.*
- Saltbush var., *Atriplex var.*
- Sage var., *Artemisia var.*
- Rosemary (Semi-Prostrate), *Rosemarinus prostratus var.*
- Thompson Broom, *Baccharis "Starn" "Thompson"*
- Three Leaf Sumac, *Rhus trilobata*
- Turpentine Bush, *Ericameria laricina*

Accents and Ornamental Grasses

- Alkali Sacaton "Los Lunas", *Sporobolus wrightii "Los Lunas"*
- Beargrass, *Nolina texana*
- Deer Grass, *Muhlenbergia rigens*
- Prickly Pear Cactus, *Opuntia var.*
- Red Yucca, *Hesperaloe parviflora*
- Regal Mist Grass, *Muhlenbergia capillaris "Regal Mist"*
- Mexican Feathergrass, *Nassella tenuissima*
- Yucca var., *Yucca var.*

Ground Covers and Grasses

- Blue Grama Grass (Hachita), *Bouteloua gracilis "Hachita"*
- Buffalo Grass (Legacy), *Bucheloe dactyloides "Legacy"*
- Galleta Grass (Viva), *Hilaria jamesii "Viva"*
- Seed Mixes
 - Plants of the Southwest: Dryland Blend, Sandy Soil Stabilizer, High Desert Wildflower Mix
 - Curtis and Curtis: Pioneer's Pride or Homesteader's Choice native grass seed blends, Llano Estacado or Showy Plains and Juniper Hills wildflower mixes.

Minimum planting sizes shall be as follows:

- Trees:
 - 24" Box: Desert Willow, Chaste Tree
 - 20 Gal.: Escarpment Live Oak
 - 6/B&B: Afghan Pine, One Seed Juniper
 - 2" Caliper: Ash, Golden Rain Tree, Chinese Pistache

Shrubs

- 1 Gallon: Apache Plume, Chamisa, Cherry Sage, Blue Mist Shrub, Butterfly Bush, Powis Castle Sage, Prairie Sage, Saltbush, Thompson Broom, Turpentine Bush
- 5 Gallon: Cotoneaster and Rosemary

Accents and Ornamental Grasses

- 1 Gallon: Alkali Sacaton, Beargrass, Mexican Feathergrass, Regal Mist Grass, and Yucca
- 5 Gallon: Red Yucca, Prickly Pear Cactus

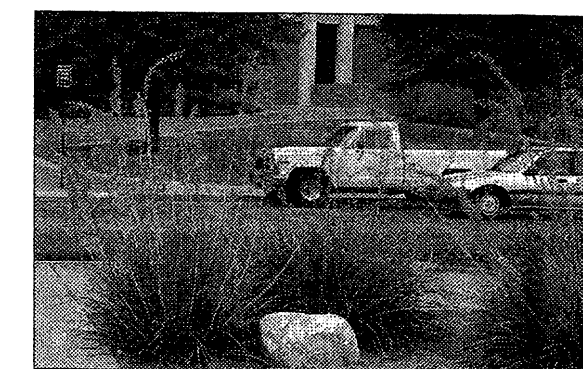
Ground Covers and Perennials

- Plugs (For turf areas only): Blue Grama Grass, Buffalo Grass, and Galleta Grass
- 1 Gallon: Blue Grama Grass, Buffalo Grass, Galleta Grass, Perennials

Screen Walls and Fences

Screening of equipment and utilitarian spaces will reinforce the overall quality and appearance of the development. These screening requirements are in addition to those listed in the parking and landscape sections.

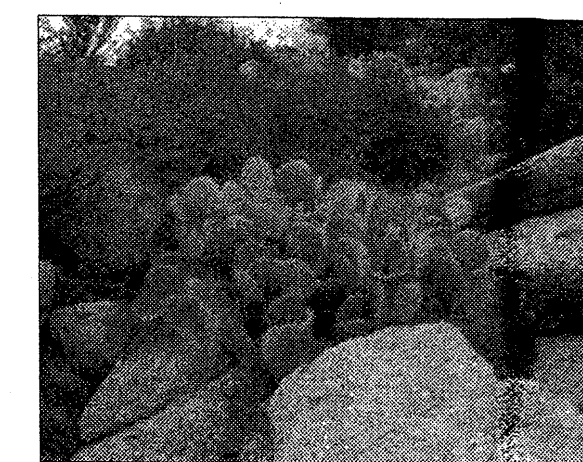
- Refuse containers shall be screened from view through the use of walls at least six feet high that are architecturally coordinated with the buildings they serve and meet City design standards. Refuse encloses shall be further screened through the use of trees and shrubs.
- Loading areas shall be located, if possible, at the rear of buildings and away from public streets. Loading areas that are visible from public streets shall be screened through the use of walls at least six feet high that are architecturally coordinated with the buildings they serve.
- Roof and ground mounted equipment shall be screened from public view through the use of walls that are architecturally coordinated with the buildings they serve.
- Perimeter walls and fences, if used, shall be designed to be architecturally coordinated with the buildings they serve. Openings for pedestrian pathways shall be provided where they occur. The use of barbed wire, concertina wire, chain link or plastic fencing is not allowed.



