

**GENERAL NOTES**

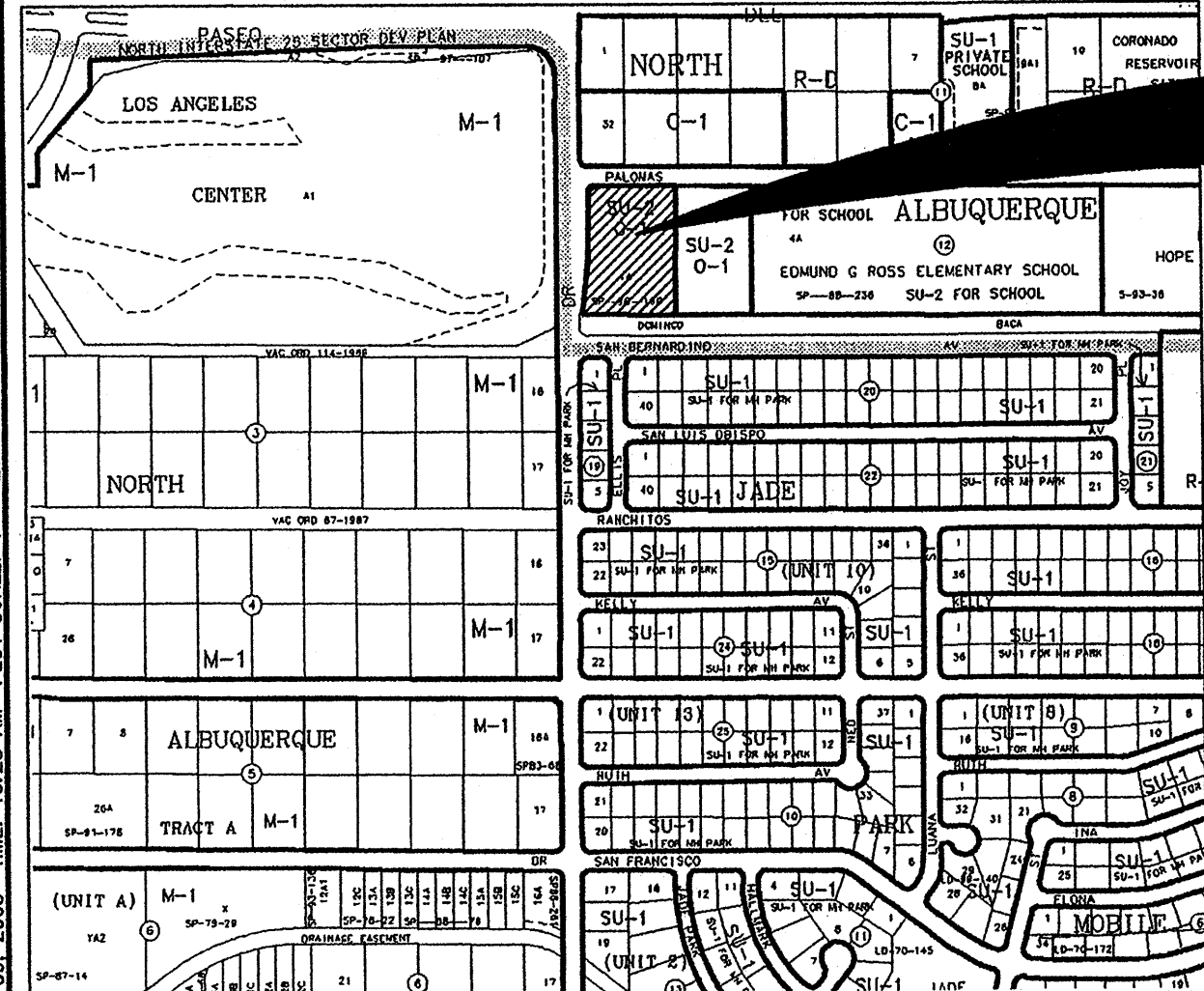
1. ALL BUILDING DIMENSIONS TO FINISH FACE OF EXTERIOR WALLS, UNO.
2. SITE AREA IS 2.5016 ACRES
3. SITE IS ZONED SU-2/ C1
4. SITE USE IS FOR SHOPPING CENTER
5. ALLOWABLE BUILDING HEIGHT IS 26'-0". PROPOSED BUILDING HEIGHT IS 20'-0" + DOME @ 10'-0" ADDED.
6. DOORS SHOWN ARE SUBJECT TO INDIVIDUAL TENANT REQUIREMENTS.
7. COORDINATE LOCATION OF ACCESSIBLE CAR & VAN STALLS & SLOPED SIDEWALK WITH LOCATION OF TENANT DOORS SO THAT RAMPS ARE NOT IN LINE WITH DOORS.

