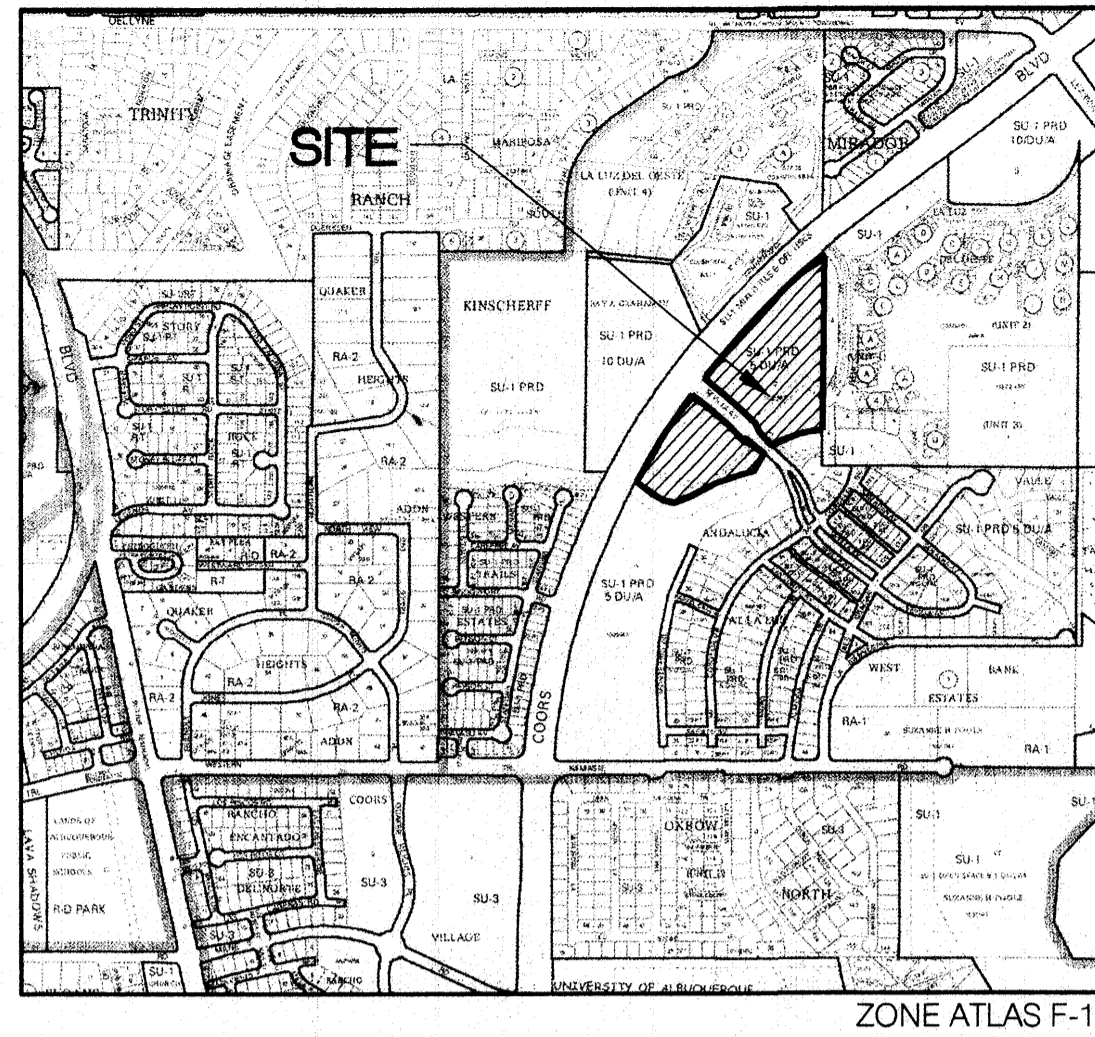


SITE VICINITY



SHEET INDEX:

Sheet No.	Title
1	ILLUSTRATIVE MASTER PLAN
2	SITE PLAN
3	LANDSCAPE PLAN
4	GRADING AND DRAINAGE
5	UTILITY PLAN
6	COORS VIEW ANALYSIS
7	COORS VIEW ANALYSIS
8	COORS VIEW WINDOW ANALYSIS

PROJECT NUMBER: 1000965  
APPLICATION NUMBER: 14EPC-40074

THIS PLAN IS CONSISTENT WITH THE SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED 12/11/14 AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES ( ) NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

	02-06-15
Traffic Engineering, Transportation Division	Date
	02/06/15
ABCWUA	Date
	02/09/15
Parks and Recreation Department	Date
	2-9-15
City Engineer	Date
	2-6-15
Solid Waste Management	Date
	2-18-15
DRB Chairperson, Planning Department	Date



**SEVILLA @ ANDALUCIA**  
SITE PLAN FOR BUILDING PERMIT

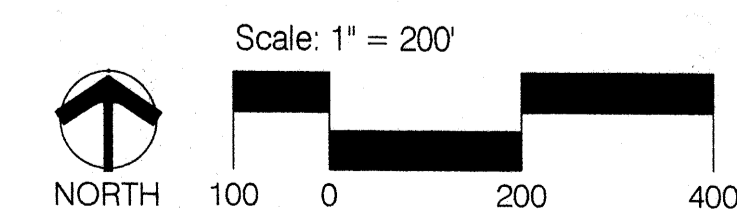
**ILLUSTRATIVE MASTER PLAN**

Prepared For:  
Pulte Group of New Mexico  
7601 Jefferson NE  
Albuquerque, NM 87109

Prepared By:  
Consensus Planning, Inc.  
302 Eighth Street NE  
Albuquerque, NM 87102

Bohannon Huston, Inc.  
7500 Jefferson NE  
Albuquerque, NM 87109

AED PLANS CHECKING OFFICE  
APPROVED 2-6-15



January 28, 2014

SHEET 1 OF 8

1000965

SITE:  
 Zoning: SU-1 for PRD (5 du/ac)  
 Site: Tract A - 4.21 acres, Tract B - 7.49 acres  
 Use: 45 Single Family Residential Lots  
 Gross Density: 3.84 du/ac

- NOTES:**
- Minor amendments to this Site Development Plan shall be approved administratively by the Planning Director, in compliance with the City Comprehensive Zoning Code, Section 14-16-2-22 (A)(6) SU-1 Special Use Zone.
  - Any walls or fences within the site area shall follow the requirements of the approved Andalusia Site Development Plan for Subdivision, and be in accordance with the City Comprehensive Zoning Code (Wall Regulations).
  - Any areas requiring more retainage than 6 feet shall be tiered with a 4 foot horizontal setback.
  - Development shall be compliant with the Coors Corridor Plan View Area regulations. Twenty-six lots meet the view plane requirements. An exception to the View Plane regulations is being requested for the remaining 19 lots (lots 11-23, 30, and 41-45). (See Sheets 6-7 for more detail on view preservation)
  - The Coors 35 foot Landscape Buffer (Tracts A-2 and B-1) and wall were previously approved by the Environmental Planning Commission.
  - Building setbacks shall comply with the approved Andalusia Site Plan for Subdivision.
  - Maintenance of the street trees, plantings within the parkways, and front yards shall be the responsibility of the lot owner. The Coors wall and landscape, including that which is located in the public R.O.W., shall be maintained by the Andalusia Homeowners' Association.

**UNIQUE STREET AND TRAFFIC CALMING STANDARDS:**

- All streets, with the exception of streets adjacent to Coors Boulevard, shall include a 5 foot landscaped parkway and 4 foot sidewalks on both sides of the street. The interior street adjacent to Coors Boulevard shall have sidewalk on one side only.
- Curbs shall have a minimum curve radii of 10 feet in order to shorten the distance at pedestrian crossings and provide greater pedestrian safety.
- Off-street parking shall be provided at the following rate:
  - 3 spaces per 2 bedroom dwelling unit.
  - 4 spaces per 3-4 bedroom dwelling unit.
  - 5 spaces per 5 bedrooms or greater dwelling unit.

**ON-SITE OPEN SPACE & PRIVATE COMMONS AREAS:**

This site is entirely within the Established Urban area, as designated by the Albuquerque/Bernalillo County Comprehensive Plan. As such, there are no On-Site Useable Open Space requirements, pursuant to the City Comprehensive Zoning Code.

The private open space areas shall consist primarily of native or naturalized vegetation with the predominate form being tree masses, preferably drought resistant shade trees located in clusters offset from the right-of-way.

\* Lots restricted to flat roof model.

*Lots 21 and 22 have the right to locate their Bins within the Public R.O.W. in front of lots 20 and /of 23.*

# SEVILLA @ ANDALUCIA

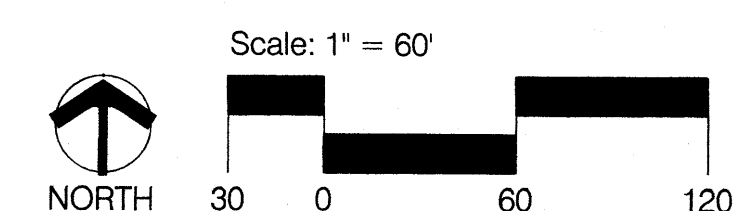
SITE PLAN FOR BUILDING PERMIT

## SITE PLAN

Prepared For:  
 Pulte Group of New Mexico  
 7601 Jefferson NE  
 Albuquerque, NM 87109

