

December 19, 2014

Mr. Jack Cloud, DRB Chair  
City of Albuquerque  
Planning Department  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87103

Re: Sevilla @ Andalucia at La Luz (Tracts A-1-A & B-2, Andalucia at La Luz) – Preliminary Plat, Vacation of Public Easement and Right-of-Way, Design Variance and Sidewalk Deferral/Waiver Request DRB 1000965

Dear Mr. Cloud:

Enclosed for Development Review Board (DRB) preliminary plat review and comment are copies of the following information:

- Application for Development Review
- Zone Atlas Page
- Certificate of No Effect
- Twenty-four (24) copies of each of the Preliminary Plat and Grading Plan
- One (1) copy of the Infrastructure List
- Six (6) copies of Sidewalk Deferral and Waiver
- Twenty-four (24) copies of Variance Exhibit
- Twenty-four (24) copies of Vacation Action Exhibit and original documents
- Letter from the Office of Neighborhood Coordination
- DR/WS and TIS forms
- Design Variance Request/Justification & Sidewalk Deferral/Waiver Letter
- Three (3) Perimeter Wall Exhibits
- Preliminary Pre-Development Facilities Fee Agreement (waived at this time)
- Notice of Decision
- Submittal Fees

This preliminary plat is being presented to the Development Review Board for the purpose of obtaining City review and approval. The proposed subdivision encompasses approximately 4.21 acres and 7.50 acres respectively for a total 11.71 acres which proposes 45 lots of varying sizes and 13 Private Open Space Parcels. Roadway Right-of-Way and pavement widths are indicated on the preliminary plat.

We request that this item be scheduled for the next appropriate DRB hearing. Please feel free to contact me at 823-1000 with questions or comments.

Sincerely,

  
Yolanda Padilla Moyer, P.E.  
Senior Project Manager  
Community Development and Planning

YPM/jcm  
Enclosures

cc: Kevin Patton, Pulte Group

# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

<b>SUBDIVISION</b>	<b>S Z</b>	<b>ZONING &amp; PLANNING</b>
<input checked="" type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> County Submittal
<input checked="" type="checkbox"/> Vacation	<b>V</b>	<input type="checkbox"/> EPC Submittal
<input checked="" type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)
<b>SITE DEVELOPMENT PLAN</b>	<b>P</b>	<input type="checkbox"/> Sector Plan (Phase I, II, III)
<input type="checkbox"/> for Subdivision Purposes		<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan
<input type="checkbox"/> for Building Permit		<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/> Administrative Amendment (AA)		<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> IP Master Development Plan	<b>D</b>	<b>APPEAL / PROTEST of...</b>
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	<b>L A</b>	<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeal
<b>STORM DRAINAGE (Form D)</b>		
<input type="checkbox"/> Storm Drainage Cost Allocation Plan		

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): Bohannon Huston, Inc. PHONE: (505) 823-1000  
 ADDRESS: 7500 Jefferson NE FAX: (505) 798-7988  
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: ypadilla@bhinc.com  
 APPLICANT: Pulte PHONE: 505-341-8591  
 ADDRESS: 7601 Jefferson Ste NE Suite 320 FAX: 505-761-9850  
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: kevin.patton@pultegroup.com  
 Proprietary interest in site: Owner **List all owners:** \_\_\_\_\_

**DESCRIPTION OF REQUEST:** Preliminary Plat Approval

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Tracts A-1-A & B-2 Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv/Addn/TBKA: Andalucia at La Luz  
 Existing Zoning: SU-1/PRD Proposed zoning: No change MRGCD Map No \_\_\_\_\_  
 Zone Atlas page(s): F-11 UPC Code: 101106137636011405; 101106133531642016

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_, Z\_, V\_, S\_, etc.): \_\_\_\_\_  
10000965 06EPC-01314/01315

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill?  no  
 No. of existing lots: 2 No. of proposed lots: 58 Total area of site (acres): 11.71 ac  
 LOCATION PROPERTY BY STREETS: On or Near: Sevilla Ave  
 Between: Coors Blvd and Mi Cordelia Dr. NW  
 Check-off if project was previously reviewed by Sketch Plat/Plan X, or Pre-application Review Team . Date of review: July 23, 2014

SIGNATURE Yolanda Padilla Moye DATE // 12/19/14  
 (Print) Yolanda Padilla Moye Applicant  Agent

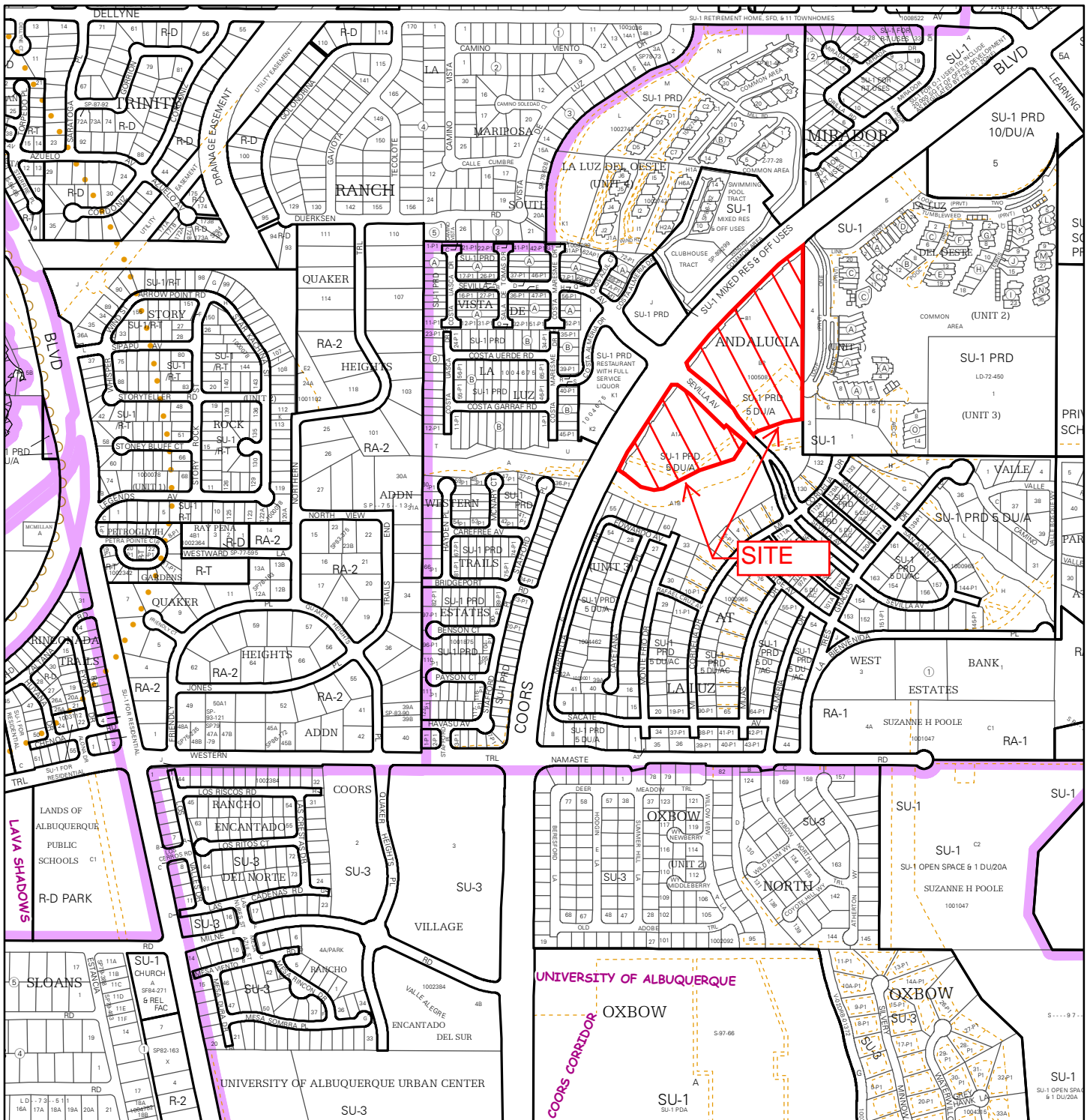
**FOR OFFICIAL USE ONLY**

Form revised 9/01, 3/03, 7/03, 10/03, 04/04

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	_____	_____	_____	\$ _____
<input type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				Total
<input type="checkbox"/> F.H.D.P. fee rebate	Hearing date _____			\$ _____

**Project #** \_\_\_\_\_

Planner signature / date \_\_\_\_\_



For more current information and details visit: <http://www.cabq.gov/gis>

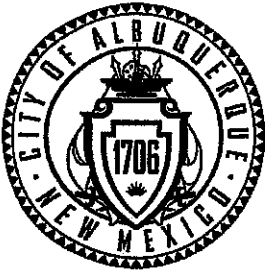
Map amended through: 6/7/2013

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**F-11-Z**

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	



# City of Albuquerque

P.O. Box 1293 Albuquerque, New Mexico 87103  
Planning Department  
Suzanne Lubar, Director

Richard J. Berry, Mayor  
Administrative Officer  
July 25, 2014

Robert J. Perry, Chief

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**SUBJECT: ALBUQUERQUE ARCHAEOLOGICAL ORDINANCE—Compliance**

Documentation

Project Number(s):

Case Number(s):

Agent: Consensus Planning

Applicant: Pulte Group, Inc.

Legal Description: Tract A-1-A and B-2 of Andalucia at La Luz (Sevilla Avenue  
NW between Coors Boulevard NW and Mi Cordellia Drive  
NW)

Zoning: SU-1 for PRD 5 DU/Acre

Acreage: 12 +/- acres

Zone Atlas Page: F-11

CERTIFICATE OF NO EFFECT: Yes  No

CERTIFICATE OF APPROVAL: Yes  No

TREATMENT PLAN REVIEW:

DISCOVERY:

SUPPORTING DOCUMENTATION:

A Class III Survey of 87 Hectares (215 Acres) for the Subdivision of Lands of Ray A. Graham III on the West Mesa by ASW Realty Partners Development, Bernalillo County, NM. by Kenneth L. Brown and Marie Brown, Marron and Associates (2003). NMCRIS #82487.

SITE VISIT: n/a

RECOMMENDATION(S):

- *CERTIFICATE OF NO EFFECT IS ISSUED (ref O-07-72 Section 4B(1)-- no significant sites in project area)*

*MSchmader*

Matthew Schmader, PhD

Superintendent, Open Space Division, City Archaeologist

Current DRC  
Project No. \_\_\_\_\_

Date Submitted: 12/19/2014  
 Date Site Plan Approved: \_\_\_\_\_  
 Date Preliminary Plat Approved: \_\_\_\_\_  
 Date Preliminary Plat Expires: \_\_\_\_\_

DRB Project No. 1000965

Figure 12

INFRASTRUCTURE LIST

EXHIBIT "A"  
 TO SUBDIVISION IMPROVEMENTS AGREEMENT  
 DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

**SEVILLA @ ANDALUCIA**  
**(TRACT A-1-A & B-2 @ ANDALUCIA)**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<b><u>PUBLIC WATERLINE IMPROVEMENTS</u></b>									
		8" DIA (1WR)	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	CALLE ESPANA	WEST BOUNDARY	SEVILLA AVE	/	/	/
		8" DIA (1WR)	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	CALLE ESPANA	SEVILLA AVE	BERM STREET	/	/	/
		6" DIA (1WR)	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	CORTE ALCAZAR	WEST BOUNDARY	CALLE ESPANA	/	/	/
		6" DIA (1WR)	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	CALLE GIRALDA	CALLE PARASOL	CALLE ESPANA	/	/	/
		4" DIA (1WR)	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	CALLE GIRALDA	LOT 22	CALLE PARASOL	/	/	/
		6" DIA (1WR)	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	CALLE PARASOL	CALLE GIRALDA	CALLE ESPANA	/	/	/
							/	/	/

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<b><u>PUBLIC SANITARY SEWER IMPROVEMENTS</u></b>									
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	CALLE ESPANA	EX. SANITARY SEWER MANHOLE LOCATED IN COORS RIGHT-OF-WAY	SEVILLA AVE	/	/	/
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	CALLE ESPANA	SEVILLA AVE	BERM STREET	/	/	/
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	CORTE ALCAZAR	WEST BOUNDARY	CALLE ESPANA	/	/	/
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	CALLE GIRALDA	LOT 22	CALLE ESPANA	/	/	/
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	CALLE PARASOL	CALLE GIRALDA	AVENIDA SEVILLA	/	/	/
			REMOVAL OF 8" SANITARY SEWER	EXISTING 25' SANITARY SEWER EASEMENT TO BE REMOVED	EX. SANITARY SEWER MANHOLE LOCATED IN COORS RIGHT-OF-WAY	SEVILLA AVE	/	/	/
							/	/	/

**PUBLIC STORM DRAIN IMPROVEMENTS**


18-36" DIA	RCP W/ NEC. MH'S, LATERALS & INLETS	CALLE ESPANA	LOT 12/13 (LOWPOINT)	SEVILLA AVE
18-36" DIA	RCP W/ NEC. MH'S, LATERALS & INLETS	CALLE ESPANA	TRACT 4 (LOWPOINT)	SEVILLA AVE
NOTE:	A GRADING AND DRAINAGE CERTIFICAITON OF THE APPROVED GRADING PLAN IS REQUIRED PRIOR TO THE RELEASE OF FINANCIAL GUARANTEES			

/	/	/
/	/	/
/	/	/
/	/	/

SIA Sequence #	COA DRC Project #

Size	Type of Improvement	Location	From	To
<b>PUBLIC ROADWAY IMPROVEMENTS - ON-SITE</b>				
25' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK+* ON BOTH SIDES	CALLE ESPANA <b>(Access Local Residential)</b>	CUL-DE-SAC TERMINUS	LOT 1/2
22' F-F (OUT) 20' F-F (IN) 5' MEDIAN	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK+* ON BOTH SIDES	CALLE ESPANA <b>(Access Local Residential)</b>	LOT 1/2	SEVILLA AVE
22' F-F (OUT) 20' F-F (IN) 6' MEDIAN	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK+* ON BOTH SIDES	CALLE ESPANA <b>(Access Local Residential)</b>	SEVILLA AVE	CALLE GIRALDA
25' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK+* ON BOTH SIDES	CALLE ESPANA <b>(Access Local Residential)</b>	LOT 44/45	BERM STREET
25' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK+* ON NORTHSIDE ONLY	CORTE ALCAZAR <b>(Access Local Residential)</b>	CUL-DE-SAC TERMINUS	CALLE ESPANA
24' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK+* ON SOUTH SIDE ONLY	CALLE GIRALDA <b>(Access Local Residential)</b>	LOT 22	CALLE ESPANA
8'	PCC SIDEWALK	COORS BLVD	END OF EXISTING 8' SIDEWALK NORTH OF SEVILLA	NORTH PROPERTY BOUNDARY

Private Inspector	City Inspector	City Cnst Engineer
/	/	/
/	/	/
/	/	/
/	/	/
/	/	/
/	/	/
/	/	/
/	/	/

SIA Sequence #	COA DRC Project #
<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>

Size	Type of Improvement	Location	From	To
25' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER & PCC 4' WIDE SIDEWALK†* ON BOTH SIDES	CALLE PARASOL <b>(Access Local Residential)</b>	CALLE GIRALDA	CALLE ESPANA
NOTE:	A STREETScape AGREEMENT BTWN THE CITY & DEVELOPER IS REQUIRED FOR LANDSCAPING W/IN PUBLIC ROW. STREET LIGHTS ARE REQUIRED PER THE COA DPM			
*ALL SIDEWALKS TO BE DEFERRED ALONG FRONTAGE OF LOTS, SIDEWALKS TO BE BUILT DEFERRED IN ACCORDANCE W/APPROVED SIDEWALK EXHIBIT				
†SIDEWALK TO BE WAIVED ON: SOUTHSIDE OF CALLE ALCAZAR, NORTH SIDE OF CALLE GIRALDA, WESTSIDE OF CALLE ESPANA BTWN CALLE GIRALDA AND CALLE PARASOL, CALLE ESPANA NORTH OF LOTS 28 AND 32.				
**PROVIDE / INSTALL THE NECESSARY ROADWAY SIGNAGE ASSOCIATED W/ THE DEVELOPMENT AS APPROVED BY THE CITY DRC				

Private Inspector	City Inspector	City Cnst Engineer
<u>          /          </u>	<u>          /          </u>	<u>          /          </u>
<u>          /          </u>	<u>          /          </u>	<u>          /          </u>
<u>          /          </u>	<u>          /          </u>	<u>          /          </u>

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AGENT/OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS
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YOLANDA PADILLA MOYER, P.E. PREPARED BY: PRINT NAME	DRB CHAIR DATE	PARKS & GENERAL SERVICES DATE
BOHANNAN HUSTON INC. FIRM:	TRANSPORTATION DEVELOPMENT DATE	AMAFCA DATE
SIGNATURE	ABCWUA DATE	CITY ENGINEER DATE
MAXIMUM TIME ALLOW TO CONSTRUCT IMPROVEMENTS WITHOUT A DRB EXTENSION <input type="text"/>	DATE	DATE

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DESIGN REVIEW COMMITTEE REVISIONS
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REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER



## City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

December 16, 2014

Brian Patterson  
Bohannon Huston Inc.  
7500 Jefferson NE/87109  
Phone: 505-823-1000/Fax: 505-798-7988  
E-mail: [bpatterson@bhinc.com](mailto:bpatterson@bhinc.com)

Dear Brian:

Thank you for your inquiry of **December 16, 2014** requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of §14-8-2-7 of the *Neighborhood Association Recognition Ordinance* by your proposed project at **(DRB SUBMITTAL) TRACT A-1-A AND B-2, ANDALUCIA AT LA LUZ LOCATED ON SEVILLA AVENUE NW BETWEEN COORS BOULEVARD NW AND MI CORDELIA DRIVE NW** zone map **F-11**.

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

**SEE "ATTACHMENT A" FOR THE NAMES OF THE NA/HOA'S THAT NEED TO BE CONTACTED IN REGARDS TO THIS PLANNING SUBMITTAL – please attach this letter and "Attachment A" to your Application Packet ALONG with copies of the letters and certified mail receipts to the NA/HOA's – siw.**

Please note that according to §14-8-2-7 of the *Neighborhood Association Recognition Ordinance* you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at [swinklepleck@cabq.gov](mailto:swinklepleck@cabq.gov) or by fax at (505) 924-3913.

Sincerely,

*Stephani Winklepleck*

**Stephani I. Winklepleck**

Neighborhood Liaison  
OFFICE OF NEIGHBORHOOD COORDINATION  
Planning Department

**PLEASE NOTE: The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office.**

**LETTERS MUST BE SENT TO BOTH CONTACTS OF EACH NA/HOA FOR THIS PLANNING DEPARTMENT SUBMITTAL**



# !!!Notice to Applicants!!!

## SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected neighborhood and/or homeowner associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

### WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
  - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
  - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describes the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.>").
  - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
  - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

## Information from the Office of Neighborhood Coordination

The following information should always be in **each** application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-**
- The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- Copies of Letters to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**
- Copies of the certified receipts to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**

**Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.**

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at [swinklepleck@cabq.gov](mailto:swinklepleck@cabq.gov).

Thank you for your cooperation on this matter.

\*\*\*\*\*  
(below this line for ONC use only)

Date of Inquiry: 12/16/14 Time Entered: 8:55 a.m. ONC Rep. Initials: siw

# **“ATTACHMENT A”**

Brian Patterson  
Bohannon Huston Inc.  
7500 Jefferson NE/87109  
Phone: 505-823-1000/Fax: 505-798-7988  
E-mail: [bpatterson@bhinc.com](mailto:bpatterson@bhinc.com)  
Zone Map: F-11

## **LA LUZ DEL SOL N.A. “R”**

### **\*Arthur Woods**

33 Wind Rd. NW/87120 974-5301 (c)

Jim Fisk

2 Mill Rd. NW/87120 898-5559 (h)

## **LA LUZ LANDOWNERS ASSOC. “R”**

Rae Perls

15 Tennis Ct. NW/87120 898-8833 (h)

Paula Worley

3 Pool NW/87120 (425) 241-1168 (c)

## **TAYLOR RANCH N.A. “R”**

### **\*Jolene Wolfley**

7216 Carson Trl. NW/87120 890-9414 (h)

Rene Horvath

5515 Palomino Dr. NW/87120 898-2114 (h)

## **ANDALUCIA H.O.A., INC.**

Ann Prinz

4611 Mijas Dr. NW/87120 352-0625 (h)

Kahleeta Clark c/o ENTRUST

2823 Richmond NE/87107 266-2000 (o) 217-1127 (c)

## **WESTERN TRAILS ESTATES H.O.A.**

### **\*John Padilla**

1917 Morningside Dr. NE/87109 228-3831 (c)

Krista Gessing

5500 Benson Ct. NW/87120 831-1312 (h)

**\*President of NA/HOA**

CERTIFIED MAIL  
RETURN RECEIPT REQUESTED

December 17, 2014

Arthur Woods  
33 Wind Rd. NW  
Albuquerque, NM 87120

Re: Sevilla @ Andalucia at La Luz (Tracts A-1-A & B-2, Andalucia at La Luz) – Preliminary Plat, Vacation of Public Easement, Design Variance and Sidewalk Deferral/Waiver Request DRB # 1000965

Dear Mr. Woods:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of a Neighborhood and/or Homeowner's Association associated with the above mentioned project site.

This letter is to advise you that Bohannon Huston, Inc., agent for Pulte Homes, is seeking approval for a Preliminary Plat, Vacation of Public Easement and Public Right-of-way, Design Variance and Sidewalk Deferral/Waiver Request for Sevilla @ Andalucia at La Luz (Tracts A-1-A & B-2, Andalucia at La Luz). The site is located east of Coors Blvd, north and west of the San Antonio Arroyo and south of Berm St. The proposed project encompasses approximately 11.71 acres subdivided into approximately 45 residential lots of varying sizes and 13 private tracts.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



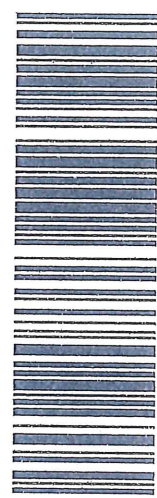
Yolanda Padilla Moyer, P.E.  
Senior Project Manager  
Community Development & Planning

Enclosure

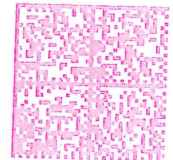
YPM/BCP/jcm

Courtyard 1  
7500 Jefferson St. NE  
Albuquerque, NM  
87109-4335

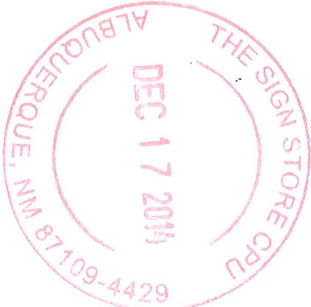
CERTIFIED MAIL



91 7199 9991 7031 0880 8942



UNITED STATES POSTAGE  
PRIMEY BOWES  
\$006.480  
02 1P  
0000819967  
DEC 17 2014  
MAILED FROM ZIP CODE 87109



Arthur Woods  
33 Wind Rd. NW  
Albuquerque, NM 87120

PRINTED AND POSTAGE PAID PER PERMIT NO. 1000 ALBUQUERQUE, NM

**SENDER: COMPLETE THIS SECTION**

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- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

*Arthur Woods  
33 Wind Rd. NW  
Albuquerque, NM 87120*

**COMPLETE THIS SECTION ON DELIVERY**

A. Signature		<input type="checkbox"/> Agent <input checked="" type="checkbox"/> Addressee	
B. Received by (Printed Name)		C. Date of Delivery	
D. Is delivery address different from item 1? <input type="checkbox"/> Yes <input type="checkbox"/> No			
If YES, enter delivery address below:			
3. Service Type			
<input checked="" type="checkbox"/> Certified Mail	<input type="checkbox"/> Express Mail	Return Receipt for Merchandise	
<input type="checkbox"/> Registered	<input type="checkbox"/> C.O.D.		
<input type="checkbox"/> Insured Mail	4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes <input type="checkbox"/> No		

2. Article Number  
(Transfer from service label)

91 7199 9991 7031 0880 8942

PS Form 3811, February 2004

Domestic Return Receipt

102595-02-M-1540

CERTIFIED MAIL  
RETURN RECEIPT REQUESTED

December 17, 2014

Jim Fisk  
2 Mill Rd. NW  
Albuquerque, NM 87120

Re: Sevilla @ Andalucia at La Luz (Tracts A-1-A & B-2, Andalucia at La Luz) – Preliminary Plat, Vacation of Public Easement, Design Variance and Sidewalk Deferral/Waiver Request DRB # 1000965

Dear Mr. Fisk:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of a Neighborhood and/or Homeowner's Association associated with the above mentioned project site.

This letter is to advise you that Bohannon Huston, Inc., agent for Pulte Homes, is seeking approval for a Preliminary Plat, Vacation of Public Easement and Public Right-of-way, Design Variance and Sidewalk Deferral/Waiver Request for Sevilla @ Andalucia at La Luz (Tracts A-1-A & B-2, Andalucia at La Luz). The site is located east of Coors Blvd, north and west of the San Antonio Arroyo and south of Berm St. The proposed project encompasses approximately 11.71 acres subdivided into approximately 45 residential lots of varying sizes and 13 private tracts.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,

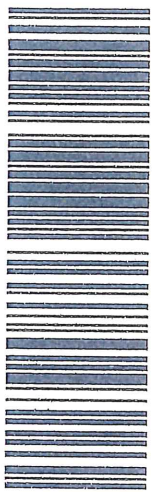


Yolanda Padilla Moyer, P.E.  
Senior Project Manager  
Community Development & Planning

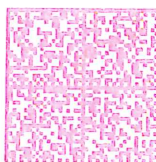
YPM/BCP/jcm  
Enclosure

Courtyard 1  
7500 Jefferson St. NE  
Albuquerque, NM  
87109-4335

CERTIFIED MAIL



91 7199 9991 7031 0880 8935



UNITED STATES POSTAGE  
PRIMEV BOWES  
02 1P \$006.480  
000819967 DEC 17 2014  
MAILED FROM ZIP CODE 87109

Jim Fisk  
2 Mill Rd. NW  
Albuquerque, NM 87120



PLACE STICKER AT TOP OF ENVELOPE TO THE RIGHT

**SENDER: COMPLETE THIS SECTION**

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Jim Fisk  
2 Mill Rd. NW  
Albuquerque NM 87120

**COMPLETE THIS SECTION ON DELIVERY**

- A. Signature  Agent  
 Addressee
- B. Received by (Printed Name)  C. Date of Delivery
- D. Is delivery address different from item 1?  Yes  
If YES, enter delivery address below:  No

3. Service Type

- Certified Mail  Express Mail  
 Registered  Return Receipt for Merchandise  
 Insured Mail  C.O.D.  
4. Restricted Delivery? (Extra Fee)  Yes

2. Article Number  91 7199 9991 7031 0880 8935  
(Transfer from service label)  
PS Form 3811, February 2004 Domestic Return Receipt

CERTIFIED MAIL  
RETURN RECEIPT REQUESTED

December 17, 2014

Rae Perls  
15 Tennis Ct. NW  
Albuquerque, NM 87120

Re: Sevilla @ Andalucia at La Luz (Tracts A-1-A & B-2, Andalucia at La Luz) – Preliminary Plat, Vacation of Public Easement, Design Variance and Sidewalk Deferral/Waiver Request DRB # 1000965

Dear Ms. Perls:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of a Neighborhood and/or Homeowner's Association associated with the above mentioned project site.

This letter is to advise you that Bohannon Huston, Inc., agent for Pulte Homes, is seeking approval for a Preliminary Plat, Vacation of Public Easement and Public Right-of-way, Design Variance and Sidewalk Deferral/Waiver Request for Sevilla @ Andalucia at La Luz (Tracts A-1-A & B-2, Andalucia at La Luz). The site is located east of Coors Blvd, north and west of the San Antonio Arroyo and south of Berm St. The proposed project encompasses approximately 11.71 acres subdivided into approximately 45 residential lots of varying sizes and 13 private tracts.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,

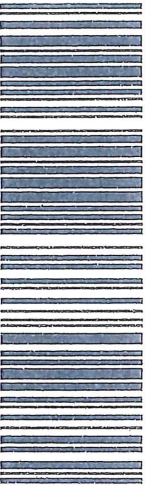


Yolanda Padilla Moyer, P.E.  
Senior Project Manager  
Community Development & Planning

YPM/BCP/jcm  
Enclosure

Courtyard 1  
7500 Jefferson St. NE  
Albuquerque, NM  
87109-4335

CERTIFIED MAIL



91 7199 9991 7031 0880 8928

Rae Peris  
15 Tennis Ct. NW  
Albuquerque, NM 87120



PLACE STICKER AT TOP OF ENVELOPE WITH RIGHT SIDE OF RETURN ADDRESS FOLDED AT DOTTED LINE

**SENDER: COMPLETE THIS SECTION**

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

*Rae Peris*  
*15 Tennis Ct. NW*  
*Albuquerque, NM 87120*

**COMPLETE THIS SECTION ON DELIVERY**

A. Signature  X  Agent  
 Addressee

B. Received by (Printed Name)  C. Date of Delivery

D. Is delivery address different from item 1?  Yes  
If YES, enter delivery address below:  No

3. Service Type  
 Certified Mail  Express Mail  
 Registered  Return Receipt for Merchandise  
 Insured Mail  C.O.D.

4. Restricted Delivery? (Extra Fee)  Yes

2. Article Number  91 7199 9991 7031 0880 8928  
(Transfer from service label)

PS Form 3811, February 2004

Domestic Return Receipt

102595-02-M-1540



CERTIFIED MAIL  
RETURN RECEIPT REQUESTED

December 17, 2014

Paula Worley  
3 Pool NW  
Albuquerque, NM 87120

Re: Sevilla @ Andalucia at La Luz (Tracts A-1-A & B-2, Andalucia at La Luz) – Preliminary Plat, Vacation of Public Easement, Design Variance and Sidewalk Deferral/Waiver Request DRB # 1000965

Dear Ms. Worley:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of a Neighborhood and/or Homeowner's Association associated with the above mentioned project site.