**KEYED NOTES**

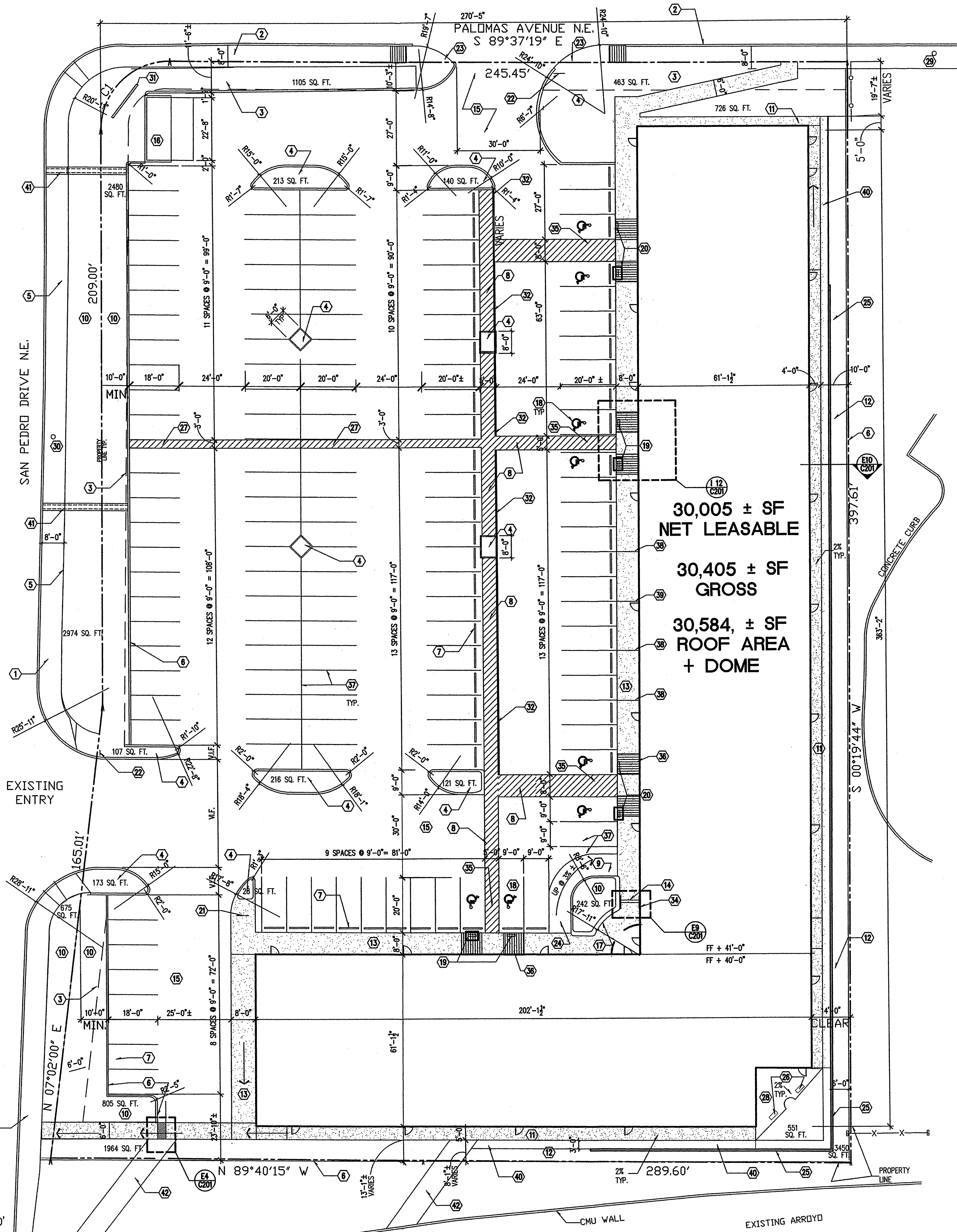
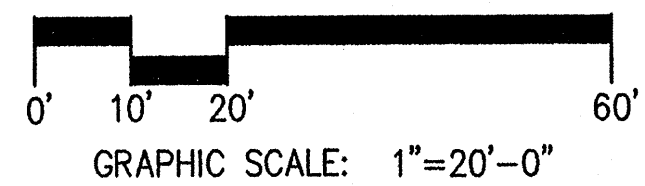
1. EXISTING CONCRETE CURB, GUTTER & 8 FT. WIDE SIDEWALK
2. NEW CONCRETE CURB, GUTTER & SIDEWALK
3. 10 FT. REQUIRED PLANTING STRIP - SEE L101
4. CURB & PLANTER - SEE L101
5. NEW 24 IN. SIDEWALK CULVERT - SEE CIVIL
6. CONCRETE CURB
7. PRE-CAST CONCRETE WHEEL GUARD - TYPICAL
8. 5 FT. WIDE PEDESTRIAN CROSSING ON ASPHALT, UNO, WITH 3 IN. WHITE STRIPES @ 12" O.C.
9. 2 FT. HIGH CONCRETE RETAINING WALL
10. PLANTING - SEE L101
11. 5 FT. WIDE CONCRETE SIDEWALK
12. 6 FT. REQUIRED PLANTING STRIP - SEE L101
13. 8 FT. WIDE CONCRETE SIDEWALK
14. 2 RISER CONCRETE STAIR w/ FREE STANDING 1 1/2 IN. DIA. STL. PIPE RAIL EA. SIDE
15. ASPHALT PAVING
16. 2 - DUMPSTER CONC. BLOCK ENCLOSURE w/ 2-PAIR METAL GATES - SEE A1/ C201
17. 2 FT. HIGH & WIDE CONCRETE RETAINING WALL FOR SITTING
18. DISABLED INTERNATIONAL SYMBOL PAINTED IN BLUE ON ASPHALT - SEE C201
19. STANDARD DISABLED SIGN - SEE C201
20. VAN DISABLED SIGN - SEE C201
21. BICYCLE RACK - 7 SPACES, 6 FT. LONG x 3 FT. HIGH
22. STOP SIGN PER CITY STANDARD
23. CURB RAMP PER CITY STANDARDS
24. SLOPING SIDEWALK (RAMP UP)
25. CONCRETE FOOTING & CMU RETAINING WALL. 6 FT. HIGH MAX. (VARIES)
26. BENCH
27. 3 FT. WIDE PEDESTRIAN CROSSING ON ASPHALT WITH 3 IN. WHITE STRIPES
28. PAVED PATIO w/ PATTERNED CONCRETE
29. EXISTING FIRE HYDRANT
30. NEW FIRE HYDRANT
31. "PALOMAS PLAZA" SIGN - 4 FT. HIGH x 15 FT LONG, 60 SF.
32. CONCRETE CURB WITH 4" WIDE DRAIN CUT-OUTS @ 18'-0" ± O.C.
33. REPLACE (E) CURB RAMP w/ NEW CURB RAMP PER CITY STANDING
34. 1 1/2" STEEL PIPE RAIL - EACH SIDE
35. 5 FT. OR 8 FT. WIDE ACCESS AISLE WITH 3 IN. BLUE STRIPES
36. SIDEWALK RAMP PER CITY STANDARDS
37. 3" WHITE PAINTED STRIPE
38. CONTROL JOINT @ 18'-0" O.C.
39. EXPANSION JOINT @ 36'-0" O.C.
40. 3'-0" WIDE CONCRETE RIBBON CHANNEL - SEE CIVIL
41. INSTALL 24" SIDEWALK CULVERT
42. INSTALL 8" WIDE FLUME - SEE CIVIL

**PARKING**

REQUIRED PARKING SPACES (14-16-3-1 (A) (27) RETAIL)	1/200 SF 1ST 15000 SF = 75 SPACES 1/250 SF NEXT 15005 SF = 60 SPACES
TOTAL REQUIRED	135 SPACES
TOTAL PROVIDED	136 SPACES
HC REQUIRED [14-16-3-1(E)(8)(a)]	8 SPACES
TOTAL PROVIDED=	8 SPACES
BICYCLE RACK SPACES REQUIRED @ 1:20 PARKING SPACES REQUIRED=	7 SPACES
[14-16-3-1(B)(3)]	7 SPACES
TOTAL PROVIDED	7 SPACES