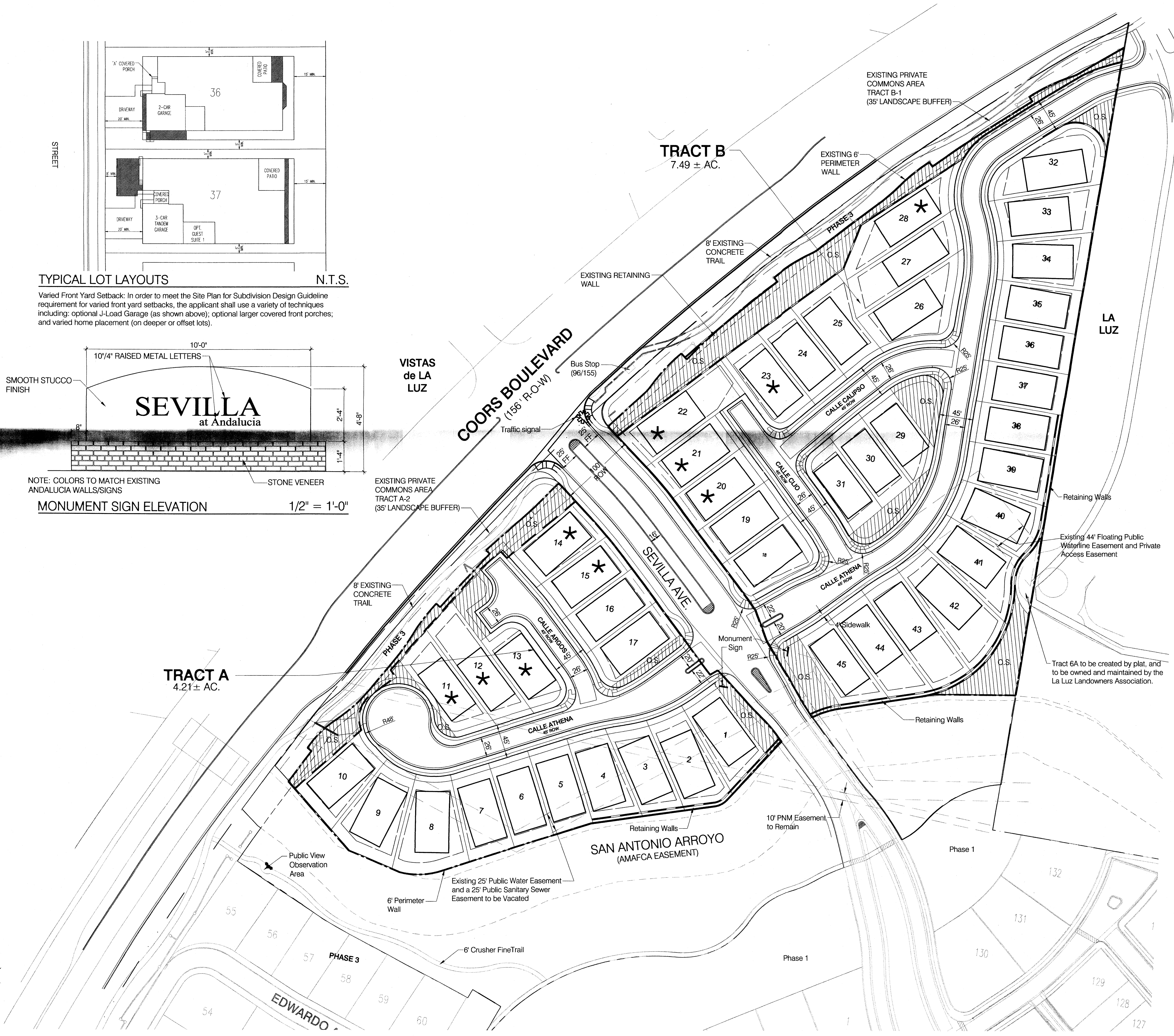
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 Albuquerque, NM 87102

Bohannon Huston, Inc.  
 7500 Jefferson NE  
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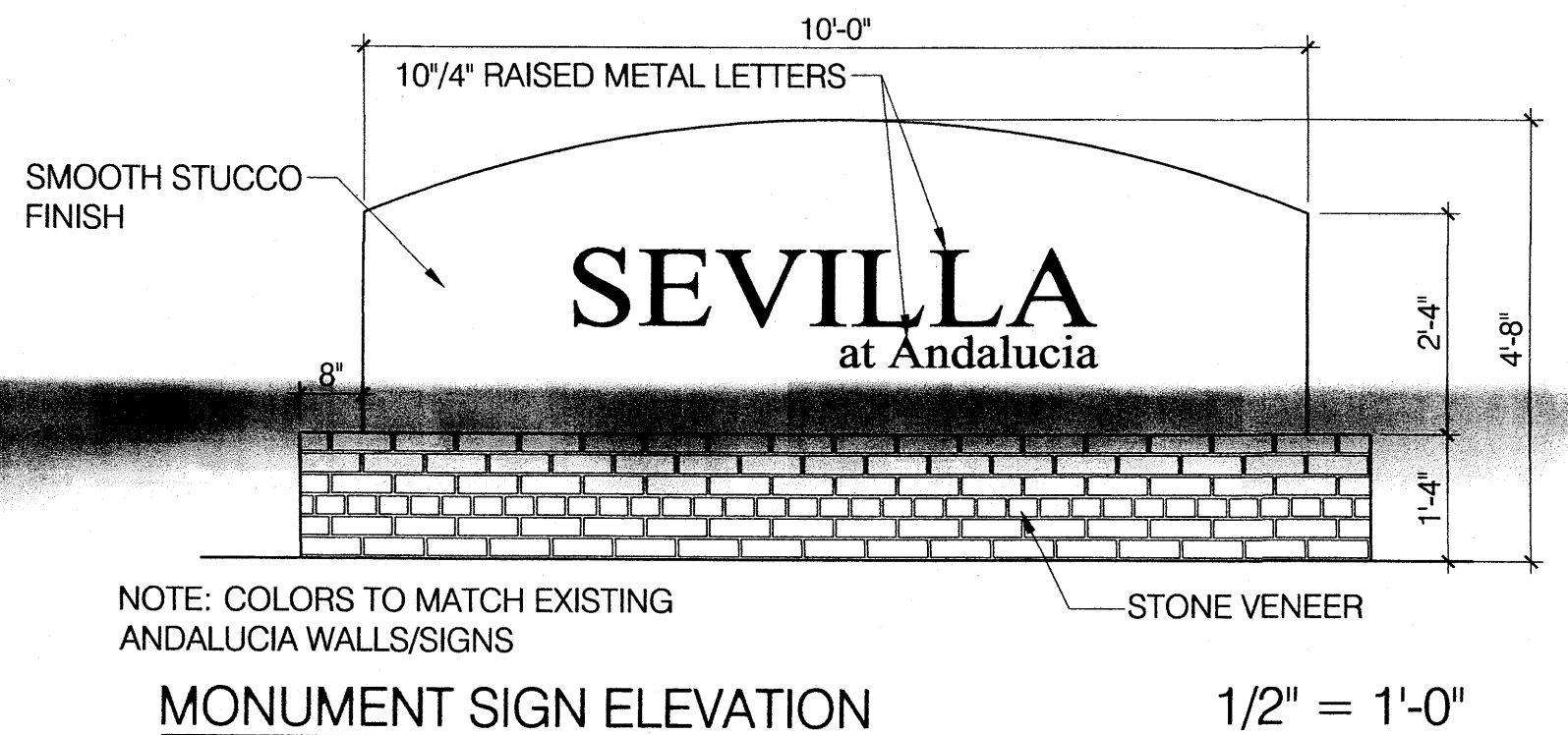
January 28, 2014

