

**SITE DEVELOPMENT PLAN FOR SUBDIVISION:
REQUIRED INFORMATION**

THE SITE: The site consists of Tracts 1 and 2, Lands of Westland Development, Inc. located in SW Albuquerque, totaling approximately 40.9 acres.

PROPOSED USE: The zoning is SU-1 PRD. The proposed use for this site is a residential subdivision for 243 Single-Family detached homes and a private park.

PEDESTRIAN AND INGRESS AND EGRESS:

Pedestrians shall access the neighborhood from Coors Blvd. via dedicated right-of-way that will serve as the primary pedestrian entrance. Pedestrian access (private/gated) will also be provided from this neighborhood to Tom Tenorio Park along the northern site boundary. Pedestrian access will also be possible to Arenal Blvd. via Tom Tenorio Park.

VEHICULAR INGRESS AND EGRESS:

Vehicles shall have access to this neighborhood from Coors Blvd. via Ervian Lane and Jemez River Road, a dedicated and improved roadway.

ARCHITECTURAL DESIGN STANDARDS:

- Structures shall have a stucco exterior. Wood may be used as an accent feature.
- Stucco color shall be shades of beige, browns, yellow ocre, and grey greens.
- Accent features such as entries, window trim, fascias, and other traditional southwestern features may be painted white, green, red, blue, or brown.
- Roof material may include asphalt shingles, and concrete or clay tiles. Flat roofs may be permitted with a parapet.
- Roof penetrations shall be painted to match the stucco color on flat-roofed units.
- Garages shall have varying door patterns, and shall be staggered or recessed a minimum of 8 inches from the front wall plane.
- Side loading garages shall be permitted as lot widths allow.
- Mechanical units should be ground mounted. In cases where mechanical units must be roof-mounted they shall be located to minimize their visibility from public rights-of-way. Wall mounted mechanical units are prohibited.
- A variety of architectural styles shall be provided. **Provided.**

SITE DEVELOPMENT STANDARDS:

- Building height and setbacks shall be in conformance with the R-LT zoning district.
- The number of units within this development shall not exceed 252 single family detached homes.
- The minimum lot size within this development shall be 4,000 square feet. The neighborhood will include two distinct lot sizes; 43' x 97' and 50' x 97'.
- A minimum of three community amenities shall be provided within the community park space, including but not limited to a shade structure, basketball court, sand volleyball court, and a play structure.
- Tracts A, B, C, and the pedestrian connection adjacent to lot 126 shall be maintained by the Home Owner's Association.
- Each lot/home shall have a storage area for residential automated carts and they shall not be visible from the street.
- This project will be developed in 3 phases as identified herein.

PROJECT NUMBER: 1000976
Application Number: 07 Dec-70107

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated December 17, 2004 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? (X) Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i>	7/25/07
Traffic Engineering, Transportation Division	Date
<i>[Signature]</i>	7/25/07
Utilities Development ABCWA	Date
<i>[Signature]</i>	7/25/07
Christina Sandora Parks and Recreation Department	Date
<i>[Signature]</i>	7/25/07
Bradley A. Bingham City Engineer	Date
<i>[Signature]</i>	7/25/07
Rhonda Methner Environmental Health Department (conditional)	Date
CM 7/25/07 <i>[Signature]</i>	7/26/07
DRB Chairperson, Planning Department	Date

Open Space Requirements

SU-1 in Developing Urban requires 2,400 square feet per dwelling unit.
Average Lot Size: 4,550 square feet
Average Building Footprint: 2,000 square feet
Driveway: 400 square feet
Open Space Provided per Lot: 2,150 square feet

Open Space Shortage per Lot: 250 square feet
Total Open Space Shortage: 61,500 square feet
Common Open Space Provided: 116,744 square feet
Surplus Open Space: 55,244 square feet

Scale: 1" = 100'



DEVELOPMENT WITHIN A LANDFILL BUFFER:

The subject property is located on and near two former landfills. Due to its location, certain precautionary measures may need to be taken to ensure the health and safety of the public. Recommendations made by a professional engineer with expertise in landfills and landfill gas issues (as required by the most current version of the Interim Guidelines for Development within City Designated Landfill Buffer Zones) shall be consulted prior to development of the site.