ZONE ATLAS PAGE: D-18- Z



30,005 ± SF  
NET LEASABLE

30,405 ± SF  
GROSS

30,584, ± SF  
ROOF AREA  
+ DOME

**PALOMAS PLAZA**  
7900 SAN PEDRO DRIVE N.E.  
ALBUQUERQUE, NEW MEXICO

**INDEX OF DRAWINGS**

- C001 ARCHITECTURAL SITE PLAN
- C101 GRADING & DRAINAGE PLAN
- C102 WATER & SEWER PLAN
- L101 LANDSCAPE PLAN

**PALOMAS PLAZA SUBDIVISION**  
**SHOPPING CENTER**  
7900 SAN PEDRO N.E., ALBUQUERQUE, NEW MEXICO  
MASTER SITE DEVELOPMENT PLAN

**SIGNATURES**

PROJECT NUMBER: 1000985  
APPLICATION NUMBER: 05 DMG-00883

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), AND THE FINDINGS AND CONDITIONS IN THE OFFICE NOTIFICATION OF DECISION ARE SATISFIED.  
IS AN INFRASTRUCTURE LIST REQUIRED? YES (X) NO  
IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

**APPROVED AS TO REQUIREMENTS**

<i>[Signature]</i>	7-13-05
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	8-18-05
<i>[Signature]</i>	
UTILITY DEVELOPMENT	7/13/05
<i>[Signature]</i>	
PARKS AND CENTRAL SERVICES DEPT.	9/15/05
<i>[Signature]</i>	
CITY ENGINEER	
<i>[Signature]</i>	
DRG CHAIR PERSON, PLANNING DEPARTMENT	7/13/05

**LEGAL DESCRIPTION:**

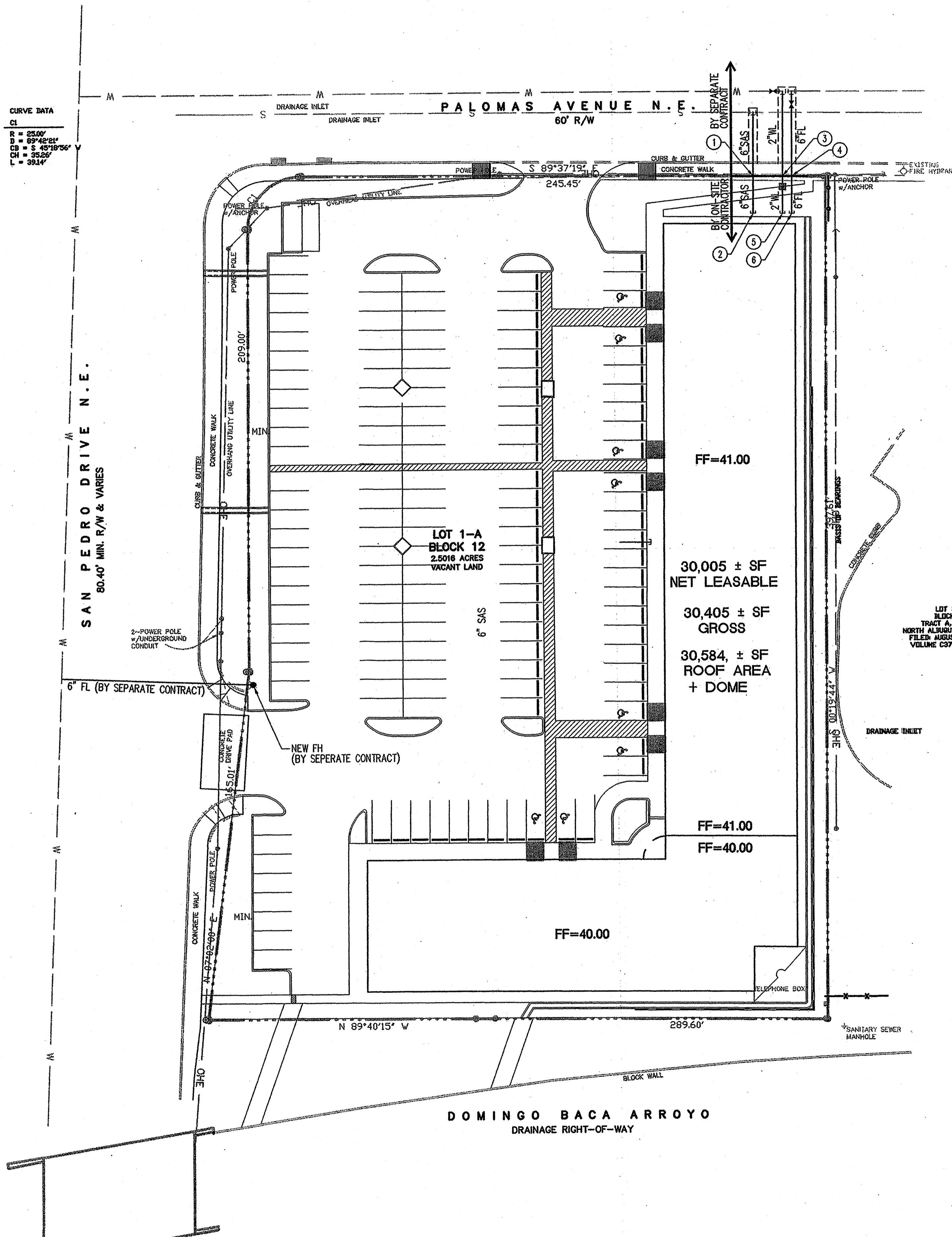
LOT NUMBERED ONE-A (1-A) IN BLOCK NUMBERED TWELVE (12) OF TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 16, 1996 IN MAP BOOK 96C, FOLIO 392.

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ARCHITECTS • PLANNERS • INTERIOR DESIGNERS 115 AMHERST DRIVE SE., ALBUQUERQUE, NEW MEXICO 87106 TELE. (505) 255-8668 FAX (505) 268-8665		
<b>SMPC ARCHITECTS</b>		
<b>PALOMAS PLAZA</b>		
<b>SITE DEVELOPMENT PLAN FOR SUBDIVISION</b>		
REV. #	DATE	PROJECT # 05025
		DWN BY: BHB
		CHK BY: PRL
		DATE: 05/02/05
<i>[Signature]</i> GLENN H. FELLOWS No. 978 REGISTERED ARCHITECT		<b>C001</b> 2 OF 37

PROJECT 1000985

NAME: C001.dwg DATE: JUN. 09. 2005. TIME: 10:25 AM PLOT SCALE: 1" = 20'-0"