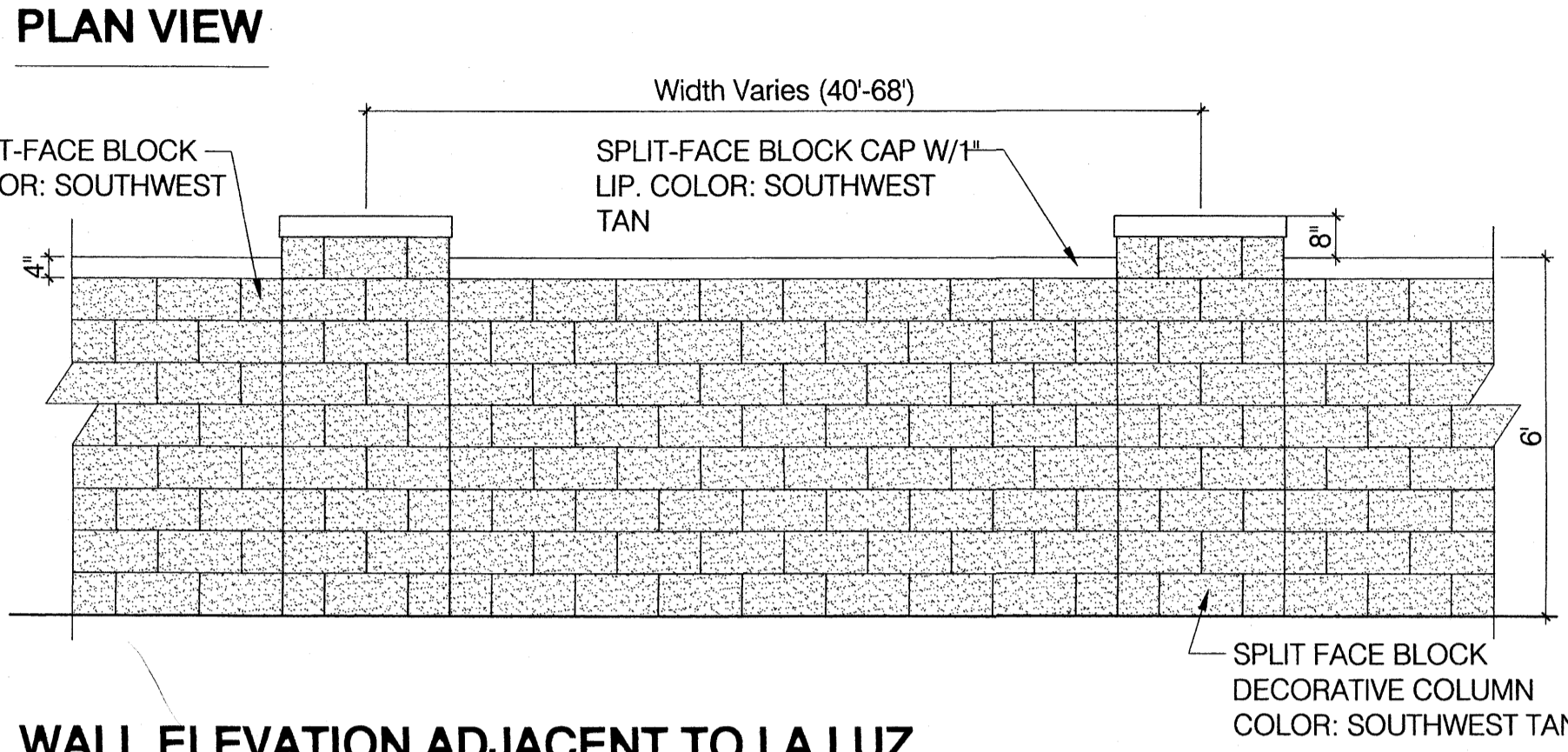
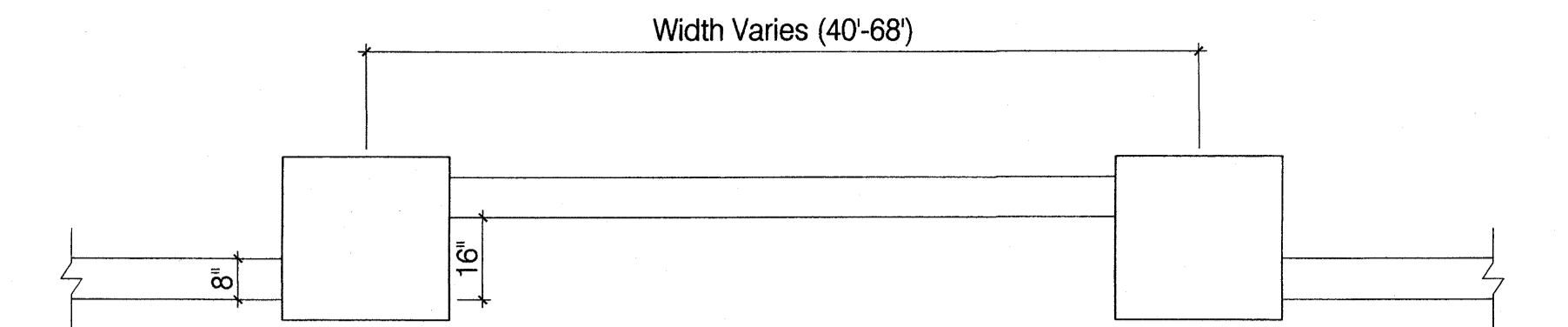
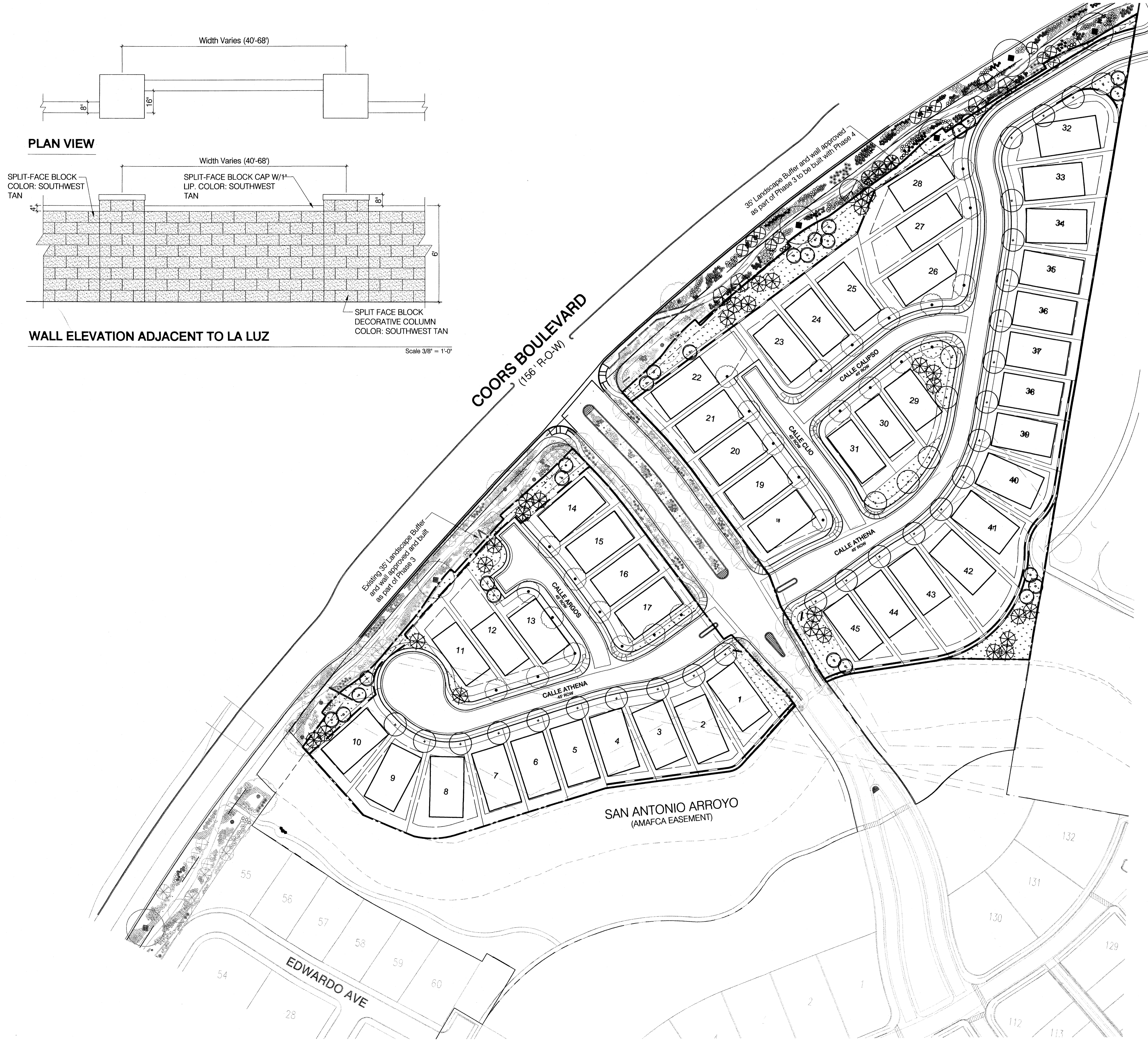
SHEET 2 OF 8



**TYPICAL LOT LAYOUTS** N.T.S.

Varied Front Yard Setback: In order to meet the Site Plan for Subdivision Design Guideline requirement for varied front yard setbacks, the applicant shall use a variety of techniques including: optional J-Load Garage (as shown above); optional larger covered front porches; and varied home placement (on deeper or offset lots).





Scale 3/8" = 1'-0"

**LANDSCAPE CONCEPT**

THE LANDSCAPE CONCEPT FOR SEVILLA @ ANDALUCIA HAS BEEN DEVELOPED TO BE CONSISTENT WITH THE SITE PLAN FOR SUBDIVISION APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON NOVEMBER 18, 2004.

**GENERAL**

THE DESIGN AND PROVISION OF LANDSCAPING FOR SEVILLA @ ANDALUCIA WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE ZONING CODE, POLLEN ORDINANCE, AND THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY-SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.

**STREET TREE ORDINANCE REQUIREMENTS**

COORS BOULEVARD IS A PRINCIPAL ARTERIAL, AND AS SUCH, FALLS UNDER THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE STREET TREE ORDINANCE. STREETS WITHIN SEVILLA @ ANDALUCIA ARE CLASSIFIED AS LOCAL STREETS AND DO NOT FALL UNDER THE REQUIREMENTS OF THE STREET TREE ORDINANCE. STREET TREES LOCATED ALONG LOCAL STREETS SHALL BE PLANTED WITHIN THE RESIDENTIAL LOT AREA WITHIN 15 FEET OF THE BACK OF CURB AND IRRIGATION SHALL BE PROVIDED BY INDIVIDUAL LOT IRRIGATION SYSTEMS.

**LOCAL STREET TREE PALETTE (WATER USE)**

- STREET TREES** GOLDEN RAINTREE (M), HONEYLOCUST (M+), ASH (M+)
- ACCENT TREES** REDBUD SP. (M), FLOWERING PEAR (M+), HAWTHORN (M)

**FRONT YARD PLANT PALETTE (WATER USE)**

- SHRUBS** SILVER SPREADER (L), SHADSCALE (L), DWARF BUTTERFLY BUSH (M), BLUE MIST (M), CLIFFROSE (L), JOINT FIR, WINTERFAT (L), APACHE PLUME (L), SAND PENSTEMON (M), SHRUBBY CINQUEFOIL (M+), BROOM DALEA (L), THREE-LEAF SUMAC (L+), CHERRY SAGE (M)
- ORNAMENTAL GRASSES** PURPLE THREEAWN (M), MUHLY GRASS (M)
- DESERT ACCENTS** HARVARD'S CENTURY PLANT (L), SOTOL (L), YUCCA (L)
- MOSS ROCK BOULDERS** 3' X 3' MIN.
- NATIVE SEED MIX**

**NOTES:**

1. THERE ARE NO PLANTING RESTRICTIONS FOR THE REAR YARDS OF SINGLE-FAMILY RESIDENTIAL DEVELOPMENT.
2. THE TIERED PERIMETER WALLS SHALL INCLUDE PLANTINGS, PREDOMINENTLY NATIVE AND NATURALIZED SHRUBS, GRASSES, AND GROUNDCOVERS, IN ACCORDANCE WITH PREVIOUS PHASE 3 APPROVAL.
3. This subdivision has connections to the overall Andalusia trail network, which extends to the Montano trail and across the Rio Grande. Specifically, access to the Bosque from the subdivision is provided via the internal subdivision sidewalks which connect to the sidewalk along Sevilla Avenue on to the community trail system along and across the San Antonio Arroyo at the Tres Gracias bridge, to the community trail between Andalusia Phase 2 and along La Luz open space.

**MAINTENANCE**

MAINTENANCE OF THE STREET TREES, PLANTINGS WITHIN THE PARKWAYS, AND FRONT YARDS SHALL BE THE RESPONSIBILITY OF THE LOT OWNER. THE COORS WALL AND LANDSCAPE, INCLUDING THAT WHICH IS LOCATED IN THE PUBLIC R.O.W., SHALL BE MAINTAINED BY THE ANDALUCIA HOMEOWNERS' ASSOCIATION.