RIVERSIDE WEST ESTATES

Prepared for:
Gilbert J. Lovato
3738 Arno NE
Albuquerque, NM 87107

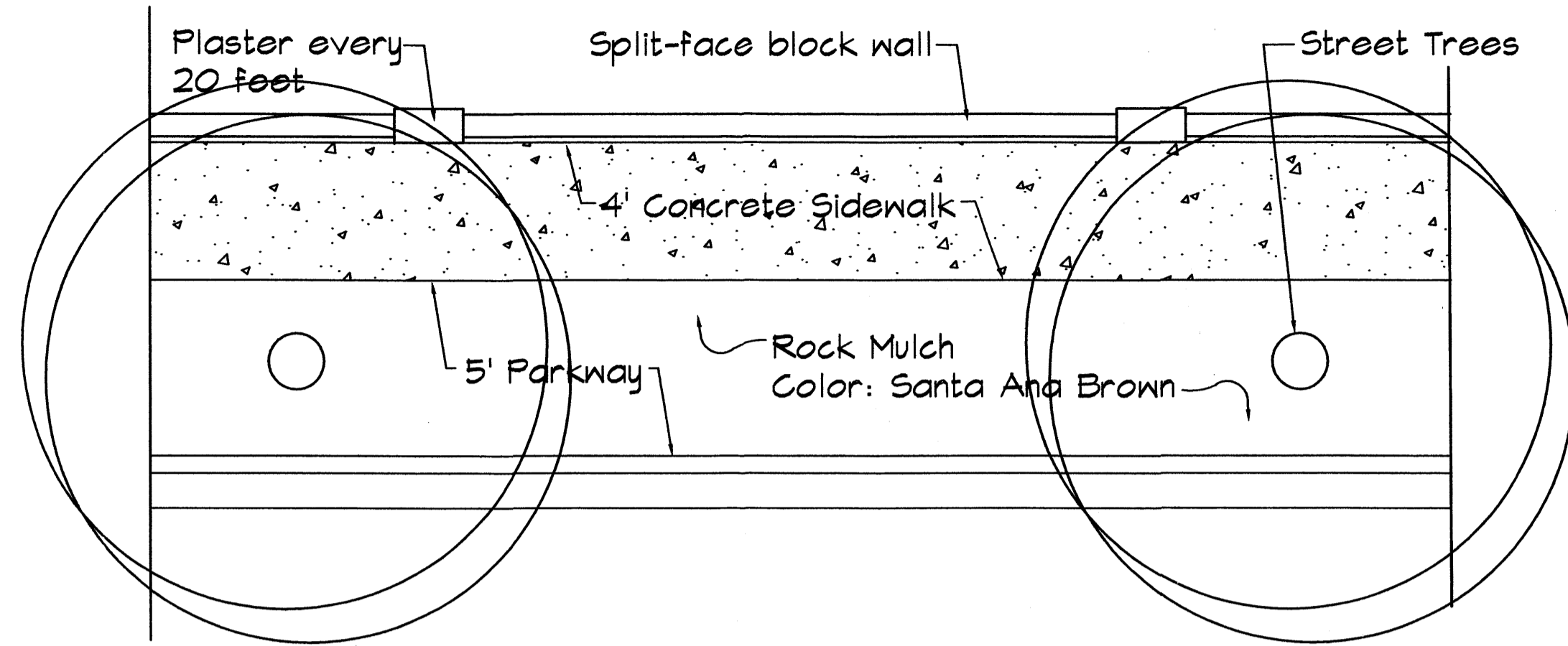
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July 24, 2007

