

GENERAL NOTES

1. ALL BUILDING DIMENSIONS TO FINISH FACE OF EXTERIOR WALLS, UNO.
2. SITE AREA IS 2.5016 ACRES
3. SITE IS ZONED SU-2/ C1
4. SITE USE IS FOR SHOPPING CENTER
5. ALLOWABLE BUILDING HEIGHT IS 26'-0". PROPOSED BUILDING HEIGHT IS 20'-0" + DOME @ 10'-0" ADDED.
6. DOORS SHOWN ARE SUBJECT TO INDIVIDUAL TENANT REQUIREMENTS.
7. COORDINATE LOCATION OF ACCESSIBLE CAR & VAN STALLS & SLOPED SIDEWALK WITH LOCATION OF TENANT DOORS SO THAT RAMPS ARE NOT IN LINE WITH DOORS.

KEYED NOTES

1. EXISTING CONCRETE CURB, GUTTER & 8 FT. WIDE SIDEWALK
2. NEW CONCRETE CURB, GUTTER & SIDEWALK
3. 10 FT. REQUIRED PLANTING STRIP - SEE L101
4. CURB & PLANTER - SEE L101
5. NEW 24 IN. SIDEWALK CULVERT - SEE CIVIL
6. CONCRETE CURB
7. PRE-CAST CONCRETE WHEEL GUARD - TYPICAL
8. 5 FT. WIDE PEDESTRIAN CROSSING ON ASPHALT, UNO, WITH 3 IN. WHITE STRIPES @ 12" O.C.
9. 2 FT. HIGH CONCRETE RETAINING WALL
10. PLANTING - SEE L101
11. 5 FT. WIDE CONCRETE SIDEWALK
12. 6 FT. REQUIRED PLANTING STRIP - SEE L101
13. 8 FT. WIDE CONCRETE SIDEWALK
14. 2 RISER CONCRETE STAIR w/ FREE STANDING 1 1/2 IN. DIA. STL. PIPE RAIL EA. SIDE
15. ASPHALT PAVING
16. 2 - DUMPSTER CONC. BLOCK ENCLOSURE w/ 2-PAIR METAL GATES - SEE A1/ C201
17. 2 FT. HIGH & WIDE CONCRETE RETAINING WALL FOR SITTING
18. DISABLED INTERNATIONAL SYMBOL PAINTED IN BLUE ON ASPHALT - SEE C201
19. STANDARD DISABLED SIGN - SEE C201
20. VAN DISABLED SIGN - SEE C201
21. BICYCLE RACK - 7 SPACES, 6 FT. LONG x 3 FT. HIGH
22. STOP SIGN PER CITY STANDARD.
23. CURB RAMP PER CITY STANDARDS
24. SLOPING SIDEWALK (RAMP UP)
25. CONCRETE FOOTING & CMU RETAINING WALL. 6 FT. HIGH MAX. (VARIES)
26. BENCH
27. 3 FT. WIDE PEDESTRIAN CROSSING ON ASPHALT WITH 3 IN. WHITE STRIPES
28. PAVED PATIO w/ PATTERNED CONCRETE
29. EXISTING FIRE HYDRANT
30. NEW FIRE HYDRANT
31. "PALOMAS PLAZA" SIGN - 4 FT. HIGH x 15 FT LONG, 60 SF.
32. CONCRETE CURB WITH 4" WIDE DRAIN CUT-OUTS @ 18'-0" ± O.C.
33. REPLACE (E) CURB RAMP w/ NEW CURB RAMP PER CITY STANDARD
34. 1 1/2" STEEL PIPE RAIL - EACH SIDE
35. 5 FT. OR 8 FT. WIDE ACCESS AISLE WITH 3 IN. BLUE STRIPES
36. SIDEWALK RAMP PER CITY STANDARDS
37. 3" WHITE PAINTED STRIPE
38. CONTROL JOINT @ 18'-0" O.C.
39. EXPANSION JOINT @ 36'-0" O.C.
40. 3'-0" WIDE CONCRETE RIBBON CHANNEL - SEE CIVIL
41. INSTALL 24" SIDEWALK CULVERT
42. INSTALL 8" WIDE FLUME - SEE CIVIL