This letter is to advise you that Bohannon Huston, Inc., agent for Pulte Homes, is seeking approval for a Preliminary Plat, Vacation of Public Easement and Public Right-of-way, Design Variance and Sidewalk Deferral/Waiver Request for Sevilla @ Andalucia at La Luz (Tracts A-1-A & B-2, Andalucia at La Luz). The site is located east of Coors Blvd, north and west of the San Antonio Arroyo and south of Berm St. The proposed project encompasses approximately 11.71 acres subdivided into approximately 45 residential lots of varying sizes and 13 private tracts.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,

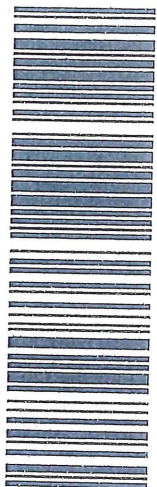


Yolanda Padilla Moyer, P.E.  
Senior Project Manager  
Community Development & Planning

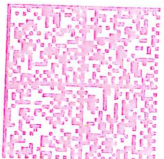
YPM/BCP/jcm  
Enclosure

Courtyard 1  
7500 Jefferson St. NE  
Albuquerque, NM  
87109-4335

**CERTIFIED MAIL**

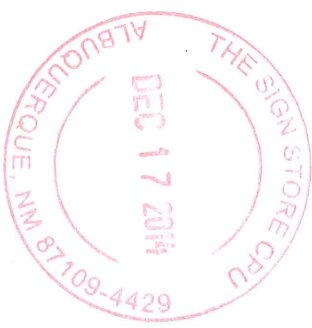


91 7199 9991 7031 0880 8911



UNITED STATES POSTAGE  
EAGLE  
PRIMEV BOWES  
02 1P  
0000819967  
MAILED FROM ZIP CODE 87109  
**\$ 006.480**  
DEC 17 2014

Paula Worley  
3 Pool NW  
Albuquerque, NM 87120



PLACE STICKER TOP OF ENVELOPE TO THE RIGHT

**SENDER: COMPLETE THIS SECTION**

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Paula Worley  
3 Pool NW  
Albuquerque, NM  
87120

**COMPLETE THIS SECTION ON DELIVERY**

- A. Signature  Agent
- B. Received by (Printed Name)  Addressee
- C. Date of Delivery
- D. Is delivery address different from item 1?  Yes  
If YES, enter delivery address below:  No

**3. Service Type**

- Certified Mail
- Registered
- Insured Mail
- Express Mail
- Return Receipt for Merchandise
- C.O.D.

4. Restricted Delivery? (Extra Fee)  Yes

2. Article Number (Transfer from service label) 91 7199 9991 7031 0880 8911

PS Form 3811, February 2004

Domestic Return Receipt

102595-02-M-1540

CERTIFIED MAIL  
RETURN RECEIPT REQUESTED

December 17, 2014

Jolene Wolfey  
7216 Carson Trail NW  
Albuquerque, NM 87120

Re: Sevilla @ Andalucia at La Luz (Tracts A-1-A & B-2, Andalucia at La Luz) – Preliminary Plat, Vacation of Public Easement, Design Variance and Sidewalk Deferral/Waiver Request DRB # 1000965

Dear Ms. Wolfey:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of a Neighborhood and/or Homeowner's Association associated with the above mentioned project site.

This letter is to advise you that Bohannon Huston, Inc., agent for Pulte Homes, is seeking approval for a Preliminary Plat, Vacation of Public Easement and Public Right-of-way, Design Variance and Sidewalk Deferral/Waiver Request for Sevilla @ Andalucia at La Luz (Tracts A-1-A & B-2, Andalucia at La Luz). The site is located east of Coors Blvd, north and west of the San Antonio Arroyo and south of Berm St. The proposed project encompasses approximately 11.71 acres subdivided into approximately 45 residential lots of varying sizes and 13 private tracts.

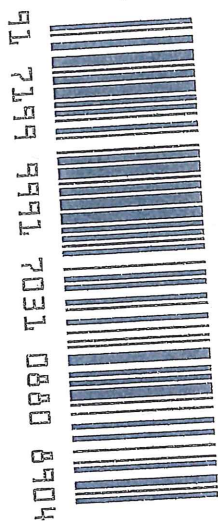
Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,

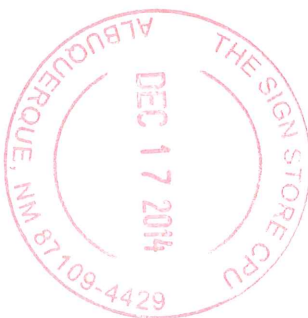
  
Yolanda Padilla Moyer, P.E.  
Senior Project Manager  
Community Development & Planning

YPM/BCP/jcm  
Enclosure

Courtyard 1  
7500 Jefferson St. NE  
Albuquerque, NM  
87109-4335



Jolene Wolfey  
7216 Carson Trail NW  
Albuquerque, NM 87120



PLACE STICKER TO TOP OF ENVELOPE TO RETURN ADDRESS. FOLD AT DOTTED LINE.

**SENDER: COMPLETE THIS SECTION**

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
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- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

*Jolene Wolfey  
7216 Carson Trail NW  
Albuquerque, NM 87120*

**COMPLETE THIS SECTION ON DELIVERY**

A. Signature    
 Agent   
 Addressee

B. Received by (Printed Name)  C. Date of Delivery

D. Is delivery address different from item 1?  Yes  No   
 If YES, enter delivery address below:

3. Service Type

- Certified Mail
- Registered
- Insured Mail
- Express Mail
- Return Receipt for Merchandise
- C.O.D.

4. Restricted Delivery? (Extra Fee)  Yes

2. Article Number   
 (Transfer from service label)

91 7199 9991 7031 0880 8904

PS Form 3811, February 2004

Domestic Return Receipt

102596-02-M-1540

CERTIFIED MAIL  
RETURN RECEIPT REQUESTED

December 17, 2014

Rene Horvath  
5515 Palomino Dr. NW  
Albuquerque, NM 87120

Re: Sevilla @ Andalucia at La Luz (Tracts A-1-A & B-2, Andalucia at La Luz) – Preliminary Plat, Vacation of Public Easement, Design Variance and Sidewalk Deferral/Waiver Request DRB # 1000965

Dear Ms. Horvath:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of a Neighborhood and/or Homeowner's Association associated with the above mentioned project site.

This letter is to advise you that Bohannon Huston, Inc., agent for Pulte Homes, is seeking approval for a Preliminary Plat, Vacation of Public Easement and Public Right-of-way, Design Variance and Sidewalk Deferral/Waiver Request for Sevilla @ Andalucia at La Luz (Tracts A-1-A & B-2, Andalucia at La Luz). The site is located east of Coors Blvd, north and west of the San Antonio Arroyo and south of Berm St. The proposed project encompasses approximately 11.71 acres subdivided into approximately 45 residential lots of varying sizes and 13 private tracts.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

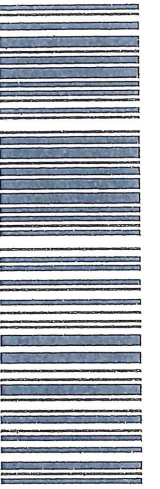
Sincerely,



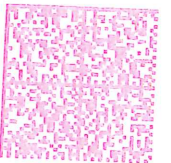
Yolanda Padilla Moyer, P.E.  
Senior Project Manager  
Community Development & Planning

YPM/BCP/jcm  
Enclosure

Courtyard 1  
7500 Jefferson St. NE  
Albuquerque, NM  
87109-4335



91 7199 9991 7031 0880 8898



UNITED STATES POSTAGE  
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\$ 006.480  
02 1P  
0000819967  
DEC 17 2014  
MAILED FROM ZIP CODE 87109

Rene Horvath  
5515 Palomino Dr. NW  
Albuquerque, NM 87120



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02 1P  
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DEC 17 2014  
MAILED FROM ZIP CODE 87109

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- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

*Rene Horvath*  
*5515 Palomino Dr. NW*  
*Albuquerque, NM 87120*

**COMPLETE THIS SECTION ON DELIVERY**

A. Signature

X

B. Received by (Printed Name)

C. Date of Delivery

- Agent
- Addressee

D. Is delivery address different from item 1?  Yes  
If YES, enter delivery address below:  No

3. Service Type

- Certified Mail
- Registered
- Insured Mail
- Express Mail
- Return Receipt for Merchandise
- C.O.D.

4. Restricted Delivery? (Extra Fee)

Yes

2. Article Number

(Transfer from service label)

91 7199 9991 7031 0880 8898

PS Form 3811, February 2004

Domestic Return Receipt

102595-02-M-1540

CERTIFIED MAIL  
RETURN RECEIPT REQUESTED

December 17, 2014

Ann Prinz  
4611 Mijas Dr. NW  
Albuquerque, NM 87120

Re: Sevilla @ Andalucia at La Luz (Tracts A-1-A & B-2, Andalucia at La Luz) – Preliminary Plat, Vacation of Public Easement, Design Variance and Sidewalk Deferral/Waiver Request DRB # 1000965

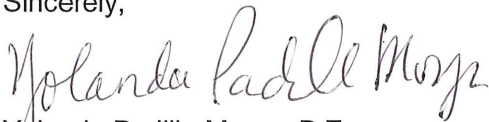
Dear Ms. Prinz:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of a Neighborhood and/or Homeowner's Association associated with the above mentioned project site.

This letter is to advise you that Bohannon Huston, Inc., agent for Pulte Homes, is seeking approval for a Preliminary Plat, Vacation of Public Easement and Public Right-of-way, Design Variance and Sidewalk Deferral/Waiver Request for Sevilla @ Andalucia at La Luz (Tracts A-1-A & B-2, Andalucia at La Luz). The site is located east of Coors Blvd, north and west of the San Antonio Arroyo and south of Berm St. The proposed project encompasses approximately 11.71 acres subdivided into approximately 45 residential lots of varying sizes and 13 private tracts.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

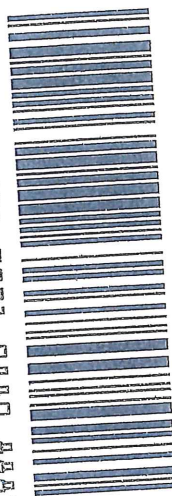
Sincerely,



Yolanda Padilla Moyer, P.E.  
Senior Project Manager  
Community Development & Planning

YPM/BCP/jcm  
Enclosure

Courtyard 1  
7500 Jefferson St. NE  
Albuquerque, NM  
87109-4335



91 7199 9991 7031 0880 8881



Ann Prinz  
4611 Mijas Dr. NW  
Albuquerque, NM 87120



PLACE STICKER AT TOP FOR RETURN ADDRESS. FOLD AT DOTTED LINE TO OPEN ENVELOPE TO THE RIGHT.

**SENDER: COMPLETE THIS SECTION**

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

*Ann Prinz  
4611 Mijas Dr. NW  
Albuquerque, NM 87120*

**COMPLETE THIS SECTION ON DELIVERY**

- A. Signature  Agent  Addressee
- B. Received by (Printed Name)  Date of Delivery
- D. Is delivery address different from item 1?  Yes  No  
If YES, enter delivery address below:

**3. Service Type**

- Certified Mail
- Registered
- Insured Mail
- Express Mail
- Return Receipt for Merchandise
- C.O.D.

4. Restricted Delivery? (Extra Fee)  Yes

2. Article Number  
(Transfer from service label)

91 7199 9991 7031 0880 8881

PS Form 3811, February 2004

Domestic Return Receipt

102595-02-M-1540



CERTIFIED MAIL  
RETURN RECEIPT REQUESTED

December 17, 2014

Kahleetah Clark c/o ENTRUST  
2823 Richmond NE  
Albuquerque, NM 87107

Re: Sevilla @ Andalucia at La Luz (Tracts A-1-A & B-2, Andalucia at La Luz) – Preliminary Plat, Vacation of Public Easement, Design Variance and Sidewalk Deferral/Waiver Request DRB # 1000965

Dear Ms. Clark:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of a Neighborhood and/or Homeowner's Association associated with the above mentioned project site.

This letter is to advise you that Bohannon Huston, Inc., agent for Pulte Homes, is seeking approval for a Preliminary Plat, Vacation of Public Easement and Public Right-of-way, Design Variance and Sidewalk Deferral/Waiver Request for Sevilla @ Andalucia at La Luz (Tracts A-1-A & B-2, Andalucia at La Luz). The site is located east of Coors Blvd, north and west of the San Antonio Arroyo and south of Berm St. The proposed project encompasses approximately 11.71 acres subdivided into approximately 45 residential lots of varying sizes and 13 private tracts.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,

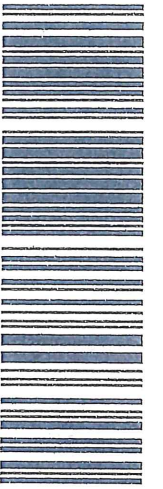


Yolanda Padilla Moyer, P.E.  
Senior Project Manager  
Community Development & Planning

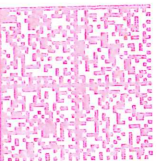
Enclosure  
YPM/BCP/jcm

Courtyard 1  
7500 Jefferson St. NE  
Albuquerque, NM  
87109-4335

CERTIFIED MAIL



91 7199 9991 7031 0880 8874



UNITED STATES POSTAGE  
PRIMEV BOWES  
\$ 006.480  
02 1P  
0000819967 DEC 17 2014  
MAILED FROM ZIP CODE 87109

Kahleetah Clark c/o ENTRUST  
2823 Richmond NE  
Albuquerque, NM 87107



PLACE STICKER AT TOP OF ENVELOPE TO THE RIGHT OF THE RETURN ADDRESS.

**SENDER: COMPLETE THIS SECTION**

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

*Kahleetah Clark  
c/o ENTRUST  
2823 Richmond NE  
Albuquerque, NM 87107*

**COMPLETE THIS SECTION ON DELIVERY**

- A. Signature  Agent
- Addresssee
- B. Received by (Printed Name) C. Date of Delivery
- D. Is delivery address different from item 1?  Yes  
If YES, enter delivery address below:  No

3. Service Type

- Certified Mail
- Registered
- Insured Mail
- Express Mail
- Return Receipt for Merchandise
- C.O.D.

4. Restricted Delivery? (Extra Fee)

Yes

2. Article Number  
(Transfer from service label)

91 7199 9991 7031 0880 8874

PS Form 3811, February 2004

Domestic Return Receipt

102895-02-M-1540

CERTIFIED MAIL  
RETURN RECEIPT REQUESTED

December 17, 2014

John Padilla  
1917 Morningside Dr. NW  
Albuquerque, NM 87109

Re: Sevilla @ Andalucia at La Luz (Tracts A-1-A & B-2, Andalucia at La Luz) – Preliminary Plat, Vacation of Public Easement, Design Variance and Sidewalk Deferral/Waiver Request DRB # 1000965

Dear Mr. Padilla:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of a Neighborhood and/or Homeowner's Association associated with the above mentioned project site.

This letter is to advise you that Bohannon Huston, Inc., agent for Pulte Homes, is seeking approval for a Preliminary Plat, Vacation of Public Easement and Public Right-of-way, Design Variance and Sidewalk Deferral/Waiver Request for Sevilla @ Andalucia at La Luz (Tracts A-1-A & B-2, Andalucia at La Luz). The site is located east of Coors Blvd, north and west of the San Antonio Arroyo and south of Berm St. The proposed project encompasses approximately 11.71 acres subdivided into approximately 45 residential lots of varying sizes and 13 private tracts.

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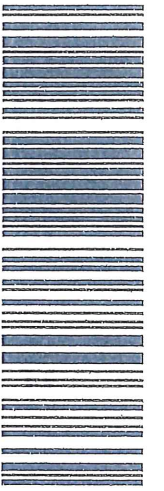
Sincerely,

  
Yolanda Padilla Moyer, P.E.  
Senior Project Manager  
Community Development & Planning

YPM/BCP/jcm  
Enclosure

Courtyard 1  
7500 Jefferson St. NE  
Albuquerque, NM  
87109-4335

SCOTTED MAIL



91 7199 9991 7031 0880 8867



John Padilla  
1917 Morningside Dr. NW  
Albuquerque, NM 87109



PLACE STICKER ABOVE TOP LEFT CORNER OF THE RETURN ADDRESS

**SENDER: COMPLETE THIS SECTION**

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the malpiece, or on the front if space permits.

1. Article Addressed to:

John Padilla  
1917 Morningside Dr.  
Albuquerque, NY 87109 NW

**COMPLETE THIS SECTION ON DELIVERY**

- A. Signature  *John Padilla*  Agent
- B. Received by (Printed Name)  Addressee
- C. Date of Delivery
- D. Is delivery address different from item 1?  Yes  
If YES, enter delivery address below:  No

3. Service Type

- Certified Mail
- Registered
- Insured Mail
- Express Mail
- Return Receipt for Merchandise
- C.O.D.

4. Restricted Delivery? (Extra Fee)  Yes  No

2. Article Number

(Transfer from service label)

91 7199 9991 7031 0880 8867

CERTIFIED MAIL  
RETURN RECEIPT REQUESTED

December 17, 2014

Krista Gessing  
5500 Benson Ct. NW  
Albuquerque, NM 87120

Re: Sevilla @ Andalucia at La Luz (Tracts A-1-A & B-2, Andalucia at La Luz) – Preliminary Plat, Vacation of Public Easement, Design Variance and Sidewalk Deferral/Waiver Request DRB # 1000965

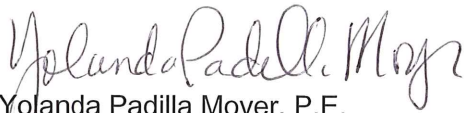
Dear Ms. Gessing:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of a Neighborhood and/or Homeowner's Association associated with the above mentioned project site.

This letter is to advise you that Bohannon Huston, Inc., agent for Pulte Homes, is seeking approval for a Preliminary Plat, Vacation of Public Easement and Public Right-of-way, Design Variance and Sidewalk Deferral/Waiver Request for Sevilla @ Andalucia at La Luz (Tracts A-1-A & B-2, Andalucia at La Luz). The site is located east of Coors Blvd, north and west of the San Antonio Arroyo and south of Berm St. The proposed project encompasses approximately 11.71 acres subdivided into approximately 45 residential lots of varying sizes and 13 private tracts.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



Yolanda Padilla Moyer, P.E.  
Senior Project Manager  
Community Development & Planning

Enclosure  
YPM/BCP/jcm

**SENDER: COMPLETE THIS SECTION**

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

*Krista Gessing*  
 5500 Benson Ct. NW  
 Albuquerque, NM 87120

**COMPLETE THIS SECTION ON DELIVERY**

A. Signature  Agent  
 *Krista Gessing*  Addressee

B. Received by (Printed Name)  Date of Delivery

D. Is delivery address different from item 1?  Yes  
 If YES, enter delivery address below:  No

3. Service Type

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4. Restricted Delivery? (Extra Fee)  Yes

2. Article Number

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PS Form 3811, February 2004

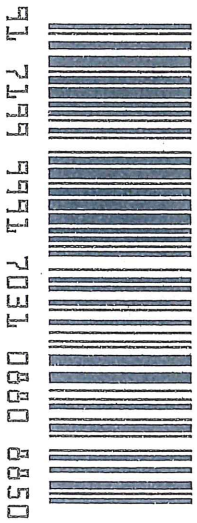
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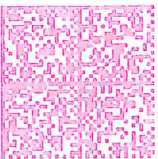
**CERTIFIED MAIL**

**Bohannan**  **Huston**

Courtyard 1  
 7500 Jefferson St. NE  
 Albuquerque, NM  
 87109-4335



91 7199 9991 7031 0880 8850



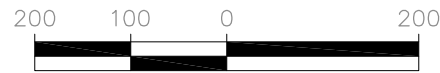
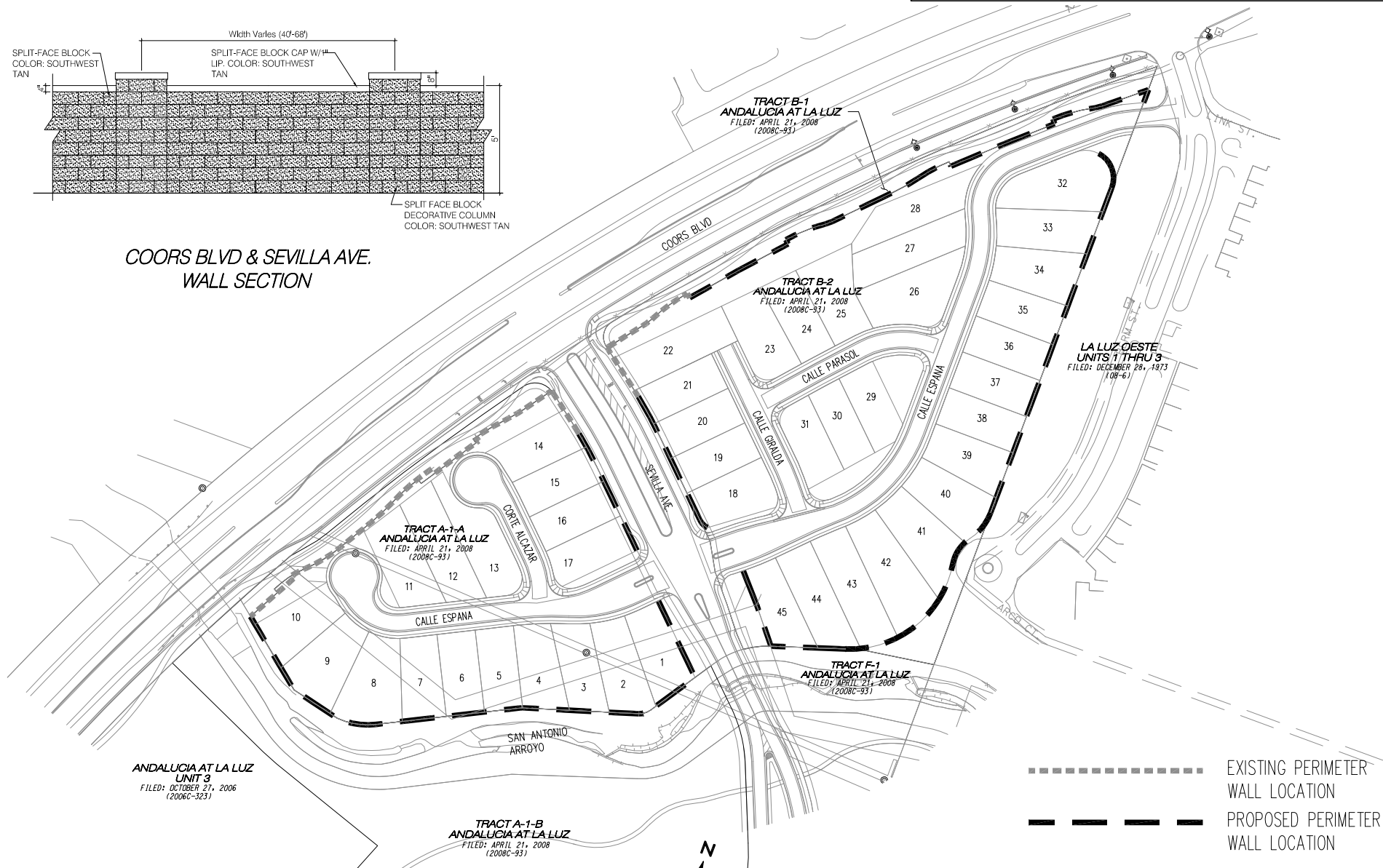
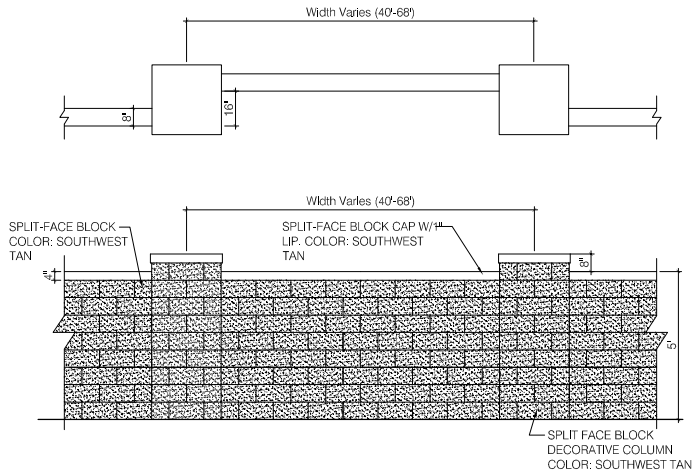
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 DEC 17 2014  
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Krista Gessing  
 5500 Benson Ct. NW  
 Albuquerque, NM 87120

# SEVILLA AT ANDALUCIA

WALL EXHIBIT

December, 2014



SCALE: 1"=200'

**FORM DRWS: DRAINAGE REPORT / WATER & SANITARY SEWER AVAILABILITY**  
THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION  
FOR MAJOR SUBDIVISIONS AND SITE DEVELOPMENT PLANS.

**PROJECT NAME:** Sevilla @ Andalucia

**AGIS MAP #**        F-11

**LEGAL DESCRIPTIONS:**    Tracts A-1-A & B-2, Andalucia at La Luz

\_\_\_ **DRAINAGE REPORT**

A drainage report, as per the Drainage Ordinance, was submitted to the City of Albuquerque Public Works Department, Hydrology Division (2<sup>nd</sup> Floor Plaza del Sol) on \_\_\_\_\_ (date).

\_\_\_\_\_  
Applicant/Agent

\_\_\_\_\_  
Date

\_\_\_\_\_  
Hydrology Division Representative

\_\_\_\_\_  
Date

\_\_\_ **WATER AND SEWER AVAILABILITY STATEMENT**

A Water and Sewer Availability Statement for this project was requested from the City of Albuquerque Utilities Development Division (2<sup>nd</sup> floor, Plaza del Sol) on \_\_\_\_\_ (date).

\_\_\_\_\_  
Applicant/Agent

\_\_\_\_\_  
Date

Allen Porter  
\_\_\_\_\_  
Utilities Division Representative

12/18/14  
\_\_\_\_\_  
Date

**PROJECT #** 1000965



# CITY OF ALBUQUERQUE

## TRAFFIC IMPACT STUDY (TIS) FORM

APPLICANT: Pablo Herms DATE OF REQUEST: 10/21/14 ZONE ATLAS PAGE(S): F-11-2

**CURRENT:**

ZONING SU-1 B-PRD 5 DU/Acre  
PARCEL SIZE (AC/SQ. FT.) 116.7 acres

**LEGAL DESCRIPTION:**

LOT OR TRACT # A-1-A BLOCK #  
SUBDIVISION NAME B-8 Andaluia at la Luz

**REQUESTED CITY ACTION(S):**

ANNEXATION [ ]  
ZONE CHANGE [ ]: From \_\_\_\_\_ To \_\_\_\_\_  
SECTOR, AREA, FAC, COMP PLAN [ ]  
AMENDMENT (Map/Text) [ ]

**SITE DEVELOPMENT PLAN:**

SUBDIVISION\*  AMENDMENT   
BUILDING PERMIT  ACCESS PERMIT [ ]  
BUILDING PURPOSES [ ] OTHER [ ]  
\*Includes platting actions

**PROPOSED DEVELOPMENT:**

NO CONSTRUCTION/DEVELOPMENT [ ]  
NEW CONSTRUCTION   
EXPANSION OF EXISTING DEVELOPMENT [ ]

**GENERAL DESCRIPTION OF ACTION:**

# OF UNITS: 45  
BUILDING SIZE: \_\_\_\_\_ (sq. ft.)

Note: changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

APPLICANT OR REPRESENTATIVE *M. Herms* DATE 10-21-14

(To be signed upon completion of processing by the Traffic Engineer)

Planning Department, Development & Building Services Division, Transportation Development Section -  
2<sup>ND</sup> Floor West, 600 2<sup>ND</sup> St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [ ] NO  BORDERLINE [ ]

THRESHOLDS MET? YES [ ] NO  MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED:

Notes: VARIOUS ANDALUCIA TIS'S

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new TIS.

*Tony L...*  
TRAFFIC ENGINEER

10-22-14  
DATE

Required TIS must be completed prior to applying to the EPC and/or the DRB. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED   /  /   TRAFFIC ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_  
-FINALIZED   /  /

# CITY OF ALBUQUERQUE

PLANNING DEPARTMENT  
URBAN DESIGN & DEVELOPMENT DIVISION  
600 2nd Street NW, 3rd Floor, 87102  
P.O. Box 1293, Albuquerque, NM 87103  
Office (505) 924-3860 Fax (505) 924-3339



## OFFICIAL NOTIFICATION OF DECISION

December 12, 2014

Pulte Group  
7601 Jefferson St, NE, Suite 180  
Albuquerque, NM 87109

**Project# 1000965**  
14EPC-40075 Amendment to Site Development  
Plan for Subdivision  
14EPC-40074 Site Development Plan  
for Building Permit

### LEGAL DESCRIPTION:

For all or a portion of tracts A-1-A and B-2, Andalucia at La Luz, zoned SU-1 for PRD, 5 DU/Acre located on Sevilla Ave. NW between Coors Blvd. and Mi Cordellia Dr., containing approximately 12 acres.  
(F-11)

Staff Planner: Vicente Quevedo

PO Box 1293

On December 11, 2014, the Environmental Planning Commission (EPC), voted to **APPROVE** Project #1000965, 14EPC-40075 Site Development Plan for Subdivision Amendment and 14EPC-40074 a request for a Site Development Plan for Building Permit based on the following Findings:

New Mexico 87103

**FINDINGS - 14EPC-40075 - December 11, 2014 Site Development Plan for Subdivision Amendment**

[www.cabq.gov](http://www.cabq.gov). This is a request for a site development plan for subdivision amendment for lots A-1A and B-2, Andalucia at La Luz located at Sevilla Ave. NW between Coors Blvd. and Mi Cordellia Dr. NW and containing approximately 11.7 Acres.

2. The purpose of the request is to amend the site development plan for subdivision for phase 4 of Andalucia at La Luz for Tracts A-1A and B-2 into 45 residential lots and private open space areas.
3. The Andalucia at La Luz Subdivision contains approximately 106 acres and extends from Learning Road on the north to Namaste Road on the south and from Coors Blvd. on the west to the Riverside Drain on the east. Annexation, zone map amendment and a site development plan

**OFFICIAL NOTICE OF DECISION**

**Project #1000965**

**December 12, 2014**

**Page 2 of 10**

were approved by the EPC for all of Andalucia at La Luz Subdivision in February of 2001 (00EPC-01743, Refers to Project 1000965).

In August of 2003, the EPC approved a zone map amendment for all of Tract 1, which includes the subject site, from SU-1/PRD, 10DU/Acre to SU-1/PRD, 5DU/Acre. The EPC simultaneously approved a site development plan for subdivision which included Design Standards to guide future development within Andalucia at La Luz (03EPC-01102, Refers to Project 1000965).

In November of 2004, the EPC approved an amendment to the site plan for subdivision to provide clarification that the overall gross density for all of Tract 1 shall not exceed 5 DU/Acre (04EPC-00855, Refers to Project 1000965).

4. The Albuquerque/Bernalillo County Comprehensive Plan, West Side Strategic Plan, Facility Plan for Arroyos, Coors Corridor Sector Development Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
5. The site development plan for subdivision states that all site development plans for building permit shall be approved by the Environmental Planning Commission.
6. The La Luz del Sol Neighborhood Association, La Luz Landowners Association, Taylor Ranch Neighborhood Association, Western Trails Estates Homeowners Association, Andalucia Homeowners Association, and Westside Coalition of Neighborhood Associations were all notified of this request. A facilitated meeting was not recommended or held.
7. There is no known neighborhood opposition to this request.