**CURVE DATA**  
 CI  
 R = 2500'  
 D = 89°42'21"  
 CB = S 45°18'56"  
 CH = 3526'  
 L = 3914'



**GENERAL NOTES**

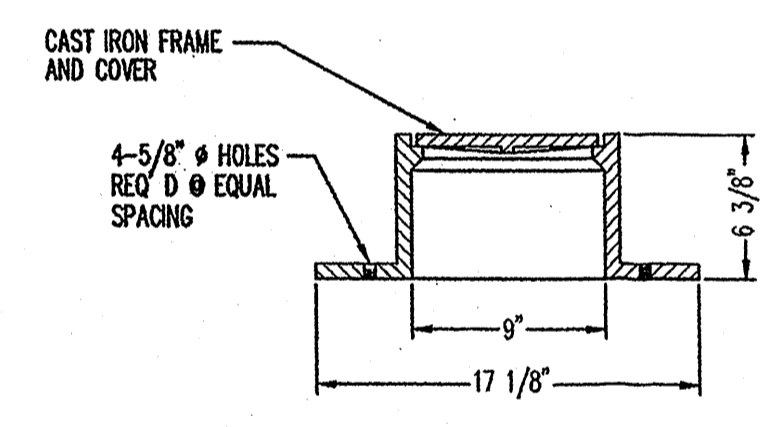
1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
11. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE ADJACENT PROPERTY OWNER PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT PROPERTY.
12. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADES AT THE END AND BEGINNING OF EACH DAY.
14. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

**UTILITY NOTES**

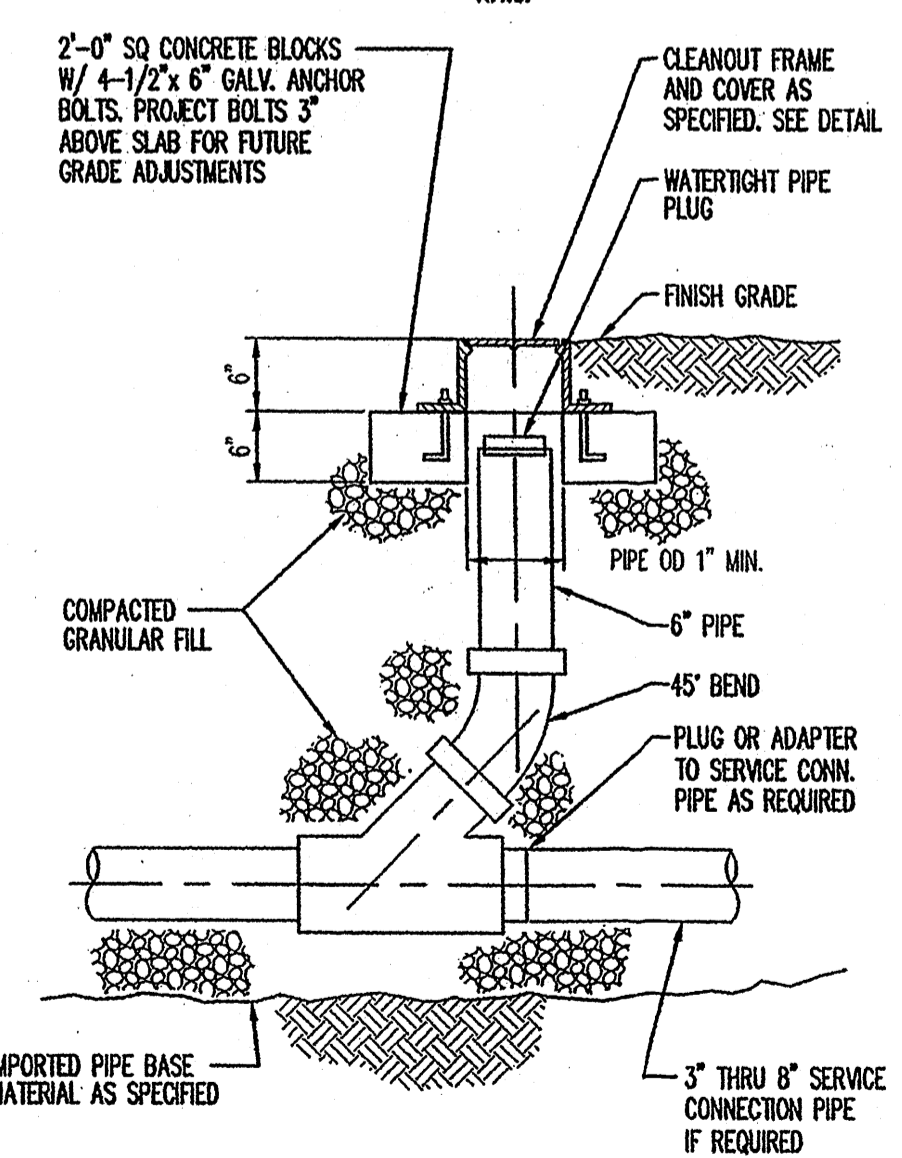
1. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
2. MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTIONS.
3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM PLUMBING CODE, LATEST EDITION.
4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
5. ROUGH GRADING OF SITE (±0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
7. ALL VALVES SHALL BE ANCHORED PER COA STANDARD DWG. 2333.
8. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
10. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.

**KEYED NOTES**

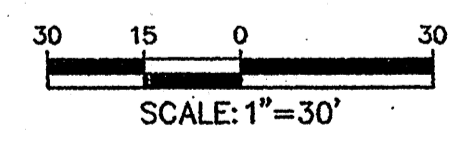
1. CONNECT 6" SAS TO 6" STUB-OUT (BY OTHERS)
2. STUB 6" SAS LINE TO WITHIN 5' OF BLDG. REF. MEPLANS FOR CONTINUATION. INSTALL DOUBLE CLEAN-OUTS PER MEPLANS. INV=-25231.69.
3. CONNECT 2" WL TO 2" WL STUB-OUT (BY OTHERS). INSTALL 2" METERED DOMESTIC WATER SERVICE AS PER COA STD DWG 2363. CONTRACTOR SHALL PAY ALL CITY FEES ASSOCIATED WITH WATER SERVICE INSTALLATION.
4. CONNECT 6" FL TO 6" FL STUB-OUT (BY OTHERS)
5. REFERENCE MEPLANS FOR CONTINUATION OF 2" WATER LINE.
6. STUB 6" FIRE LINE TO WITHIN 5' OF BLDG. REFERENCE MEPLANS FOR CONTINUATION.