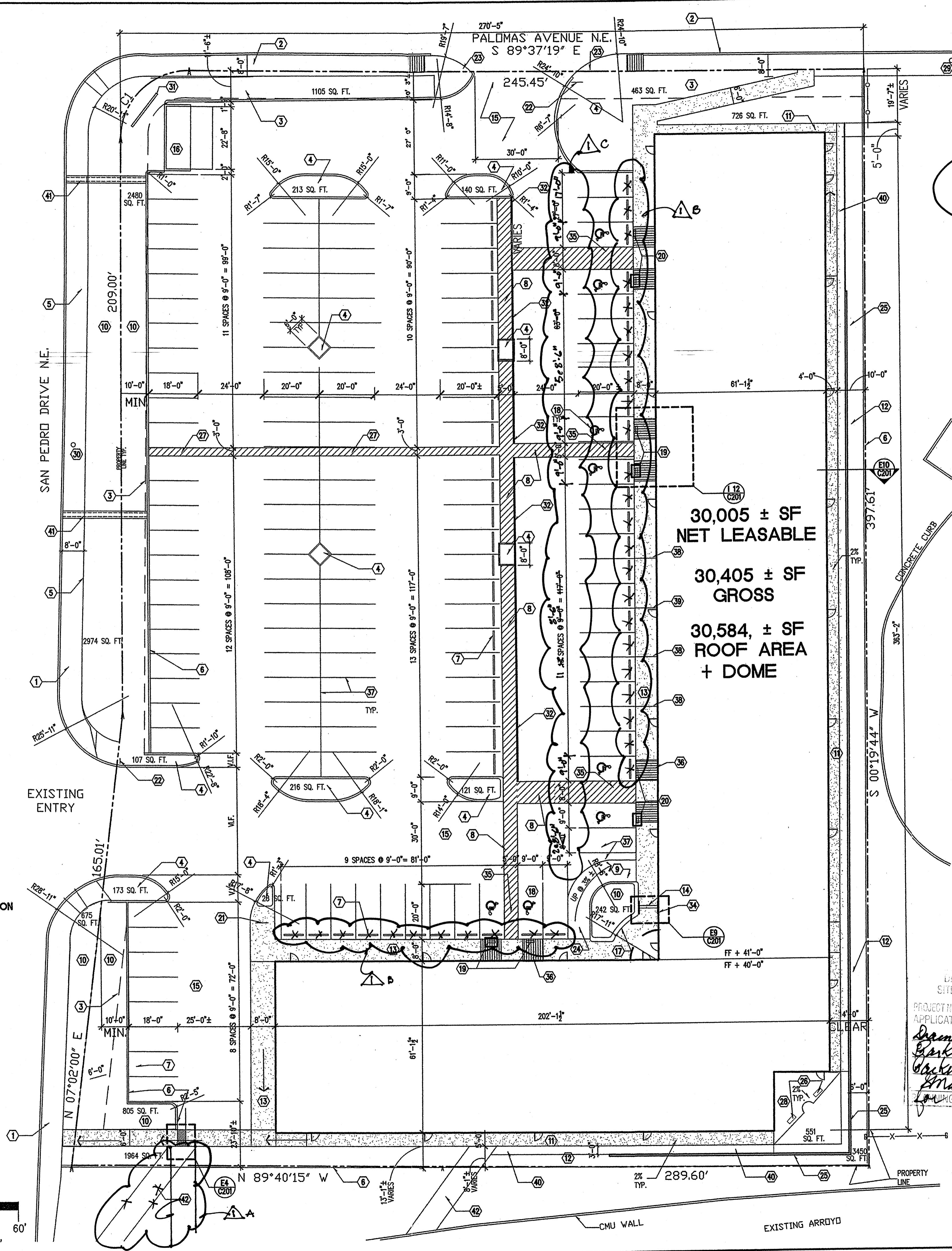
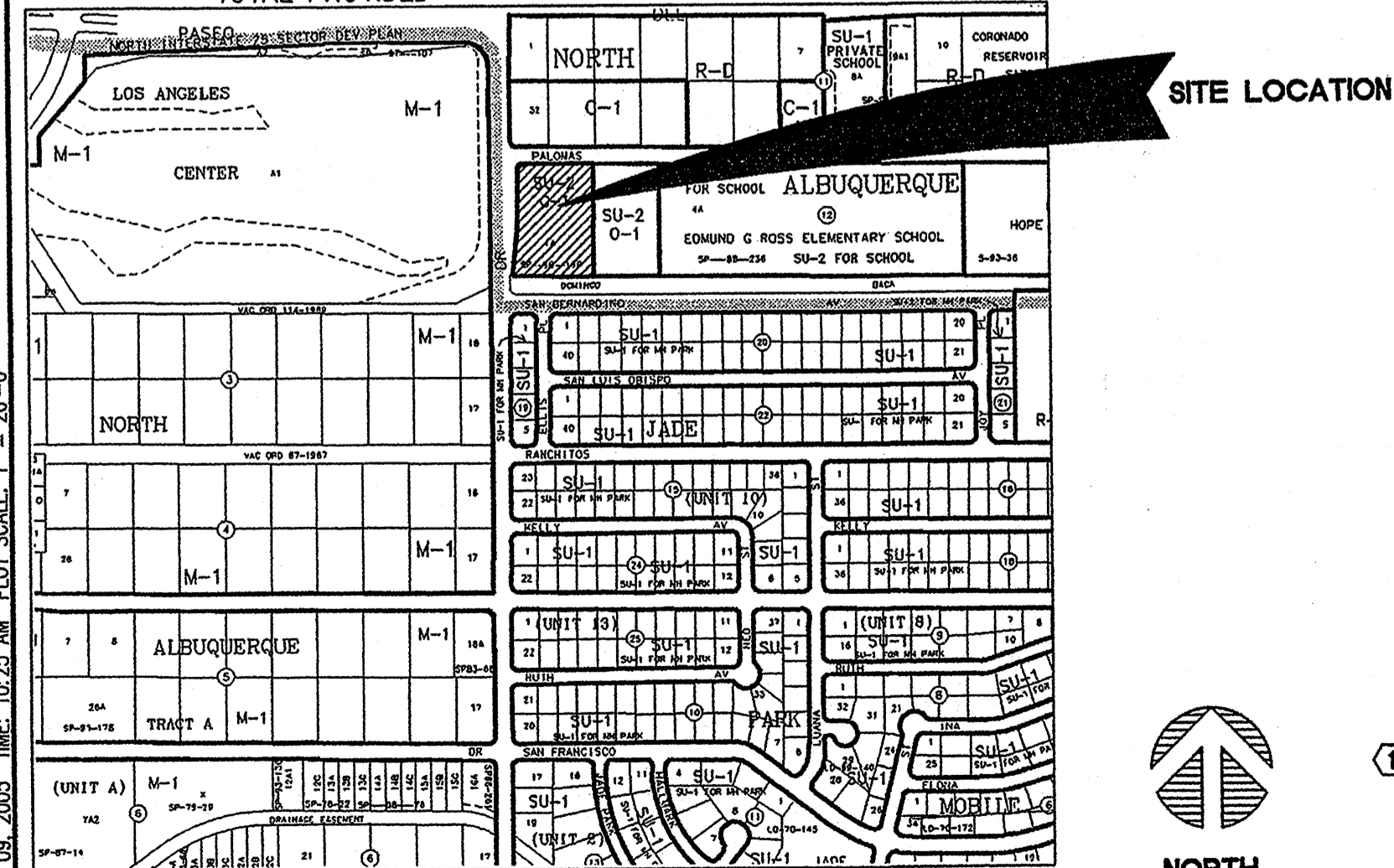
PARKING