**CONDITIONS OF APPROVAL – 14EPC-40075 – December 11, 2014 - Site Development Plan for Subdivision.**

1. The subdivision of the site shall comply with the purpose, intent, and regulations of the Subdivision Ordinance (14-14-1-3).

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Project #1000965

December 12, 2014

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FINDINGS - 14EPC-40074 - December 11, 2014 Site Development Plan for Building Permit

1. This is a request for a site development plan for building permit for lots A-1A and B-2, Andalucia at La Luz located at Sevilla Ave. NW between Coors Blvd. and Mi Cordellia Dr. NW and containing approximately 11.7 Acres.
2. The site development plan for building permit will allow for the construction of 45 new residential lots and is permissive under the current SU-1 for PRD 5DU/Acre zoning designation.
3. The Andalucia at La Luz Subdivision contains approximately 106 acres and extends from Learning Road on the north to Namaste Road on the south, and from Coors Blvd. on the west to the Riverside Drain on the east. Annexation, zone map amendment and a site development plan were approved by the EPC for all of Andalucia at La Luz Subdivision in February of 2001 (00EPC-01743, Refers to Project 1000965).  
  
More recently in August of 2005, the EPC approved Phase 3 development of Andalucia at La Luz which resulted in 61 single family residential lots and three landscape buffer tracts along Coors Blvd. The landscape buffer tracts include a 35 foot landscape buffer, a 6 foot perimeter wall and an 8 foot wide paved trail (05EPC-01115/01117, Refers to Project 1000965).
4. The site development plan for building permit generally conforms to the Design Standards contained within the site development plan for subdivision.
5. The Albuquerque/Bernalillo County Comprehensive Plan, West Side Strategic Plan, Facility Plan for Arroyos, Coors Corridor Sector Development Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
6. The site development plan for building permit furthers the following relevant Comprehensive Plan, West Side Strategic Plan, Facility Plan for Arroyos, and Coors Corridor Sector Development Plan Policies:

ALBUQUERQUE/BERNALILLO COUNTY COMPREHENSIVE PLAN

A. Policy II.B.5.d: The location, intensity and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, recreational concern.

The proposal would facilitate development of single-family homes in an area near other single-family homes, at a net density of 3.84 DU/Acre which is an appropriate density for this location near Coors Blvd. because it does not exceed the density allowed by the existing zoning (5DU/Acre). All of the proposed dwellings are one-story for the specific purpose of respecting scenic and other resources of social, cultural, and recreational concern. The proposal furthers Policy II.B.5.d.

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B. Policy II.B.5.e: New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be ensured.

The proposal would facilitate new growth on currently vacant land in an area contiguous to existing urban facilities and services and will ensure the integrity of existing neighborhoods by proposing development that is appropriate to the area. Therefore, the proposal furthers Policy II.B.5.e.

C. Policy II.B.5.f: Clustering of homes to provide larger shared open areas and houses oriented towards pedestrian or bikeways shall be encouraged.

The proposed site layout includes clustering of homes throughout the site for the purpose of providing private open space within the development. However, the applicant has not included any detail on the site plan as to whether any of the dwelling units will be oriented toward any pedestrian paths or bikeways. Therefore, the proposal partially furthers Policy II.B.5.f.

D. Policy II.B.5k: Land adjacent to arterial streets shall be planned to minimize harmful effects of traffic; livability and safety of established residential neighborhoods shall be protected in transportation planning and operations.

The main point of ingress/egress for the development is located at the intersection of Coors Blvd. (a Principal Arterial) and Sevilla Ave. A 35 foot landscape buffer and 6 foot perimeter wall are proposed along the western edge of the development off of Coors Blvd. In addition, a traffic signal and pedestrian refuge (island/median) are located at the main point of ingress. All of these elements serve to minimize the harmful effects of traffic for the proposed development. Therefore, the proposal furthers Policy II.B.5.k.

E. Policy II.B.5.l: Quality and innovation in design shall be encouraged in all new development; design shall be encouraged which is appropriate to the plan area.

Many varying model types are proposed for the new development. In conformance with the site development plan for subdivision, the overall design appears to be Spanish Colonial and Northern New Mexico style architecture and would blend in with the plan area in terms of design features and articulation. The structures outlined on the exhibit sheets materials are proposed to be built out of quality materials, yet the architectural style is not particularly innovative. Therefore, the proposal partially furthers Policy II.B.5.l.

F. Policy II.B.5.m: Urban and site design which maintains and enhances unique vistas and improves the quality of the visual environment shall be encouraged.

The proposal enhances the unique vistas east of Coors Blvd. by ensuring that all of the dwelling units are single story structures (some of which are flat roof models) and the units are clustered thereby creating view "corridors" across the subject site. The quality of the visual environment in the area is therefore generally improved. The proposal furthers Policy II.B.5.m.

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December 12, 2014

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WEST SIDE STRATEGIC PLAN (WSSP) (RANK II)

G. WSSP Policy 3.12: The Taylor Ranch Community is an appropriate location for continued growth due to its contiguous location to the rest of the City and efficient location for receiving City services.

Since it would facilitate future growth in Taylor Ranch, a location efficient for receiving City services, the proposal furthers WSSP Policy 3.12.

H. WSSP Policy 3.15: Allow appropriately designed development throughout the Taylor Ranch Community which will not degrade views to and from the Escarpment through design guidelines and consistent enforcement.

The Andalucia at La Luz site development plan for subdivision requires that any site development plan for building permit conform to the view plane requirements of the Coors Corridor Plan view and height restrictions the goal of which is view preservation. The site development for building permit for this submittal is sensitive to the requirements of the view and height restrictions (including the request for exceptions). Therefore, the proposal furthers WSSP Policy 3.15.

I. WSSP Policy 3.18 (Taylor Ranch): Protection and preservation of the Bosque is critical. Development east of Coors Boulevard shall be sensitive to this community asset.

Development east of Coors Blvd. shall be sensitive to the Bosque environment. The fact that the proposal is for single-family homes demonstrates more general sensitivity than proposing a non-residential use. The net density of 3.84 DU/Acre and clustering of homes for the purpose of providing additional open space areas also demonstrates general sensitivity to the preservation of the surrounding natural environment. The proposal furthers WSSP Policy 3.18.

J. WSSP Policy 4.6.b.: Design subdivisions to provide safe, attractive, and efficient circulation patterns for pedestrians. Walking distances from residences within subdivisions to arterials, collectors, or streets with existing or proposed transit service should be kept to ¼ mile or less whenever possible.

The Andalucia at La Luz site development plan for subdivision design guidelines require that each site development plan for building permit create pedestrian-friendly environments and public and private trails and sidewalk systems. The site plan for building permit for this submittal includes both a sidewalk system as well as a connection to the Oxbow Multiuse Trail which is located approximately a third of a mile south of the subject site at Namaste Road. In addition, a bus stop that is utilized by six different bus routes is located adjacent to the site on Coors Blvd. The proposal furthers WSSP Policy 4.6.b.

K. WSSP Policy 4.6.d.: Subdivisions shall be designed to avoid rear yard walls facing public streets.

The site development plan for subdivision for Andalucia at La Luz allows walls with a maximum height of 6 feet for any single wall. Six of the 45 lots may have rear yards facing Coors Blvd. However, no rear yard walls are shown on the site development plan for building permit. Without this level of detail, the proposal partially furthers WSSP Policy 4.6.d.

L. WSSP Policy 4.6.e.: Subdivisions shall be designed to provide multiple vehicular and pedestrian access points.

OFFICIAL NOTICE OF DECISION

Project #1000965

December 12, 2014

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The Andalucia at La Luz site plan for subdivision includes multiple vehicular along Coors Blvd. and several pedestrian access points in the form of walking paths and sidewalks throughout the development. The proposal furthers WSSP Policy 4.6.e.

FACILITY PLAN FOR ARROYOS (RANK II)

M. Policy 1 - Primacy of Drainage Function: Drainage and flood control are the most important functions of the City's arroyos. Other uses within or adjacent to them should not interfere with these functions.

The request furthers Policy 1 by not proposing any development activity that would interfere with the primacy of the drainage function of the San Antonio Arroyo.

N. Policy 6 - Appropriate Access: Where drainage rights-of-way contain trails, at least one pedestrian and bicycle access point should be provided per one quarter mile.

The request furthers Policy 6 by providing pedestrian access points at Coors Blvd. and at Sevilla Ave. which are less than one quarter mile apart.

COORS CORRIDOR SECTOR DEVELOPMENT PLAN (RANK III)

O. Policy 3-Recommended Land Use (p. 67): The CCSDP recommends land uses which are identified on the following maps. The maps specify existing and recommended zoning and recommended land uses. These recommended land uses shall guide development in the Plan area.

The recommended land use for the subject site is residential (See Figure 34, p. 75). The CCSDP also recommends requiring that new development comply with design guidelines and requiring that the Bosque, floodplain and open space areas be preserved. The proposal furthers Policy 3.

P. Policy 7- Cluster Design (p. 80): Cluster design for development of residential, commercial and industrial structures shall be encouraged.

The proposed site layout is clustered. Clustering allows for more open space and better preservation of views throughout the proposed layout. The proposal furthers Policy 7.

Q. Policy 8-Buffer Strip (p. 81): A 100 foot-wide buffer strip shall be established west of the Corrales Riverside Drain throughout Segment 3. The buffer strip shall remain in a natural condition and shall not be used for development.

The site development plan for subdivision shows the Corrales Riverside Drain with a 100 ft. buffer and a note indicating compliance with this CCSDP requirement. The proposal furthers Policy 8.

R. Policy 4.a.3- New development (p. 86): New development in the Coors Corridor should be designed to be compatible with the natural landscape and the built environment in accordance with the design regulations and guidelines.

OFFICIAL NOTICE OF DECISION

Project #1000965

December 12, 2014

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The one-story dwelling unit design is compatible with preserving views within regard to the natural landscape as well as the nearby built environment. The proposal generally furthers Policy 4.a.3

S. Policy 4.b.3-Front Landscaped Street Yard (p. 90): There should be a landscaped street yard along the entire frontage of properties adjacent to Coors Boulevard.

Design regulation 1 (p. 91): The front landscaped street yard shall be 15 feet in Segments 1 and 2 and 35 feet in Segments 3 and 4.

The required 35 ft. setback from Coors Blvd. is shown on the site development plan for building permit and runs along the entire length of the property, which is adjacent to Coors Blvd. The proposal complies with Design Regulation 1 and Policy 4.b.3.

T. Policy 4.b.7-Access (p. 96): Separate pedestrian and vehicular access should be provided. Pedestrian access to structures shall not utilize driveways as walkways. Pedestrian connections between uses in commercial developments shall be emphasized.

The proposal provides separate pedestrian and vehicular access points. There are points of ingress and egress for vehicles at Sevilla Ave. and heading northbound on Calle Athena. Ingress and egress for pedestrians can be accessed from Coors Blvd. as well as through via various concrete and crusher fine pedestrian trails throughout the proposed development. The proposal furthers Policy 4.b.7.

U. Policy 4.b.10-Architectural Design (p. 100): Architectural design should contribute to the enhancement of the overall visual environment of the Coors Corridor.

Architectural Details, Design Guideline 2: The predominant building color should be compatible with other buildings along the corridor and should reinforce the visual character of the environment of the proposed buildings. Differentiation of color should relate to material and/or plane differentiation or some other specific architectural purpose. Preferred colors are those used in traditional Southwest architecture. Integral coloring of concrete, stucco, and similar materials is encouraged.

The architectural style proposed for the dwelling units are Spanish Colonial and Northern New Mexico style. These styles not only conform to the CCSDP requirements but are also required per the approved site development plan for subdivision design guidelines. Varying materials and building articulation features also serve to reinforce the visual character of the environment of the proposed buildings. Therefore, the proposal furthers Policy 4.b.10.

V. CCSDP View Preservation Regulations: The site development plan for building permit generally complies with the design standards of the site development plan for subdivision and the view preservation requirements of the Coors Corridor Sector Development Plan including a request for hardship and exceptionality regarding the requirements.



**OFFICIAL NOTICE OF DECISION**

Project #1000965

December 12, 2014

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**CONDITIONS OF APPROVAL – 14EPC-40074 – December 11, 2014 - Site Development Plan for Building Permit**

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. A note shall be added to the wall elevations on sheet 3 of 8 of the site development plan for building permit detailing pedestrian access to the Bosque.
4. Elevations shall be included on the site development plan for building permit for the proposed monument signs to ensure compliance with Section 14-16-3-5 – General Sign Regulations of the City Zoning Code.
5. The Site Development Plan shall comply with the General Regulations of the Zoning Code, the Subdivision Ordinance, and all other applicable design regulations, except as specifically approved by the EPC.
6. PNM Conditions for Approval for Project #1000965 Site Development Plan for Bldg Permit and Amendment to Subdivision (Sevilla @ Andalucia – Coors and Sevilla)

There is an overhead 3-phase electric distribution line that bisects the subject property which serves a City of Albuquerque well site to the east. It is required that the developer contact PNM's New Service Delivery Department to coordinate electric service for this project and for modifications to the existing electric distribution facilities. Any relocation, changes or realignment regarding existing electric utilities will be the developer's expense. In some cases, relocation or changes to existing facilities may not be feasible due to physical, use or safety clearance constraints. PNM will review all technical needs, issues and safety clearances for its electric power systems.

The Site Development Plan shall comply with the General Regulations of the Zoning Code, the Subdivision Ordinance, and all other applicable design regulations, except as specifically approved by the EPC.

OFFICIAL NOTICE OF DECISION

Project #1000965

December 12, 2014

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7. Sheet 2 of 8 of the Site Development Plan for Building Permit will be revised to show Lots 13, 15, 20 and 28 restricted to flat roof models.

**APPEAL:** If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **December 26, 2014**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15<sup>th</sup> day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-4-4 of the Zoning Code. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City Council; rather, a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's decision.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced application(s).

**ZONE MAP AMENDMENTS:** Pursuant to Zoning Code Section 14-16-4-1(C)(16), a change to the zone map does not become official until the Certification of Zoning (CZ) is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

**SITE DEVELOPMENT PLANS:** Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing through the Planning Director that the Planning Commission extend the plan's life an additional five years. Additional design details will be required as a project proceeds through the Development Review Board and through the plan check of Building Permit submittals for construction. Planning staff may consider minor, reasonable changes that are consistent with an approved Site Development Plan so long as they can be shown to be in conformance with the original, approved intent.

**DEFERRAL FEES:** Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee per case.

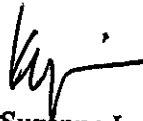
OFFICIAL NOTICE OF DECISION

Project #1000965

December 12, 2014

Page 10 of 10

Sincerely,



rof Suzanne Lubar  
Planning Director

SL/VQ

cc:

Pulte Group, 7601 Jefferson St, NE, Suite 180, Albuquerque, NM 87109  
Consensus Planning, Inc., 302 Eighth Street NW, Albuquerque, NM 87102  
Arthur Woods, 33 Wind Rd. NW, Albuquerque, NM 87120  
Jim Fisk, 2 Mill Rd. NW, Albuquerque, NM 87120  
Rae Perls, 15 Tennis Ct. NW, Albuquerque, NM 87120  
Paula Worley, 3 Pool NW, Albuquerque, NM 87120  
Jolene Wolfley, 7216 Carson Trl. NW, Albuquerque, NM 87120  
Rene Horvath, 5515 Palomino Dr. NW, Albuquerque, NM 87120  
John Padilla 1917 Morningside Dr. NE, Albuquerque, NM 87109  
Krista Gessing 5500 Benson Ct. NW, Albuquerque, NM 87120  
Ann Prinz 4611 Mijas Dr. NW Albuquerque, NM 87120  
Kahleetah Clarke 2823 Richmond Dr. NE, Albuquerque, NM 87107  
Gerald C. Worrall 1039 Pinatubo Pl. NW, Albuquerque, NM 87120  
Harry Hendriksen 10592 Rio Del Sole Ct. NW, Albuquerque, NM 87114  
Lawrence Miller, 5105 Sevilla Ave NW, Albuquerque, NM 87120  
Pat Gallagher, 24 Link NW, Albuquerque, NM 87120

December 19, 2014

[www.bhinc.com](http://www.bhinc.com)

Mr. Jack Cloud, DRB Chair  
City of Albuquerque  
Planning Department  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87103

voice: 505.823.1000  
facsimile: 505.798.7988  
toll free: 800.877.5332

Re: Sevilla @ Andaluca at La Luz (Tracts A-1-A & B-2, Andaluca at La Luz)–**Design Variance and Sidewalk Deferral/Waiver Request** (1000965)

Dear Mr. Cloud:

We are requesting the following deferral, wavier and variances to the City Standard Design:

### Design Variances:

#### Standard Right-of-Way Width (Access Local Roadway)

- We are requesting to construct internal Access Local Roadway with a 44' Right-of-Way as allowed by the Site Plan for Subdivision Design Standards. We are proposing to design and construct a 44' right-of-way width with a 25' face-to-face roadway section and 4' sidewalks on either side. We are also requesting one internal street, as stub street - Calle Giralda west of Calle Espana, to be a 42' right-of-way with a 24' face-to-face section and 4' sidewalk only of the southside. Please refer to the preliminary plat and the approved SPSD for a cross section of the proposed roadway section. This section is similar to other internal streets within the Andaluca Subdivision.

#### Standard Centerline Radius for a Local Access Street

- The DPM indicates that "local residential streets with 90 or near 90 degree turns may be designed with a minimum centerline radius of 75' with the approval of the Traffic Engineer."
  - Avenida Sevilla has two locations where there is a 75' centerline radius, where the road is 90 or near 90 degrees. One is located just off the southern cul-de-sac and the other, a north side as the road turn to tie to the private roadway, Berm St. at a tee intersection and is located in the La Luz Subdivision. Given that the two locations will have minimum traffic and no public thoroughfare the vehicular speeds will be low allowing for a tighter turning radius.

#### Sidewalk Design Variance and Deferred / Waived Sidewalk - Please refer to the enclosed exhibit for sidewalk deferral and waiver.

- Deferred Sidewalk – we are requesting to defer sidewalk along the frontage of homes and request that they be constructed with and as each home is constructed.

Engineering ▲

Spatial Data ▲

Advanced Technologies ▲

Mr. Jack Cloud, DRB Chair  
City of Albuquerque  
December 19, 2014  
Page 2

- Waived Sidewalk – we are requesting to waive sidewalk along the south side of Corte Alcazar, the north side of Calle Giralda, the west side of Calle Espana between Calle Giralda and Calle Parasol We are also requesting a sidewalk waiver along Calle Espana north of Lots 28 & 32 to the northern property boundary.

We request that this request be heard at with the Preliminary Plat application. Please feel free to contact me at 823-1000 with questions or comments.

Sincerely,



Yolanda Padilla Moyer, P.E.  
Senior Project Manager  
Community Development and Planning

YPM/jcm  
Enclosures

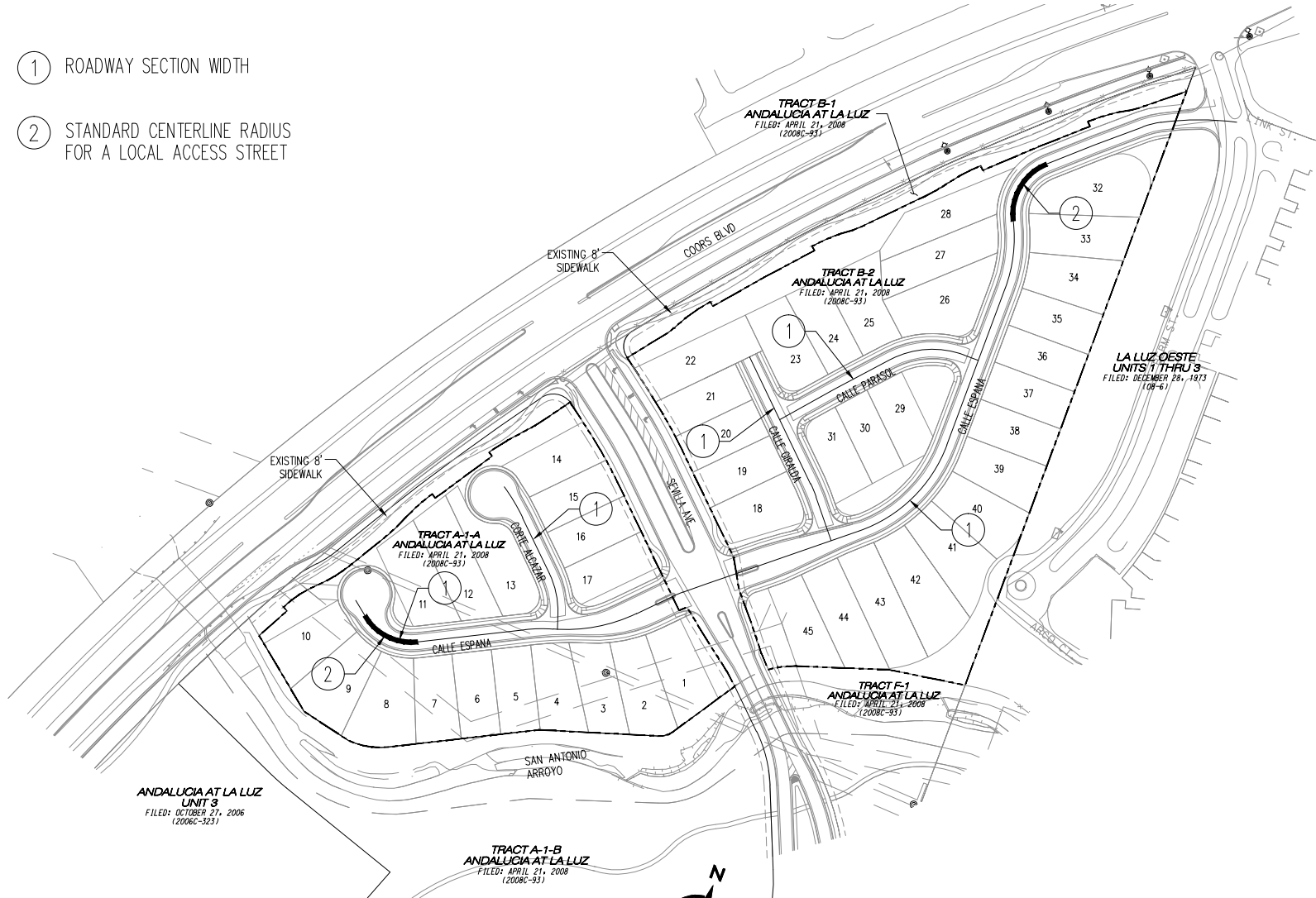
cc: Kevin Patton, Pulte Group

# SEVILLA AT ANDALUCIA

## VARIANCE EXHIBIT

December, 2014

- ① ROADWAY SECTION WIDTH
- ② STANDARD CENTERLINE RADIUS FOR A LOCAL ACCESS STREET



# SEVILLA AT ANDALUCIA

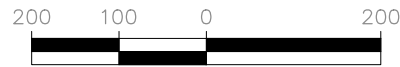
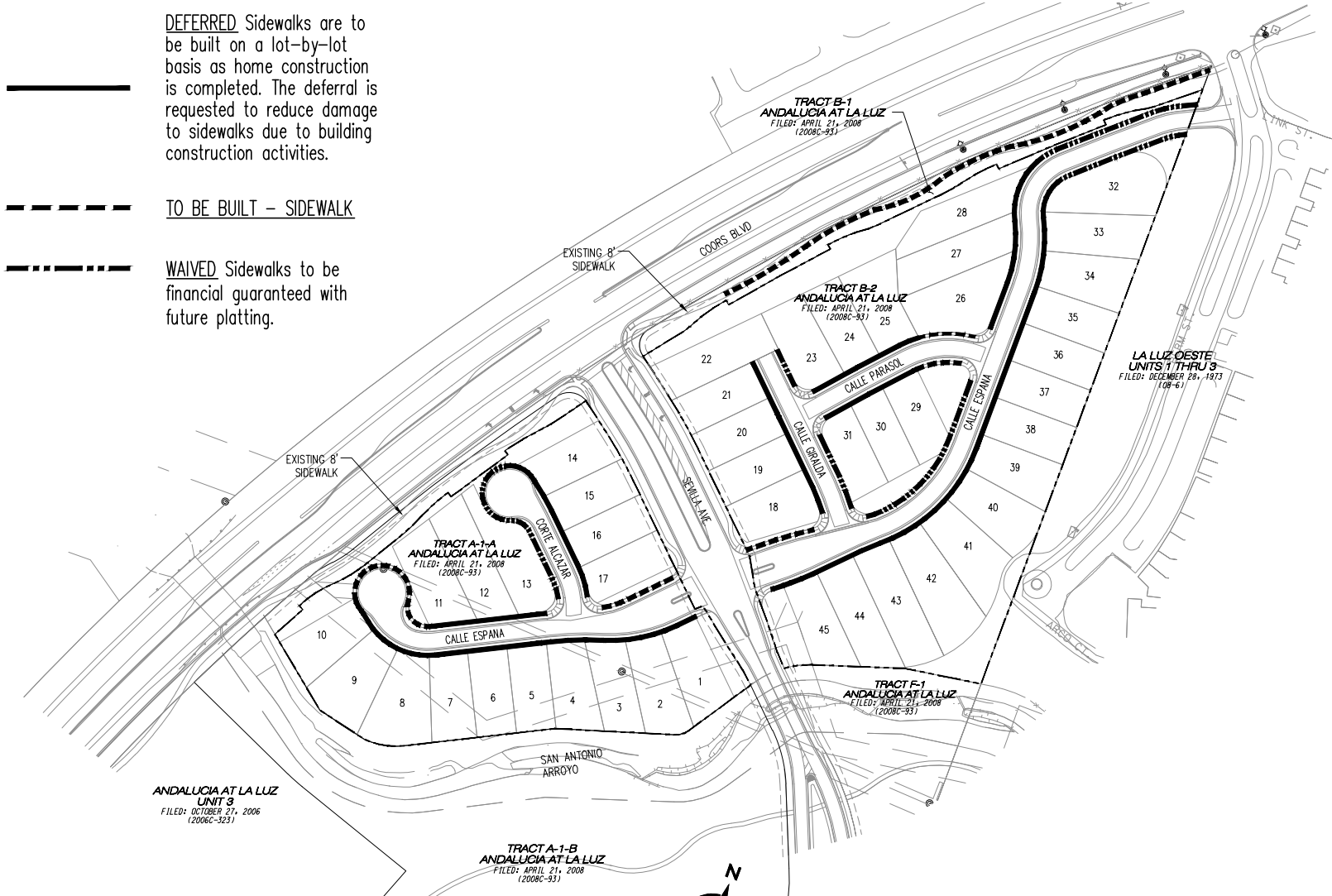
## SIDEWALK WAIVER EXHIBIT

December, 2014

**DEFERRED** Sidewalks are to be built on a lot-by-lot basis as home construction is completed. The deferral is requested to reduce damage to sidewalks due to building construction activities.

**TO BE BUILT - SIDEWALK**

**WAIVED** Sidewalks to be financial guaranteed with future platting.



SCALE: 1"=200'

December 19, 2014

[www.bhinc.com](http://www.bhinc.com)

Mr. Jack Cloud, DRB Chair  
City of Albuquerque  
Planning Department  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87103

voice: 505.823.1000  
facsimile: 505.798.7988  
toll free: 800.877.5332

Re: Sevilla @ Andalucia at La Luz (Tracts A-1-A & B-2, Andalucia at La Luz) – **Vacation of Public Easement and Right-of-Way** (1000965)

Dear Mr. Cloud:

Enclosed for review and approval by the Development Review Board (DRB) are copies of the following information:

- Application for Development Review
- Twenty-four (24) copies of the document which created the public easement
- Twenty-four (24) copies of Vacation Action Exhibit
- Letter from the Office of Neighborhood Coordination and neighborhood notification
- Zone Atlas Map showing the location of the property
- Submittal Fees

The purpose of our vacation action being presented to the DRB, is a request to remove existing public easements and rights-of-way as follows.

- Vacation of 25' Public Waterline and a 25' Public Sanitary Sewer Easement – Existing 8" Sanitary Sewer is to be relocated within Public Right of Way dedicated with the Final Plat. There is no existing waterline within the easement and a new waterline will be constructed within the same Public Right-of-Way
- Vacation of 25' Public Waterline and a 25' Public Sanitary Sewer Easement – Angled easements are not necessary to tie to the existing sanitary sewer.
- Vacation of 10' PNM and MST&T. We are currently working with PNM to relocate the existing overhead line. PNM is working on an analysis to determine exact location for either overhead or underground relocation.
- Vacation of 4' Right-of-Way on either side of Sevilla Ave. Based on classification of Sevilla Ave, the DPM indicates a required width of 12' from back of curb to edge of right of way to. Sevilla Ave currently has 16'. We are requesting a vacation of 4' of the 16' width and replace it with a private open space encumbered by a public pedestrian easement and PUE.

We request that this item be scheduled for the next appropriate DRB hearing, January 14, 2015. Please feel free to contact me at 823-1000 with questions or comments.



Mr. Jack Cloud, DRB Chair  
City of Albuquerque  
December 19, 2014  
Page 2

Sincerely,

A handwritten signature in black ink, appearing to read "Yolanda Padilla Moyer". The signature is fluid and cursive, with the first name "Yolanda" being the most prominent.

Yolanda Padilla Moyer, P.E.  
Senior Project Manager  
Community Development and Planning

YPM/jcm  
Enclosures

cc: Kevin Patton, Pulte Group



08796721

EASEMENT

8690230  
30500 955

This grant of Easement, between [state the name of the present real property owner exactly as shown on the real estate document conveying title to the present owner and state the legal status of the owner, for example, "single person," "husband and wife," "corporation of the State of X," "partnership":] RAY GRAHAM III "A married man dealing with his sole and separate property" ("Grantor"), whose address is One Wind N. E. Albuquerque, N. M. 87104 and the City of Albuquerque, a New Mexico municipal corporation ("City"), whose address is P. O. Box 1293, Albuquerque, New Mexico 87103, is made in Albuquerque, Bernalillo County, New Mexico and is entered into as of the date Grantor signs this Easement.

1. Recital. Grantor is the owner of certain real property located at [give general description, for instance, subdivision, lot and block or street address:] Lands of Ray Graham III in Bernalillo County, New Mexico (the "Property").

2. Grant of Easement. The Grantor grants to the City a permanent easement with warranty covenants ("Easement") in, over, upon and across the Property for [state the kind of easement, for example, "public street and highway purposes (including all utilities)," "water line," "sewer line," etc.:] sewer line

The Easement is more particularly described in the attached Exhibit A. [State on the exhibit either the metes and bounds description of the Easement or state the exact dimensions and location in a manner which would enable a surveyor to locate the Easement on the ground.]