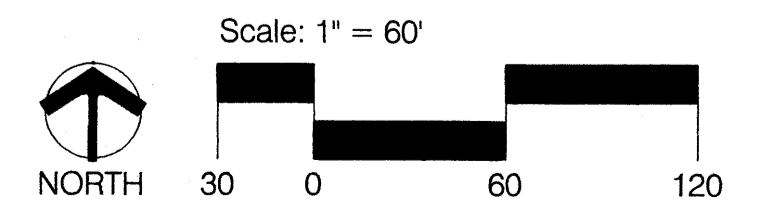
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SITE PLAN FOR BUILDING PERMIT

**LANDSCAPE PLAN**

Prepared For:  
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7601 Jefferson NE  
Albuquerque, NM 87109

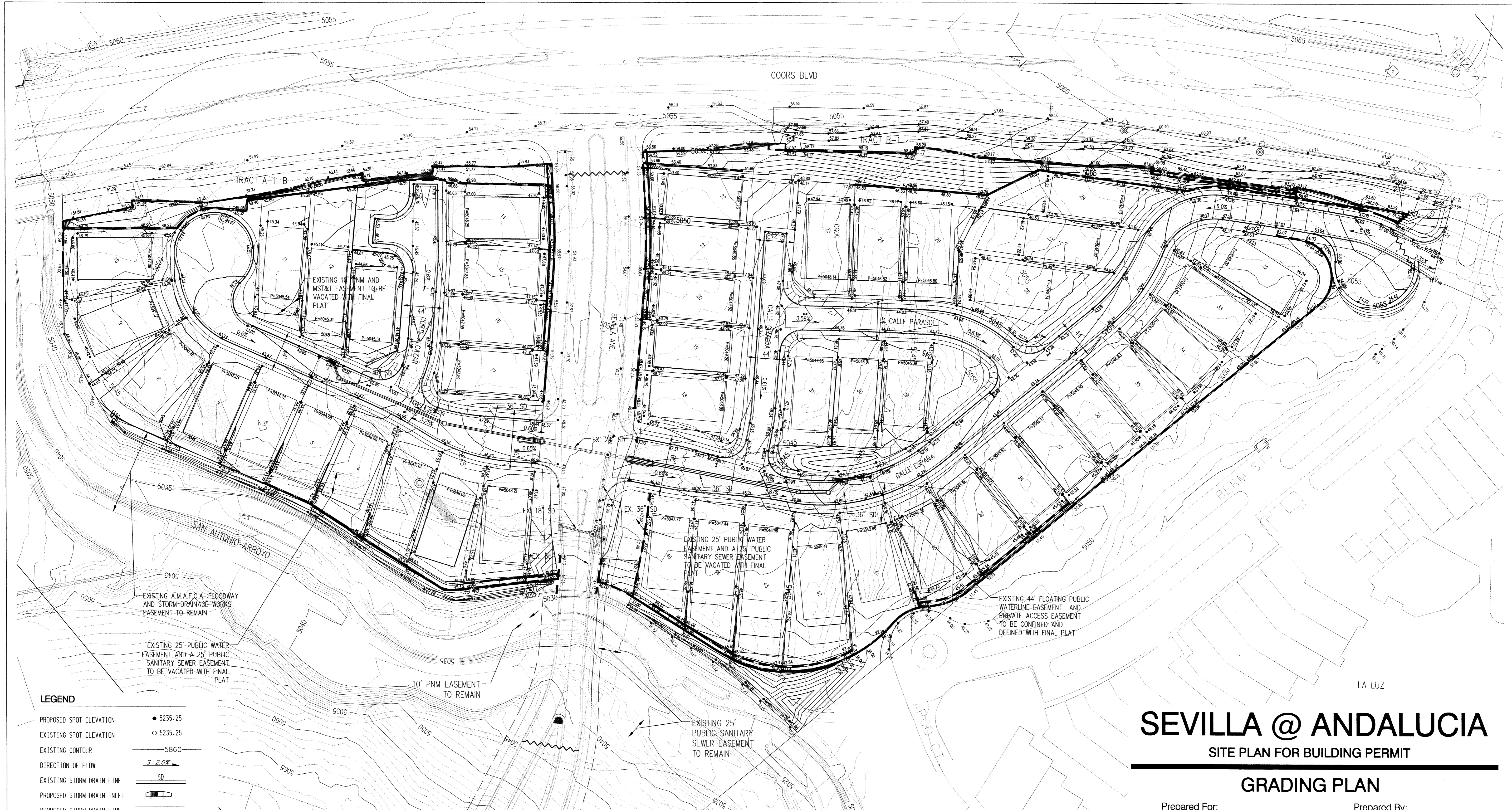
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Bohannon Huston, Inc.  
7500 Jefferson NE  
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January 28, 2014

SHEET 3 OF 8



**LEGEND**

PROPOSED SPOT ELEVATION	● 5235.25
EXISTING SPOT ELEVATION	○ 5235.25
EXISTING CONTOUR	— 5860
DIRECTION OF FLOW	S=2.0%
EXISTING STORM DRAIN LINE	SD
PROPOSED STORM DRAIN INLET	[Symbol]
PROPOSED STORM DRAIN LINE	[Symbol]
PROPOSED STORM DRAIN MANHOLE	⊙
PROPOSED WATER BLOCK (HIGH POINT)	[Symbol]
RETAINING WALL	[Symbol]
PROPOSED WATER (LOW POINT)	[Symbol]

**GRADING AND DRAINAGE NARRATIVE**

**EXISTING CONDITIONS**  
 THE EXISTING TOPOGRAPHY HAS BEEN PREVIOUSLY MASS GRADED AND SOIL STABILIZED. THE SLOPES RANGE FROM 1% TO 5 AND DRAINS FROM WEST TO EAST TO THE AMAFCA'S SAN ANTONIO ARROYO.

**PROPOSED CONDITIONS**  
 IN THE PROPOSED CONDITION, GRADING WILL BE DESIGNED TO TIE TO SEVILLA AVE AND CONTINUE NORTH AND SOUTH OFF OF THE EXISTING CURB RETURNS AND SLOPING DOWN TO CREATE A LOWPOINT NORTH AND SOUTH OF THE TIE IN POINTS TO LOWER THE SITE AS MUCH AS POSSIBLE. INLETS AND STORM DRAIN WILL BE PLACED AT THE LOWPOINTS TO COLLECT THE STORM RUNOFF WHICH TIE TO THE EXISTING STORM DRAIN IN SEVILLA AVE. THE EXISTING STORM DRAIN WITHIN SEVILLA AVE IS THE CONTROLLING FACTOR TO THE GRADING OF THE SITE. THE SITE THEN DRAINS AT A MINIMUM (0.60%) TO EACH LOWPOINT TO KEEP THE LOTS AS LOW AS POSSIBLE. THE LOTS BACKING UP TO THE SAN ANTONIO ARROYO WILL ALSO DRAIN BACK FROM THE FRONT OF THE PAD TO THE BACK WALL, RATHER THAN THE TYPICAL BACK TO FRONT, WITH TURN BLOCKS TO DRAIN THOSE LOTS INTO A SWALE AND ULTIMATELY INTO THE SAN ANTONIO ARROYO. RETAINING WALLS WILL BE NECESSARY ALONG THE BOUNDARY WITH COORS, SEVILLA AVE, LA LUZ AND THE SAN ANTONIO ARROYO TO MAKE UP ANY GRADE DIFFERENCE.

# SEVILLA @ ANDALUCIA

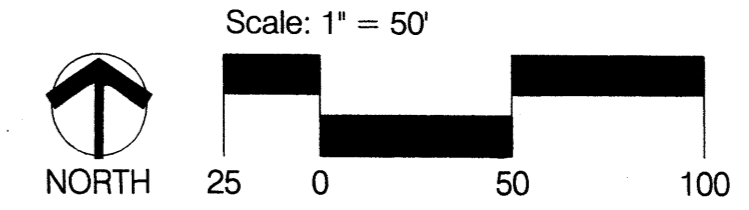
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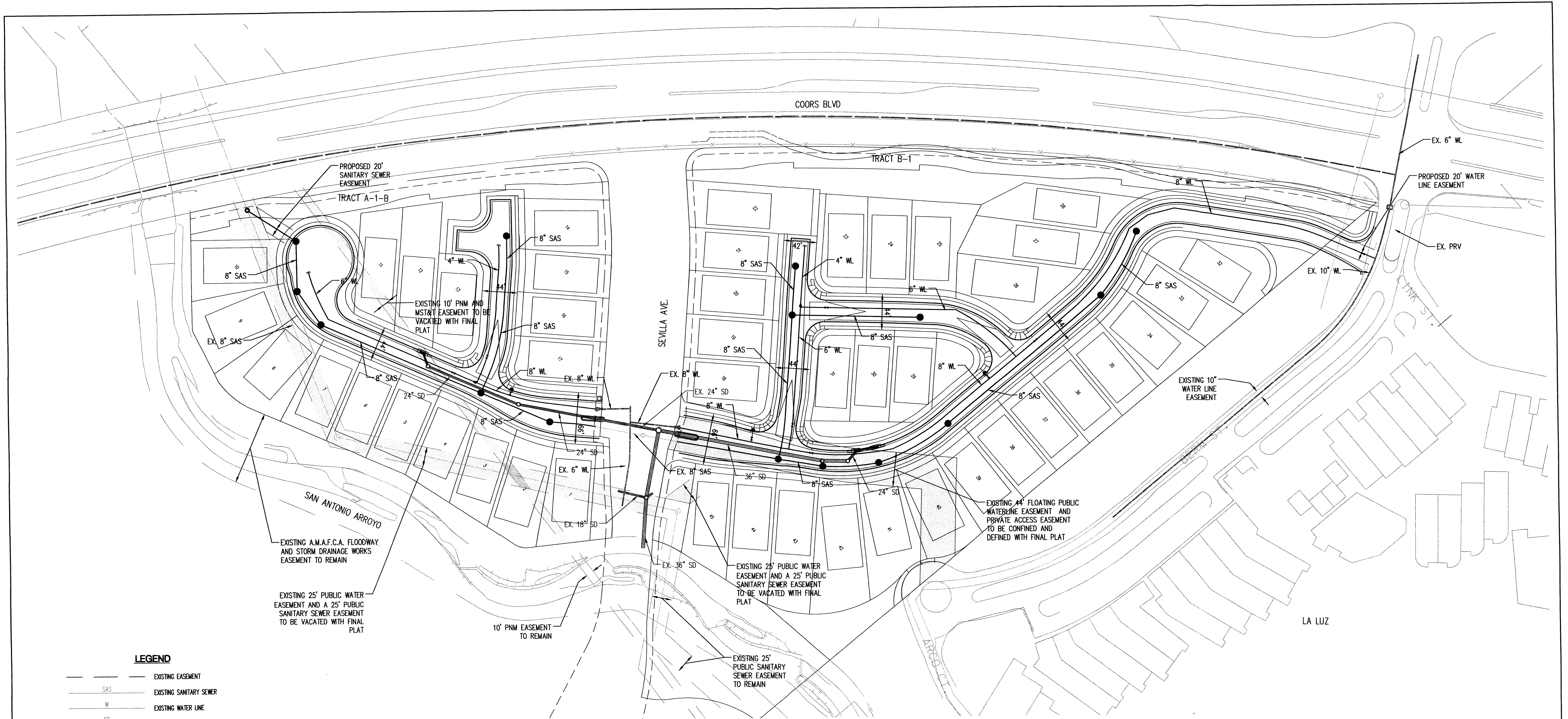
## GRADING PLAN