**CLEANOUT FRAME & COVER**  
 N.T.S.



**CLEANOUT**  
 N.T.S.



**Bohannon & Huston**  
 Courtyard I 7800 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

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**PALOMAS PLAZA**  
**WATER & SEWER PLAN**

	REV. #	DATE	PROJECT # 060012
			DWN BY: CW
			CHK BY: JTW
			DATE: 04/21/05
			<b>C102</b>
			OF

**LEGEND**

- PROPERTY LINE
- - - - - EXISTING CONTOURS
- X 5301.15 EXISTING GROUND SPOT ELEVATION
- 65.23 EXISTING ELECTRICAL POLE
- PROPOSED SPOT ELEVATION  
TC=TOP OF CURB, FL=FLOW LINE  
FGH=FINISHED GRADE HIGH  
FGL=FINISHED GRADE LOW  
EX=EXISTING, TO=TOP OF GRADE
- PROPOSED DIRECTION OF FLOW
- WATER BLOCK
- PROPOSED RETAINING WALL
- PROPOSED INDEX CONTOURS
- PROPOSED INTER CONTOURS
- PROPOSED CURB & GUTTER
- EASEMENT
- EXISTING TREE
- PROPOSED LIGHTING
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- EXISTING STORM DRAIN MANHOLE



**GRADING NOTES**

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCLUDED TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND NETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND Haul TO OR FROM SHALL BE CONSIDERED INCLUDED IN THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.05' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

**DRAINAGE MANAGEMENT PLAN**

**I. INTRODUCTION**  
The purpose of this submittal is to present a drainage and grading plan for the proposed retail center at the corner of San Pedro Drive NE and Palomas Avenue NE. The project will include a one story retail center that is stepped down with parking and landscaped areas. This submittal is in support of building permit approvals.

**II. SITE LOCATION**  
The site is bounded along the north side by Palomas Ave. NE, along the west side by San Pedro Dr. NE and the Domingo Baca Arroyo Concrete Channel on the south. The east boundary is an office building. The site is located within zone atlas map # D-18-7. In reference to the Federal Emergency Management Agency map #35001C01377, there is a 1% annual chance flood zone adjacent to the site. This flood elevation is contained in the City of Albuquerque Domingo Baca Arroyo Concrete Channel along the southern border of the site.

**III. EXISTING HYDROLOGIC CONDITIONS**  
The site encompasses 2.50 acres and has undergone rough grading. Slopes for the site range between 1 to 10% to the east and there is sparse vegetation cover. Currently, the site drains via surface flow into the San Pedro Drive NE. These flows discharge northward to the corner of Palomas and San Pedro.

**IV. PROPOSED HYDROLOGIC CONDITIONS**  
The proposed project includes construction of a one story building that is stepped down at the south and combined with a parking area and landscaping. In accordance with section 22.2 of the Development Process Manual, the discharge due to proposed conditions is 11.73cfs.

The site was divided into five basins. Basin P1 has runoff contributed from parking and landscaped areas. Approximately 6.35cfs flows to San Pedro Dr. from Basin P1. Runoff from Basin P2 flows to Palomas Avenue and is 1.23cfs. The flow that reaches the corner of Palomas and San Pedro is 7.88cfs which is lower than the 8.43cfs in existing conditions.

The remaining basins contribute 3.85cfs to the Domingo Baca Arroyo, which can handle the developed flow from this property. Please see Basin Data table for associated computations.

**V. CONCLUSION**  
The total flow discharged from the site is 11.73cfs which is more than the existing conditions runoff of 8.43cfs. The excess flow has been directed in such a way that the discharge to San Pedro and Palomas has decreased. These flows were computed in accordance with section 22.2 of the Development Process Manual.

The drainage management plan is capable of safely passing the 100 year storm and meets city requirements. With this submittal we are seeking building permit approval.

**NOTICE TO CONTRACTORS**

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- THREE (3) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