RED YUCCA



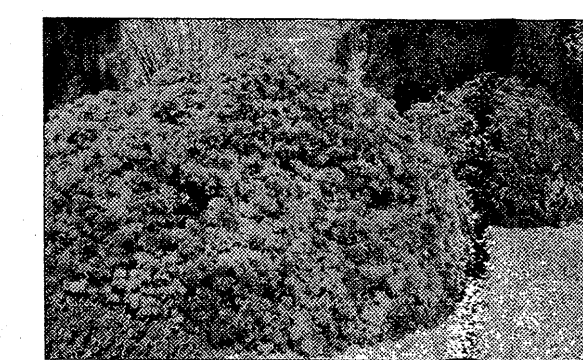
MEXICAN FEATHERGRASS



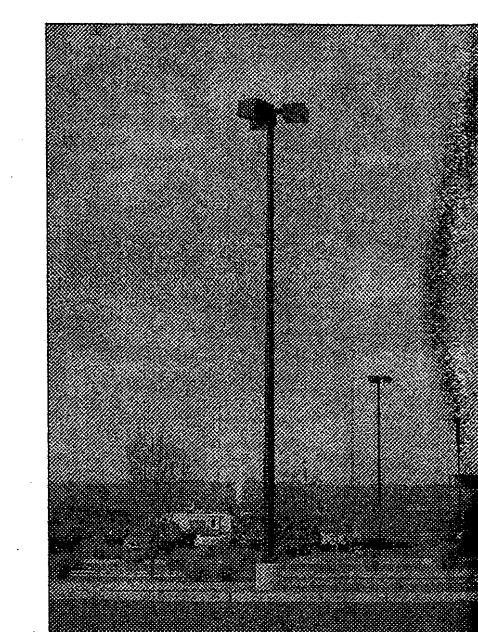
PRICKLY PEAR



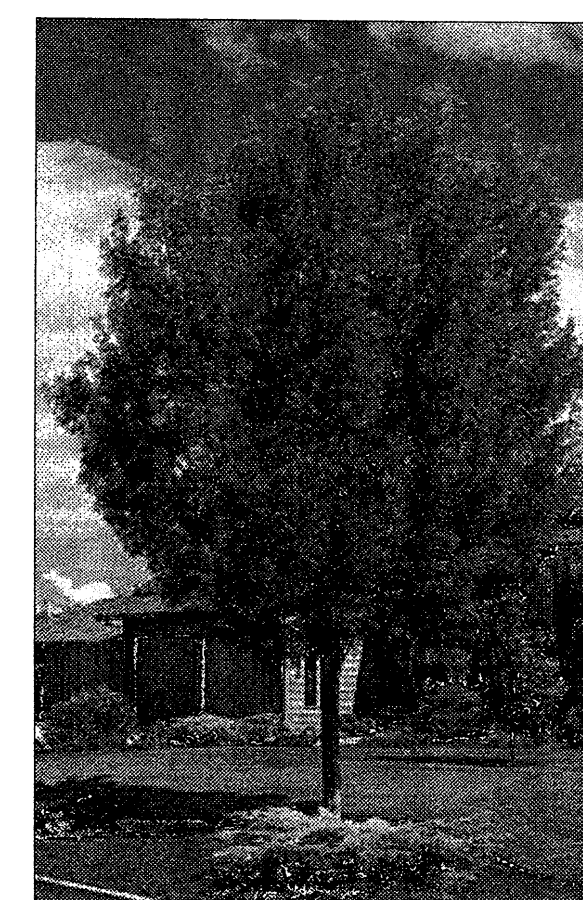
DEER GRASS



TURPENTINE BUSH



TYPICAL PARKING LOT LIGHT



RAYWOOD ASH

Architecture

The creation of a quality architectural environment that is in harmony with the site's context as gateway to Albuquerque's north side is a primary goal of these design standards. The design of the building must present itself as a state-of-the-art building to the freeway, while oriented and detailed to take advantage of the spectacular mountain views and illumination of the New Mexico sun.

To meet these goals, the building will consist of large faces of glass appropriately oriented for views and acceptance of daylighting, deeply punched openings towards the harsh west sun and other components similar in context as existing buildings along the North I-25 corridor.

The single-tenant office building will be comprised of a maximum of 110,000 square feet, with the possible future expansion of 25,000 square feet for the same tenant is proposed.

- All structures, including walls, screens, and ancillary structures, shall be architecturally coordinated with the building.
- The use of architecturally integrated shading devices along pedestrian pathways adjacent to building facades is encouraged. Shading devices with light shelves for the Office glazing is also encouraged.
- Building detailing, colors and materials shall be selected to reinforce New Mexico's unique architectural character.