The grant of the Easement includes the right of the City to enter upon the Easement at any time for inspection, installation, maintenance, repair or modification and the right to remove trees, bushes, undergrowth and any other obstacles if the City determines they interfere with the appropriate use of the Easement. ~~This grant includes the right of access to the easement across the Grantor's adjoining property.~~ *It is*

Grantor agrees for itself and its successors in interest that it has been paid in valuable consideration and that the grant of this Easement is not a gift or donation.

This Easement is worded pursuant to the provisions of §§47-1-27 to 47-1-44, NMSA 1978 or successor statutes.

3. Warranty. Grantor covenants and warrants that it is the owner in fee simple of the Property and that it has a good

(Approved by Legal Dept.  
as to form only-6/1/86)



## EXHIBIT 'A'

Two (2) certain tracts of land situate in the EAST HALF (1/2) of SECTION 35, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, NEW MEXICO, within the CITY OF ALBUQUERQUE, being and comprising PORTIONS of LANDS OF RAY GRAHAM III and being more particularly described using New Mexico State Plane (Central Zone) grid bearings (ACS monuments "NM 448-N5" to "NM 448-N6-A" at N 30 18'30" E as baseline) and horizontal ground distances as follows:

BEGINNING at the Northwest Corner of the Westerly tract herein described, from whence the Albuquerque Control Survey Monument "NMSHC NM 448-N6-A" bears N 48 09'31" E, 1570.81 feet; thence,

S 71 14'22" E, 71.29 feet to a point on curve of the Westerly Right-of-Way Line of Coors Road; thence, Southwesterly, 25.37 feet along the arc of a curve to the left, said curve being the Westerly Right of Way Line of Coors Road, and said curve having a radius of 3894.72 feet and a chord which bears S 28 32'27" W, 25.37 feet to a point on curve of the Westerly Right-of-Way Line of Coors Road; thence,

N 71 14'22" W, 66.98 feet to a point, said point being the Southwest corner of the Westerly tract herein described; thence,

N 18 45'38" E, 25.00 feet to the Point of Beginning of the Westerly tract herein described.

Said Tract contains 1728 Square Feet or 0.03967 Acres, more or less.

BEGINNING at the Northwest Corner of the Easterly tract herein described, said point being a point on curve of the Easterly Right-of-Way Line of Coors Road, from whence the Albuquerque Control Survey Monument "NMSHC NM 448-N6-A" bears N 40 33'39" E, 1473.95 feet; thence,

S 71 14'22" E, 319.13 feet to an angle point; thence,  
 N 52 20'35" E, 451.95 feet to an angle point; thence,  
 S 38 41'39" E, 168.30 feet to an angle point; thence,  
 N 81 47'51" E, 207.82 feet to an angle point; thence,  
 S 57 55'27" E, 249.46 feet to an angle point; thence,  
 S 51 50'58" E, 92.97 feet to an angle point; thence,  
 N 64 55'16" E, 337.32 feet to a point, said point being the Northeast Corner of the Easterly tract herein described; thence,

S 25 04'44" E, 25.00 feet to a point, said point being the Southeast corner of the Easterly tract herein described; thence,

S 64 55'16" W, 352.71 feet to an angle point; thence,  
 N 51 50'58" W, 107.03 feet to an angle point; thence,

958  
N 57 55'27" W, 238.97 feet to an angle point; thence,  
S 81 47'51" W, 212.94 feet to an angle point; thence,  
N 38 41'39" W, 158.04 feet to an angle point; thence,  
S 52 20'35" W, 440.81 feet to an angle point; thence,  
N 71 14'22" W, 337.03 feet to a point on curve of the  
Easterly Right of Way Line of Coors Road; thence,  
Northeasterly, 25.40 feet along the arc of a curve to  
the right, said curve being the Easterly Right of  
Way Line of Coors Road, and said curve having a  
radius of 3744.72 feet and a chord which bears  
N 28 56'12" E, 25.40 feet to the Point of  
Beginning of the Easterly tract herein described.

Said Tract contains 45,931 Square Feet or 1.05444 Acres, more or  
less.



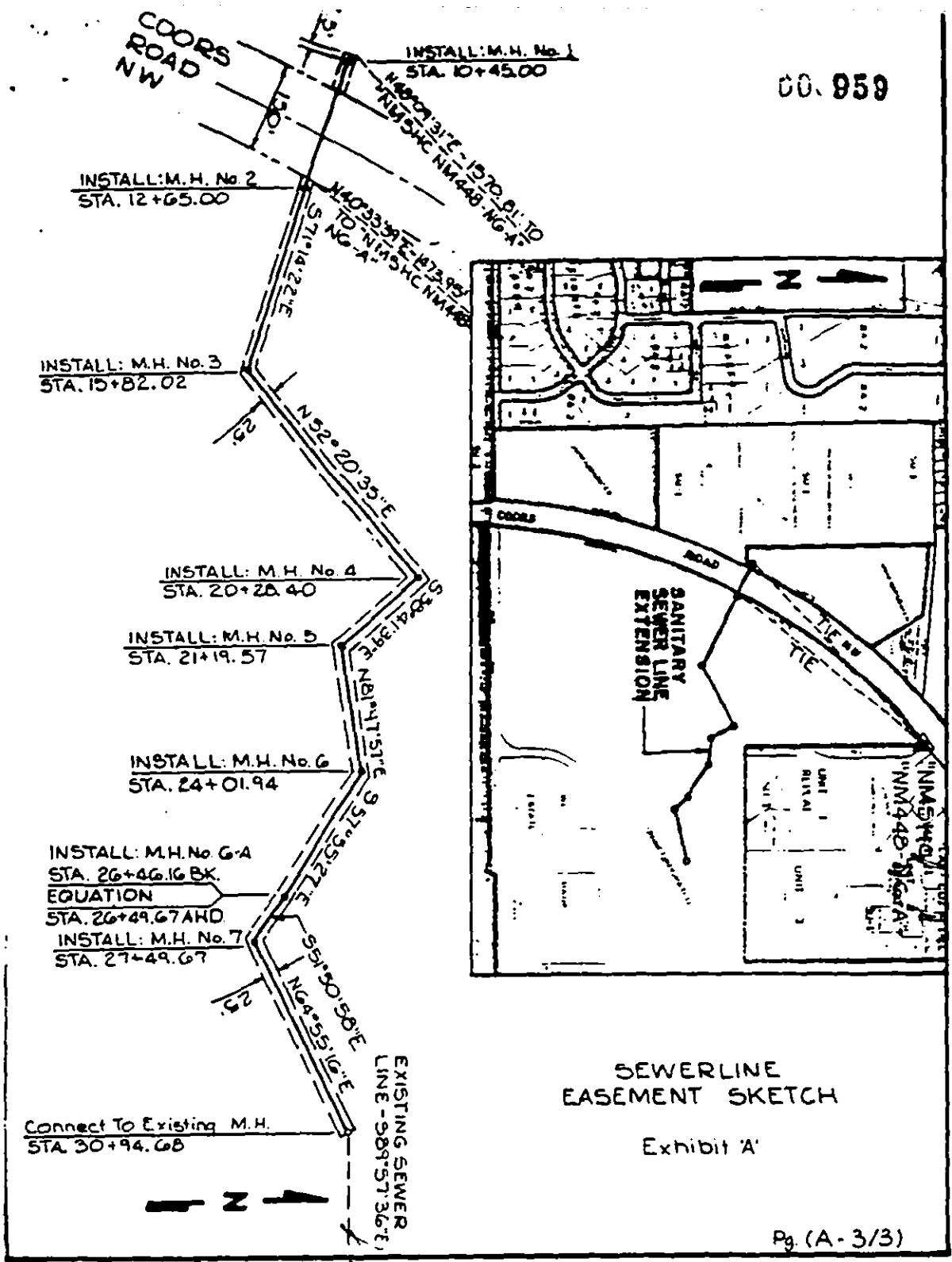
STATE OF NEW MEXICO  
COUNTY OF BERNALILLO  
FILED FOR RECORD

87 SEP 16 AM 11:05

*M. 5340-955-959*  
GLADYS M. DAVIS  
CORRECTOR & RECORDER  
*[Signature]* DEPUTY

Pg. (A-2/3)

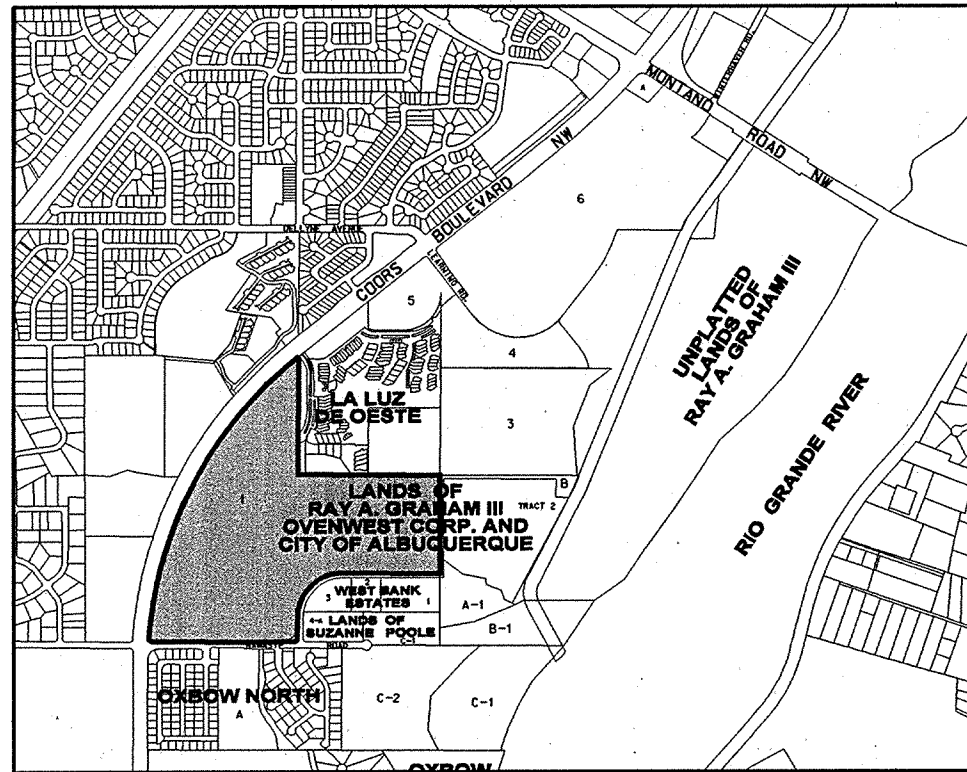
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SEWERLINE EASEMENT SKETCH  
Exhibit 'A'

THE REPRODUCTION OF THIS DOCUMENT  
CANNOT BE IMPROVED DUE TO THE  
CONDITION OF THE ORIGINAL

SP-2003333134



LOCATION MAP  
ZONE ATLAS INDEX MAP No. F-11-Z  
NOT TO SCALE

SUBDIVISION DATA

- 1. DRB Project No.
2. Zone Atlas Index No. F-11-Z; Zoning: SU-1.
3. Gross Subdivision Acreage: 84.9538 Acres.
4. Total Number of Lots/Tracts created: One Hundred and sixty-four (164) Lots and Thirteen (13) Tracts.
5. Total Mileage of full width Streets created: 1.8366 mile.
6. Total Mileage of partial width Streets created: 0.2045 mile.
7. Date of Survey: February, 2003
8. Plat is located within the Section 35, T11N, R2E, NMPM.

DISCLOSURE STATEMENT

The purpose of this Plat is to Subdivide all of Tract 1, a portion of La Bienvenida Place NW and a portion of Namaste Road NW of the PLAT OF TRACTS A, B, 1, 2, 3, 4, 5 & 6 OF LANDS OF RAY A. GRAHAM III, OVENWEST CORP. AND CITY OF ALBUQUERQUE, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on April 1, 2002 in Book 2002C, Page 99 as Document No. 2002041698, into One hundred and Sixty-Four (164) Lots and Thirteen (13) Tracts, to dedicate additional public street right-of-way to the City of Albuquerque, to vacate public street right-of-way, to vacate easements and to grant easements.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance and service of underground/overhead electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
B. PNM Gas services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
C. QWEST for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed shall extend ten feet (10') in front of transformers/switchgear door and five feet (5') on each side.

DESCRIPTION

A certain tract of land situate within Section 35, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico; Said tract being Tract 1 and portion of Public Street right-of-way of La Bienvenida Place NW and Namaste Road NW as the same is shown and designated on the Plat of TRACTS A, B, 1, 2, 3, 4, 5 & 6, OF LAND OF RAY A. GRAHAM, OVENWEST CORP. AND CITY OF ALBUQUERQUE, recorded in the office of the County Clerk of Bernalillo County, New Mexico on April 1, 2002 in Book 2002C, Page 99, and being more particularly described by New Mexico State Plane Grid Bearings (Central Zone, NAD 27) and ground distances as follows:

BEGINNING at a 5/8" rebar with a survey cap stamped "LS 5110" at a point on curve on the easterly right-of-way line of Coors Boulevard NW and the most northerly corner of said Tract 1, whence the City of Albuquerque survey monument "NM448-N6-A", having New Mexico State Plane Grid Coordinates for the Central Zone: X=366,640.72; Y=1,507,308.30, bears N44°37'41"E a distance of 36.39 feet; thence along the northerly boundary line of said Tract 1, S00°19'15"W a distance of 1095.95 feet to a 5/8" rebar with a survey cap stamped "LS 5110"; thence, S89°38'10"E a distance of 1320.61 feet to the northeast corner of said Tract 1, a 5/8" rebar with a survey cap stamped "LS 5110" on the Section Line common to Sections 35 and 36, Township 11 North, Range 2 East, New Mexico Principal Meridian, thence running along the easterly boundary line of said Tract 1 and also along said Section Line, S00°17'39"W a distance of 366.57 feet to a U.S.G.L.O. brass cap marking the east one-quarter corner of said Section 35; thence, S00°16'10"W a distance of 544.21 feet to the southeast corner of the tract herein described, a point within the northerly right-of-way of La Bienvenida Place NW, thence running along the southerly boundary line of the tract herein described and also within said right-of-way of La Bienvenida Place NW, N89°47'55"W a distance of 896.00 to a point of curvature; thence, 89.41 feet along the arc of a curve to the left having a radius of 419.00 feet and a chord which bears S84°01'45"W, a distance of 89.24 feet to a point of reverse curvature; thence, 30.46 feet along the arc of a curve to the right having a radius of 93.00 feet and a chord which bears S87°18'01"W, a distance of 30.33 feet to a point of reverse curvature on the southeasterly boundary line of said Tract 1 and also being a point on the northwesterly right-of-way line of said La Bienvenida Place NW, thence running along the southeasterly boundary line of said Tract 1 and also along said right-of-way line, S45°13'43"W, a distance of 35.36 feet to a point of tangency; thence, 545.85 feet along the arc of a curve to the left having a radius of 425.00 feet and a chord which bears S37°05'05"W a distance of 509.10 feet to a 5/8" rebar with a survey cap stamped "LS 5110"; thence, S00°13'07"W a distance of 73.42 feet to a 5/8" rebar with a survey cap stamped "LS 5110"; thence, S00°23'17"W a distance of 150.00 feet to a point of tangency being a 5/8" rebar with a survey cap stamped "LS 5110"; thence running along the southerly boundary line of said Tract 1 and also along said northerly right-of-way line, N89°48'11"W a distance of 1200.72 feet to a point of curvature being a 5/8" rebar with a survey cap stamped "LS 5110"; thence, 49.48 feet along the arc of a curve to the right having a radius of 30.00 feet and a chord which bears N42°31'10"W a distance of 44.06 feet to a point of compound curvature on the westerly boundary line of said Tract 1 and also being a point on the easterly right-of-way line of Coors Boulevard NW, a 5/8" rebar with a survey cap stamped "LS 5110"; thence running along the westerly boundary line of said Tract 1 and also along said easterly right-of-way line of Coors Blvd. NW, 3045.73 feet along the arc of a curve to the right having a radius of 3741.72 feet and a chord which bears N28°03'21"E a distance of 2962.34 feet to the point and place of beginning.

Tract contains 84.9538 acres, more or less.

NOTICE OF SUBDIVISION PLAT CONDITIONS

PURSUANT TO SECTION 7 OF THE CITY OF ALBUQUERQUE, NEW MEXICO SUBDIVISION ORDINANCE, A VARIANCE OR WAIVER FROM CERTAIN SUBDIVISION REQUIREMENTS HAS BEEN GRANTED BY THE CITY AND THE ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY IN CONNECTION WITH THIS PLAT.

FUTURE SUBDIVISION OF LANDS WITHIN THIS PLAT, ZONING SITE DEVELOPMENT PLAN APPROVALS, AND DEVELOPMENT PERMITS MAY BE CONDITIONED UPON DEDICATION OF RIGHTS-OF-WAY AND EASEMENTS, AND/OR UPON INFRASTRUCTURE IMPROVEMENTS BY THE OWNER FOR WATER, SANITARY SEWER, STREETS, DRAINAGE, GRADING AND PARKS IN ACCORDANCE WITH CURRENT RESOLUTIONS, ORDINANCES AND POLICIES IN EFFECT AT THE TIME FOR ANY SPECIFIC PROPOSAL.

THE CITY (AND AMAFCA WITH REFERENCE TO DRAINAGE) MAY REQUIRE AND/OR PERMIT EASEMENTS TO BE ADDED, MODIFIED, OR REMOVED WHEN FUTURE PLATS AND/OR SITE DEVELOPMENT PLANS ARE APPROVED.

BY ITS APPROVAL OF THIS SUBDIVISION THE CITY MAKES NO REPRESENTATION OR WARRANTIES AS TO AVAILABILITY OF UTILITIES, OR FINAL APPROVAL OF ALL REQUIREMENTS INCLUDING (BUT NOT LIMITED TO) THE FOLLOWING ITEMS:

- 1. WATER AND SANITARY SEWER AVAILABILITY.
2. FUTURE STREET DEDICATIONS AND/OR IMPROVEMENTS.
3. PARK AND OPEN SPACE REQUIREMENTS.
4. DRAINAGE REQUIREMENTS AND/OR IMPROVEMENTS.
5. EXCAVATION, FILLING OR GRADING REQUIREMENTS.

ANY PERSON INTENDING DEVELOPMENT OF LANDS WITHIN SUBJECT SUBDIVISION IS CAUTIONED TO INVESTIGATE THE STATUS OF THESE ITEMS.

AT SUCH TIME AS ALL SUCH CONDITIONS HAVE BEEN SATISFACTORILY MET, THE CITY ENGINEER SHALL APPROVE A RECORDABLE DOCUMENT, REMOVING SUCH CONDITIONS FROM ALL OR FROM A PORTION OF THE AREA WITHIN THE SUBJECT SUBDIVISION.

FREE CONSENT AND DEDICATION

The foregoing plat of that certain tract of land situate within Section 35, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, New Mexico being and comprising all of Tract 1, a portion of La Bienvenida Place NW and a portion of Namaste Road NW of the PLAT OF TRACTS A, B, 1, 2, 3, 4, 5 & 6 OF LANDS OF RAY A. GRAHAM III, OVENWEST CORP. AND CITY OF ALBUQUERQUE, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on April 1, 2002 in Book 2002C, Page 99 as Document No. 2002041698, now comprising Tracts A, B, C, D, E, F, G, H, J, K, L, M, and N, and Lots One (1) through One hundred and Sixty-Four (164) inclusive of the PLAT OF ANDALUCIA AT LA LUZ, Albuquerque, New Mexico, is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets and public rights-of-way shown hereon to the City of Albuquerque in Fee Simple with Warranty Covenants and do hereby grant all access, Utility, and Drainage Easements hereon including the right to construct, operate, inspect, and maintain facilities therein; and all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried and overhead distribution lines, conduits, pipes for underground and/or overhead Utilities where shown or indicated, and the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. The City has the right to enter upon the Grantees Property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("Work") it deems appropriate without liability to the City. If Work affects any Improvements or Encroachments made by the Grantee, the City will not be financially or otherwise responsible for rebuilding or repairing of Improvements or Encroachments. If in the opinion of the City, the Work to be performed by the City could endanger the structural integrity or otherwise damage the Improvements or Encroachments, the Grantee shall, at its own expense take whatever protective measures are required to safeguard the Improvements or Encroachments. Those signing as owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is with its free act and deed.

ANDALUCIA DEVELOPMENT COMPANY

BY: Scott Schiabor, President
State of New Mexico )
County of Bernalillo )



OFFICIAL SEAL
STEPHANIE L. STRATTON
NOTARY PUBLIC-STATE OF NEW MEXICO
My commission expires 6-24-07

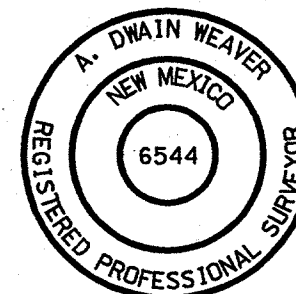
This instrument was acknowledged before me on 25 day of January, 2005, by Scott Schiabor, President of Andaluca Development Company.
My Commission Expires: 6-24-07 Stephanie L. Stratton
Notary Public

NOTES

- 1. Bearings are New Mexico State Plane Grid Bearings (Central Zone NAD 1927)
2. Distances are ground distances.
3. Record bearings & distances are shown in parenthesis ( ).
4. All easements of record are shown.
5. Centerline (in lieu of R/W monumentation) to be installed at centerline PC'S, PT'S, angle point, and street intersections prior to acceptance of subdivision street improvements and will consist of a standard 3-1/4" aluminum alloy cap stamped "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENTATION", "SURVEY MARKER", "DO NOT DISTURB", "PLS#6544".
6. Lots designated as P-1 shall conform to Intermittent Parking Design Criteria.
7. The front (adjacent to street right-of-way) lot corner will not be staked. A witness corner projected along the property line (10' offset), being a chiseled "x" in the curb and gutter will be set upon completion of all street improvements. Offset may be adjusted by even foot increments where necessary to fall within the pan.
8. Tract A is subject to a 25' floating public storm drain easement granted to the City of Albuquerque with the filing of this plat to be confined and defined by future platting.
9. Tract B is subject to a 44' floating public waterline easement granted to the City of Albuquerque and a private access easement with the filing of this plat; to be confined and defined within the future right-of-way by future platting.
10. Tract J is subject to a blanket public utility easement granted with the filing of this plat.
11. Tract L is subject to a blanket public sanitary sewer easement granted to the City of Albuquerque with the filing of this plat.
12. Tracts C, E, F, G, J, K, L, M and N are to be conveyed to and maintained by Andaluca Community Association by separate deed and solely as open space, Pedestrian Access and community landscaping.
13. Tract H is reserved for a future public Park. Dedication shall be by separate deed.

SURVEYOR'S CERTIFICATION

I, A. Dwain Weaver, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.



A. Dwain Weaver
New Mexico Professional Surveyor 6544
Date: January 25, 2005

PLAT OF ANDALUCIA AT LA LUZ

(A REPLAT OF TRACT 1, LANDS OF RAY GRAHAM III, OVENWEST CORP. AND CITY OF ALBUQUERQUE)

ALBUQUERQUE, NEW MEXICO
JANUARY, 2005

PROJECT NUMBER 1000965
APPLICATION NUMBER 05-00124
PLAT APPROVAL

UTILITY APPROVALS:
Mary Ann Jajala 2-1-05
James Barber 2-1-05
James D. Meeks 2-1-05
James D. Meeks 2-1-05

CITY APPROVALS:
CITY SURVEYOR 1-25-05
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION 2-2-05
UTILITIES DEVELOPMENT 2/2/05
PARKS & RECREATION DEPARTMENT 2-2-05
CITY ENGINEER 2/2/05
DRB CHAIRPERSON, PLANNING DEPARTMENT 2-3-05
REAL PROPERTY DIVISION

TAX CERTIFICATION

1011 061 386 247 401 26
PROPERTY OWNER OF RECORD ABW Realty Partners LLC
Dwain Weaver 03/26/05
BERNALILLO COUNTY TREASURER'S OFFICE

PNM STAMP

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.



Bohannon & Huston
Court yard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES



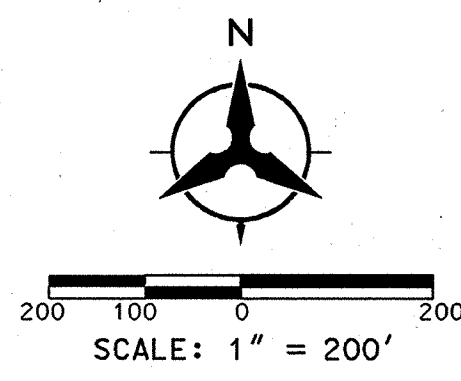
**LEGEND**

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- RIGHT-OF-WAY LINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- ADJOINING PROPERTY LINE
- OLD (EXISTING) LOT LINE TO BE ELIMINATED WITH THE FILING OF THIS PLAT
- CITY OF ALBUQUERQUE CONTROL MONUMENT
- FOUND 5/8" REBAR WITH CAP STAMPED "LS 5110"
- FOUND 5/8" REBAR WITH CAP STAMPED "LS 5823" AND WITH TAG STAMPED "LS 5110"
- CENTERLINE MONUMENT TO BE INSTALLED
- 5/8" REBAR WITH 1 1/2" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"
- 8" PUE 8' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT

**PLAT OF ANDALUCIA AT LA LUZ**  
(A REPLAT OF TRACT 1, LANDS OF RAY GRAHAM III, OVENWEST CORP. AND CITY OF ALBUQUERQUE)  
ALBUQUERQUE, NEW MEXICO  
JANUARY, 2005

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Page: 2 of 8  
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Bk-2005C Pg-44

Naru Herrera Bern. Co. PLAT R 42.00 Bk-2005C Pg-44



NM SHC BRASS TABLE STAMPED "NM448-N6-A"  
GEOGRAPHIC POSITION (NAD 1927)  
NM STATE PLANE COORDINATES (CENTRAL ZONE)  
X=366,640.72 Y=1,507,308.30  
GROUND TO GRID FACTOR = 0.9996784  
DELTA ALPHA = -00°15'24"  
SLD 1929 ELEVATION = 5058.889

**UNITS 1-3 LA LUZ DE OESTA**  
FILED: DECEMBER 28, 1973 (06-8)

**AREA O UNIT 1 LA LUZ DE OESTA**  
FILED: AUGUST 5, 1976 (07-53)

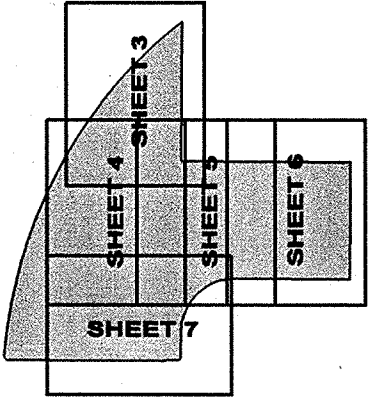
**UNIT 3 LA LUZ DE OESTA**  
FILED: NOVEMBER 14, 1972 (08-205)

ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	12°13'34"	44.87'	89.41'	419.00'	89.24'	S84°01'45"W
C2	18°46'08"	15.37'	30.46'	93.00'	30.33'	S87°18'01"W
C3	73°35'15"	317.87'	545.85'	425.00'	509.10'	S37°05'05"W
C4	19°11'06"	25.35'	50.23'	150.00'	49.99'	S09°50'57"W
C5	90°00'11"	25.00'	25.00'	25.00'	35.36'	S45°13'43"W
C6	14°47'46"	19.48'	38.74'	150.00'	38.63'	S82°47'35"W
C7	94°30'03"	32.45'	49.48'	30.00'	44.06'	N42°31'10"W
C8	46°38'18"	1612.92'	3045.73'	3741.72'	2962.34'	N28°03'21"E
C9	31°06'02"	1041.21'	2031.04'	3741.72'	2006.20'	N20°17'14"E
C10	91°20'05"	25.59'	39.85'	25.00'	35.76'	N81°30'17"E
C11	07°03'24"	37.00'	73.90'	600.00'	73.85'	S49°17'58"E
C12	03°50'19"	10.39'	20.77'	310.00'	20.76'	S33°07'11"E
C13	09°16'05"	23.51'	46.91'	290.00'	46.86'	S50°24'18"E
C14	23°21'23"	39.27'	77.45'	190.00'	76.92'	S34°05'35"E
C15	09°32'32"	22.70'	45.30'	272.00'	45.25'	S56°41'30"W
C16	12°29'05"	16.74'	33.34'	153.00'	33.27'	S58°09'47"W
C17	41°01'25"	36.29'	69.45'	97.00'	67.98'	S43°53'37"W
C18	62°30'40"	64.34'	115.65'	106.00'	110.00'	S54°38'14"W
C19	63°52'27"	183.26'	327.75'	294.00'	311.04'	S53°57'21"W
C20	00°38'10"	1.88'	3.75'	338.00'	3.75'	S21°42'03"W
C21	09°39'10"	25.08'	50.04'	297.00'	49.98'	S16°33'23"W
C22	07°33'18"	58.57'	116.96'	887.00'	116.88'	S07°57'09"W
C23	06°22'56"	65.40'	130.66'	1173.00'	130.60'	S00°59'02"W

NOTE: TABLES ARE FOR THIS SHEET ONLY

**TRACTS A, B, 1, 2, 3, 4, 5, & 6 LANDS OF RAY A. GRAHAM III OVENWEST CORP. AND CITY OF ALBUQUERQUE**  
FILED: APRIL 1, 2002 (2002C-99)

ID	BEARING	DISTANCE
T1	N44°37'41"E	36.39'
T2	S00°13'07"W	73.42'
T3	S00°13'05"W	173.41'
T4	N89°46'11"W	78.24'
T5	N52°49'40"W	64.94'
T6	N45°46'16"W	197.62'
T7	S50°44'27"W	12.03'
T8	N51°12'02"W	59.20'
T9	N45°46'16"W	70.57'
T10	N22°24'53"W	42.95'
T11	N67°58'52"W	44.00'
T12	S11°43'48"W	144.46'
T13	S04°10'30"W	69.60'
T14	N89°46'11"W	22.02'
T15	N02°12'27"W	76.07'



NOTE: SEE SHEETS 3 THRU 7 FOR SUBDIVISION DETAILS



**Bohannon & Huston**

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

EXISTING 20' SLOPE AND CONSTRUCTION MAINTENANCE EASEMENT  
FILED: DECEMBER 29, 2000 (BK. A13, PG. 7287)  
FILED: JANUARY 11, 2001 (BK. A14, PG. 2337)