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**LEGEND**

---	EXISTING EASEMENT
— SAS	EXISTING SANITARY SEWER
— W	EXISTING WATER LINE
— SD	EXISTING STORM DRAIN
■	EXISTING WATER METER
□	EXISTING CAP
⊗	EXISTING VALVE
⊗	EXISTING FIRE HYDRANT
○	EXISTING SANITARY SEWER MANHOLE
⊙	EXISTING STORM DRAIN
— SAS	PROPOSED SANITARY SEWER
— W	PROPOSED WATER LINE
— SD	PROPOSED STORM DRAIN LINE
⊗	PROPOSED VALVE
⊗	PROPOSED HYDRANT
□	PROPOSED CAP
■	PROPOSED WATER METER
●	PROPOSED SANITARY SEWER MANHOLE
⊙	PROPOSED STORM DRAIN

**NOTES**

1. ALL WATER AND SANITARY SEWER LINES SHALL BE LOCATED WITHIN CITY OF ALBUQUERQUE (COA) PUBLIC RIGHT-OF-WAY OR WITHIN AN UTILITY EASEMENT THAT WILL BE DEDICATED TO ALBUQUERQUE BERNAULLO COUNTY WATER UTILITY AUTHORITY (ABCWUA) WITH FUTURE PLATS.
2. ALL EXISTING WATER AND SANITARY SEWER LINES ARE LOCATED WITHIN CITY OF ALBUQUERQUE (COA) PUBLIC RIGHT-OF-WAY OR WITHIN AN EXISTING UTILITY EASEMENT.
3. UTILITY LINES AND FIRE HYDRANT'S SHALL BE LOCATED PER CRITERIA STATED IN THE COA'S DEVELOPMENT PROCESS MANUAL.
4. ALL FUTURE WATER AND SANITARY SEWER LINES SHALL BE DESIGNED IN ACCORDANCE WITH CRITERIA STATED IN THE APPROVED WATER-SANITARY SEWER AVAILABILITY LETTER PROVIDED BY ABCWUA.

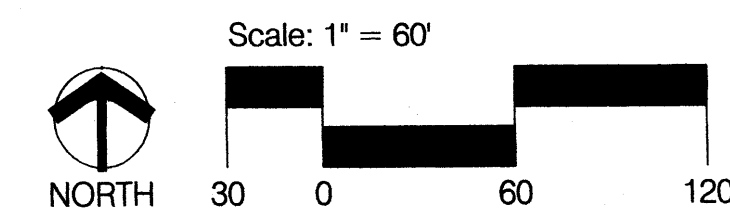
**SEVILLA @ ANDALUCIA**  
SITE PLAN FOR BUILDING PERMIT

**UTILITY PLAN**

Prepared For:  
Pulte Group of New Mexico  
7601 Jefferson NE  
Albuquerque, NM 87109

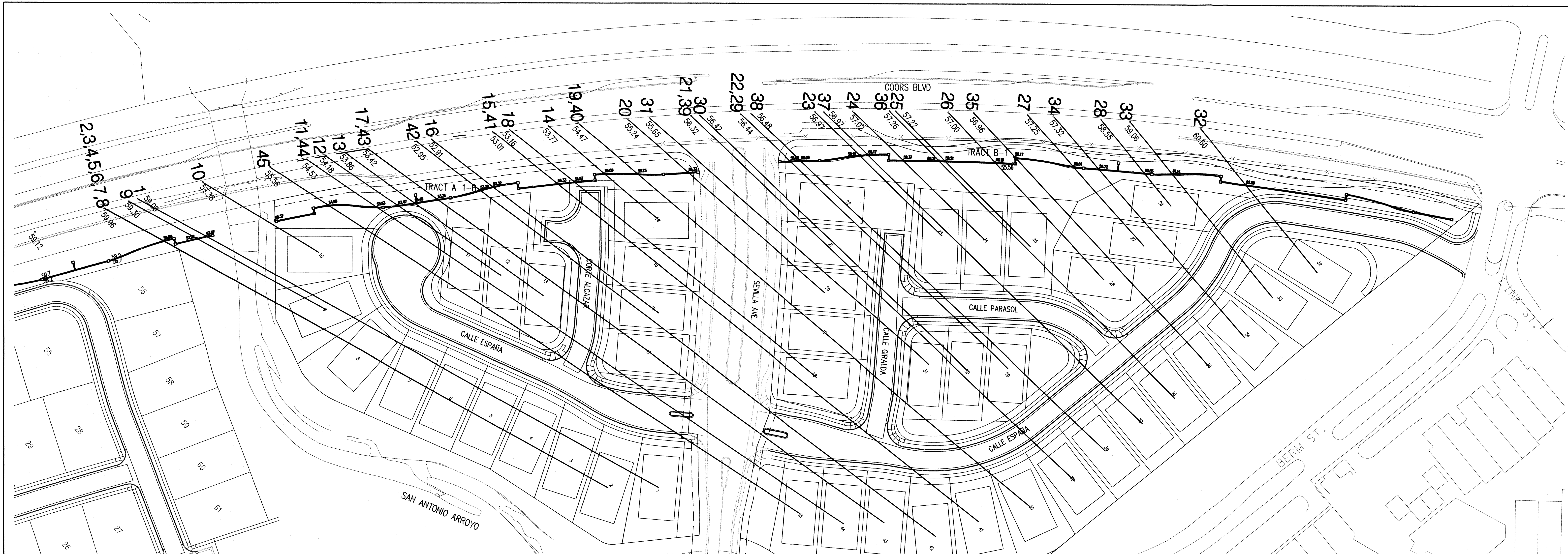
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7500 Jefferson NE  
Albuquerque, NM 87109