Lighting

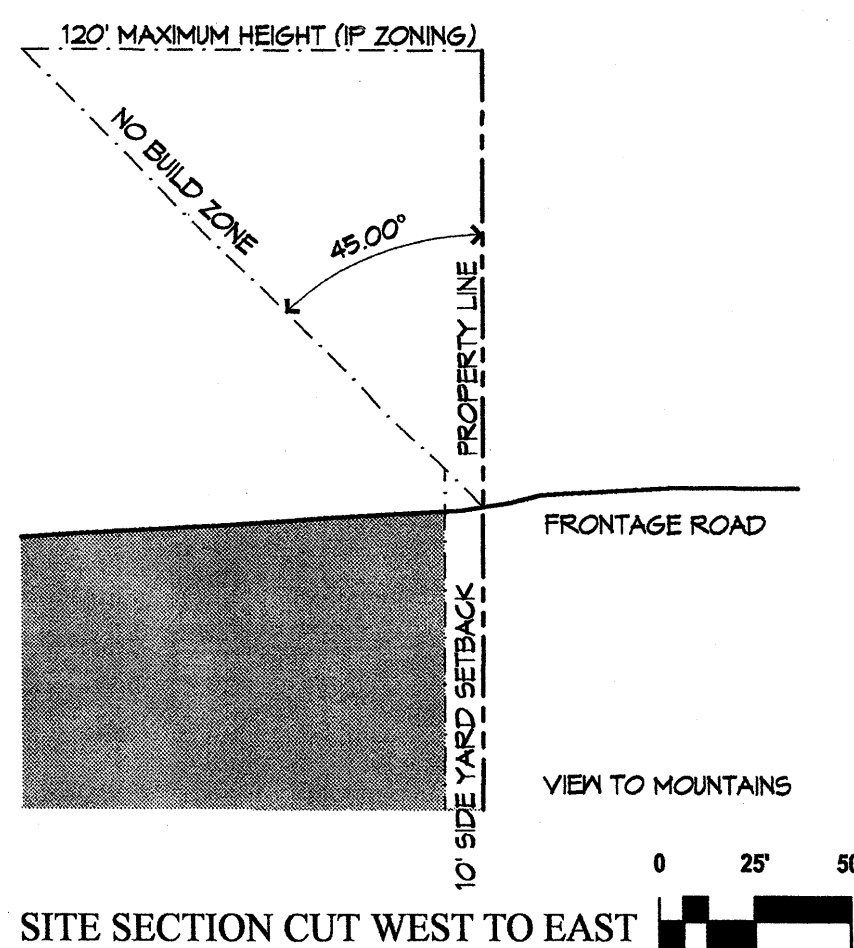
Consistency in lighting design is a primary goal of these design standards. In order to enhance security and visual aesthetics, careful consideration of site lighting design is required to maximize public safety while minimizing glare both on site and on adjacent properties.

- Placement of fixtures and standards shall conform to state and local safety and illumination standards.
- Fixtures shall comply with the City of Albuquerque's Dark Skies requirements.
- Area light fixtures shall be full cut-off design with no visible light source above a horizontal line projected from the bottom of the fixture housing. Building mounted fixtures shall also comply with this requirement.

Signage

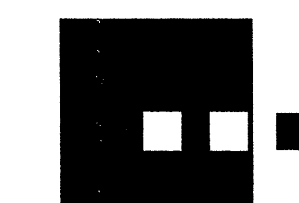
The following standards were developed to regulate the size, location, type and quality of sign elements to enhance the Architectural character of the building and site development.

- All signs shall comply with section 14-16-3-5 General Sign Regulations and 14-16-2-19 for IP zone of the Comprehensive Zoning Code.
- Building-mounted signs shall not exceed twenty percent of the facade area on which they are mounted if wholly visible from an abutting arterial or collector street or freeway. The height of any building-mounted sign shall not exceed five feet above the building wall.
- Free-standing signs shall not exceed 100 square feet (site is bound by a freeway and collector/arterial). The sign height shall not exceed twenty-six feet in height.



SITE PLAN FOR SUBDIVISION TRACT A, NORTH GATEWAY North I-25 Office Building

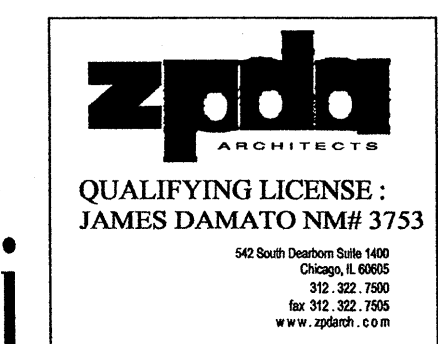
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Sheet 4 of 4
 February 14, 2005

2005 14 142 Office Building 02/14/05 11:00 AM 2/14/05 11:00 AM