REQUIRED PARKING SPACES
 (14-16-3-1 (A) (27) RETAIL) 1/200 SF 1ST 15000 SF = 75 SPACES
 1/250 SF NEXT 15005 SF = 60 SPACES

TOTAL REQUIRED 135 SPACES
 TOTAL PROVIDED 137 SPACES

HC REQUIRED [14-16-3-1(E)(8)(a)] 8 SPACES
 TOTAL PROVIDED 8 SPACES

BICYCLE RACK SPACES REQUIRED @ 1:20 PARKING SPACES REQUIRED= 7 SPACES
 [14-16-3-1(B)(3)] TOTAL PROVIDED 7 SPACES



PALOMAS PLAZA
 7900 SAN PEDRO DRIVE N.E.
 ALBUQUERQUE, NEW MEXICO

INDEX OF DRAWINGS

- C001 ARCHITECTURAL SITE PLAN
- C101 GRADING & DRAINAGE PLAN
- C102 WATER & SEWER PLAN
- L101 LANDSCAPE PLAN

A. ADJUSTED FLUME ORIENTATION
 B. DELETED PARKING BUMPERS AT SIDEWALK
 C. ADJUSTED STANDARD PARKING SPACE TO 8'-6" ±, SO AS TO ALIGN HC RAMPS BETWEEN SHOP ENTRY DOORS (ADDING 1 PARKING SPACE)

PALOMAS PLAZA SUBDIVISION SHOPPING CENTER

7900 SAN PEDRO N.E., ALBUQUERQUE, NEW MEXICO
 MASTER SITE DEVELOPMENT PLAN

SIGNATURES

PROJECT NUMBER: 1000985

APPLICATION NUMBER: 05 DNB-00283

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), AND THE FINDINGS AND CONDITIONS IN THE OFFICE NOTIFICATION OF DECISION ARE SATISFIED.
 IS AN INFRASTRUCTURE LIST REQUIRED? YES (X) NO
 IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

APPROVED AS TO REQUIREMENTS

<i>[Signature]</i> TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	7-13-05 DATE
<i>[Signature]</i> UTILITY DEVELOPMENT	8-18-05 DATE
<i>[Signature]</i> PARKS AND CENTRAL SERVICES DEPT.	7/13/05 DATE
<i>[Signature]</i> CITY ENGINEER	9/15/05 DATE
<i>[Signature]</i> ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	7/13/05 DATE
<i>[Signature]</i> DRB CHAIR PERSON, PLANNING DEPARTMENT	DATE

LEGAL DESCRIPTION:

LOT NUMBERED ONE-A (1-A) IN BLOCK NUMBERED TWELVE (12) OF TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 16, 1996 IN MAP Book 96C, FOLD 392.

UNO ADMINISTRATIVE
 SITE PLAN AMENDMENT
 PROJECT NO. 1000985
 APPLICATION NO. 05-00783
 Planning Director

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SMPC ARCHITECTS

PALOMAS PLAZA			
SITE DEVELOPMENT PLAN FOR SUBDIVISION			
REV. #	DATE	PROJECT #	DATE
1	6/2/06	05025	05/02/05
DWN BY: BHB		CHK BY: PRL	
GLENN H. FELLOWS No. 978		C001	
REGISTERED ARCHITECT		2 OF 37	

NAME: C:\p\j\DATE: JUN 09, 2005 TIME: 10:25 AM PLOT SCALE: 1" = 20'-0"

PROJECT # 1000985