**TRACT A**  
21.5595 Acres  
(SEE NOTE 8, SHEET 1)

**TRACT A-1 LANDS OF SUZANNE POOLE**  
FILED: AUGUST 3, 1976 (C11-84)

**WEST BANK ESTATES**  
FILED: OCTOBER 5, 1966 (06-139)

**LOT 4-A TRACTS C-1, C-2, AND LOT 4-A LANDS OF SUZANNE POOLE**  
FILED: MAY 24, 2001 (2001C-148)

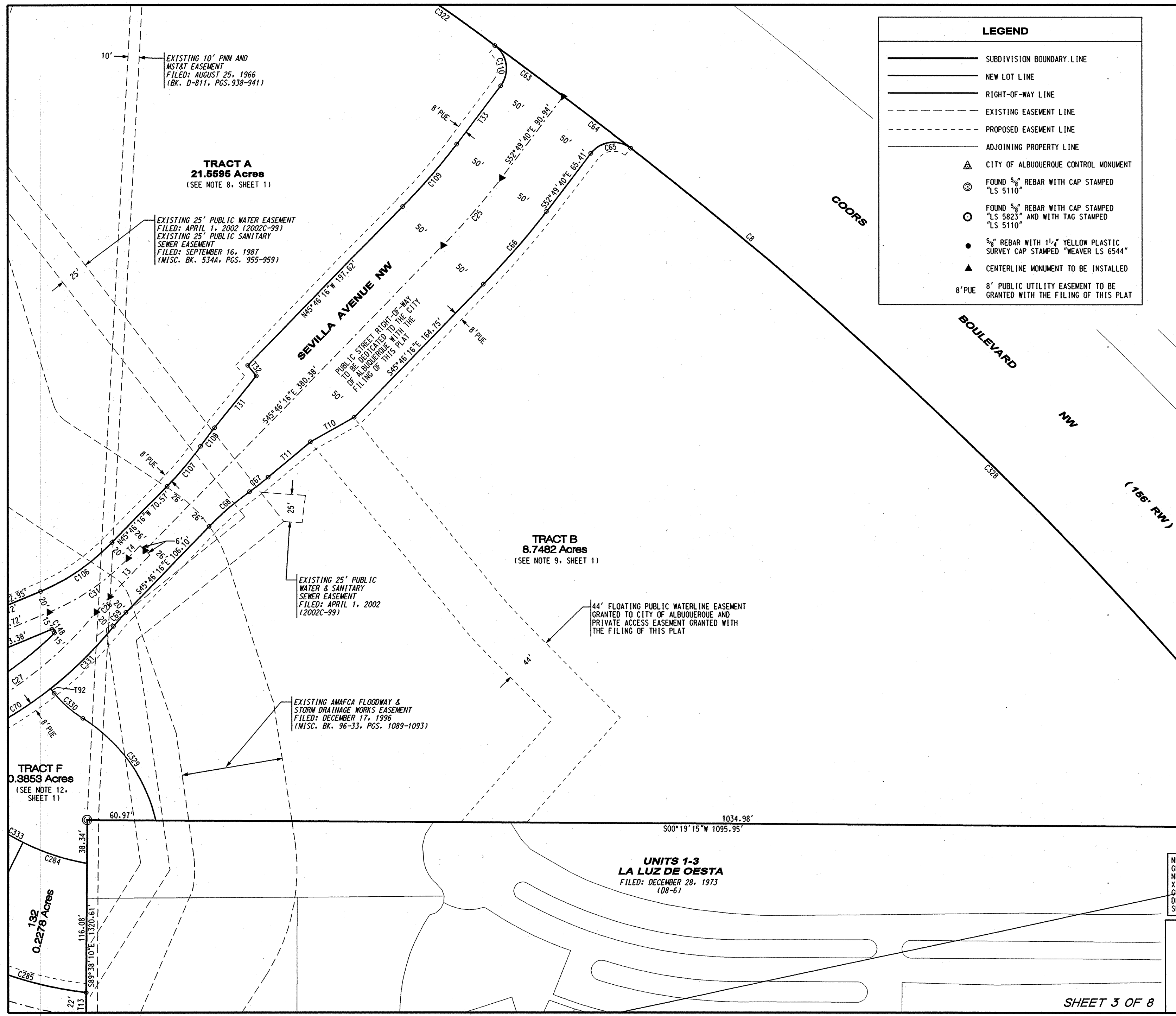
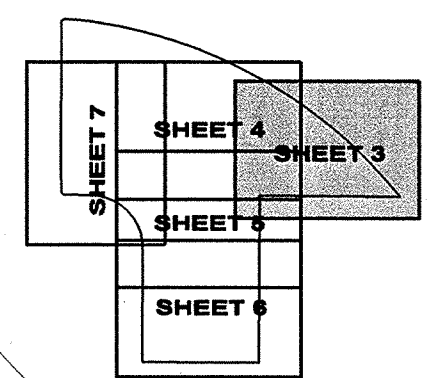
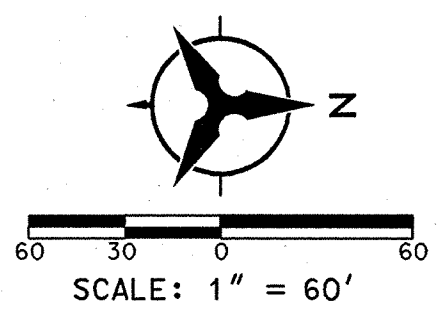
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GROUND TO GRID FACTOR = 0.99967551  
DELTA ALPHA = -00°15'24"  
SLD 1929 ELEVATION = 5113.852

**OXBOW NORTH**  
FILED: FEBRUARY 13, 2003 (2003C-31)

**PLAT OF**  
**ANDALUCIA AT LA LUZ**  
 (A REPLAT OF TRACT 1, LANDS OF RAY  
 GRAHAM III, OVENWEST CORP. AND CITY  
 OF ALBUQUERQUE)  
 ALBUQUERQUE, NEW MEXICO  
 JANUARY, 2005

**LEGEND**

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- NEW LOT LINE
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- ADJOINING PROPERTY LINE
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- 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"
- ▲ CENTERLINE MONUMENT TO BE INSTALLED
- 8' PUE 8' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT



**TRACT A**  
 21.5595 Acres  
 (SEE NOTE 8, SHEET 1)

EXISTING 25' PUBLIC WATER EASEMENT  
 FILED: APRIL 1, 2002 (2002C-99)  
 EXISTING 25' PUBLIC SANITARY  
 SEWER EASEMENT  
 FILED: SEPTEMBER 16, 1987  
 (MISC. BK. 534A, PGS. 955-959)

SEVILLA AVENUE NW  
 N65°46'16"W 197.82'  
 PUBLIC STREET RIGHT-OF-WAY  
 TO BE DEDICATED TO THE CITY  
 OF ALBUQUERQUE WITH THE  
 FILING OF THIS PLAT  
 S45°46'16"E 184.75'  
 S45°46'16"E 108.10'

**TRACT B**  
 8.7482 Acres  
 (SEE NOTE 9, SHEET 1)

EXISTING 25' PUBLIC  
 WATER & SANITARY  
 SEWER EASEMENT  
 FILED: APRIL 1, 2002  
 (2002C-99)

44' FLOATING PUBLIC WATERLINE EASEMENT  
 GRANTED TO CITY OF ALBUQUERQUE AND  
 PRIVATE ACCESS EASEMENT GRANTED WITH  
 THE FILING OF THIS PLAT

EXISTING AMAFCA FLOODWAY &  
 STORM DRAINAGE WORKS EASEMENT  
 FILED: DECEMBER 17, 1996  
 (MISC. BK. 96-33, PGS. 1089-1093)

**TRACT F**  
 0.3853 Acres  
 (SEE NOTE 12,  
 SHEET 1)

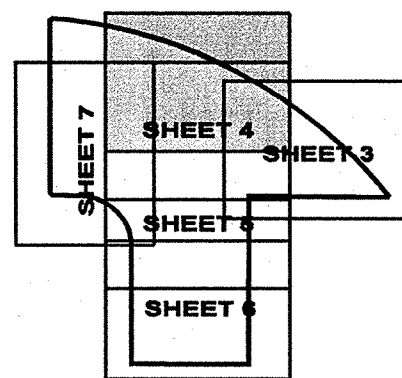
**UNITS 1-3**  
**LA LUZ DE OESTA**  
 FILED: DECEMBER 28, 1973  
 (08-6)

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 GEOGRAPHIC POSITION (NAD 1927)  
 NM STATE PLANE COORDINATES (CENTRAL ZONE)  
 X=366,640.72 Y=1,507,308.30  
 GROUND TO GRID FACTOR = 0.9996784  
 DELTA ALPHA = -00°15'24"  
 SLD 1929 ELEVATION = 5058.889



**Bohannon & Huston**

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
**ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES**

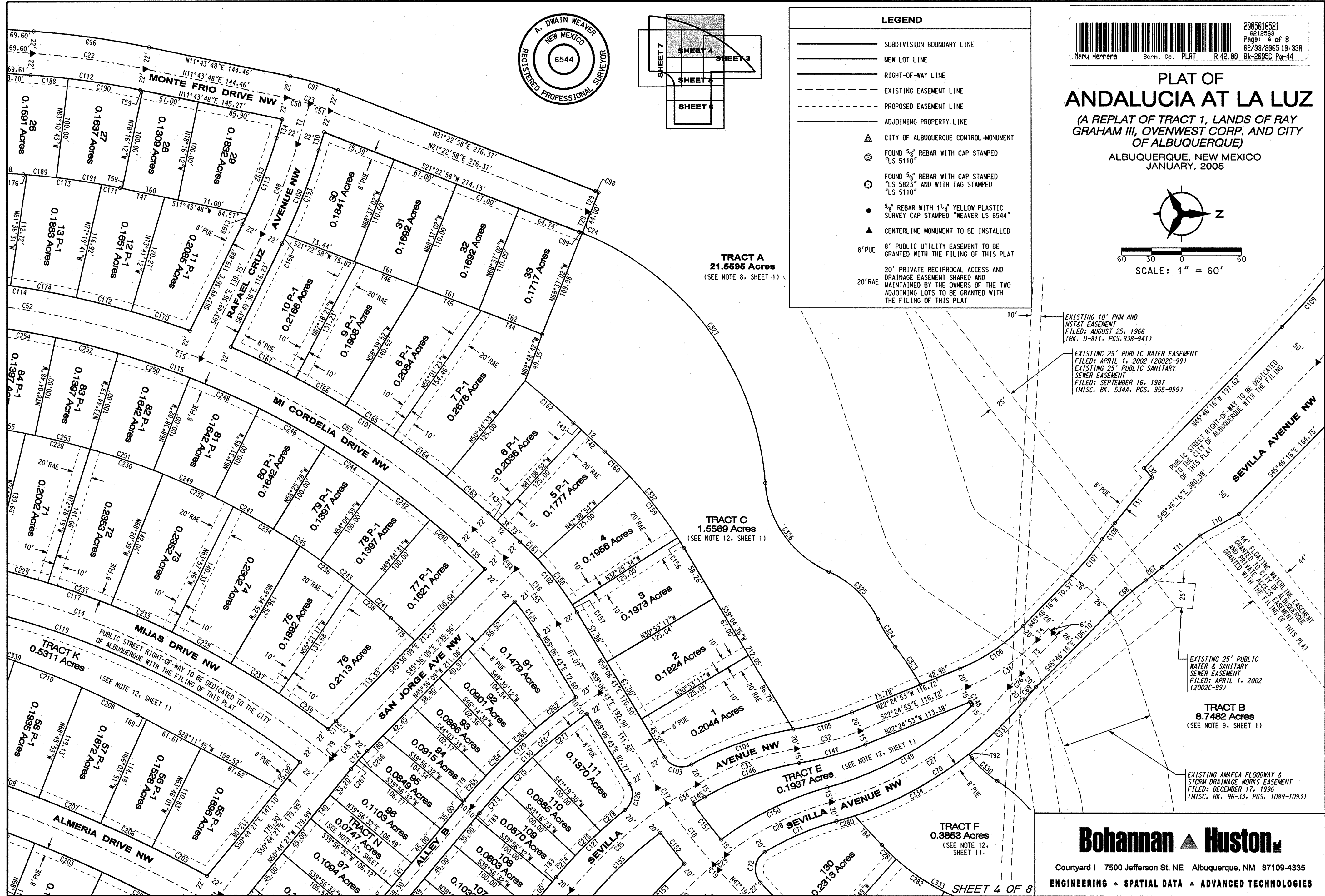
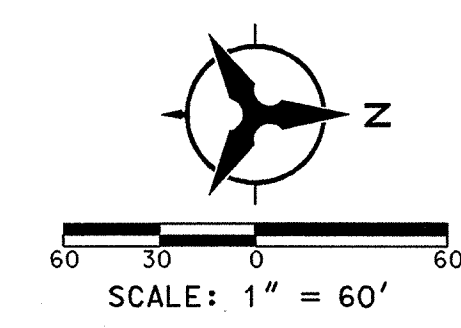


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- 5/8" REBAR WITH 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"
- CENTERLINE MONUMENT TO BE INSTALLED
- 8' PUE: 8' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT
- 20' RAE: 20' PRIVATE RECIPROCAL ACCESS AND DRAINAGE EASEMENT SHARED AND MAINTAINED BY THE OWNERS OF THE TWO ADJOINING LOTS TO BE GRANTED WITH THE FILING OF THIS PLAT

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Page: 4 of 8  
62/83/2005 10:33P  
Maru Herrera Bern. Co. PLRT R 42.60 Bk-2005C Pg-44

**PLAT OF ANDALUCIA AT LA LUZ**  
(A REPLAT OF TRACT 1, LANDS OF RAY GRAHAM III, OVENWEST CORP. AND CITY OF ALBUQUERQUE)  
ALBUQUERQUE, NEW MEXICO  
JANUARY, 2005



**TRACT A**  
21.5595 Acres  
(SEE NOTE 8, SHEET 1)

**TRACT C**  
1.5509 Acres  
(SEE NOTE 12, SHEET 1)

**TRACT B**  
8.7482 Acres  
(SEE NOTE 9, SHEET 1)

**TRACT F**  
0.3853 Acres  
(SEE NOTE 12, SHEET 11)

EXISTING 10' PNM AND MST&T EASEMENT  
FILED: AUGUST 25, 1966  
(BK. D-811, PGS. 938-941)

EXISTING 25' PUBLIC WATER EASEMENT  
FILED: APRIL 1, 2002 (2002C-99)  
EXISTING 25' PUBLIC SANITARY SEWER EASEMENT  
FILED: SEPTEMBER 16, 1987  
(MISC. BK. 534A, PGS. 955-959)

EXISTING 25' PUBLIC WATER & SANITARY SEWER EASEMENT  
FILED: APRIL 1, 2002 (2002C-99)

EXISTING AMAFCA FLOODWAY & STORM DRAINAGE WORKS EASEMENT  
FILED: DECEMBER 17, 1996  
(MISC. BK. 96-33, PGS. 1089-1093)

44' FLOATING WATERLINE EASEMENT GRANTED TO CITY OF ALBUQUERQUE AND PRIVATE ACCESS EASEMENT GRANTED WITH THE FILING OF THIS PLAT

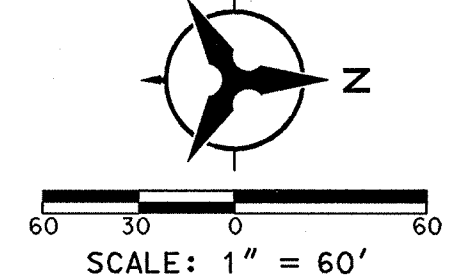
**Bohannon & Huston**  
Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

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 Page: 5 of 8  
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 Maru Herrera Bern. Co. PLAT R 42.00 Bk-2895C Pg-44

# PLAT OF ANDALUCIA AT LA LUZ

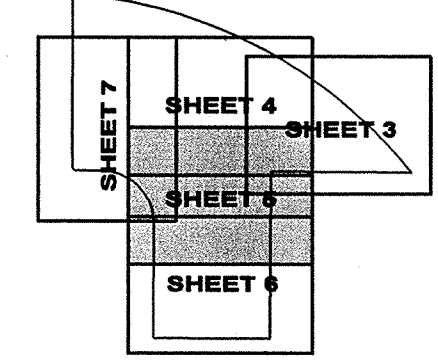
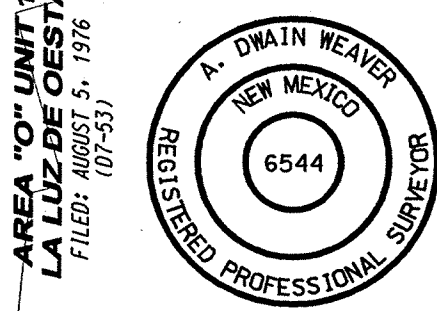
(A REPLAT OF TRACT 1, LANDS OF RAY GRAHAM III, OWENWEST CORP. AND CITY OF ALBUQUERQUE)  
 ALBUQUERQUE, NEW MEXICO  
 JANUARY, 2005

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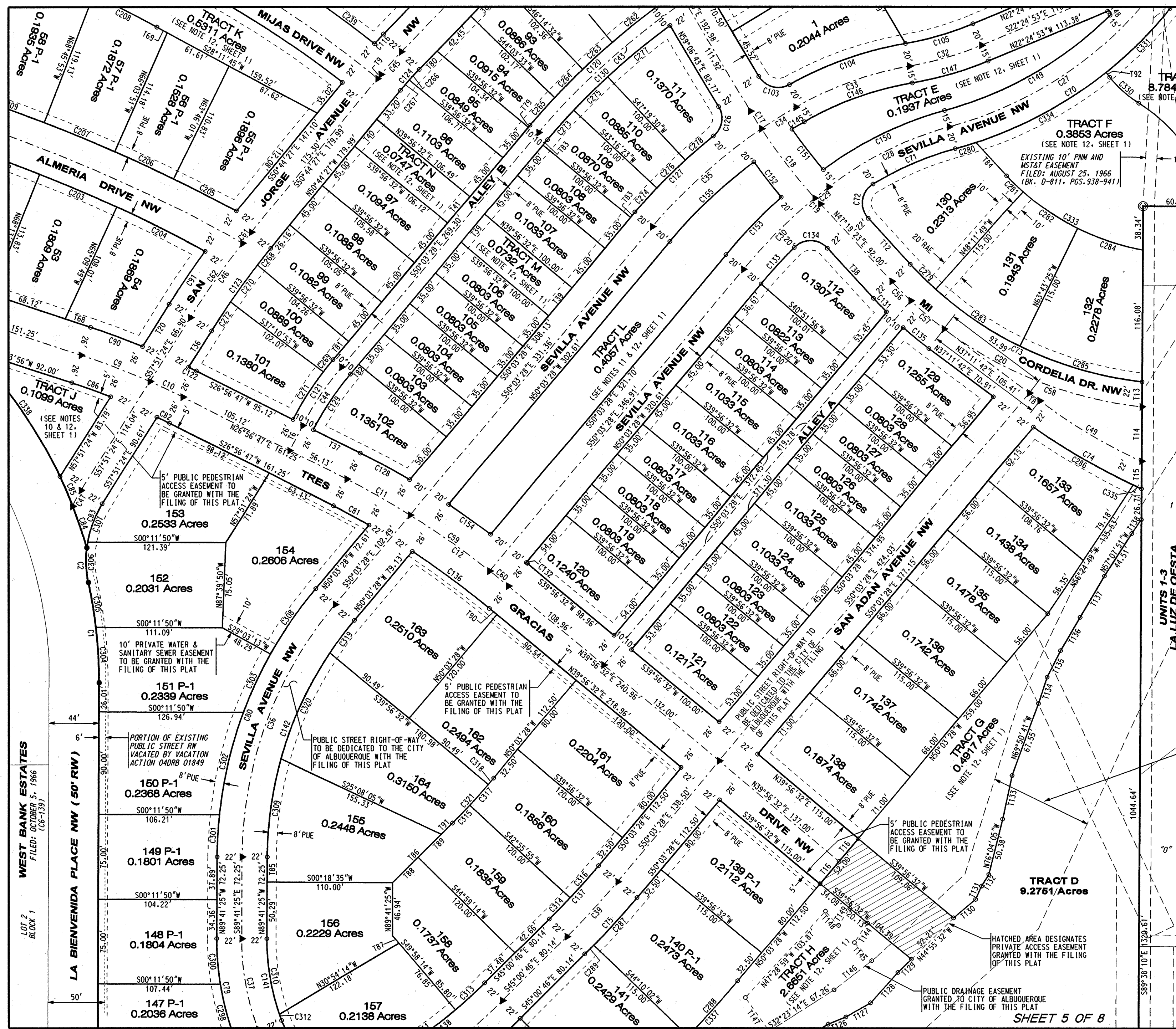


LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	RIGHT-OF-WAY LINE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	ADJOINING PROPERTY LINE
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	CENTERLINE MONUMENT TO BE INSTALLED
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	20' PRIVATE RECIPROCAL ACCESS AND DRAINAGE EASEMENT SHARED AND MAINTAINED BY THE OWNERS OF THE TWO ADJOINING LOTS TO BE GRANTED WITH THE FILING OF THIS PLAT

NOTE: SEE SHEET 8 FOR CURVE & TANGENT DATA



**Bohannon & Huston**  
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

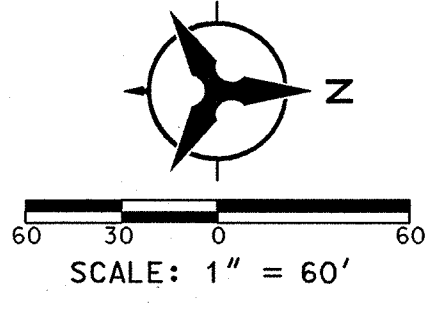




# PLAT OF ANDALUCIA AT LA LUZ

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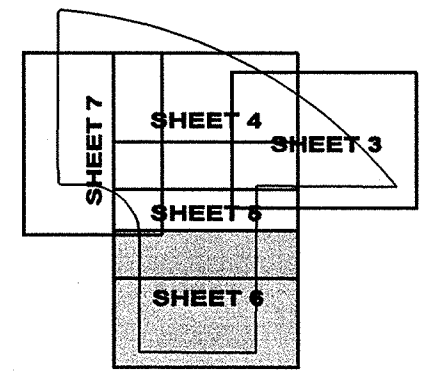
ALBUQUERQUE, NEW MEXICO  
JANUARY, 2005



**UNIT 3  
LA LUZ DE OESTA**  
FILED: NOVEMBER 14, 1972  
(C8-205)

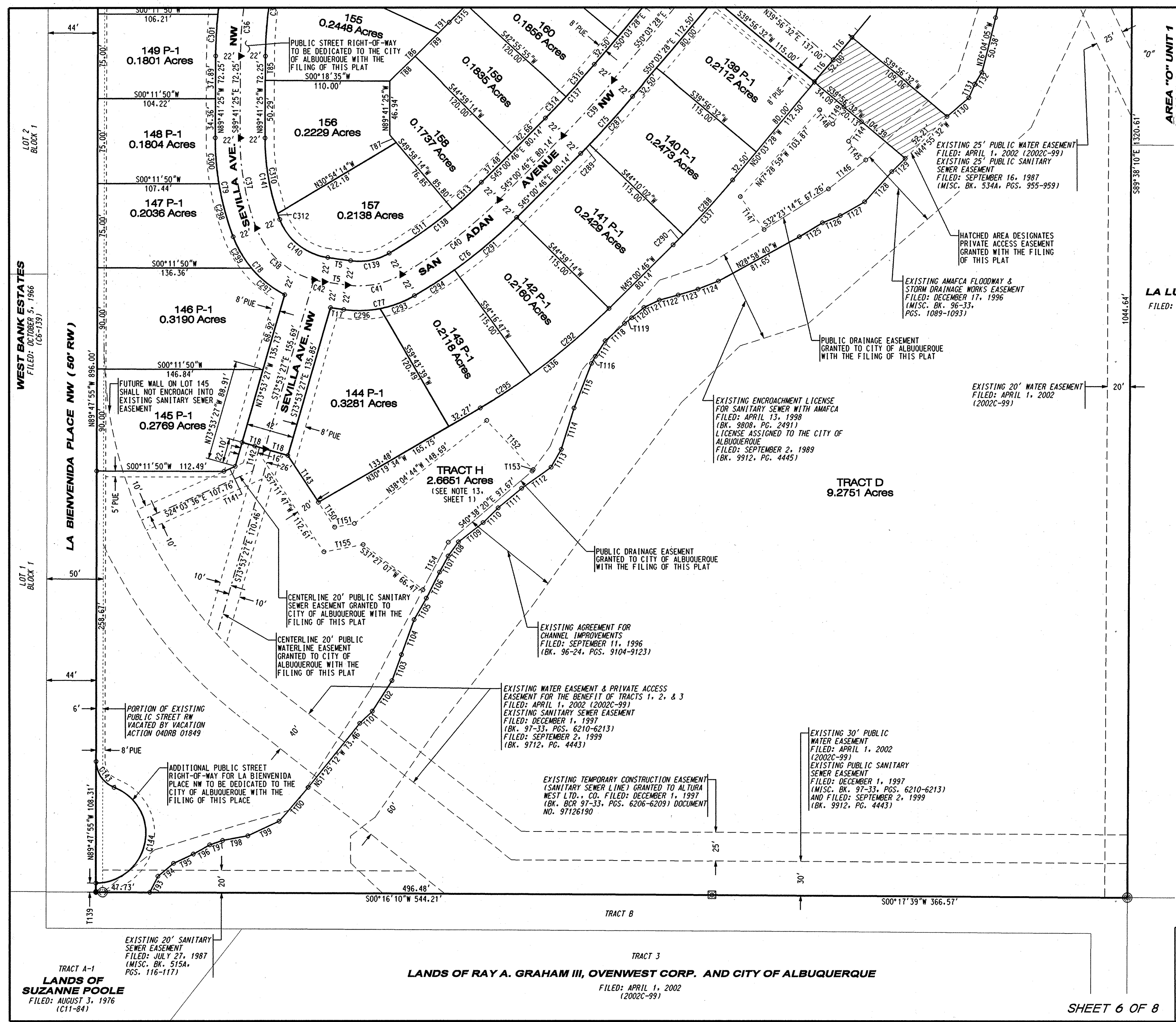
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NOTE: SEE SHEET 8 FOR CURVE & TANGENT DATA



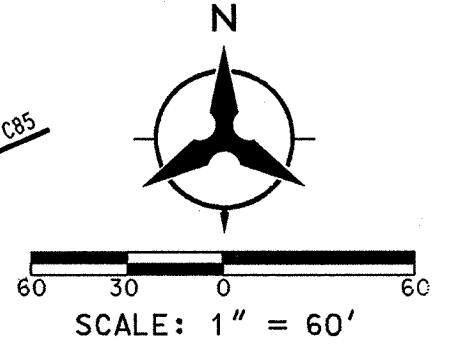
## Bohannon Huston

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING SPATIAL DATA ADVANCED TECHNOLOGIES



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 Bk-2005C Pg-44

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 (A REPLAT OF TRACT 1, LANDS OF RAY GRAHAM III, OVENWEST CORP. AND CITY OF ALBUQUERQUE)  
 ALBUQUERQUE, NEW MEXICO  
 JANUARY, 2005



TRACT A  
 21.5595 Acres  
 (SEE NOTE 8,  
 SHEET 1)



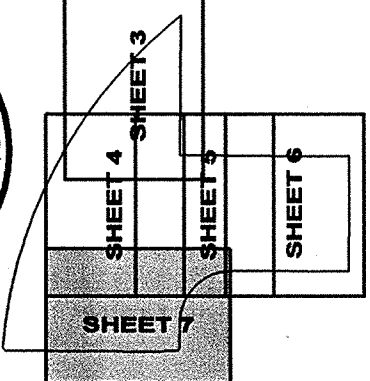
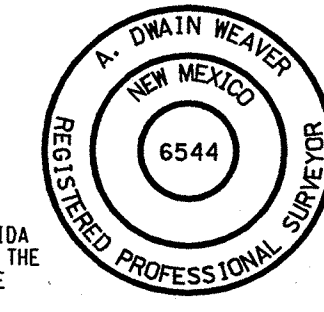
5' PUBLIC PEDESTRIAN ACCESS EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT

(SEE NOTES 10 & 12, SHEET 1)

**LEGEND**

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- RIGHT-OF-WAY LINE
- - - EXISTING EASEMENT LINE
- - - PROPOSED EASEMENT LINE
- ADJOINING PROPERTY LINE
- - - OLD (EXISTING LOT LINE TO BE ELIMINATED WITH THE FILING OF THIS PLAT
- ⊠ CITY OF ALBUQUERQUE CONTROL MONUMENT
- ⊙ FOUND 3/8" REBAR WITH CAP STAMPED "LS 5110"
- ⊙ FOUND 3/8" REBAR WITH CAP STAMPED "LS 5823" AND WITH TAG STAMPED "LS 5110"
- ▲ CENTERLINE MONUMENT TO BE INSTALLED
- 8' PUE 8' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT
- 20' RAE 20' PRIVATE RECIPROCAL ACCESS AND DRAINAGE EASEMENT SHARED AND MAINTAINED BY THE OWNERS OF THE TWO ADJACENT LOTS TO BE GRANTED WITH THE FILING OF THIS PLAT

TRACTS C-1, C-2 AND LOT 4-A  
 LANDS OF SUZANNE POOLE  
 FILED: MAY 24, 2001  
 (2001C-148)



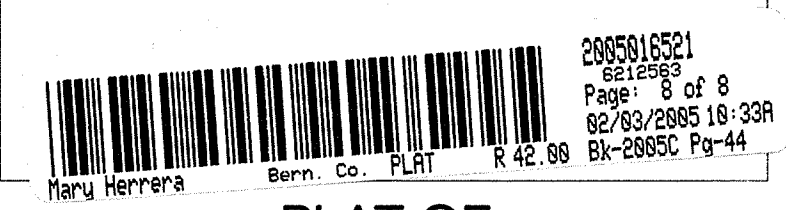
**Bohannon & Huston**  
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING ▴ SPATIAL DATA ▴ ADVANCED TECHNOLOGIES

PUBLIC STREET RIGHT-OF-WAY TO BE DEDICATED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

EXISTING PUBLIC STREET RIGHT-OF-WAY VACATED BY VACATION ACTION 04DRB 01849

CURVE DATA

Table with columns: ID, DELTA, TANGENT, ARC, RADIUS, CHORD, CHORD BRG. Contains multiple columns of survey data points.



PLAT OF ANDALUCIA AT LA LUZ (A REPLAT OF TRACT 1, LANDS OF RAY GRAHAM III, OWENWEST CORP. AND CITY OF ALBUQUERQUE)

ALBUQUERQUE, NEW MEXICO JANUARY, 2005

TANGENT DATA

Table with columns: ID, BEARING, DISTANCE. Contains multiple columns of tangent data points.