February 17, 2015

SHEET 5 OF 8



Line # Lot #	45 degree Elevation in Coors	45 degree Elevation in Coors +4' (eye height)	Elevation at top of 5' wall (approx)	Distance to pad	Elevation of base view at pad 2.0 deg	Elevation of top view at pad 4.37 deg	Pad Elevation according to Grading Plan	Actual Building Height (ft)	Pad Elevation Below Coors	(-10' Below Coors) Meets the View Plain Requirement	Within 250' from Coors at 45 degree	PORTION OF BUILDING HEIGHT EXTENDING ABOVE/BELOW MAX BUILDING HEIGHT (BASED ON 1/3 ABOVE VIEW PLANE)
1	5059.08	5063.08	5062.67	748.43	5089.22	5120.27	5048.85	5068.43	10.23	YES	NO	(1.17)
2	5059.96	5063.96	5064.64	724.32	5089.25	5119.31	5048.98	5068.56	10.98	YES	NO	(1.92)
3	5059.96	5063.96	5064.64	666.31	5087.23	5114.88	5047.63	5067.21	12.33	YES	NO	(3.27)
4	5059.96	5063.96	5064.64	606.87	5085.15	5110.34	5045.96	5065.54	14.00	YES	NO	(4.94)
5	5059.96	5063.96	5064.64	552.03	5083.24	5106.15	5044.67	5064.25	15.29	YES	NO	(6.23)
6	5059.96	5063.96	5064.64	496.16	5081.29	5101.88	5044.73	5064.31	15.23	YES	NO	(6.17)
7	5059.96	5063.96	5064.64	441.56	5079.38	5097.70	5045.05	5064.63	14.91	YES	NO	(5.85)
8	5059.96	5063.96	5064.64	373.56	5077.01	5092.51	5045.29	5064.87	14.67	YES	NO	(5.61)
9	5059.30	5063.30	5062.92	283.77	5073.21	5084.99	5047.08	5066.66	12.22	YES	NO	(3.16)
10	5057.38	5061.38	5061.37	170.53	5067.34	5074.41	5047.06	5066.64	10.32	YES	YES	(1.26)
11	5054.53	5058.53	5058.83	228.25	5066.50	5075.87	5045.65	5061.90	8.88	NO	YES	(2.05)
12	5054.18	5058.18	5058.47	226.59	5066.09	5075.50	5045.41	5061.66	8.77	NO	YES	(1.94)
13	5053.86	5057.86	5058.40	307.11	5066.58	5081.33	5045.40	5064.98	8.46	NO	NO	0.60
14	5053.77	5057.77	5060.09	183.94	5064.19	5071.83	5048.24	5064.49	5.53	NO	YES	1.30
15	5053.01	5057.01	5059.33	269.11	5066.41	5077.58	5047.85	5067.43	5.16	NO	NO	3.90
16	5052.91	5056.91	5058.32	359.35	5069.46	5084.37	5047.53	5067.11	5.38	NO	NO	3.88
17	5053.42	5057.42	5058.31	440.80	5072.81	5091.09	5047.26	5068.84	6.16	NO	NO	2.90
18	5053.16	5057.16	5059.57	484.56	5074.43	5094.95	5048.83	5068.41	4.33	NO	NO	4.73
19	5054.47	5058.47	5060.73	409.64	5072.77	5089.77	5049.17	5068.75	5.30	NO	NO	3.76
20	5055.24	5059.24	5061.33	329.33	5070.74	5084.41	5049.50	5069.08	5.74	NO	NO	3.32
21	5056.32	5060.32	N/A	239.31	5068.68	5078.61	5049.84	5068.09	6.48	NO	YES	0.35
22	5056.44	5060.44	5063.07	160.96	5066.06	5072.74	5051.13	5067.38	5.31	NO	YES	1.52
23	5056.97	5060.97	5063.12	222.80	5068.74	5077.98	5048.15	5064.40	8.82	NO	YES	(1.99)
24	5057.00	5061.00	5063.37	230.43	5069.05	5078.61	5046.82	5066.40	10.18	YES	YES	(1.12)
25	5057.22	5061.22	5063.57	239.35	5069.58	5079.51	5046.90	5066.38	10.42	YES	YES	(1.36)
26	5057.00	5061.00	5063.16	287.48	5071.04	5082.97	5046.68	5066.26	10.32	YES	NO	(1.26)
27	5057.25	5061.25	5064.01	219.96	5068.93	5078.06	5046.77	5066.35	10.48	YES	YES	(1.42)
28	5058.55	5062.55	5065.55	139.53	5067.42	5073.21	5048.46	5068.04	10.09	YES	YES	(1.03)
29	5056.44	5060.44	5063.07	463.09	5076.61	5095.83	5045.31	5064.89	11.13	YES	NO	(2.07)
30	5056.42	5060.42	N/A	463.09	5076.59	5095.81	5045.95	5065.53	10.47	YES	NO	(1.41)
31	5055.65	5059.65	N/A	467.06	5075.96	5095.34	5048.01	5067.59	7.64	NO	NO	1.42
32	5060.60	5064.60	5067.59	232.24	5072.71	5082.35	5049.20	5068.78	11.40	YES	YES	(2.34)
33	5059.06	5063.06	5066.14	284.75	5073.00	5084.82	5047.43	5067.01	11.63	YES	NO	(2.57)
34	5057.32	5061.32	5064.72	368.73	5074.13	5089.35	5047.27	5066.85	10.05	YES	NO	(0.99)
35	5056.96	5060.96	5063.17	434.30	5078.13	5094.15	5046.83	5066.41	10.13	YES	NO	(1.07)
36	5057.26	5061.26	5063.21	506.87	5078.96	5099.99	5046.50	5066.08	10.76	YES	NO	(1.70)
37	5056.97	5060.97	5063.17	559.56	5080.51	5103.73	5046.17	5065.75	10.80	YES	NO	(1.74)
38	5056.48	5060.48	5063.09	613.44	5081.90	5107.36	5045.84	5065.42	10.64	YES	NO	(1.58)
39	5056.32	5060.32	N/A	664.74	5083.53	5111.12	5045.66	5065.24	10.68	YES	NO	(1.60)
40	5054.47	5058.47	5060.73	744.18	5084.46	5115.34	5044.08	5063.64	10.41	YES	NO	(1.35)
41	5053.01	5057.01	5059.33	782.72	5084.34	5116.82	5043.91	5063.49	9.10	NO	NO	(0.04)
42	5052.99	5056.99	5058.28	819.23	5085.56	5119.55	5045.24	5064.82	7.71	NO	NO	1.35
43	5053.42	5057.42	5058.31	800.21	5085.36	5118.57	5046.92	5066.50	6.50	NO	NO	2.56
44	5054.53	5058.53	5058.83	815.42	5087.01	5120.84	5048.74	5068.32	5.79	NO	NO	3.27
45	5055.56	5059.56	5059.96	795.61	5087.34	5120.36	5048.74	5068.32	6.82	NO	NO	2.24

# SEVILLA @ ANDALUCIA

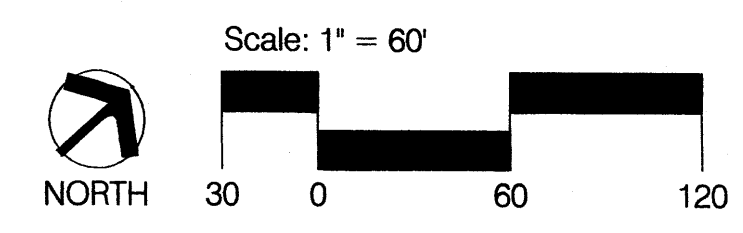
SITE PLAN FOR BUILDING PERMIT

## COORS CORRIDOR VIEW ANALYSIS

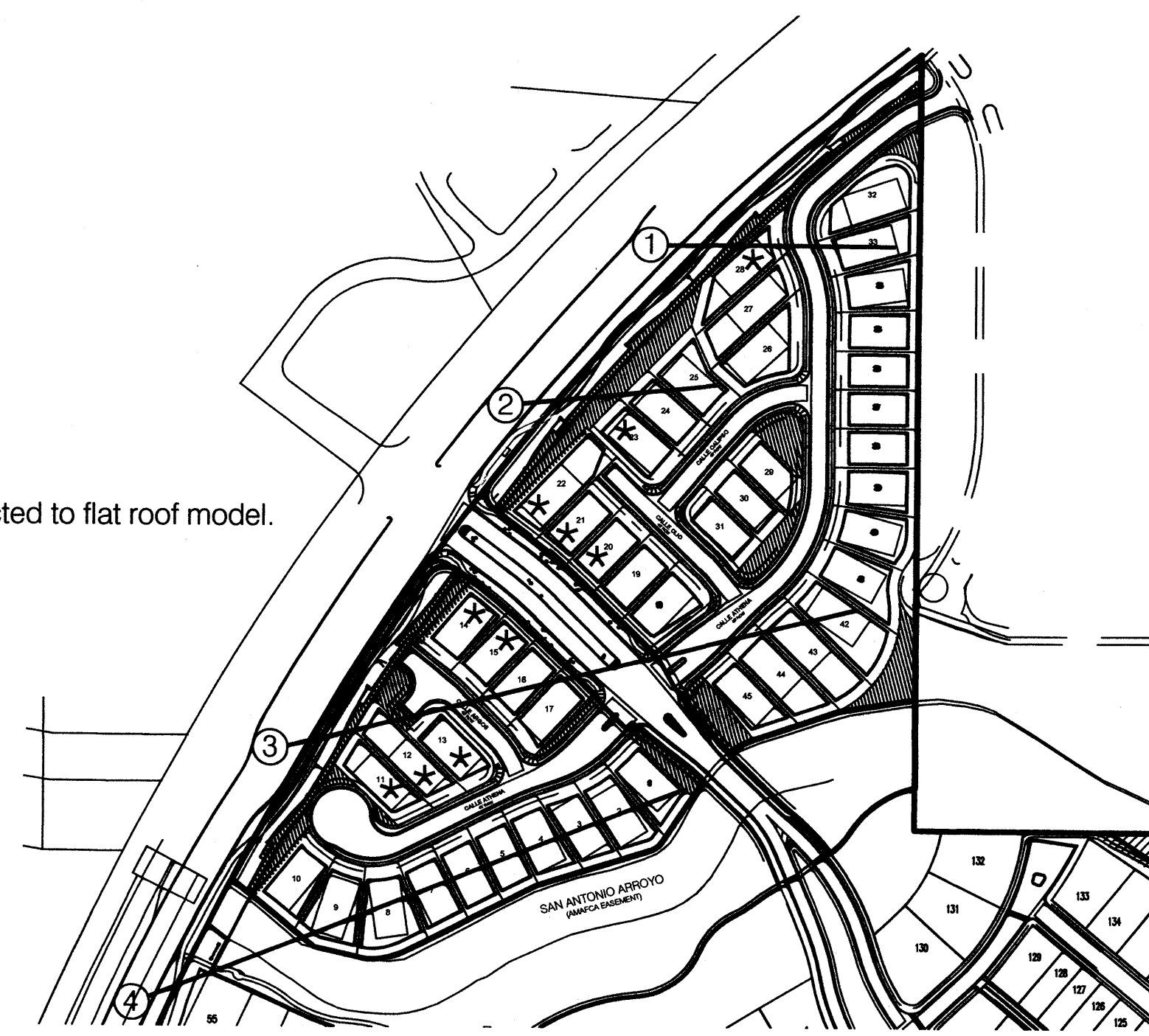
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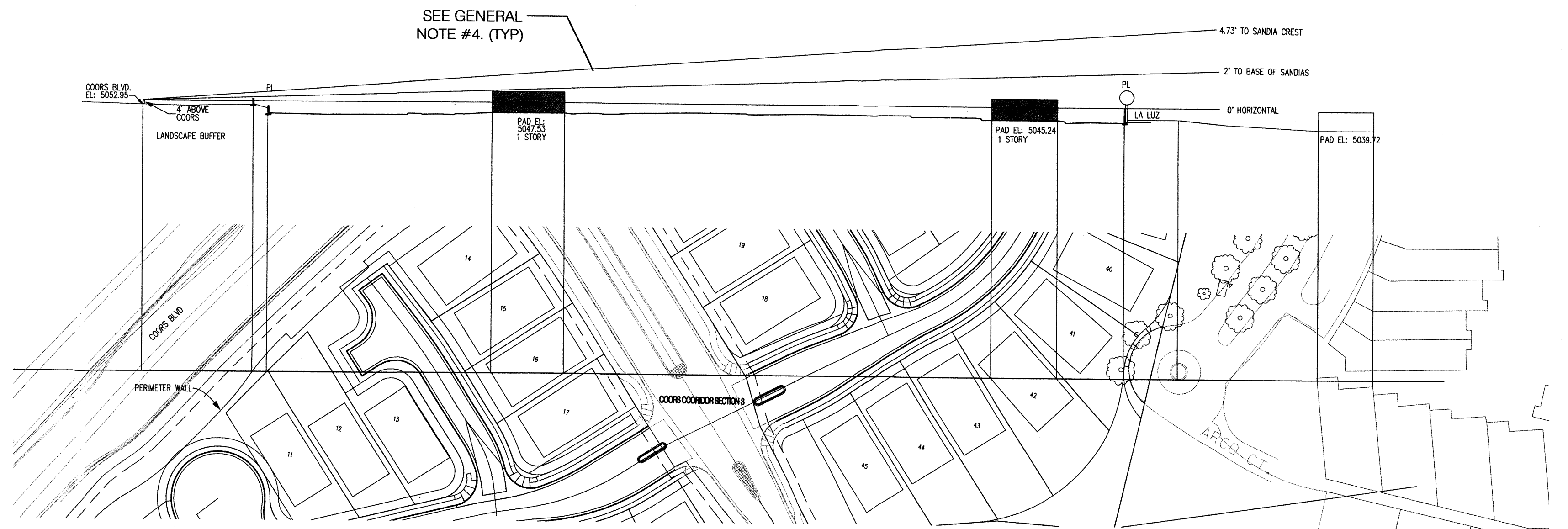


\* Lots restricted to flat roof model.