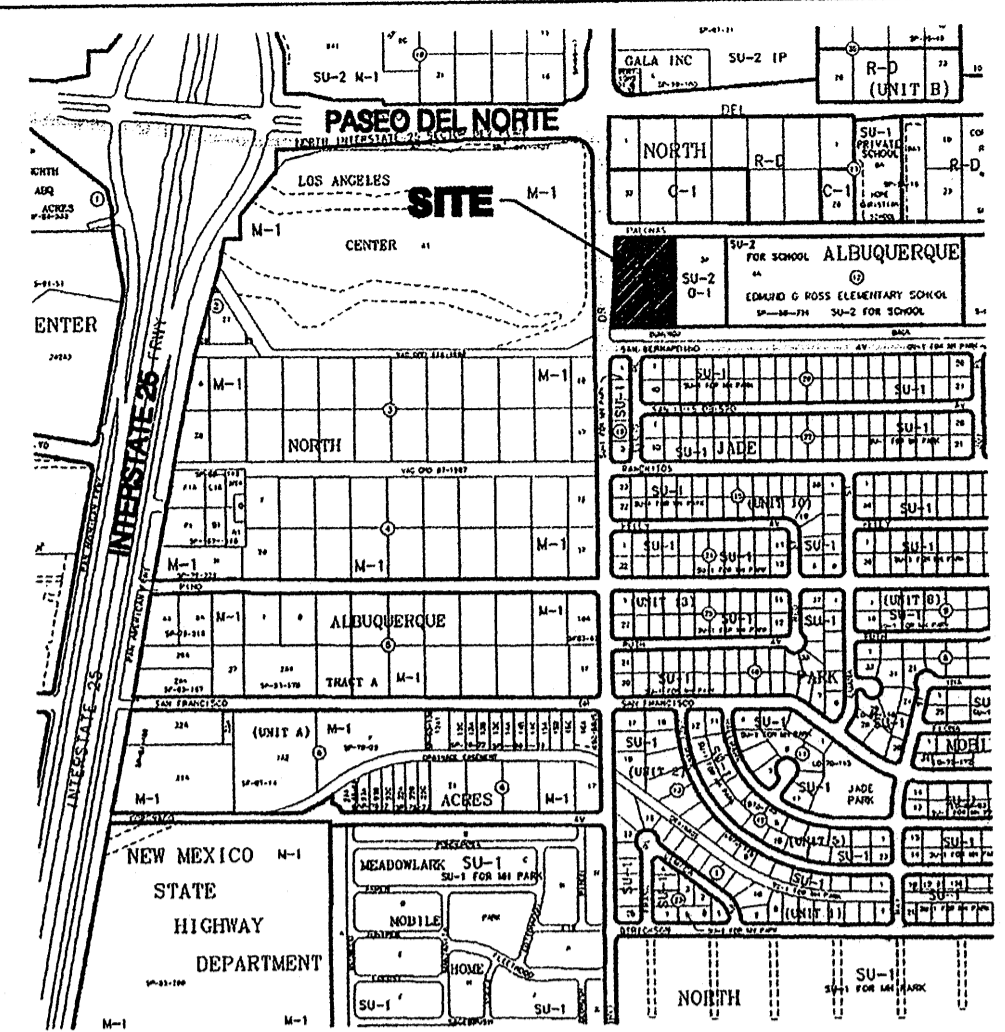
APPROVAL	NAME	DATE
INSPECTOR		

**Palomas Plaza**

*Basin Data Table*

This table is based on the DPM Section 22.2, Zone: 3

BASIN	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (CFS)	V(100) (inches)	V(100) (CF)
Existing Conditions										
	A	B	C	D						
E1	108968	2.50	5.0%	0.0%	95.0%	0.0%	3.37	8.43	1.26	11428
<b>TOTAL</b>	<b>108968</b>	<b>2.50</b>	<b>5.0%</b>	<b>0.0%</b>	<b>95.0%</b>	<b>0.0%</b>	<b>3.37</b>	<b>8.43</b>	<b>1.26</b>	<b>11428</b>
Proposed Conditions										
	A	B	C	D						
P1	80953.56	1.40	0.0%	20.0%	0.0%	80.0%	4.54	6.35	2.07	10525
P2	111522.22	0.26	0.0%	5.0%	5.0%	90.0%	4.82	7.23	2.23	2077
P3	27823.52	0.64	0.0%	5.0%	0.0%	95.0%	4.90	3.13	2.29	5305
P4	5780.968	0.13	0.0%	5.0%	0.0%	95.0%	4.90	0.65	2.29	1102
P5	3255.355	0.07	0.0%	3.0%	0.0%	97.0%	4.95	0.37	2.32	629
<b>TOTAL</b>	<b>108965.6</b>	<b>2.50</b>	<b>0.0%</b>	<b>7.6%</b>	<b>1.0%</b>	<b>91.4%</b>	<b>4.82</b>	<b>11.73</b>	<b>11.20</b>	<b>19637</b>



**VICINITY MAP**

ZONE ATLAS PAGE D-18-7

**LEGAL DESCRIPTION**

LOT 1-A, BLOCK 12, TRACT A, UNIT A NORTH ALBUQUERQUE ACRES

**GENERAL NOTES**

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- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION, AS OF THE DATE OF THESE PLANS.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADES AT THE END AND BEGINNING OF EACH DAY.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

**Bohannon & Huston**  
 Courtyard 1 7800 Jefferson St. NE Albuquerque, NM 87109-4395  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

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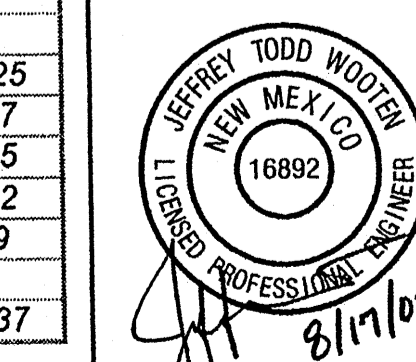
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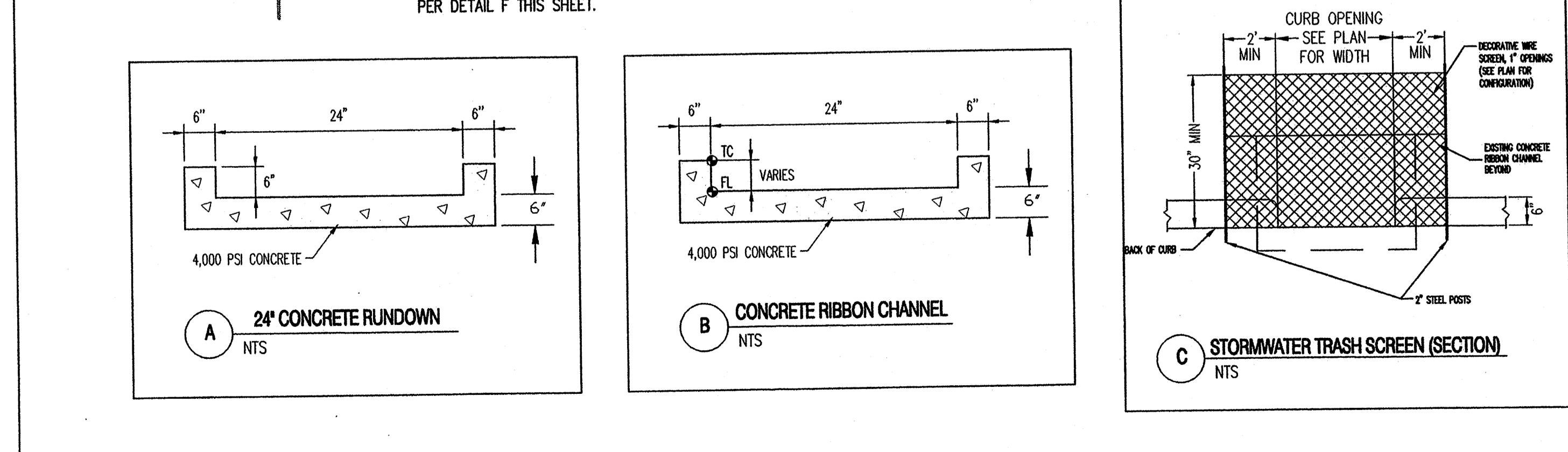
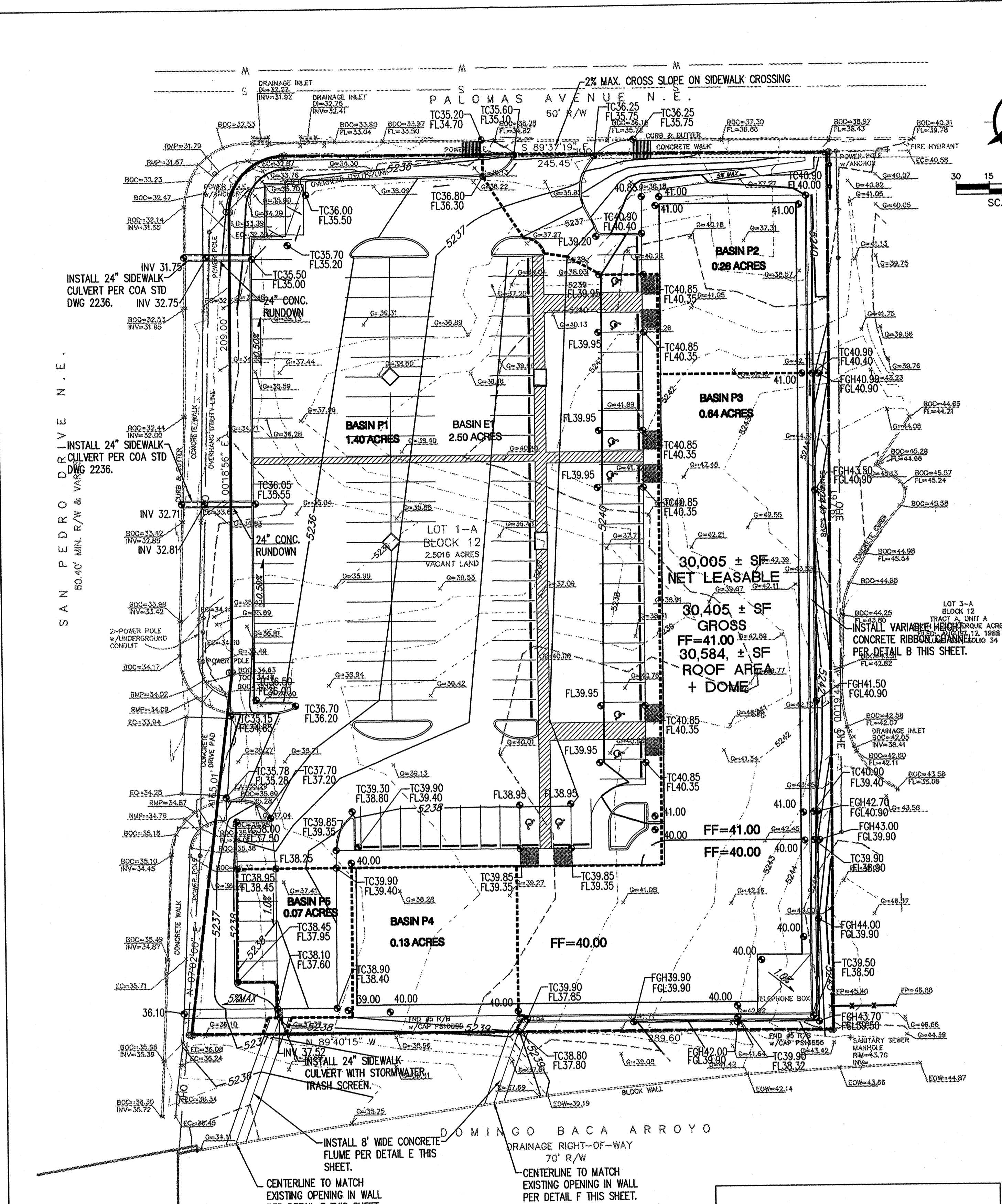
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**PALOMAS PLAZA**  
**GRADING & DRAINAGE PLAN**