JAN 25, 2005

SHEET 8 OF 8

Bohannon & Huston

Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES





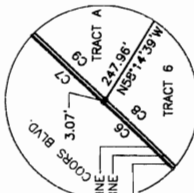
**PLAT OF TRACTS A, B, 1, 2, 3, 4, 5 & 6 OF LANDS OF RAY A. GRAHAM III, OVENWEST CORP.**

**CITY OF ALBUQUERQUE**

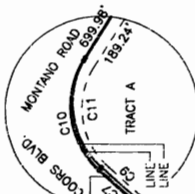
ACS MONUMENT "NM448-N7-A"  
 Y = 15010014.99  
 X = 369804.62  
 ELEV. = 5006.41

NOTE:  
 TRACT A WAS CREATED BY DEED FILED SEPT. 27, 1982, BOOK 168-A, PAGE 899.  
 CURB RETURN AT MONTANO/COORS INTERSECTION (TRACT A) WAS DEEDED TO CITY, FILED MAR. 16, 2001, BOOK A-16, PAGE 8416.  
 SEE INSET 2

3' ADDITIONAL COORS BLVD. ROW DEDICATED IN FEE SIMPLE TO THE CITY OF ALBUQUERQUE BY THIS PLAT.  
 TRACT A WAS CREATED BY DEED FILED SEPT. 27, 1982, BOOK 168-A, PAGE 899.  
 CURB RETURN AT MONTANO/COORS INTERSECTION (TRACT A) WAS DEEDED TO CITY, FILED MAR. 16, 2001, BOOK A-16, PAGE 8416.  
 SEE INSET 2



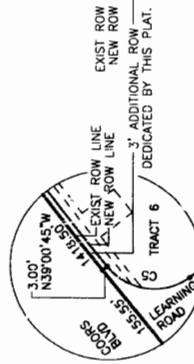
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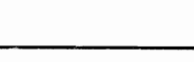
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**INSET NO. 3**



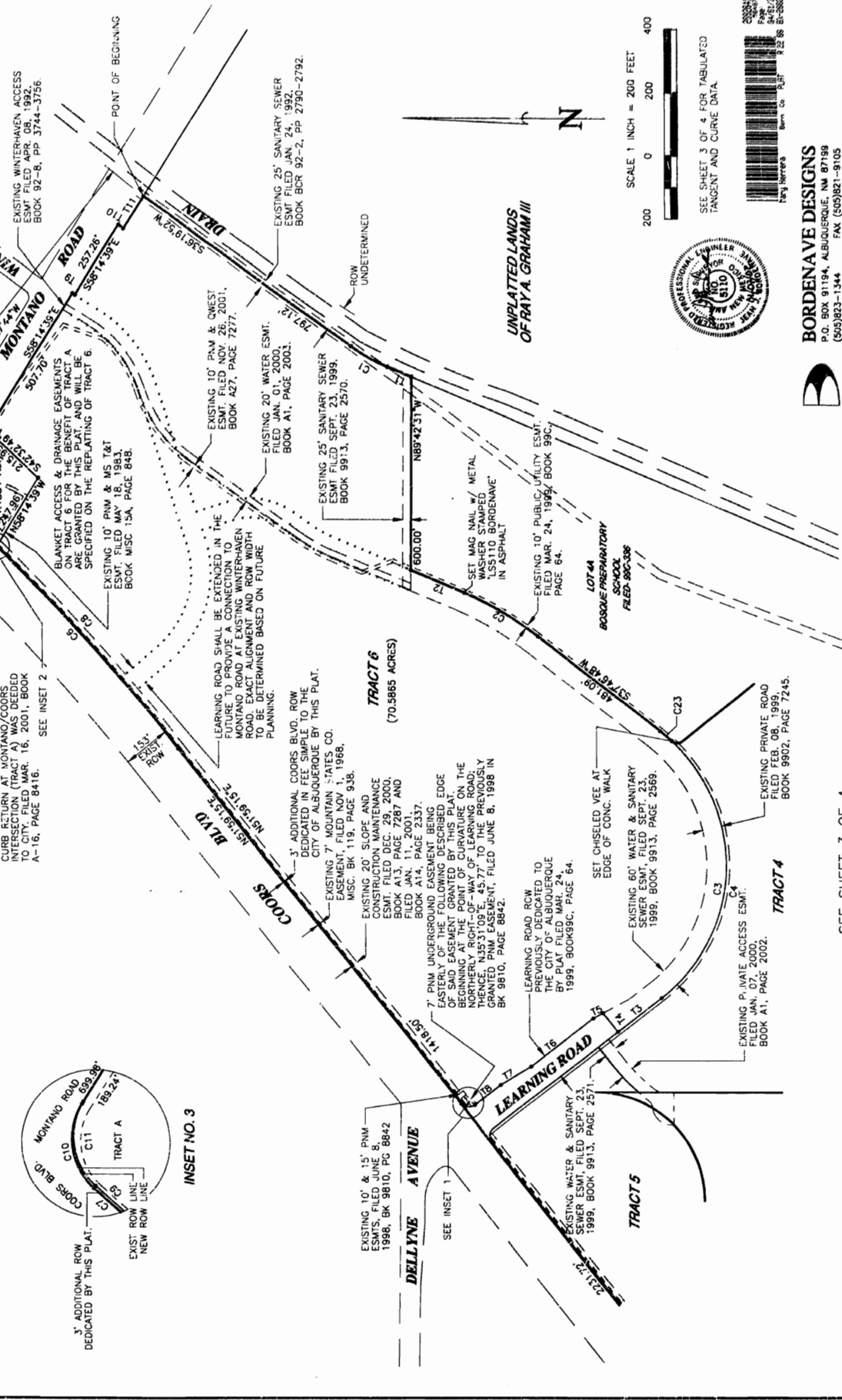
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**INSET NO. 5**



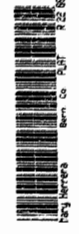
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SCALE 1 INCH = 200 FEET



SEE SHEET 3 OF 4 FOR TABULATED TANGENT AND CURVE DATA.

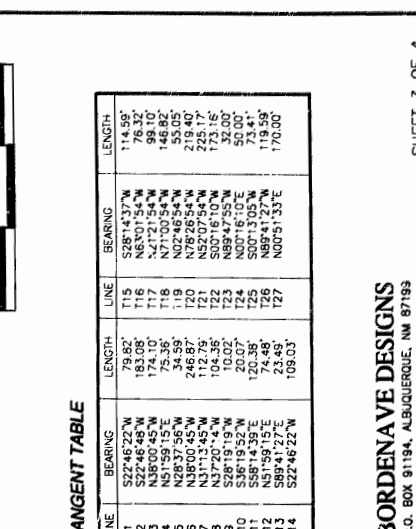
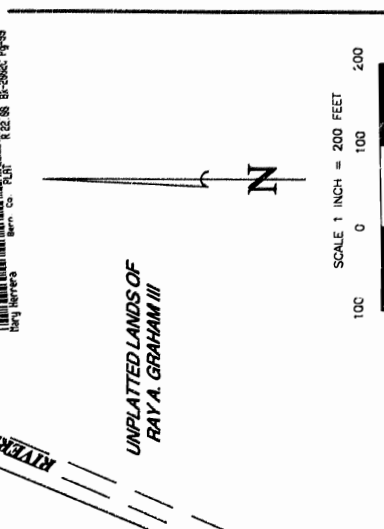
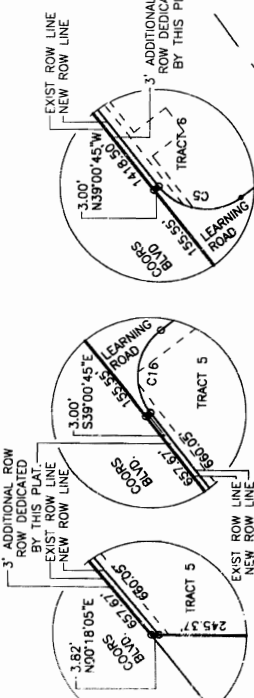
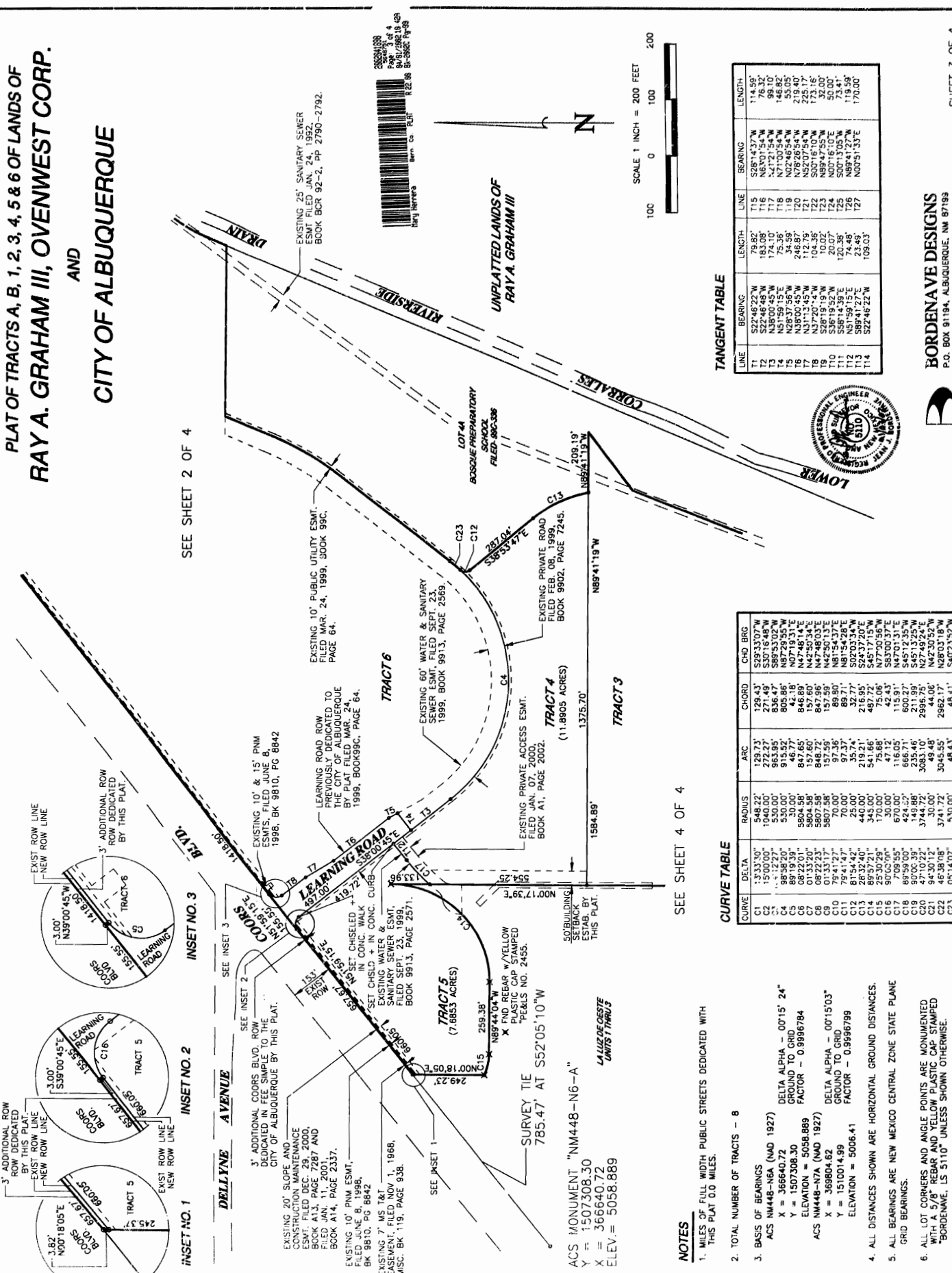


**BORDENAVE DESIGNS**  
 P.O. BOX 91194, ALBUQUERQUE, NM 87198  
 (505)823-1344 FAX (505)821-8105



# PLAT OF TRACTS A, B, 1, 2, 3, 4, 5 & 6 OF LANDS OF RAY A. GRAHAM III, OVENWEST CORP. AND CITY OF ALBUQUERQUE

SEE SHEET 2 OF 4



TANGENT TABLE

LINE	BEARING	LENGTH	LINE	BEARING	LENGTH
T1	S22°46'22"W	19.52'	T15	S28°43'27"W	114.93'
T2	S27°48'22"W	18.52'	T16	S28°01'54"W	76.32'
T3	N35°00'45"W	174.10'	T17	N41°21'54"W	99.10'
T4	N51°59'15"E	75.36'	T18	N71°00'54"W	146.82'
T5	N28°37'56"W	34.59'	T19	N02°46'54"W	55.05'
T6	N39°01'45"W	119.56'	T20	N22°07'54"W	225.17'
T7	N37°20'7.4"W	104.36'	T21	S00°16'10"W	173.16'
T8	S28°19'19"W	18.02'	T22	S89°47'55"W	32.00'
T9	S36°19'52"W	20.07'	T23	S00°16'10"W	73.91'
T10	S36°19'52"W	20.07'	T24	S00°16'10"W	73.91'
T11	S36°19'52"W	20.07'	T25	S00°16'10"W	73.91'
T12	S36°19'52"W	20.07'	T26	S89°41'22"W	119.59'
T13	S36°19'52"W	20.07'	T27	S89°41'22"W	119.59'
T14	S22°46'22"W	19.52'	T28	N00°51'33"E	170.00'

CURVE TABLE

CURVE	DELTA	RADIUS	ARC	CHORD	CHD BRG
C1	133°33'00"	548.22'	129.43'	129.43'	S29°33'07"W
C2	150°00'00"	1940.00'	272.27'	271.49'	S32°15'46"W
C3	150°00'00"	530.00'	915.52'	805.86'	N87°29'55"W
C4	98°58'20"	30.00'	46.77'	42.18'	N07°19'31"E
C5	89°19'39"	300.00'	847.65'	846.89'	N47°48'14"E
C6	08°22'20"	5804.58'	157.60'	157.60'	N42°58'34"E
C7	01°33'20"	5804.58'	157.60'	157.60'	N42°58'34"E
C8	01°33'17"	5807.58'	157.59'	157.59'	N42°59'13"E
C9	79°41'21"	70.00'	97.36'	88.90'	N81°54'37"E
C10	79°41'21"	70.00'	97.37'	88.71'	N81°54'37"E
C11	81°54'42"	25.00'	35.74'	32.97'	S02°09'24"W
C12	81°54'42"	25.00'	35.74'	32.97'	S02°09'24"W
C13	89°57'21"	345.00'	541.66'	487.72'	S45°17'15"W
C14	25°30'28"	170.00'	75.68'	75.06'	N77°00'56"W
C15	25°30'28"	170.00'	75.68'	75.06'	N77°00'56"W
C16	80°05'00"	30.00'	47.12'	42.43'	S82°00'37"E
C17	80°05'00"	30.00'	47.12'	42.43'	S82°00'37"E
C18	80°05'00"	30.00'	47.12'	42.43'	S82°00'37"E
C19	80°05'00"	30.00'	47.12'	42.43'	S82°00'37"E
C20	80°05'00"	30.00'	47.12'	42.43'	S82°00'37"E
C21	80°05'00"	30.00'	47.12'	42.43'	S82°00'37"E
C22	80°05'00"	30.00'	47.12'	42.43'	S82°00'37"E
C23	80°05'00"	30.00'	47.12'	42.43'	S82°00'37"E

SEE SHEET 4 OF 4

NOTES

- MILES OF FULL WIDTH PUBLIC STREETS DEDICATED WITH THIS PLAT 0.0 MILES.
- TOTAL NUMBER OF TRACTS - 8
- BASIS OF BEARINGS  
ACS NM448-N6A (NAD 1927)  
X = 366640.72  
Y = 1507308.30  
DELTA ALPHA = 0°15' 24"  
GROUND TO GRID  
FACTOR = 0.9996784  
ELEVATION = 5058.889  
ACS NM448-N7A (NAD 1927)  
X = 366804.62  
Y = 1510014.99  
DELTA ALPHA = 0°15' 03"  
GROUND TO GRID  
FACTOR = 0.9996789  
ELEVATION = 5066.41
- ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES.
- ALL BEARINGS ARE NEW MEXICO CENTRAL ZONE STATE PLANE GRID BEARINGS.
- ALL LOT CORNERS AND ANGLE POINTS ARE MONUMENTED WITH A 5/8" REBAR AND YELLOW PLASTIC CAP STAMPED "BORDENA VE, LS 5110" UNLESS SHOWN OTHERWISE.

**BORDENA VE DESIGNS**  
P.O. BOX 91194, ALBUQUERQUE, NM 87189  
(505)823-1344 FAX (505)821-8105







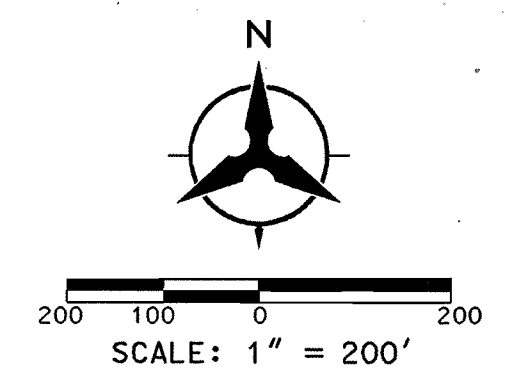
**LEGEND**

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- RIGHT-OF-WAY LINE
- - - EXISTING EASEMENT LINE
- - - PROPOSED EASEMENT LINE
- ADJOINING PROPERTY LINE
- - - OLD (EXISTING) LOT LINE TO BE ELIMINATED WITH THE FILING OF THIS PLAT
- ▲ CITY OF ALBUQUERQUE CONTROL MONUMENT
- ⊙ FOUND 5/8" REBAR WITH CAP STAMPED "LS 5110"
- FOUND 5/8" REBAR WITH CAP STAMPED "LS 5823" AND WITH TAG STAMPED "LS 5110"
- ▲ CENTERLINE MONUMENT TO BE INSTALLED
- 5/8" REBAR WITH 1 1/2" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"
- 8" PUE 8" PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT

**PLAT OF  
ANDALUCIA AT LA LUZ  
(A REPLAT OF TRACT 1, LANDS OF RAY  
GRAHAM III, OVENWEST CORP. AND CITY  
OF ALBUQUERQUE)  
ALBUQUERQUE, NEW MEXICO  
JANUARY, 2005**

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Page: 2 of 8  
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Bk-2005C Pa-44

Maru Herrera Bern. Co. PLAT R 42.09 Bk-2005C Pa-44



NMHC BRASS TABLET STAMPED "NM448-N6-A"  
GEOGRAPHIC POSITION (NAD 1927)  
NM STATE PLANE COORDINATES (CENTRAL ZONE)  
X=366,640.72 Y=1,507,308.30  
GROUND TO GRID FACTOR = 0.9996784  
DELTA ALPHA = -00°15'24"  
SLD 1929 ELEVATION = 5058.889

**UNITS 1-3  
LA LUZ DE OSTA**  
FILED: DECEMBER 28, 1973  
(06-8)

**AREA 0 UNIT 1  
LA LUZ DE OSTA**  
FILED: AUGUST 5, 1976  
(07-53)

**UNIT 3  
LA LUZ DE OSTA**  
FILED: NOVEMBER 14, 1972  
(08-205)

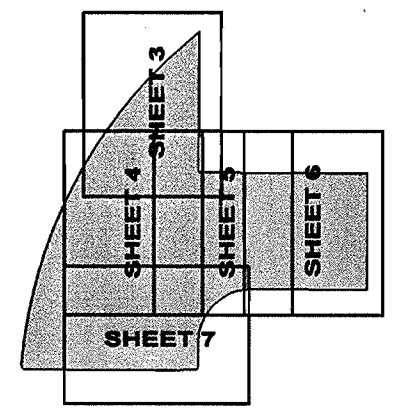
**CURVE DATA**

ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	12°13'34"	44.87'	89.41'	419.00'	89.24'	S84°01'45"W
C2	18°46'08"	15.37'	30.46'	93.00'	30.33'	S87°18'01"W
C3	73°35'15"	317.87'	545.85'	425.00'	509.10'	S37°05'05"W
C4	19°11'06"	25.35'	50.23'	150.00'	49.99'	S09°50'57"W
C5	90°00'11"	25.00'	39.28'	25.00'	35.36'	S45°13'43"W
C6	14°41'46"	19.48'	38.74'	150.00'	38.63'	S82°47'35"W
C7	94°30'03"	32.45'	49.48'	30.00'	44.06'	N42°31'10"W
C8	46°38'18"	1612.92'	3045.73'	3741.72'	2962.34'	N28°03'21"E
C9	31°06'02"	1041.21'	2031.04'	3741.72'	2006.20'	N20°17'14"E
C10	91°20'05"	25.59'	39.85'	25.00'	35.76'	N81°30'17"E
C11	07°03'24"	37.00'	73.90'	600.00'	73.85'	S49°17'58"E
C12	03°50'19"	10.39'	20.77'	310.00'	20.76'	S53°07'11"E
C13	09°16'05"	23.51'	46.91'	290.00'	46.86'	S50°24'18"E
C14	23°21'23"	39.27'	77.45'	190.00'	76.92'	S34°05'35"E
C15	09°32'32"	22.70'	45.30'	272.00'	45.25'	S58°41'30"W
C16	12°29'05"	16.74'	33.34'	153.00'	33.27'	S58°09'47"W
C17	41°01'25"	36.29'	69.45'	97.00'	67.98'	S43°37'37"W
C18	62°30'40"	64.34'	115.65'	106.00'	110.00'	S54°38'14"W
C19	63°52'27"	183.26'	327.75'	294.00'	311.04'	S53°57'21"W
C20	00°38'10"	1.88'	3.75'	338.00'	3.75'	S21°42'03"W
C21	09°39'10"	25.08'	50.04'	297.00'	49.98'	S16°33'23"W
C22	07°33'18"	58.57'	116.96'	887.00'	116.88'	S07°57'09"W
C23	06°22'56"	65.40'	130.66'	1173.00'	130.60'	S00°59'02"W

**TANGENT DATA**

NOTE: TABLES ARE FOR THIS SHEET ONLY

ID	BEARING	DISTANCE
T1	N44°37'41"E	36.39'
T2	S00°13'07"W	73.42'
T3	S00°13'05"W	173.41'
T4	S00°13'07"W	70.64'
T5	N89°46'11"W	78.24'
T6	N45°46'16"W	197.62'
T7	S50°44'27"W	12.03'
T8	N51°12'02"W	59.20'
T9	N45°46'16"W	70.57'
T10	N22°24'53"W	42.95'
T11	N67°58'52"W	44.00'
T12	S11°43'48"W	144.46'
T13	S04°10'30"W	69.60'
T14	N89°46'11"W	22.02'
T15	N02°12'27"W	76.07'



**Bohannon & Huston**

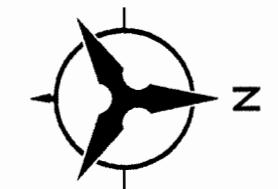
Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING ■ SPATIAL DATA ■ ADVANCED TECHNOLOGIES

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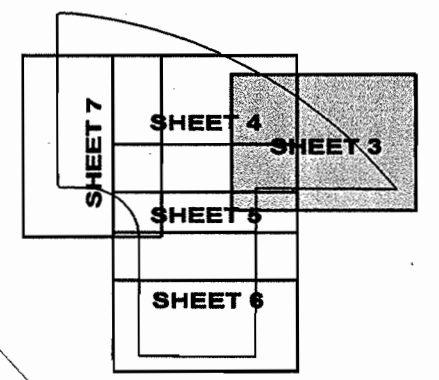
# PLAT OF ANDALUCIA AT LA LUZ

(A REPLAT OF TRACT 1, LANDS OF RAY GRAHAM III, OVENWEST CORP. AND CITY OF ALBUQUERQUE)

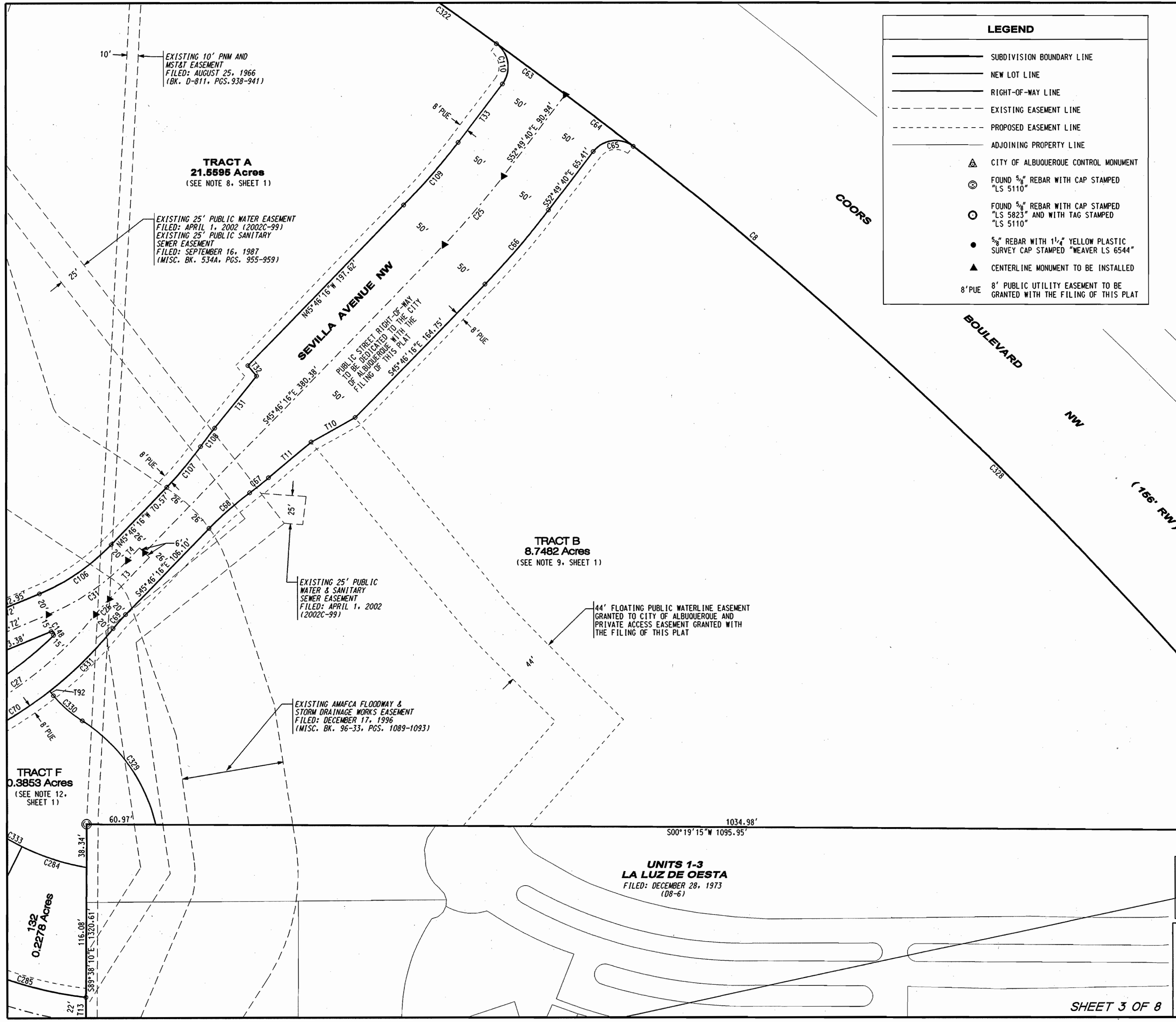
ALBUQUERQUE, NEW MEXICO  
 JANUARY, 2005



SCALE: 1" = 60'



LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	RIGHT-OF-WAY LINE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	ADJOINING PROPERTY LINE
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	FOUND 5/8" REBAR WITH CAP STAMPED "LS 5110"
	FOUND 5/8" REBAR WITH CAP STAMPED "LS 5823" AND WITH TAG STAMPED "LS 5110"
	5/8" REBAR WITH 1 1/2" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"
	CENTERLINE MONUMENT TO BE INSTALLED
	8' PUE 8' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT



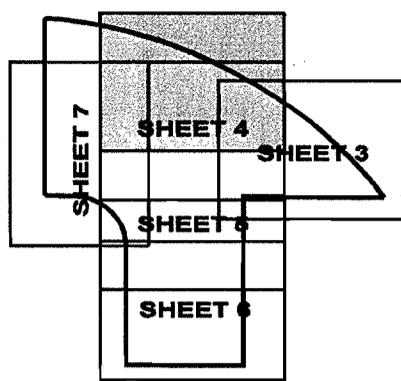
NM5HC BRASS TABLET STAMPED "NM448-N6-A"  
 GEOGRAPHIC POSITION (NAD 1922)  
 NM STATE PLANE COORDINATES (CENTRAL ZONE)  
 X=366,640.72 Y=1,507,308.30  
 GROUND TO GRID FACTOR = 0.9996784  
 DELTA ALPHA = -00°15'24"  
 SLD 1929 ELEVATION = 5058.889



**Bohannon & Huston**  
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 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

SHEET 3 OF 8

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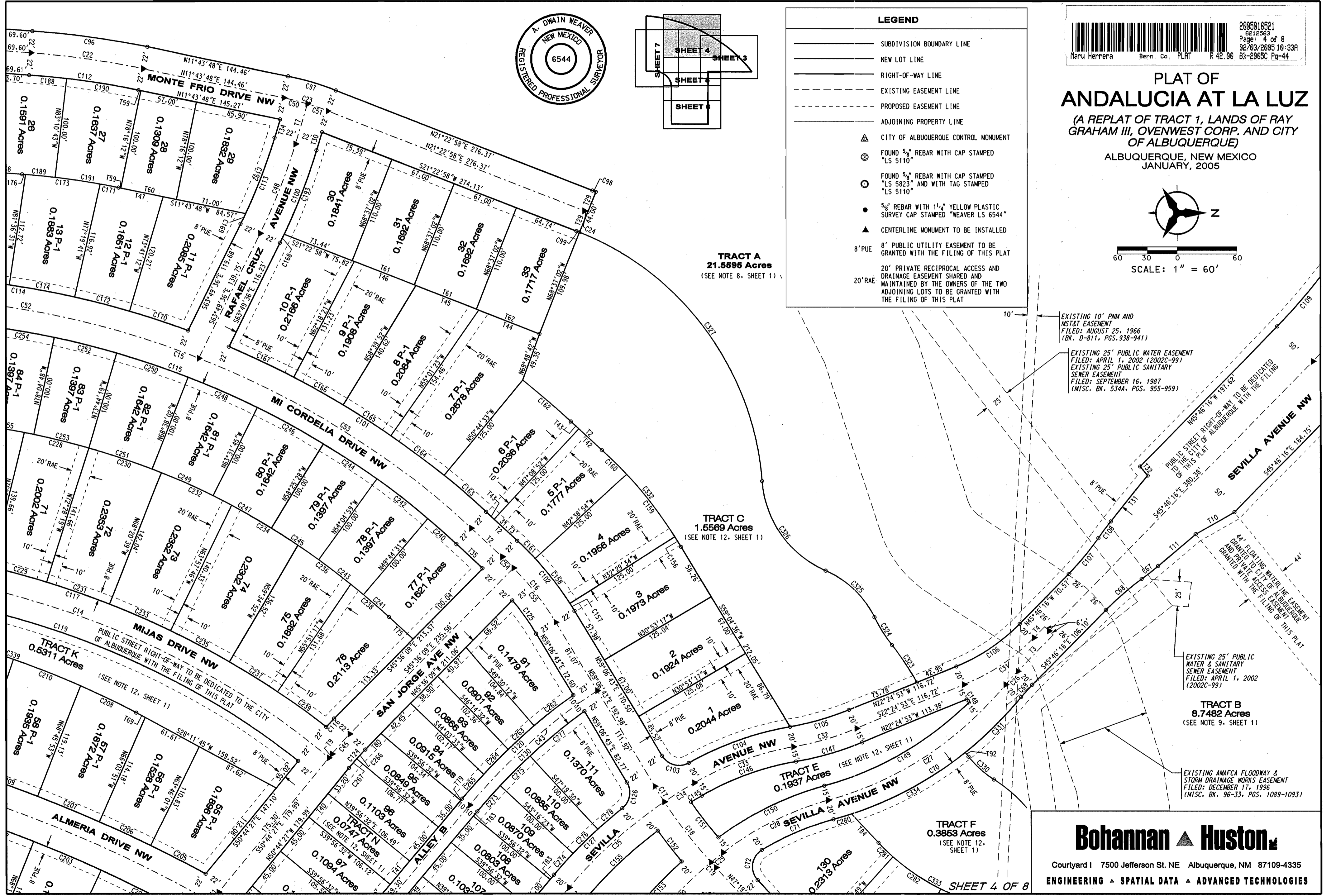
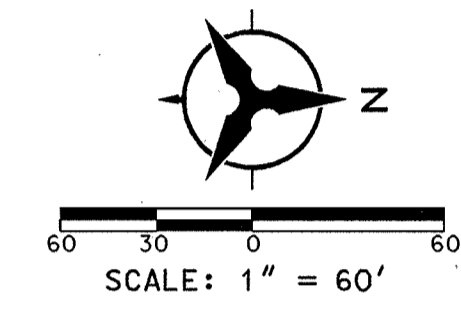