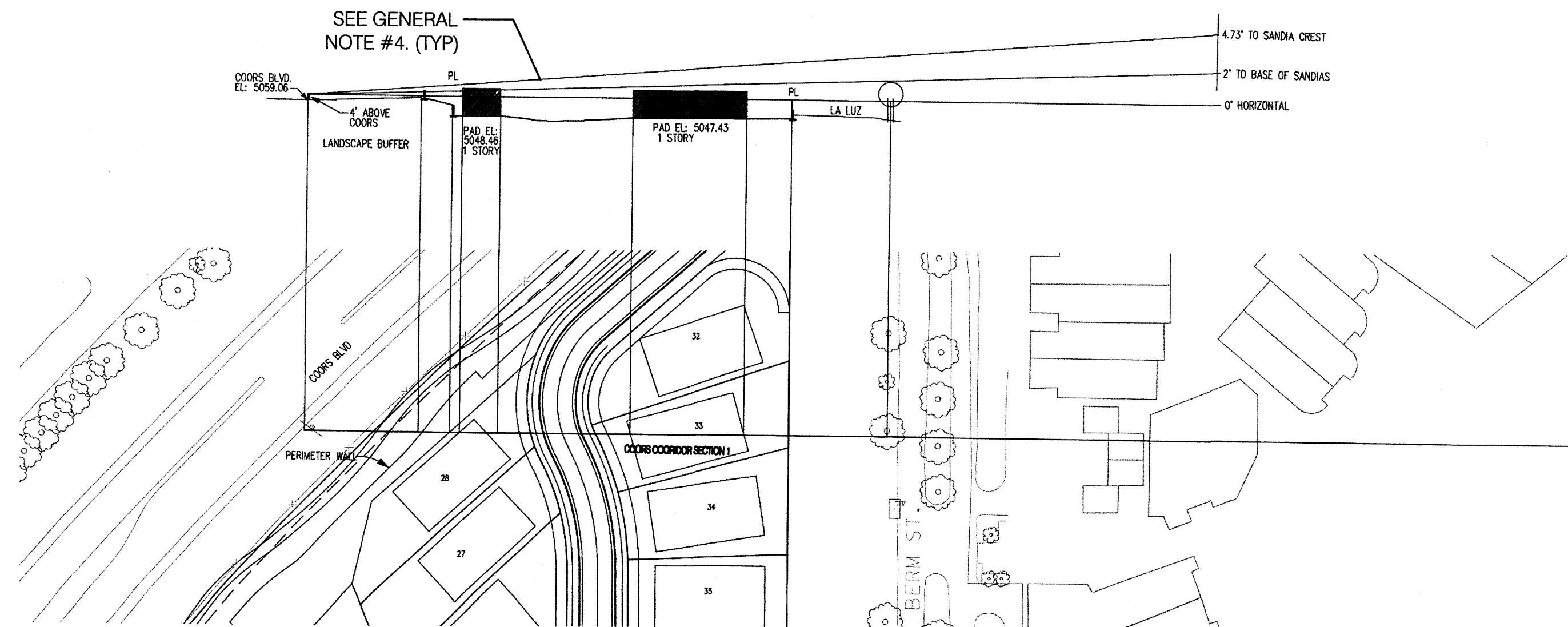
**SUBDIVISION LAYOUT**

SCALE: 1" = 200'



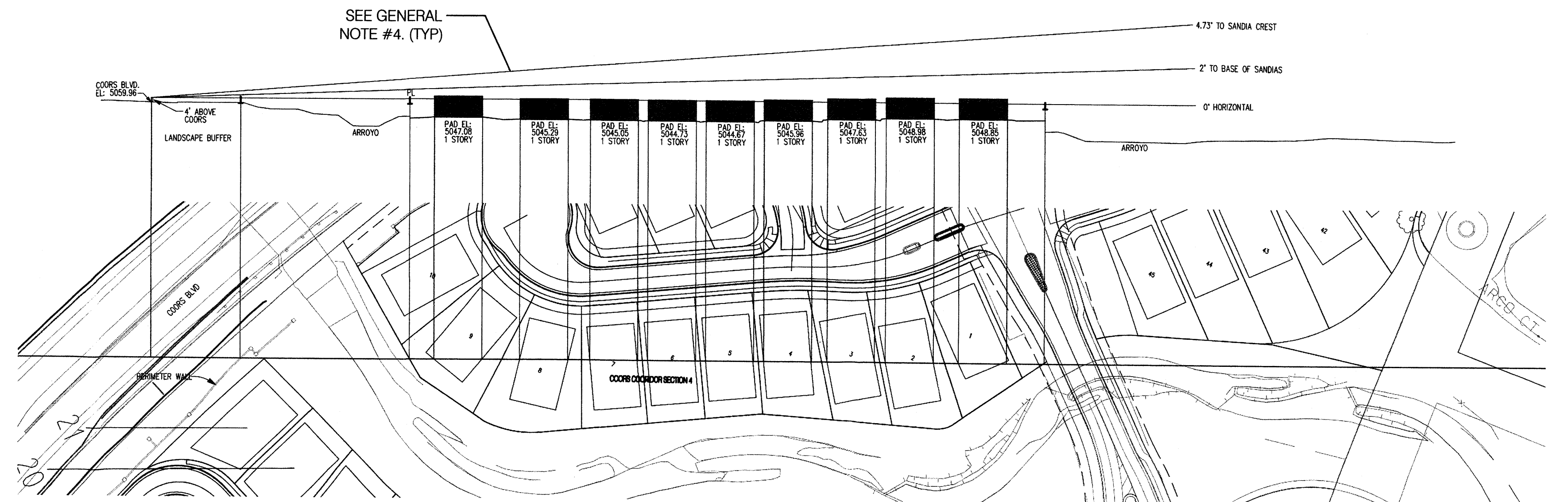
**VIEW DIAGRAM 3**

SCALE: 1" = 80'



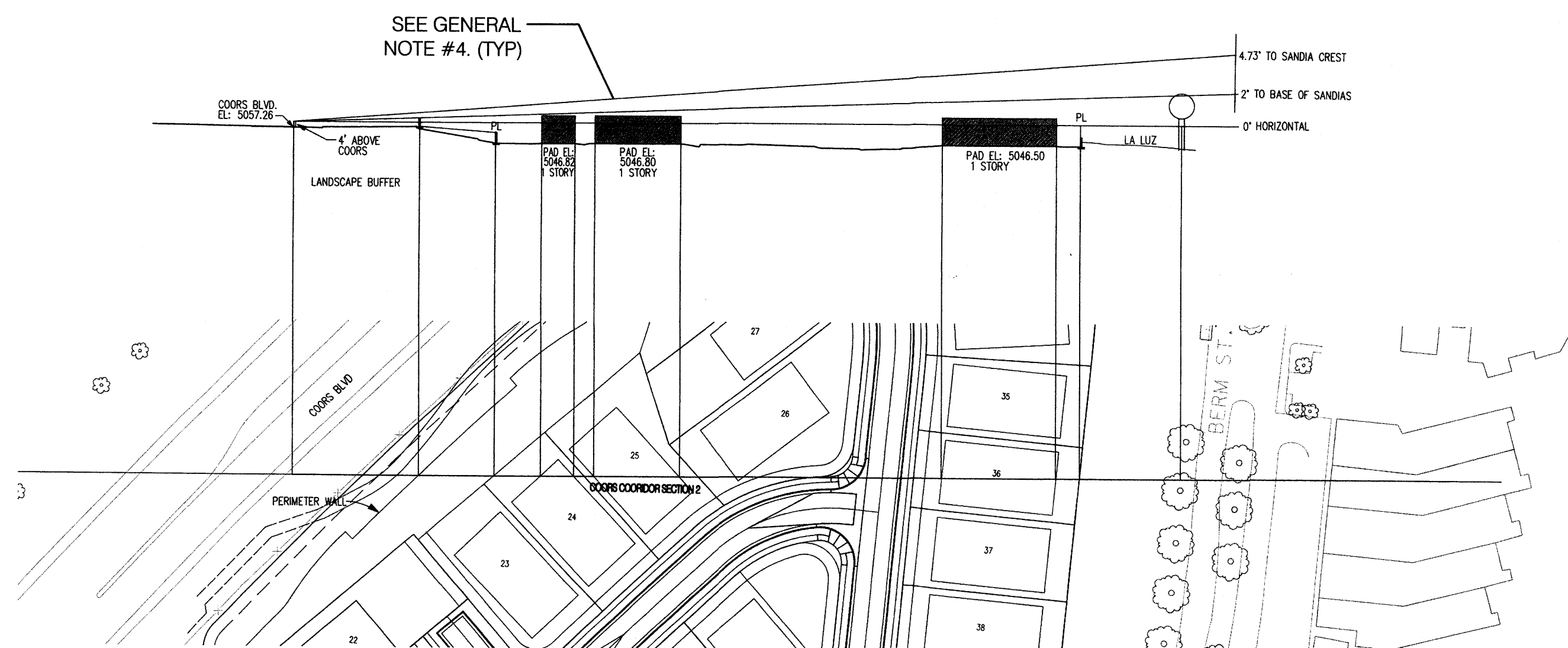
**VIEW DIAGRAM 1**

SCALE: 1" = 80'