REV. #	DATE	PROJECT #
		060012
		DWN BY: CW
		CHK BY: JTW
		DATE: 04/21/05



**C101**  
OF



**LANDSCAPING**

LANDSCAPE REQUIRED  
 TOTAL SITE 108,970 S.F. (2,5016 ACRES)  
 TOTAL BUILDING FOOTPRINT 30,584 S.F.  
 NET SITE 70,386 S.F.

REQUIRED LANDSCAPE AREA 15% NET SITE  
 15% 70,386 = 11,758 S.F.  
 MAXIMUM ALLOWABLE HIGH WATER TURF = 20% REQUIRED LANDSCAPING  
 20% 11,758 = 2,352 S.F.

135 REQUIRED PARKING SPACES = 14 REQUIRED TREES

LANDSCAPE PROVIDED  
 SAN PEDRO DRIVE R/W LANDSCAPE BUFFER = 3,649 S.F.  
 SAN PEDRO DRIVE 10'-0" MIN LANDSCAPE BUFFER = 3,285 S.F.  
 PALOMAS AVE R/W LANDSCAPE BUFFER = 0 S.F.  
 PALOMAS AVE 10'-0" MIN LANDSCAPE BUFFER = 2,294 S.F.  
 EAST LANDSCAPE BUFFER = 3,450 S.F.  
 SOUTH LANDSCAPE BUFFER = 1,964 S.F.  
 SITE LANDSCAPING @ PARKING = 1,240 S.F.  
 TOTAL LANDSCAPING = 15,882 S.F. = 22.6% NET SITE

HIGH WATER TURF AREA = 551 S.F.