**LEGEND**

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- RIGHT-OF-WAY LINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- ADJOINING PROPERTY LINE
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- FOUND 5/8" REBAR WITH CAP STAMPED "LS 5110"
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- 5/8" REBAR WITH 1 1/2" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"
- CENTERLINE MONUMENT TO BE INSTALLED
- 8' PUE: 8' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT
- 20' RAE: 20' PRIVATE RECIPROCAL ACCESS AND DRAINAGE EASEMENT SHARED AND MAINTAINED BY THE OWNERS OF THE TWO ADJOINING LOTS TO BE GRANTED WITH THE FILING OF THIS PLAT

2005016521  
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 Page: 4 of 8  
 02/03/2005 10:33A  
 Maru Herrera Bern. Co. PLAT R 42.00 BX-2005C Pg-44

**PLAT OF ANDALUCIA AT LA LUZ**  
 (A REPLAT OF TRACT 1, LANDS OF RAY GRAHAM III, OVENWEST CORP. AND CITY OF ALBUQUERQUE)  
 ALBUQUERQUE, NEW MEXICO  
 JANUARY, 2005



EXISTING 10' PNM AND MST&T EASEMENT  
 FILED: AUGUST 25, 1966  
 (BK. D-811, PGS. 938-941)

EXISTING 25' PUBLIC WATER EASEMENT  
 FILED: APRIL 1, 2002 (2002C-99)  
 EXISTING 25' PUBLIC SANITARY SEWER EASEMENT  
 FILED: SEPTEMBER 16, 1987  
 (MISC. BK. 534A, PGS. 955-959)

EXISTING 25' PUBLIC WATER & SANITARY SEWER EASEMENT  
 FILED: APRIL 1, 2002 (2002C-99)

EXISTING AMAFCA FLOODWAY & STORM DRAINAGE WORKS EASEMENT  
 FILED: DECEMBER 17, 1996  
 (MISC. BK. 96-33, PGS. 1089-1093)

EXISTING 25' PUBLIC WATER & SANITARY SEWER EASEMENT  
 FILED: APRIL 1, 2002 (2002C-99)

TRACT B  
 8.7482 Acres  
 (SEE NOTE 9, SHEET 1)

**Bohannon & Huston**  
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

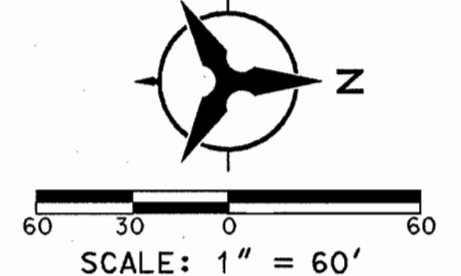
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 BK-2005C Pg-44

# PLAT OF ANDALUCIA AT LA LUZ

(A REPLAT OF TRACT 1, LANDS OF RAY GRAHAM III, OVENWEST CORP. AND CITY OF ALBUQUERQUE)  
 ALBUQUERQUE, NEW MEXICO  
 JANUARY, 2005

EXISTING 25' PUBLIC WATER EASEMENT  
 FILED: APRIL 1, 2002 (2002C-99)  
 EXISTING 25' PUBLIC SANITARY SEWER EASEMENT  
 FILED: SEPTEMBER 16, 1987 (MISC. BK. 534A, PGS. 955-959)



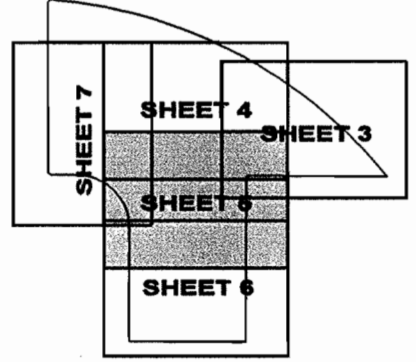
LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	RIGHT-OF-WAY LINE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	ADJOINING PROPERTY LINE
	OLD (EXISTING) LOT LINE TO BE ELIMINATED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	FOUND 5/8" REBAR WITH CAP STAMPED "LS 5110"
	FOUND 5/8" REBAR WITH CAP STAMPED "LS 5823" AND WITH TAG STAMPED "LS 5110"
	5/8" REBAR WITH 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"
	CENTERLINE MONUMENT TO BE INSTALLED
	8' PUE 20' PRIVATE RECIPROCAL ACCESS AND DRAINAGE EASEMENT SHARED AND MAINTAINED BY THE OWNERS OF THE TWO ADJOINING LOTS TO BE GRANTED WITH THE FILING OF THIS PLAT

NOTE: SEE SHEET 8 FOR CURVE & TANGENT DATA

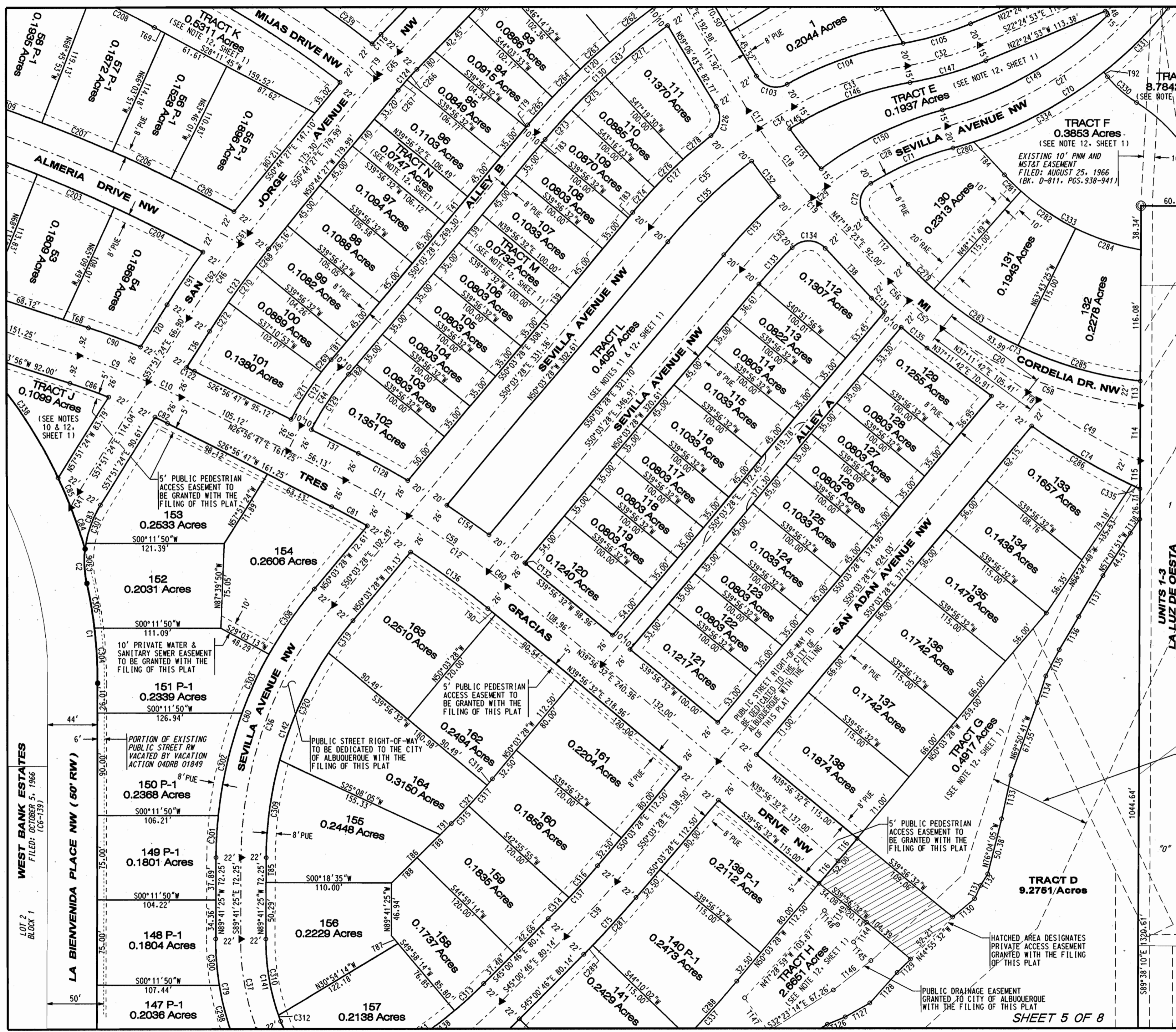
EXISTING AMAFCA FLOODWAY & STORM DRAINAGE WORKS EASEMENT  
 FILED: DECEMBER 17, 1996 (MISC. BK. 96-33, PGS. 1089-1093)

AREA "O" UNIT 1 LA LUZ DE OESTA  
 FILED: AUGUST 5, 1976 (07-53)

UNITS 1-3 LA LUZ DE OESTA  
 FILED: DECEMBER 28, 1973 (06-8)



**Bohannon & Huston**  
 Engineering & Spatial Data & Advanced Technologies  
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335



WEST BANK ESTATES  
 LOT 2 BLOCK 1  
 FILED: OCTOBER 5, 1966 (06-139)

2904





# PLAT OF ANDALUCIA AT LA LUZ

(A REPLAT OF TRACT 1, LANDS OF RAY GRAHAM III, OVENWEST CORP. AND CITY OF ALBUQUERQUE)  
ALBUQUERQUE, NEW MEXICO  
JANUARY, 2005



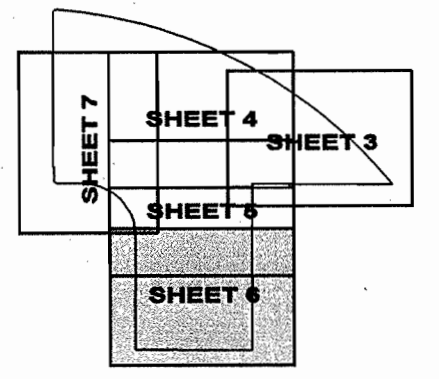
SCALE: 1" = 60'

UNIT 3  
LA LUZ DE OESTA  
FILED: NOVEMBER 14, 1972  
(C8-205)

### LEGEND

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- RIGHT-OF-WAY LINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- ADJOINING PROPERTY LINE
- OLD (EXISTING) LOT LINE TO BE ELIMINATED WITH THE FILING OF THIS PLAT
- CITY OF ALBUQUERQUE CONTROL MONUMENT
- FOUND 5/8" REBAR WITH CAP STAMPED "LS 5110"
- FOUND 5/8" REBAR WITH CAP STAMPED "LS 5823" AND WITH TAG STAMPED "LS 5110"
- 5/8" REBAR WITH 1 1/2" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"
- CENTERLINE MONUMENT TO BE INSTALLED
- 8' PUE 8' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT

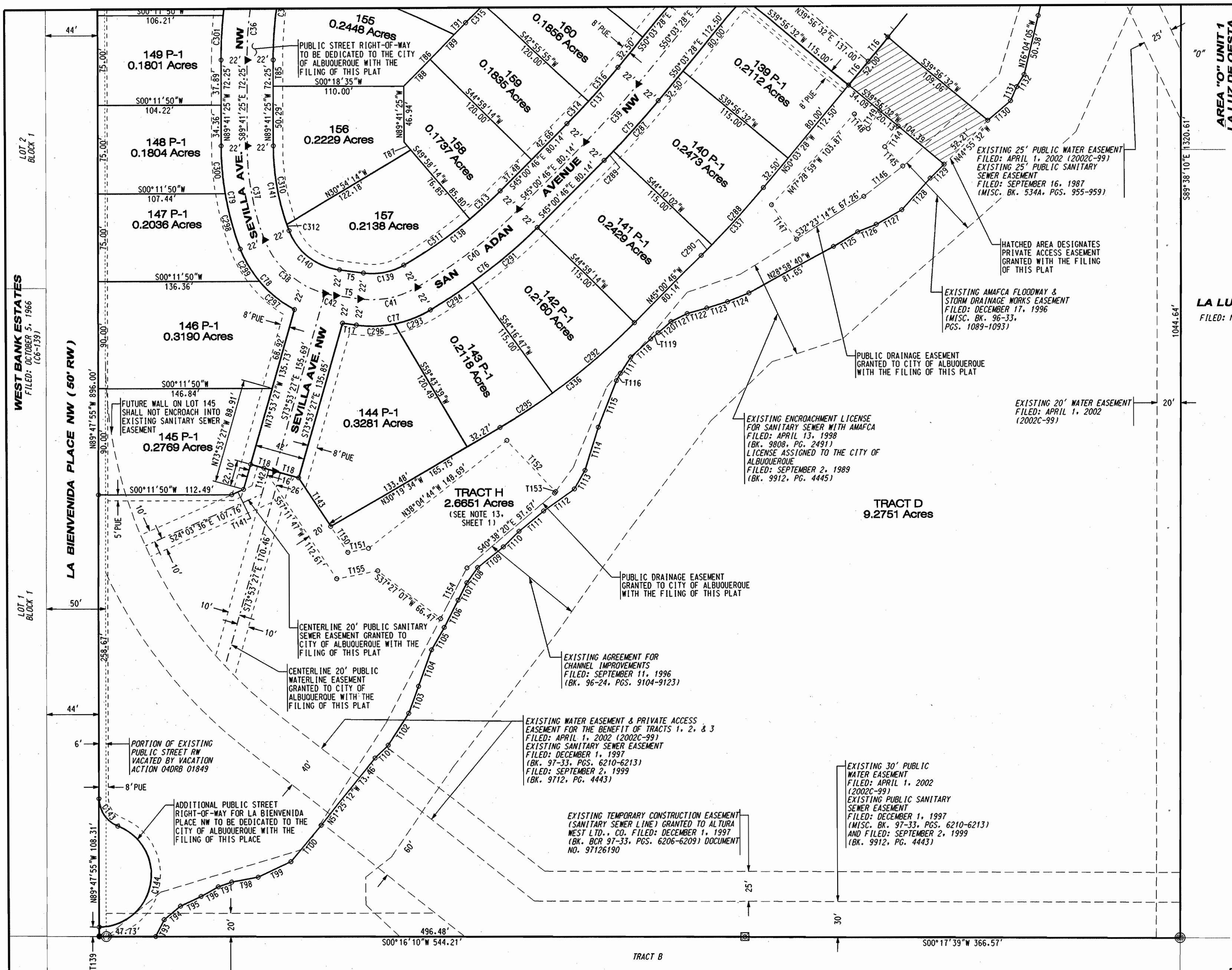
NOTE: SEE SHEET 8 FOR CURVE & TANGENT DATA



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ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

SHEET 6 OF 8



### LANDS OF RAY A. GRAHAM III, OVENWEST CORP. AND CITY OF ALBUQUERQUE

FILED: APRIL 1, 2002  
(2002C-99)

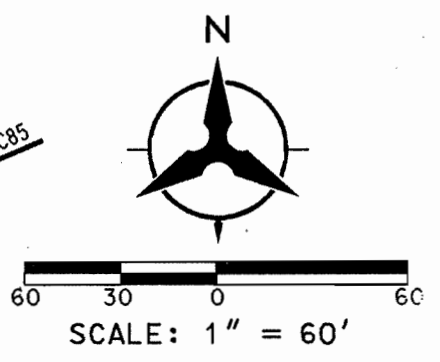
TRACT A-1  
LANDS OF SUZANNE POOLE  
FILED: AUGUST 3, 1976  
(C11-84)

2904



2885816521  
6212553  
Page: 7 of 8  
82/83/2885 18:33A  
Mary Herrera Bern. Co. PLAT R 42.89 Bk-2885C Pg-44

**PLAT OF ANDALUCIA AT LA LUZ**  
(A REPLAT OF TRACT 1, LANDS OF RAY GRAHAM III, OVENWEST CORP. AND CITY OF ALBUQUERQUE)  
ALBUQUERQUE, NEW MEXICO  
JANUARY, 2005

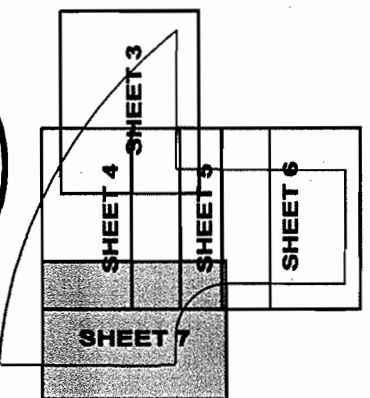


**LEGEND**

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- - - RIGHT-OF-WAY LINE
- - - EXISTING EASEMENT LINE
- - - PROPOSED EASEMENT LINE
- - - ADJOINING PROPERTY LINE
- - - OLD (EXISTING LOT LINE TO BE ELIMINATED WITH THE FILING OF THIS PLAT
- ▲ CITY OF ALBUQUERQUE CONTROL MONUMENT
- ⊙ FOUND 5/8" REBAR WITH CAP STAMPED "LS 5110"
- ⊙ FOUND 5/8" REBAR WITH CAP STAMPED "LS 5823" AND WITH TAG STAMPED "LS 5110"
- ▲ CENTERLINE MONUMENT TO BE INSTALLED
- 8' PUE 8' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT
- 20' RAE 20' PRIVATE RECIPROCAL ACCESS AND DRAINAGE EASEMENT SHARED AND MAINTAINED BY THE OWNERS OF THE TWO ADJACENT LOTS TO BE GRANTED WITH THE FILING OF THIS PLAT

NOTE: SEE SHEET 8 FOR CURVE & TANGENT DATA

TRACTS C-1, C-2 AND LOT 4-A LANDS OF SUZANNE POOLE  
FILED: MAY 24, 2001  
(2001C-148)



**Bohannon & Huston**  
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ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

2904

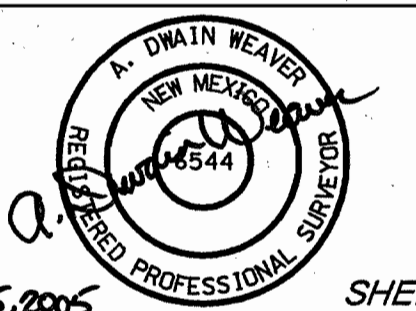
CURVE DATA

Table with columns: ID, DELTA, TANGENT, ARC, RADIUS, CHORD, CHORD BRG. Contains curve data for 100 points (C1-C100).



PLAT OF ANDALUCIA AT LA LUZ (A REPLAT OF TRACT 1, LANDS OF RAY GRAHAM III, OVENWEST CORP. AND CITY OF ALBUQUERQUE) ALBUQUERQUE, NEW MEXICO JANUARY, 2005

TANGENT DATA table with columns: ID, BEARING, DISTANCE. Lists 180 tangent points (T1-T180) with their respective bearings and distances.



JAN 25, 2005

SHEET 8 OF 8

Bohannon & Huston logo and contact information: Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335. ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

290A

# PRELIMINARY PLAT SEVILLA AT ANDALUCIA (REPLAT OF TRACT A-1-A & B-2) ALBUQUERQUE, NEW MEXICO DECEMBER, 2014

ID	BEARING	DISTANCE
T1	N41°06'49"W	7.19'
T2	N44°03'56"W	7.02'
T3	N47°41'20"W	6.86'
T4	N50°08'07"W	7.13'
T5	N52°49'40"W	63.23'
T6	N45°46'16"W	164.75'
T7	N29°25'19"W	44.66'
T8	N40°14'36"W	49.34'
T9	S72°03'36"W	127.68'
T10	S81°24'13"W	107.79'
T11	N51°12'02"W	59.20'
T12	S50°44'27"W	12.03'
T13	N52°49'40"W	51.07'
T14	N55°56'32"W	7.05'
T15	N57°19'00"W	7.00'
T16	N60°03'26"W	6.87'
T17	N50°48'29"W	122.20'
T18	N76°50'35"W	73.84'
T19	S33°33'08"W	107.06'

**LEGAL DESCRIPTION:**  
TRACT B-2 ANDALUCIA AT LA LUZ  
FILED: APRIL 21, 2008  
(2008C-93) AND  
TRACT A-1-A ANDALUCIA AT LA LUZ  
FILED: APRIL 21, 2008  
(2008C-93)

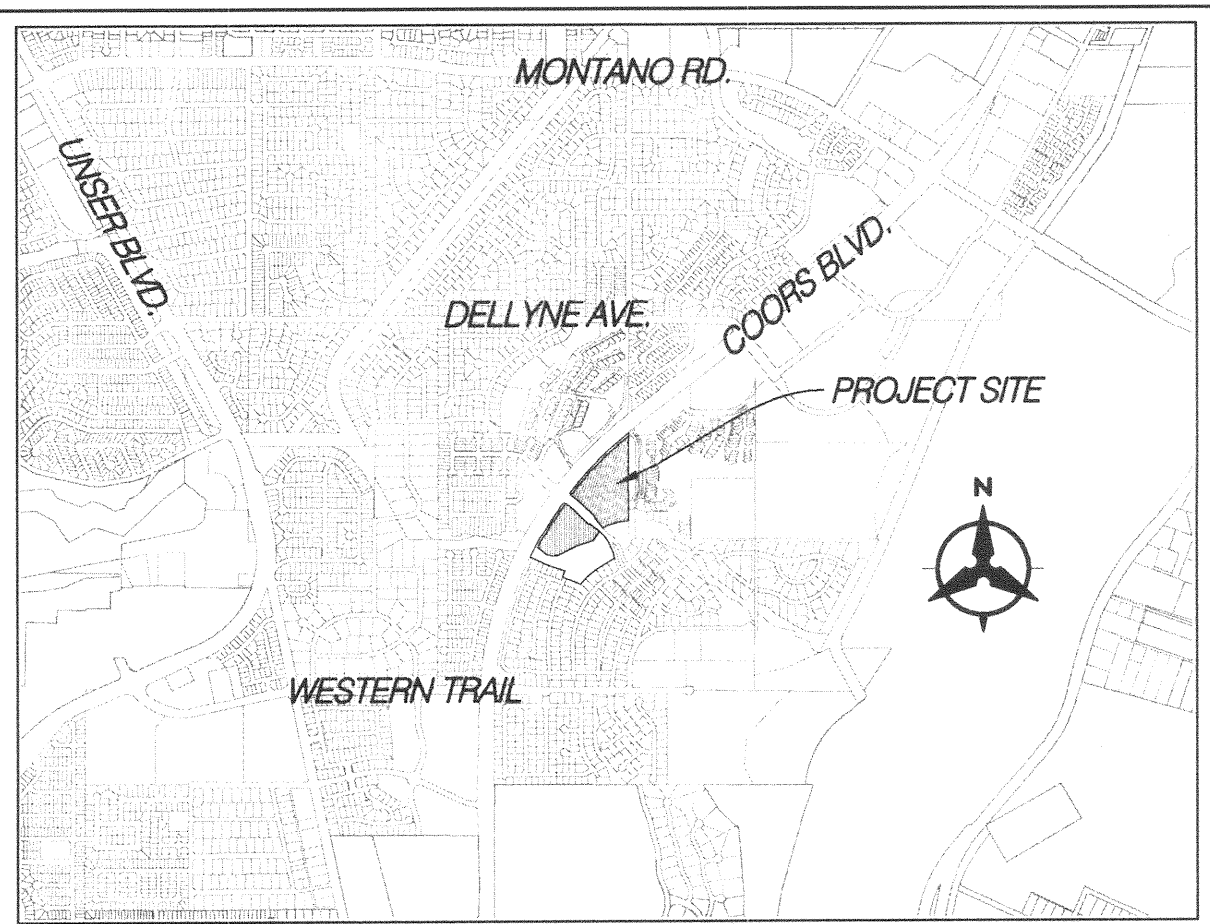
1. EXISTING ZONING: SU-1 / PRD  
PROPOSED ZONING: SU-1 / PRD

2. AREAS  
EXISTING TRACT A-1-A = 7.498 ACRES  
EXISTING TRACT B-2 = 4.213 ACRES

PROPOSED ANDALUCIA UNIT 4 = 11.71 ACRES  
TRACT 1 = 0.037 ACRES  
TRACT 2 = 0.425 ACRES  
TRACT 3 = 0.090 ACRES  
TRACT 4 = 0.070 ACRES  
TRACT 5 = 0.016 ACRES  
TRACT 6 = 0.169 ACRES  
TRACT 7 = 0.098 ACRES  
TRACT 8 = 0.226 ACRES  
TRACT 9 = 0.030 ACRES  
TRACT 10 = 0.063 ACRES  
TRACT 11 = 0.015 ACRES  
TRACT 12 = 0.030 ACRES  
TRACT 13 = 0.028 ACRES

TOTAL ACREAGE = 1.297 ACRES

3. TOTAL NUMBER OF LOTS: 45  
PROPOSED DENSITY: 3.84 D.U./AC. **MINIMUM LOT SIZE 60' X 118'**  
**MINIMUM LOT ACREAGE = 0.1305 AC.**



NMESH BRASS DISC STAMPED "NM448-N6A"  
GEOGRAPHIC POSITION (NAD 1983)  
NM STATE PLANE COORDINATES (CENTRAL ZONE)  
NORTHING = 1507370.768 EASTING = 1506886.591  
GROUND TO GRID FACTOR = 0.99982224  
DELTA ALPHA = -00°15'25.58"  
DATUM: NAVD 1988 ELEVATION = 5061.638

ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	01°04'35"	34.89'	69.79'	3714.20'	69.78'	S50°29'35"W
C2	12°20'17"	5.40'	10.77'	50.00'	10.75'	S56°07'26"W
C3	14°54'36"	31.52'	62.68'	240.85'	62.50'	S54°50'16"W
C4	02°28'16"	80.10'	160.18'	3714.20'	160.17'	S47°35'45"W
C5	12°04'35"	25.48'	50.76'	240.85'	50.67'	S41°47'43"W
C6	09°13'34"	19.51'	38.94'	241.85'	38.90'	S40°22'13"W
C7	01°31'01"	49.17'	98.33'	3714.20'	98.33'	S44°13'29"W
C8	12°02'55"	5.28'	10.51'	50.00'	10.50'	S49°29'27"W
C9	14°30'27"	30.66'	60.98'	240.85'	60.82'	S48°15'41"W
C10	02°28'36"	80.29'	160.55'	3714.20'	160.54'	S41°08'03"W
C11	14°50'03"	31.35'	62.36'	240.85'	62.18'	S33°54'24"W
C12	12°17'18"	5.38'	10.72'	50.00'	10.70'	S32°38'01"W
C13	01°00'46"	32.83'	65.66'	3714.20'	65.66'	S38°16'17"W
C14	07°03'24"	43.16'	86.21'	700.00'	86.16'	S49°17'58"E
C15	03°54'29"	10.58'	21.14'	310.00'	21.14'	S38°17'22"E
C16	09°28'09"	23.93'	47.76'	290.00'	47.70'	S41°03'12"E
C17	17°53'22"	20.07'	39.81'	127.50'	39.65'	N63°06'55"E
C18	03°50'19"	10.39'	20.77'	310.00'	20.76'	N53°07'11"W
C19	07°03'24"	37.00'	73.90'	600.00'	73.85'	N49°17'58"W
C20	05°55'40"	1.55'	3.10'	30.00'	3.10'	N55°47'30"W
C21	00°41'45"	22.50'	45.00'	3705.45'	45.00'	S35°52'11"W
C22	07°57'53"	13.92'	27.80'	200.00'	27.78'	S39°30'15"W
C23	07°56'03"	29.57'	59.04'	426.36'	58.99'	S39°31'10"W
C24	01°30'37"	48.84'	97.68'	3705.45'	97.67'	S33°25'51"W
C25	11°45'19"	24.79'	49.42'	240.85'	49.33'	S28°15'49"W
C26	08°52'28"	21.34'	42.59'	275.00'	42.55'	S26°49'24"W
C27	00°52'02"	28.04'	56.09'	3705.45'	56.08'	S30°49'37"W
C28	16°40'59"	29.33'	58.24'	240.70'	58.03'	S38°44'05"W
C29	21°27'18"	27.22'	53.81'	143.70'	53.50'	S36°20'56"W
C30	00°47'33"	25.68'	51.37'	3714.20'	51.37'	S28°17'28"W
C31	31°02'43"	29.02'	56.62'	104.50'	55.93'	N78°53'38"E
C32	37°41'51"	9.56'	18.42'	28.00'	18.09'	N52°24'03"E
C33	09°27'25"	23.99'	47.87'	290.00'	47.81'	N50°18'38"W

4. THIS PRELIMINARY PLAT CONFORMS TO THE EPC APPROVED SITE PLAN FOR SUBDIVISION PROJECT # 1000965 AND THE REQUIRED CONDITIONS.

5. ALL STREETS AND DRAINAGE IMPROVEMENTS ARE TO BE PUBLIC, TO BE DEDICATED FOR MAINTENANCE TO THE CITY OF ALBUQUERQUE.

6. TRACTS 1 - 13 ARE TO BE GRANTED TO THE HOMEOWNERS ASSOCIATION WITH THE FINAL PLAT

7. ALL SANITARY AND WATER UTILITIES IN THE STREET R/W ARE TO BE PUBLIC, AND TO BE DEDICATED FOR MAINTENANCE TO THE ABCWA.