**VIEW DIAGRAM 4**

SCALE: 1" = 80'



**VIEW DIAGRAM 2**

SCALE: 1" = 80'

**GENERAL NOTES:**

1. THE SITE LAYOUT IS IN COMPLIANCE WITH THE APPROVED SITE PLAN FOR SUBDIVISION, DESIGN STANDARDS, SHEET 2, COORS CORRIDOR PLAN VIEW PRESERVATION SECTION.
2. THE COORS CORRIDOR PLAN REQUIRES THAT BUILDINGS WITHIN THE MULTI-STORY SETBACK SHALL NOT PENETRATE THE VIEW PLANE AND BUILDINGS OUTSIDE OF THE MULTI-STORY SETBACK MAY PENETRATE NO MORE THAN 1/3 OF ITS HEIGHT THROUGH THE VIEW PLANE.
3. BUILDINGS SHALL NOT PENETRATE ABOVE SANDIA CREST AS SEEN FROM 4 FEET ABOVE COORS GRADE.
4. BUILDING HEIGHT SHOWN IN THE CROSS SECTIONS IS BASED UPON THE MAXIMUM HEIGHT OF THE TALLEST MODEL PROPOSED FOR THIS PROJECT, WHICH IS 19.58'.
5. THE COORS CORRIDOR PLAN ALLOWS EXCEPTIONS TO BUILDING HEIGHT, SETBACK, AND BULK IF THE INTENT OF THE DESIGN GUIDELINES ARE MET, AND THE REQUIRED SETBACKS, HEIGHT, AND BULK CANNOT BE REASONABLY ATTAINED DUE TO CONDITIONS OF THE SITE.
6. IN ORDER TO MEET THE INTENT OF THE COORS CORRIDOR PLAN VIEW PRESERVATION GUIDELINES, THE SITE GRADE HAS BEEN LOWERED AS MUCH AS PRACTICAL GIVEN THE UTILITY AND STORMWATER DRAINAGE CONSTRAINTS, AND SIX HOUSES THAT DO NOT MEET THE VIEW PLANE REQUIREMENT AND ARE WITHIN 250 FEET OF COORS ARE RESTRICTED TO FLAT ROOFS. ADDITIONALLY, SIX VIEW CORRIDORS ARE PROVIDED AT THE CUL-DE-SACS, SEVILLA AVENUE, AND AT THE NORTHERN AREA.

# SEVILLA @ ANDALUCIA

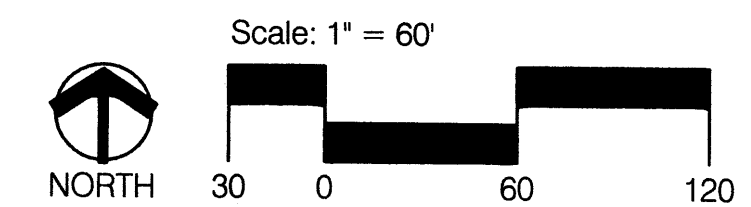
SITE PLAN FOR BUILDING PERMIT

## COORS VIEW - SECTIONS

Prepared For:  
Pulte Group of New Mexico  
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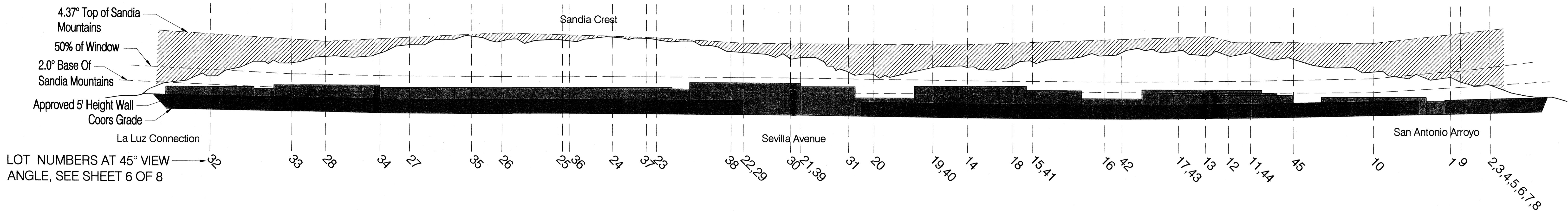
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January 28, 2014

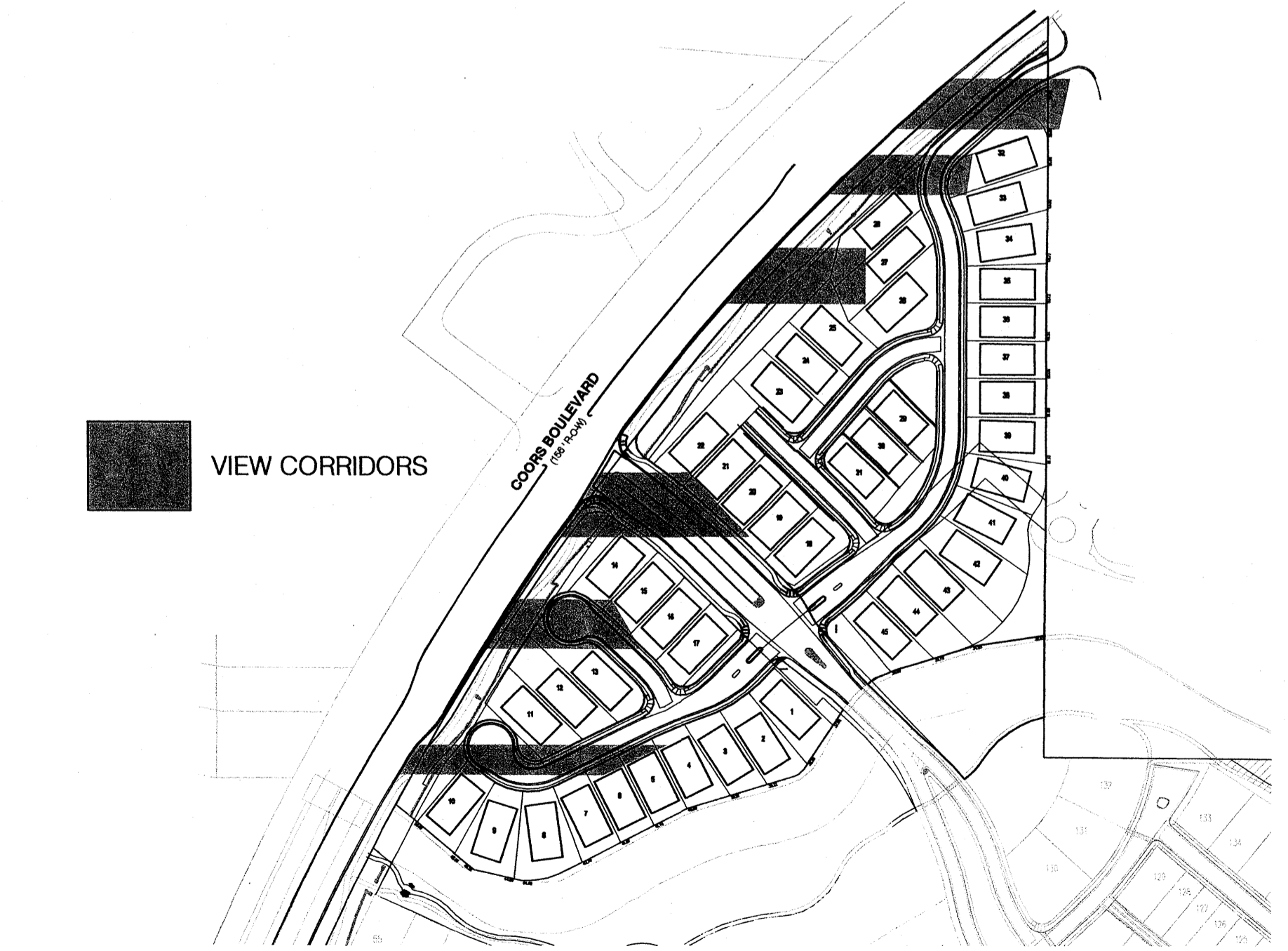
SHEET 7 OF 8



**VIEW AREA (WITH EXISTING/APPROVED WALL @ 5' HEIGHT)**

**NOTES:**

1. TOP OF VIEW AREA IS A HORIZONTAL LINE AT THE TOP OF THE SANDIA CREST.
2. THE BOTTOM OF VIEW AREA IS COORS BOULEVARD GRADE.
3. VIEW ANGLE IS 45 DEGREES.
4. LOTS 11, 12, 13, 14, 15, 20, 21, 22, 23, AND 28 ARE RESTRICTED TO FLAT ROOF MODELS, 16.25 FEET HEIGHT.
5. SEE CROSS SECTION ON SHEET 7 FOR RELATIONSHIP OF PROPOSED BUILDINGS TO BASE AND TOP OF SANDIA MOUNTAINS.
6. 32% OF THE VIEW AREA IS OBSCURED BY STRUCTURES IN COMPLIANCE WITH THESE REGULATIONS.



**VIEW DIAGRAM 1**

SCALE: 1" = 200'

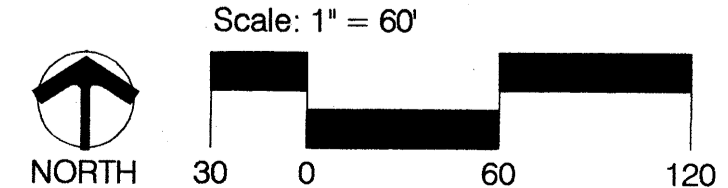
**SEVILLA @ ANDALUCIA**  
 SITE PLAN FOR BUILDING PERMIT

**COORS VIEW AREA ANALYSIS**

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December 5, 2014