55 TREES PROVIDED

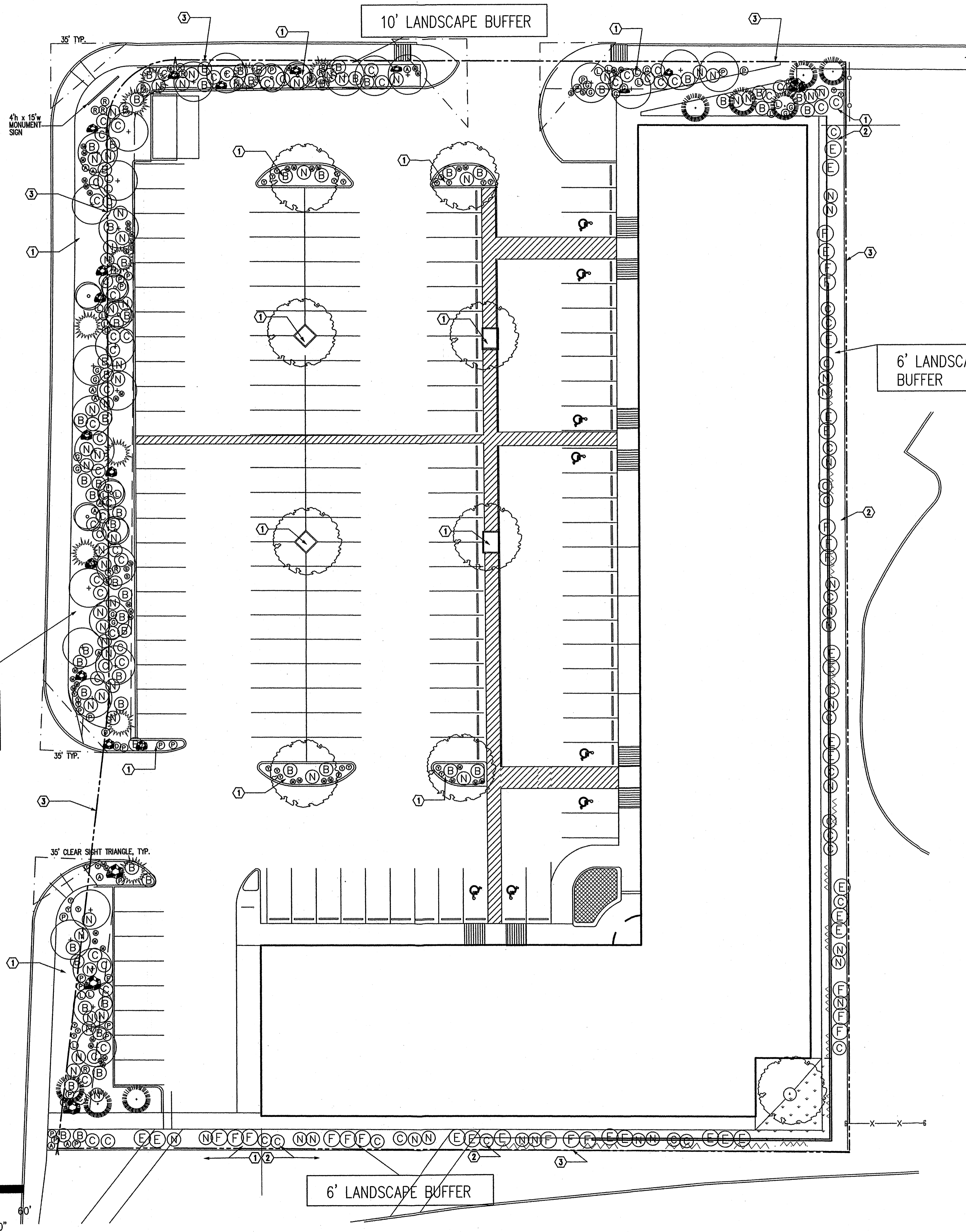
**NOTES**

- LANDSCAPING:
- 1 THE OWNER AGREES TO PROPERLY MAINTAIN ALL LANDSCAPING AND TO REPLACE DEAD PLANT MATERIAL IN A TIMELY MANNER.
  - 2 LANDSCAPING PLANTING AND IRRIGATION SYSTEM DESIGN WILL COMPLY WITH WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE 6-1-1 THROUGH 6-1-1-14.
  - 3 APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
  - 4 ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE ZONING CODE, STREET TREE ORDINANCE, POLLEN ORDINANCE, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.
  - 5 PLANT BEDS SHALL ACHIEVE 75% LIVE GROUND COVER AT MATURITY.

- IRRIGATION:
- 6 ALL PLANT MATERIAL TO BE WATERED BY AN AUTOMATICALLY CONTROLLED UNDERGROUND IRRIGATION SYSTEM.
  - 7 TREES TO RECEIVE (5) 1.0 GPH DRIP EMITTERS AND SHRUBS TO RECEIVE (2) 1.0 GPH DRIP EMITTERS. DRIP AND BUBBLER SYSTEMS TO BE TIED TO 1/2" POLYPIPE WITH FLUSH CAPS AT EACH END.
  - 8 RUN TIME PER EACH DRIP VALVE WILL BE APPROXIMATELY 15 MINUTES PER DAY, TO BE ADJUSTED ACCORDING TO THE SEASON.
  - 9 IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

**KEYED NOTES**

1. 3/4" SANTA ANA TAN ROCK MULCH (5" DEPTH OVER FILTER FABRIC)
2. NO MULCH THIS AREA
3. PROPERTY LINE



**LEGEND**

SYMBOL	PLANT MATERIAL	SIZE	MATURE HT. AND SPREAD	WATER USAGE
<b>TREES</b>				
	SHADEMASTER HONEY LOCUST GLEDTISIA TRICANTHOS	2" CAL	40'/35'	LOW
	GOLDEN RAIN TREE KOELREUTERIA PANICULATA	2 1/2" CAL	20'/15'	MEDIUM
	DESERT WILLOW CHILOPSIS LINEARIS	15 GAL	20'/15'	LOW
	VITEX VITEX AGNUS-CASTUS	15 GAL	15'/15'	LOW
	PINUS PINE PINUS EDULIS	6"	25'/15'	LOW

**XERIC SHRUBS**

A	AGAVE AGAVE PARRI	5 GAL.	30" X 30"	LOW
B	ARP ROSEMARY ROSMARINUS OFFICINALIS "ARP"	5 GAL.	4' X 4'	MEDIUM
C	CHAMISA CHRYSOTHAMNUS NAUSEOSUS	5 GAL.	6' X 6'	LOW
D	DAWRP CHAMISA CHRYSOTHAMNUS NAUSEOSUS 'NANA'	3 GAL.	3' X 3'	LOW
E	APACHE PLUME FALLUGIA PARADOXQ	5 GAL.	6' X 6'	LOW
F	FERNBUSH CHAMAEBATIARIA MILLEFOLIUM	5 GAL.	6' X 6'	LOW+
G	LYDIA BROOM GENISTA LYDIA	3 GAL.	2' X 3'	LOW
L	ENGLISH LAVENDER LAVANDULA ANGUSTIFOLID	1GAL.	3' X 3'	MEDIUM
M	CATMINT NEPETA MUSSINI SYN FASSENI	1 GAL.	8" X 24"	MEDIUM
N	RUSSIAN SAGE PEROVSKIA ATRIPLICIFOLIA	5 GAL.	5' X 5'	MEDIUM
P	PRIMROSE OENOTHERA BERLANDIERI	3 GAL.	1' X 5'	LOW
R	RED YUCCA - 2 EACH HESPERALOE PARVIFLORA	5 GAL.	3' X 3'	MEDIUM
S	GREY SANTOLINA SANTOLINA CHAMAECYPARISSUS	3 GAL.	18" X 30"	LOW
Y	YARROW YARROW ACHILLEA FILIPENDULINA 'CORONATION GOLD'	3 GAL.	3' X 2'	LOW
	BOSTON IVY PARTHENOCISSUS TRICUSPIDATA	1 GAL.		MEDIUM

**GROUNDCOVERING**

	KENTUCKY BLUEGRASS SOD			HIGH
	ANNUAL/ PERENNIAL FLOWER BEDS			
	ROCK BOULDER 27 C.F. TO 36 C.F.			

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PALOMAS PLAZA

**LANDSCAPING PLAN FOR SUBDIVISION**

ALLISON ABRAHAM 1001 47-4105	REV. #	DATE	PROJECT # 05025
			DWN BY: MAM
			CHK BY: CAA
			DATE: 05/02/05
			<b>L101</b>
			7 OF 37

NAME: CDD/and DATE: MAY 19, 2005 TIME: 5:05 PM PLOT SCALE: 1" = 20'-0"

A1 MASTER SITE PLAN

1" = 20'  
 A101  
 GRAPHIC SCALE: 1"=20'-0"