8. THIS SUBDIVISION LIES WITHIN THE CITY OF ALBUQUERQUE. WATER AND SANITARY SEWER CAPABILITIES ARE BASED ON THE CITY OF ALBUQUERQUE'S & ABCWA FACILITIES. WATER AND SANITARY SEWER INFRASTRUCTURE IMPROVEMENTS MUST BE APPROVED BY THE CITY OF ALBUQUERQUE & ABCWA.

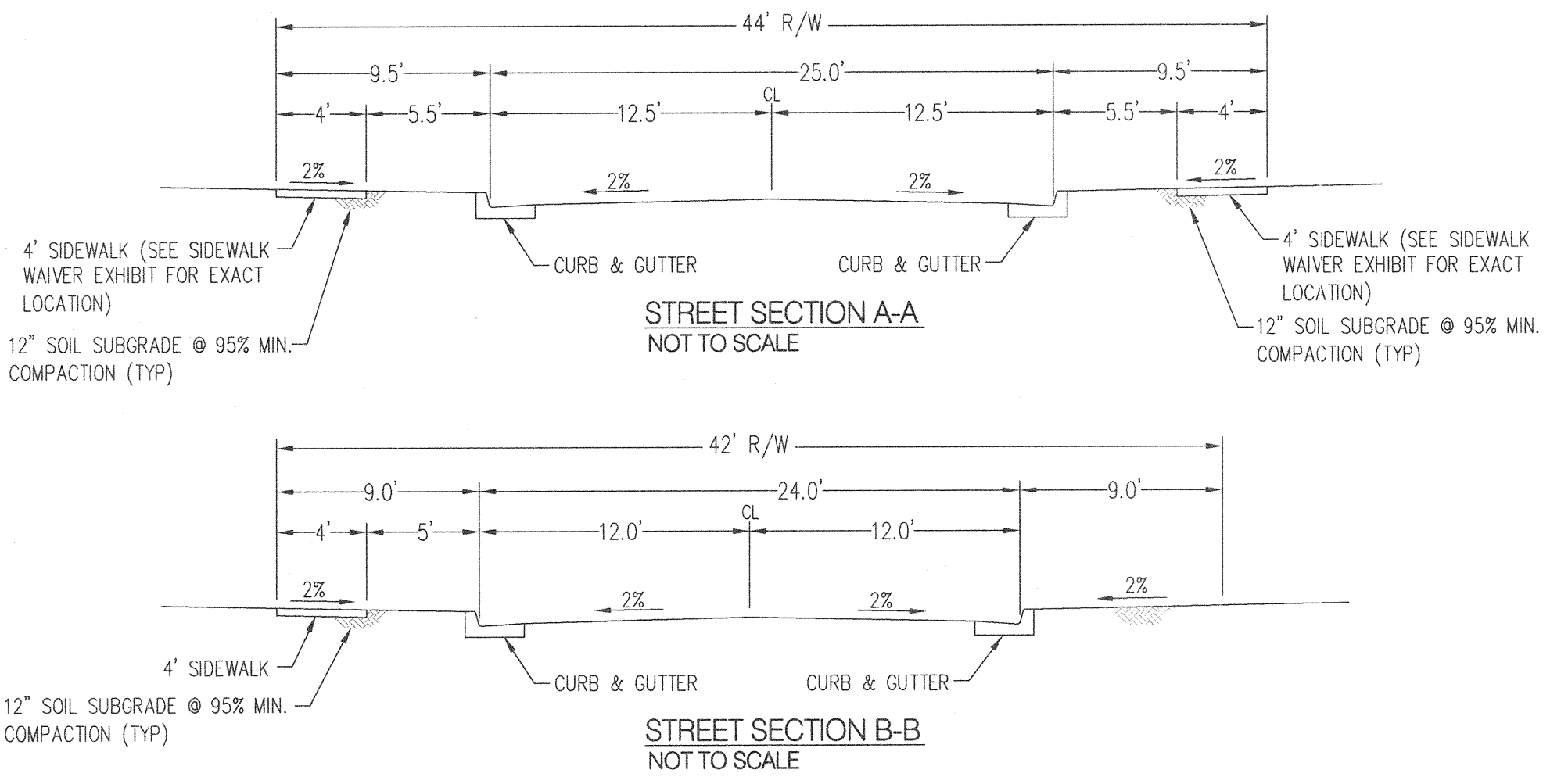
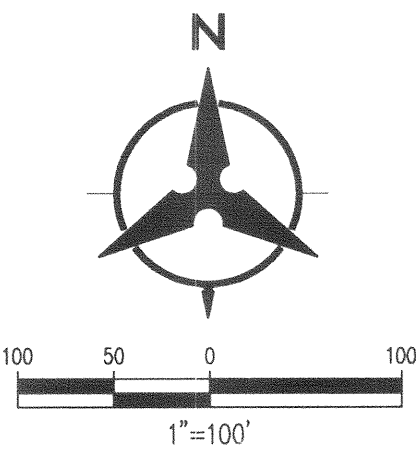
---	SUBDIVISION BOUNDARY LINE
---	TRACT LINE
---	ADJOINING PROPERTY LINE
---	EXISTING EASEMENT
---	PROPOSED EASEMENT

**SURVEY NOTES:**

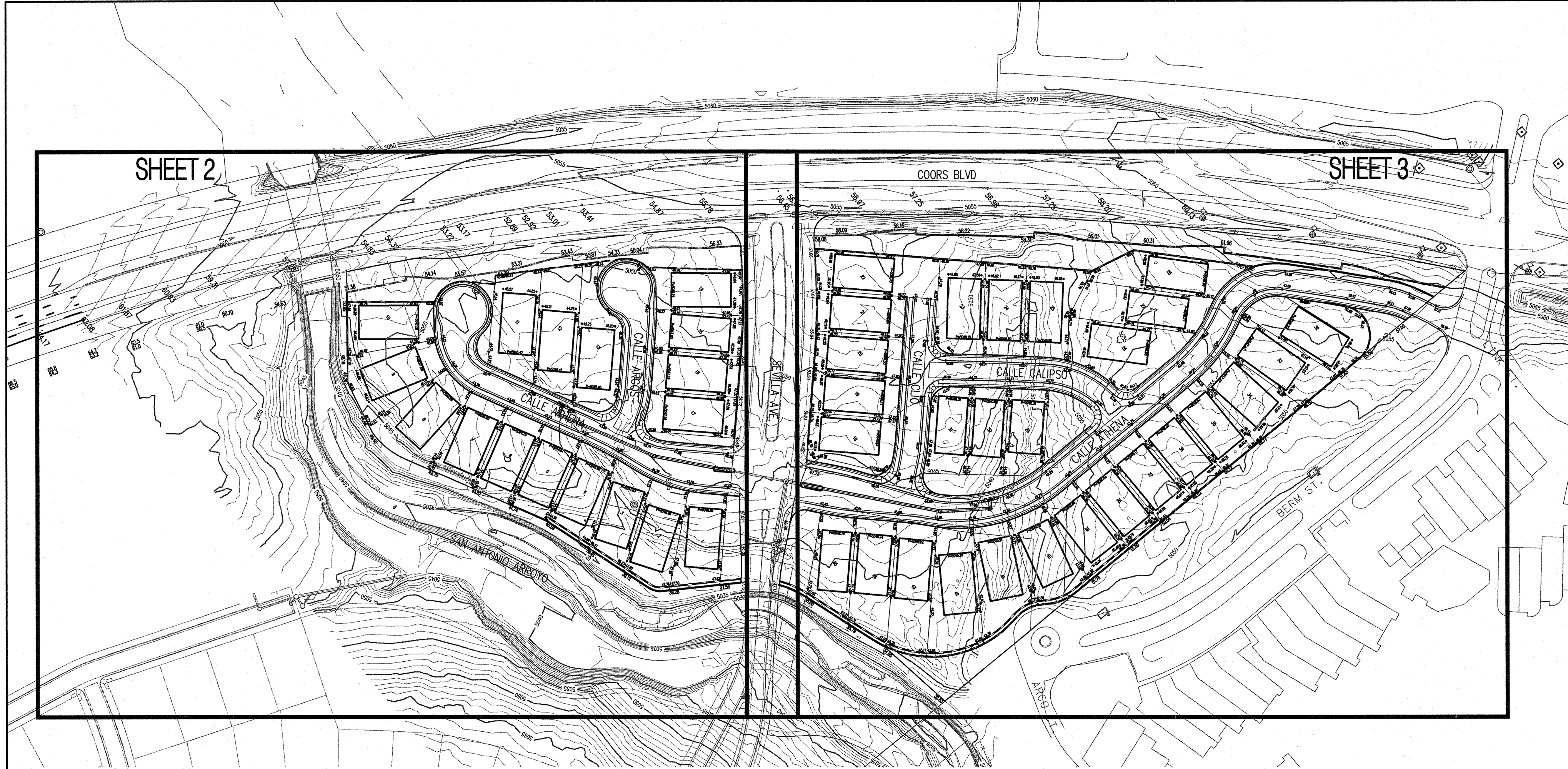
- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS (●) SHALL BE MARKED BY A #5 REBAR STAMPED "GROMATZKY, PS 16469".
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AND SHOWN THUS (▲) WILL BE MARKED BY A FOUR (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED. DO NOT DISTURB, P.L.S. 16469".
- THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE GRID BEARINGS.
- DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW THE USE OF CENTERLINE MONUMENTATION.

**OWNER:**  
LPP MORTGAGE LTD.  
BY: PROPERTY ACCEPTANCE CORP., ITS GENERAL PARTNER  
*Kent Twitchell* 12-17-14  
KENT TWITCHELL AUTHORIZED SIGNATORY DATE

APPROVED FOR MONUMENTATION AND STREET NAMES  
*Scott M. Reinberger* 12/16/14  
CITY SURVEYOR DATE



LISC & GS BRASS DISC STAMPED "JOSEPH 1969"  
GEOGRAPHIC POSITION (NAD 1983)  
NM STATE PLANE COORDINATES (CENTRAL ZONE)  
NORTHING = 1502309.280 EASTING = 1506932.687  
GROUND TO GRID FACTOR = 0.999679588  
DELTA ALPHA = -00°15'24.78"  
DATUM: NAVD 1988

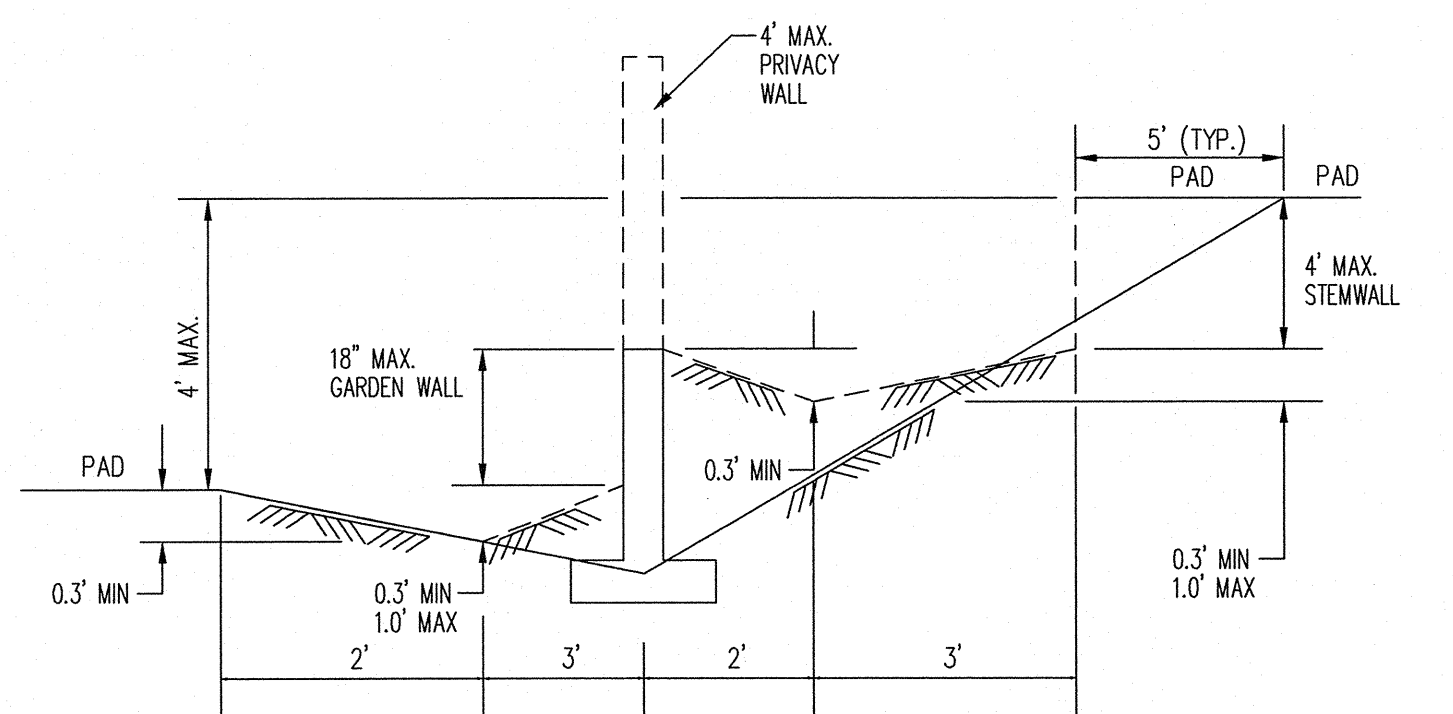


**GENERAL NOTES**

- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

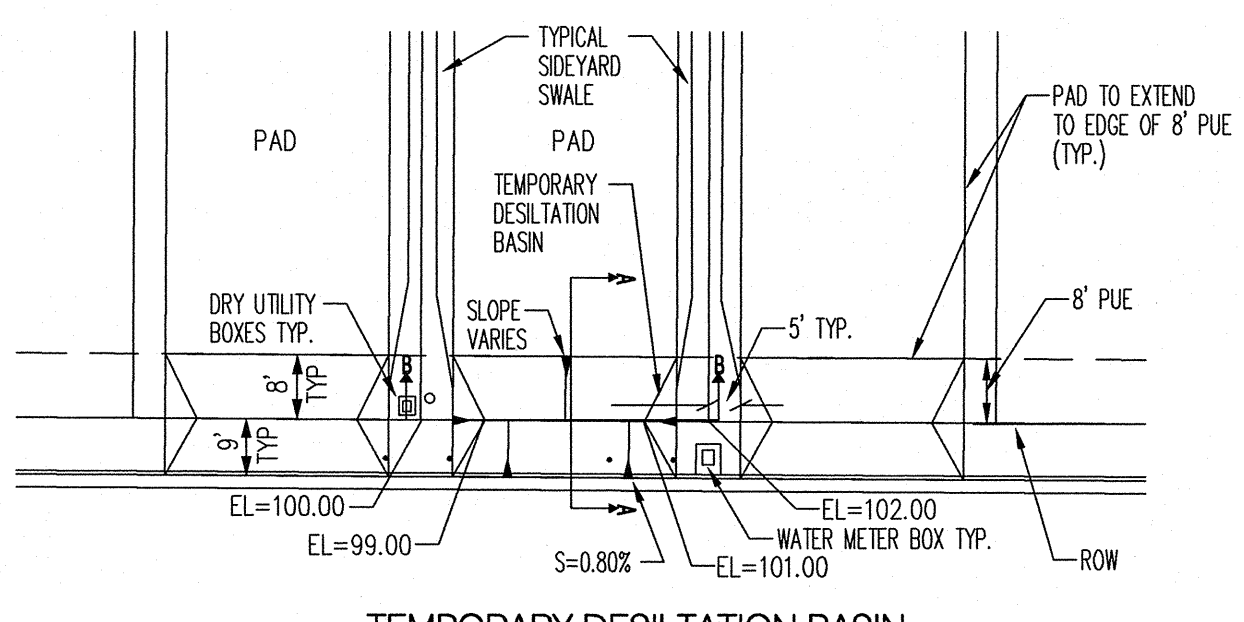
**GRADING NOTES**

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- CONTRACTOR SHALL OBTAIN AND ABIDE BY A TOPSOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DIVISION, PRIOR TO CONSTRUCTION. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SOILS REPORT PREPARED BY XBEVINYARD DATED JULY 22, 2013. ALL OTHER WORK, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS (FIRST PRIORITY), AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- TWO WORKING DAYS PRIOR TO EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (765-1264) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO GRADING, ALL VEGETATION DEBRIS, AND NEAR SURFACE ORGANICALLY CONTAMINATED SOIL SHALL BE STRIPPED FROM ALL AREAS TO BE GRADED. VEGETATION AND DEBRIS SHALL BE DISPOSED OF OFF-SITE OR STOCK-PILED FOR USE IN PLANTERS AND NON-STRUCTURAL FILLS.
- EARTH SLOPES SHALL NOT EXCEED 4 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES MEETING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ALL EXCESS EXCAVATION AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERETO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT, AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATIONS.
- ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED. VALLEY CUTTER ELEVATIONS ARE SHOWN AT FLOWLINE ELEVATION.



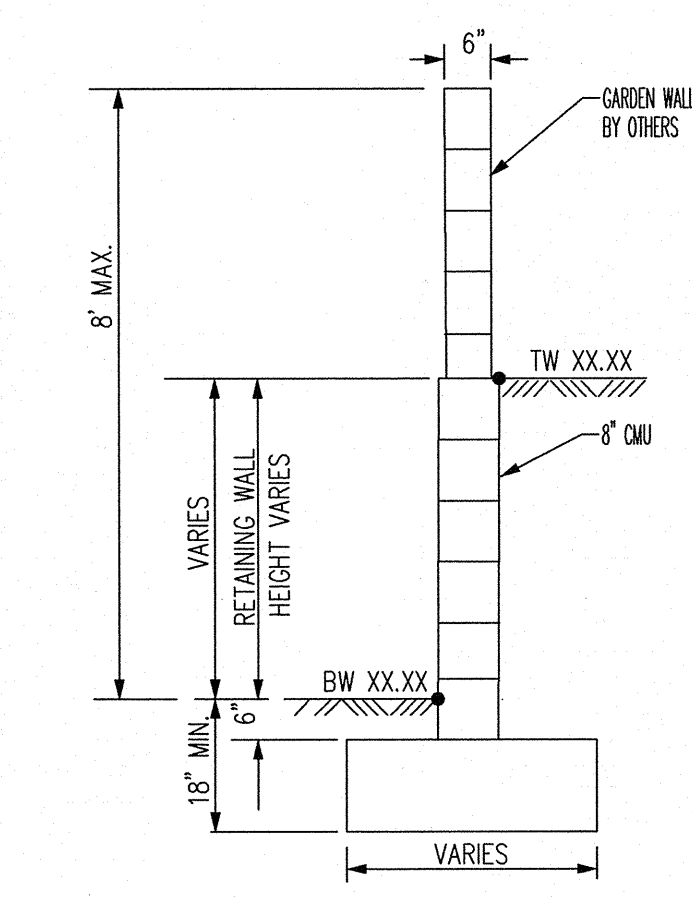
**TYPICAL SIDE LOT LINE SECTION**  
NOT TO SCALE

NOTE: DASHED LINES IN TYP. SIDE LOT LINE SECTIONS REPRESENT THE FINAL CONDITION AFTER THE GARDEN, STEM, AND PRIVACY WALLS HAVE BEEN CONSTRUCTED. THE INTERIM CONDITION, WHICH IS TO BE CONSTRUCTED BY THE GRADING CONTRACTOR AND CERTIFIED BY THE ENGINEER, IS REPRESENTED BY THE SOLID LINES. RETAINING WALLS WILL BE CONSTRUCTED PRIOR TO GRADING CERTIFICATION.



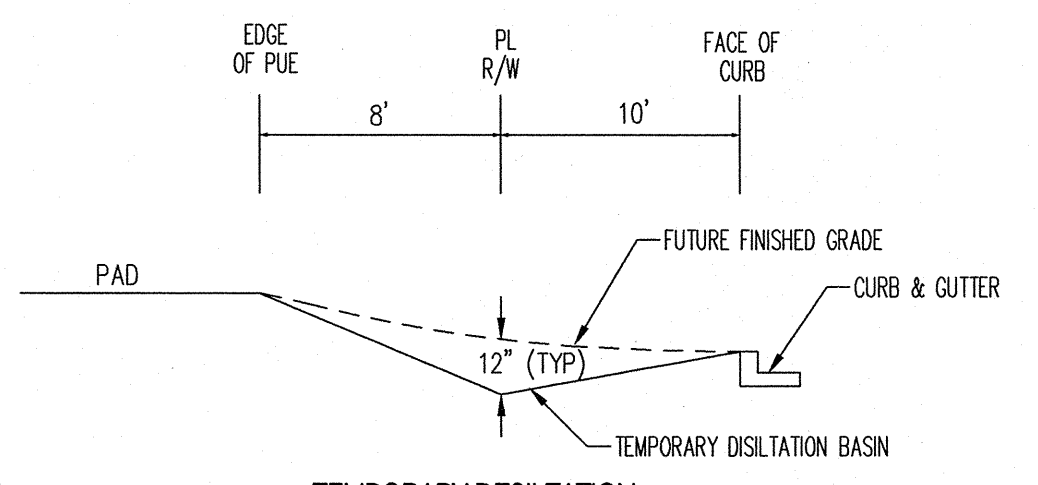
**TEMPORARY DESILTATION BASIN**  
NOT TO SCALE

\*\* BOTTOM OF BASIN IS 1' BELOW PROPERTY LINE ELEVATION SEE GRADING PLANS FOR EXACT ELEVATIONS

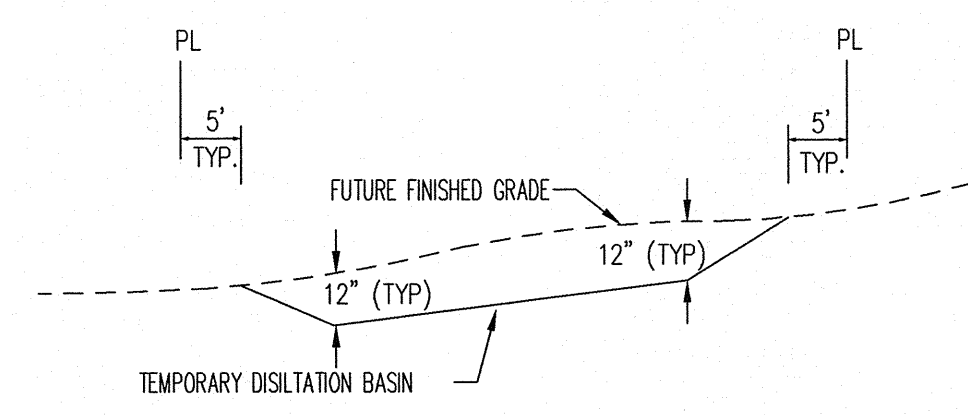


**TYPICAL RETAINING WALL NOMENCLATURE**  
NOT TO SCALE

(RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL.)  
HEIGHT IS IN ACCORDANCE WITH CITY COMPREHENSIVE ZONING CODE, SECTION 14-16-3-19, GENERAL HEIGHT AND DESIGN REGULATIONS FOR WALLS, FENCES, AND RETAINING WALLS.



**TEMPORARY DESILTATION SECTION A-A**  
NOT TO SCALE



**TEMPORARY DESILTATION SECTION B-B**  
NOT TO SCALE

**LEGEND**

- PROPOSED SPOT ELEVATION ● 5235.25
- EXISTING SPOT ELEVATION ○ 5235.25
- EXISTING CONTOUR — 5860
- DIRECTION OF FLOW — S=2.0%
- EXISTING STORM DRAIN LINE — SD
- PROPOSED STORM DRAIN INLET — [Symbol]
- PROPOSED STORM DRAIN LINE — [Symbol]
- PROPOSED STORM DRAIN MANHOLE — [Symbol]
- PROPOSED WATER BLOCK (HIGH POINT) — [Symbol]
- RETAINING WALL — [Symbol]
- PROPOSED WATER (LOW POINT) — [Symbol]

BHI JOB NO. 20150130

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**CITY OF ALBUQUERQUE**  
DEPARTMENT OF MUNICIPAL DEVELOPMENT

SEVILLA AT ANDALUCIA  
OVERALL GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO.	ZONE MAP NO.	SHEET 1 OF 3
------------------	--------------	--------------

AS-BUILT INFORMATION	
CONTRACTOR	DATE
WORKED BY	DATE
INSPECTOR'S ACCEPTANCE BY	DATE
VERIFICATION BY	DATE
DRAWINGS BY	DATE
NO.	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	DATE

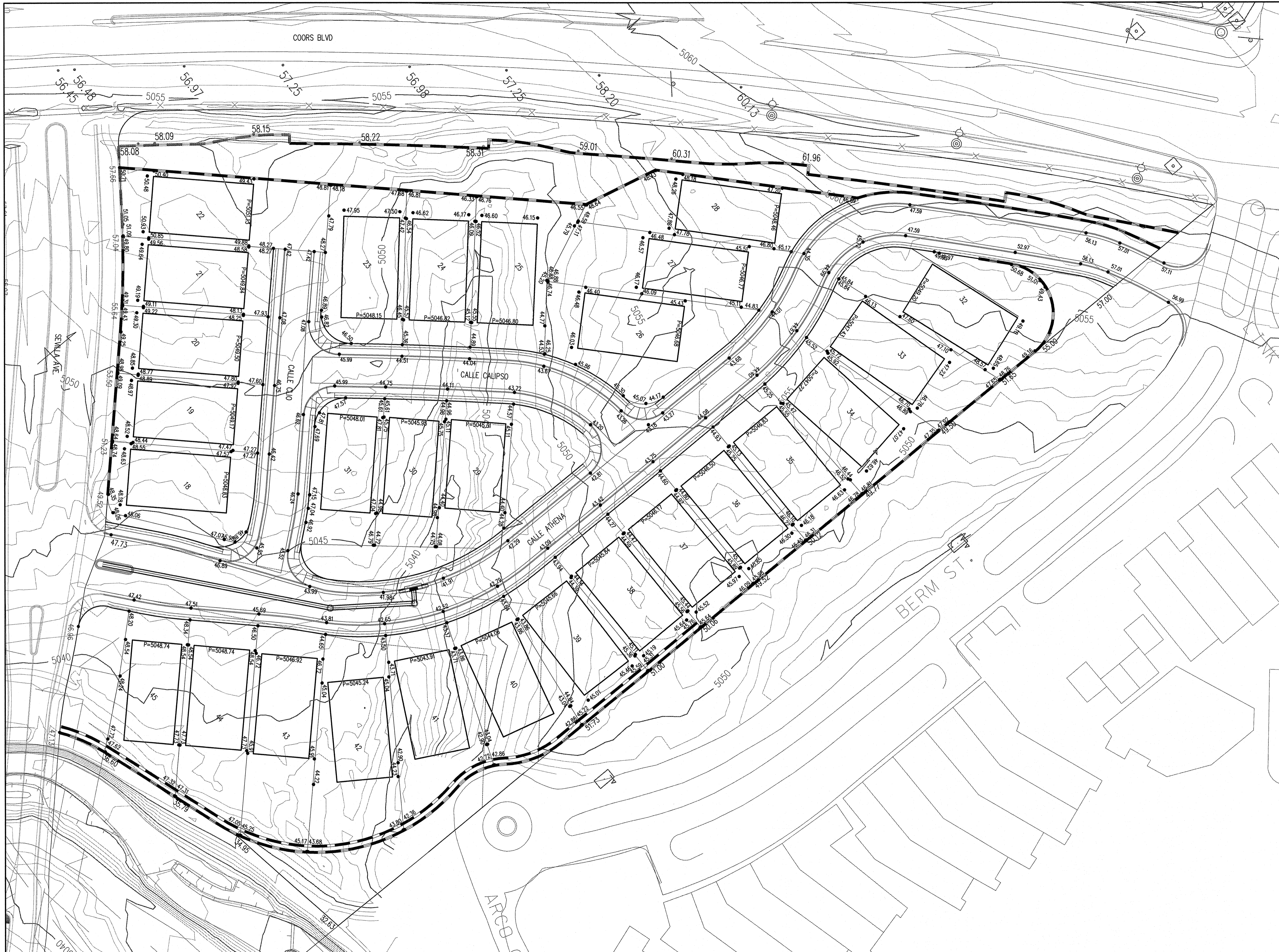
SURVEY INFORMATION	
FIELD NOTES	DATE
NO.	BY

**ENGINEER'S SEAL**

ANDREA PADILLA  
Professional Engineer  
12-18-14

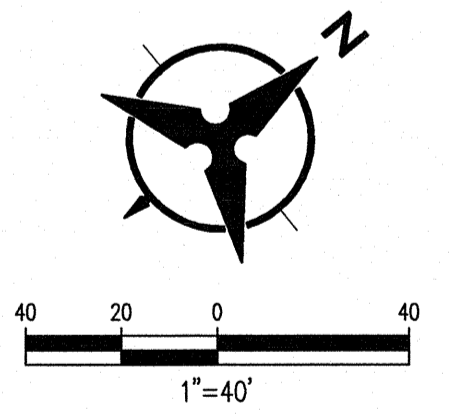
REVISIONS	BY	DATE
DESIGN	ARR	DATE 12/2014
	YPM	DATE 12/2014





**LEGEND**

- PROPOSED SPOT ELEVATION ● 5235.25
- EXISTING SPOT ELEVATION ○ 5235.25
- EXISTING CONTOUR — 5860
- DIRECTION OF FLOW  $S=2.0\%$  →
- EXISTING STORM DRAIN LINE — SD
- PROPOSED STORM DRAIN INLET
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED WATER BLOCK (HIGH POINT)
- RETAINING WALL
- PROPOSED WATER (LOW POINT)



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<b>CITY OF ALBUQUERQUE</b> DEPARTMENT OF MUNICIPAL DEVELOPMENT		SEVILLA AT ANDALUCIA	
		GRADING PLAN	
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
		LAST DESIGN UPDATE	
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
		3	3

ENGINEER'S SEAL		SURVEY INFORMATION		AS-BUILT INFORMATION	
		NO.	DATE	CONTRACTOR	DATE
		BY	DATE	INSPECTOR	DATE
NO.	DATE	REVISIONS	BY	DATE	DATE
		DESIGN	ARR	DATE	DATE
		DESIGNED BY YPM	DATE: 12/2014		
		DRAWN BY ARR	DATE: 12/2014		
		CHECKED BY YPM	DATE: 12/2014		
BENCH MARKS		MICRO-FILM INFORMATION		MICRO-FILM INFORMATION	
USC&GS BRASS DISC STAMPED "REWARD 1969"		DRAWN BY		DRAWN BY	
GEOGRAPHIC POSITION (NAD 83)		INSPECTOR'S ACCEPTANCE BY		INSPECTOR'S ACCEPTANCE BY	
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)		DRAWINGS BY		DRAWINGS BY	
N=1487364.063 E=1491190.819		DRAWINGS DATE		DRAWINGS DATE	
GROUND TO GRID = 0.99875005		RECORDED BY		RECORDED BY	
DELTA ALPHA = -001712.26"		NO.		NO.	
NAVD 1988 ELEVATION = 5319.688					