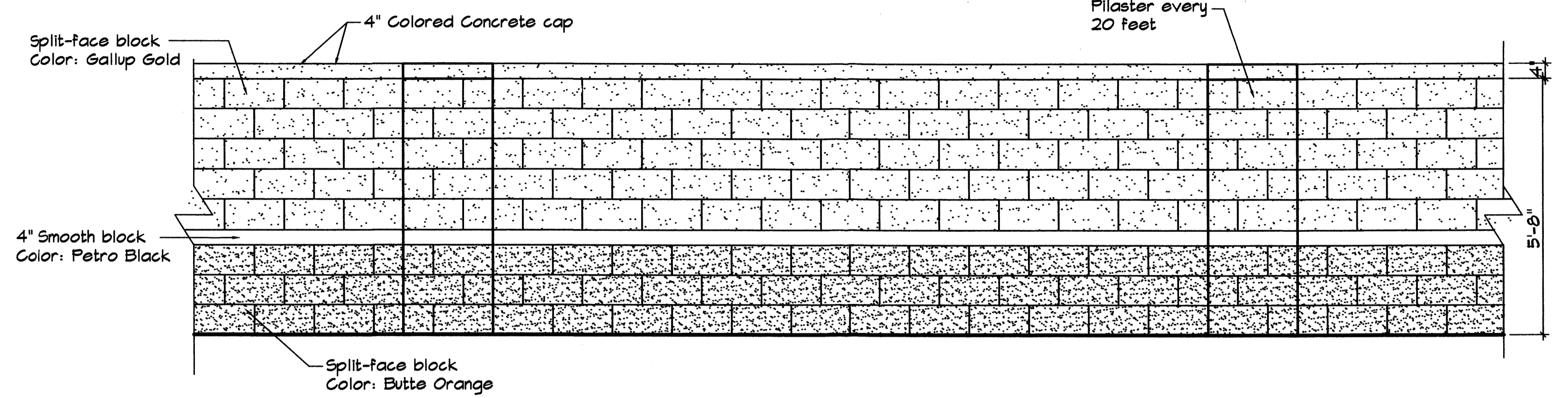
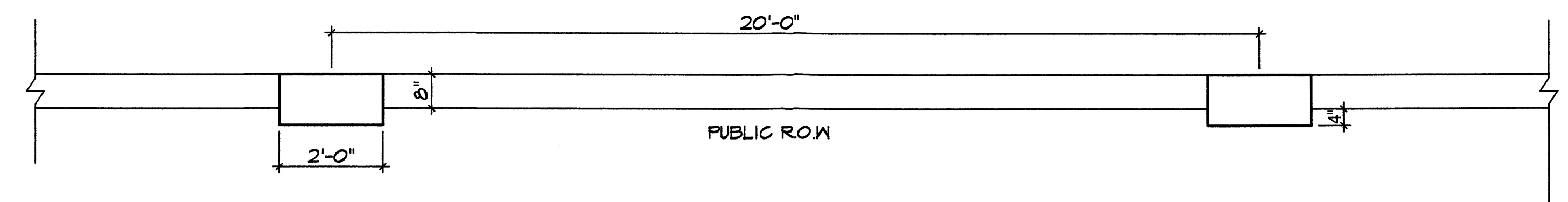
Sheet 1 of 2

1000976



PLAN VIEW - TYPICAL STREET EDGE

1/4" = 1' - 0"



TYPICAL WALL ELEVATION DETAIL

Scale 1/2" = 1' - 0"

PLANT PALETTE
SYMBOL COMMON NAME WATER USE

TREES		
Street Trees	Ash Species Linden Species Flowering Pear	Medium Medium Medium+
Accent Trees	Purple Robe Locust Golden Raintree Pistache	Medium Medium Medium
Shrubs (1 & 5 gallon)		
	Rosemary Potentilla Artemisia Species Chamisa Apache Plume Red Yucca Cotoneaster Species Cherry Sage Russian Sage Caryopteris Yucca Species Three-leaf Sumac	Medium Low+ Low+ Low Low Low Medium Low Medium Medium Low Low+

Ground Covers and Vines (1 & 5 gallon)
Trumpet Vine, Carolina Jessamine, Rosemary,
Honeysuckle, Wisteria, Virginia Creeper

IRRIGATION SYSTEM
Irrigation system shall consist of a fully automated sprinkler/drip irrigation system to irrigate tree, shrub, and groundcover areas. A separate water meter is included in the Infrastructure List for the Common Areas.

MAINTENANCE RESPONSIBILITY
All planting areas will be maintained in a living, attractive, and weed free condition. All common landscape areas shall be maintained by the Homeowner's Association.

NOTES:
1. Landscape plan will adhere to City requirements for clear sight triangles.

MINIMUM FRONT YARD LANDSCAPE STANDARDS FOR ALBUQUERQUE WEST SUBDIVISION

- 2 Deciduous Shade Tree (min. 15 gallon)
- 8 Shrubs (min. 5 gallon)
- Turf Grass (sodded, min. 20% of the front yard landscape area)

OR

- 1 Ornamental Tree (min. 15 gallon)
- 5 Shrubs (min. 5 gallon)
- 9 Shrubs (1 gallon)
- 3 Landscape Boulder (3'X3' min.)
Oversized Cobble Mulch Accent

In addition, all front yard landscaping shall be required to have the following:

- 3/4" Santa Ana Tan Rock Mulch over filter fabric - for all landscaped areas that are not covered with living vegetative groundcover
- Steel Header - as required between Turf and other landscaped areas
- Irrigation System w/Automatic Timer

The following approved Accents can be used for front yard landscaping:

- 2"-4" Cobbles (max. 25% of Area)
- Bark Mulch (in tree wells only)

LANDSCAPING AND WALL STANDARDS FOR SUBDIVISION:

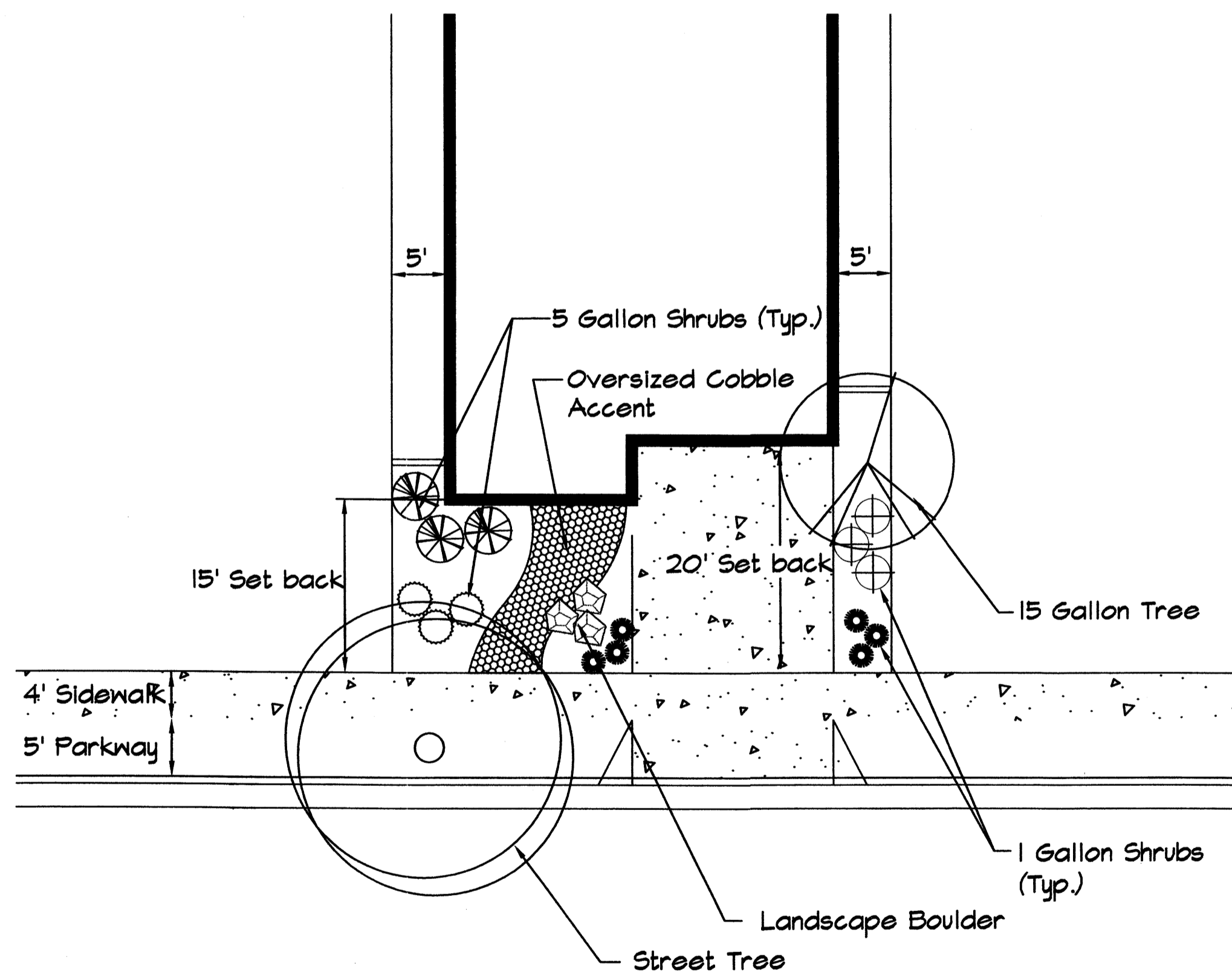
REQUIRED INFORMATION

LANDSCAPE STANDARDS:

1. The private park, common landscape areas, pedestrian connection between lots 129 and 130, and street trees shall be owned and maintained by the Homeowners Association.
2. Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system will be used to irrigate trees, shrubs, and groundcover areas.
3. The landscape plan shall limit the provision of high water use turf to a maximum of 20 percent of the approved landscape area, per the City's zoning code.
4. Street trees shall be provided at a rate of approximately 1 per 45 feet, depending on lot location and width.

WALLS AND ENTRY MONUMENT STANDARDS:

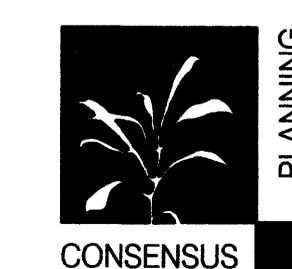
1. Perimeter walls for Albuquerque West Subdivision shall comply with the City Wall Regulations on height, layout, facade, and materials.
2. Walls greater than 3 feet in height shall not be allowed within the front yard setback on lots 129 and 130.



FRONT YARD LANDSCAPE DETAIL

1" = 10'

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