

SITE DEVELOPMENT PLAN  
**SUNSHINE COUNTRY**  
**MOBILE HOME COURT - PHASE II**  
 ALBUQUERQUE, NEW MEXICO

PROJECT 1001012



VICINITY MAP N-10-Z

ZONING: SU-1 FOR MOBILE HOMES  
 LEGAL DESCRIPTION:  
 PHASE II- TRACT 2 SUNSHINE COUNTRY SUBDIVISION

**APPROVALS**

CASE NUMBER: **DRB-1001012**  
 Appl. # 01450-00000-00056

*[Signature]* 3/30/01  
 CITY PLANNER, ALBUQUERQUE PLANNING DEPT. DATE

*[Signature]* 3-20-01  
 TRAFFIC ENGINEER, TRANSPORTATION DIVISION DATE

*[Signature]* 3/14/01  
 DESIGN AND DEVELOPMENT, CMP Parks & Recreation Dept. DATE

*[Signature]* 3-14-01  
 PUBLIC WORKS, UTILITIES DIV. DATE

*[Signature]* 3/14/01  
 CITY ENGINEER, ENGINEERING DIV./AMAFCA DATE

REFERENCE CASES:  
 ZONING: Z 97-109  
 ANNEXATION: AX 97-19 (CITY COUNSEL ORD. 0-3)

OPEN SPACE ANALYSIS SUNSHINE COUNTRY MOBILE HOME PARK January 11, 2001			
<b>Total Site Area</b>			
Tract 1 (Phase I)	687,355 SF		
Tract 2 (Phase II)	280,792 SF		
<b>Total Site Area</b>		968,146 SF	
<b>Open Space Required</b>			
Phase I 127 lots @ 2400 SF/LOT	304,800 SF		
Phase II 49 lots @ 2400 SF/LOT	117,600 SF		
<b>Open Space Required</b>		422,400 SF	
<b>Deductions</b>			
<b>Phase I</b>			
10' Roadway Dedication	2,824 SF		
Streets	98,875 SF		
Homes (127 @ 14' x 70' avg.)	124,460 SF		
Driveways (127 @ 18' x 34' avg.)	77,724 SF		
Ponding Area	23,669 SF		
Community Building	1,468 SF		
		327,552 SF	
<b>Phase II</b>			
10' Roadway Dedication	2,204 SF		
Streets	50,232 SF		
Homes (49 @ 14'x70' avg.)	48,020 SF		
Driveways (49 @ 18' x 34' avg.)	29,988 SF		
		130,444 SF	
<b>EXCESS OPEN SPACE PROVIDED ON-SITE</b>		87,750 SF	
<b>PER LOT ANALYSIS</b>			
TOTAL LOT	3,600 SF		
MAXIMUM SIZE HOME (16X90)	1,440 SF		
DRIVEWAY (18 x 34)	612 SF		
<b>REMAINING OPEN SPACE</b>		1,548 SF	
<b>OPEN SPACE ANALYSIS SUNSHINE COUNTRY MOBILE HOME PARK - PHASE II January 11, 2001</b>			
<b>Total Site Area</b>			
Tract 2 (Phase II)	280,792 SF		
<b>Total Site Area</b>		280,792 SF	
<b>Open Space Required</b>			
Phase II 49 lots @ 2400 SF/LOT	117,600 SF		
<b>Open Space Required</b>		117,600 SF	
<b>Deductions</b>			
<b>Phase II</b>			
10' Roadway Dedication	2,204 SF		
Streets	50,232 SF		
Homes (49 @ 14'x70' avg.)	48,020 SF		
Driveways (49 @ 18' x 34' avg.)	29,988 SF		
		130,444 SF	
<b>EXCESS OPEN SPACE PROVIDED ON-SITE</b>		32,748 SF	
<b>PER LOT ANALYSIS</b>			
TOTAL ON-SITE- REQUIRED - LOT 49	3,600 SF		
MAXIMUM SIZE HOME (28' x 50' - 4 BDR)	1,400 SF		
DRIVEWAY (18 x 34)	612 SF		
<b>REMAINING OPEN SPACE</b>		1,588 SF	

**INDEX OF DRAWINGS**

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	SITE DEVELOPMENT PLAN
3	PHASE I TYPICAL ROADWAY SECTIONS/LOT LAYOUTS
4	UTILITY PLAN
5-6	GRADING PLANS
7	GEOMETRY PLAN
8	LANDSCAPING PLAN

**NOTES**

- ALL LANDSCAPING, INCLUDING THAT LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY, SHALL BE INSTALLED AND MAINTAINED BY THE OWNER OF THE PARK.
- LANDSCAPING SHALL BE WATERED BY AUTOMATIC SPRINKLER SYSTEMS. MAINTENANCE AND OPERATION OF THE SPRINKLER SYSTEMS SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PARK.
- EACH MOBILE HOME SHALL BE SKIRTED WITH MATERIALS COMPATIBLE WITH THE SIDING ON THE HOME AND AS APPROVED BY THE OWNER OF THE PARK.
- EACH LOT SHALL HAVE AN DETACHED STORAGE BUILDING, INSTALLED BY THE OWNER. MINIMUM BUILDING SIZE SHALL BY 6' X 6'.
- EACH LOT SHALL HAVE A LANDSCAPING AREA, CONTAINING XERASCAPE PLANTINGS, INSTALLED AND MAINTAINED BY THE OWNER OF THE PARK.
- ALL INFRASTRUCTURE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1988 EDITION AND AS CURRENTLY AMENDED.
- A 6' TALL CMU FENCE WILL BE INSTALLED AT ALL BOUNDARY LINES OF THE PARK EXCEPT ADJACENT TO BLAKE ROAD S.W. WHERE A 4' TALL CMU FENCE WILL BE INSTALLED.

**LARRY READ & ASSOCIATES**  
 Civil Engineers  
 #194 8100-M4 Wyoming Blvd. NE  
 Albuquerque, New Mexico 87113  
 (505) 237-8421

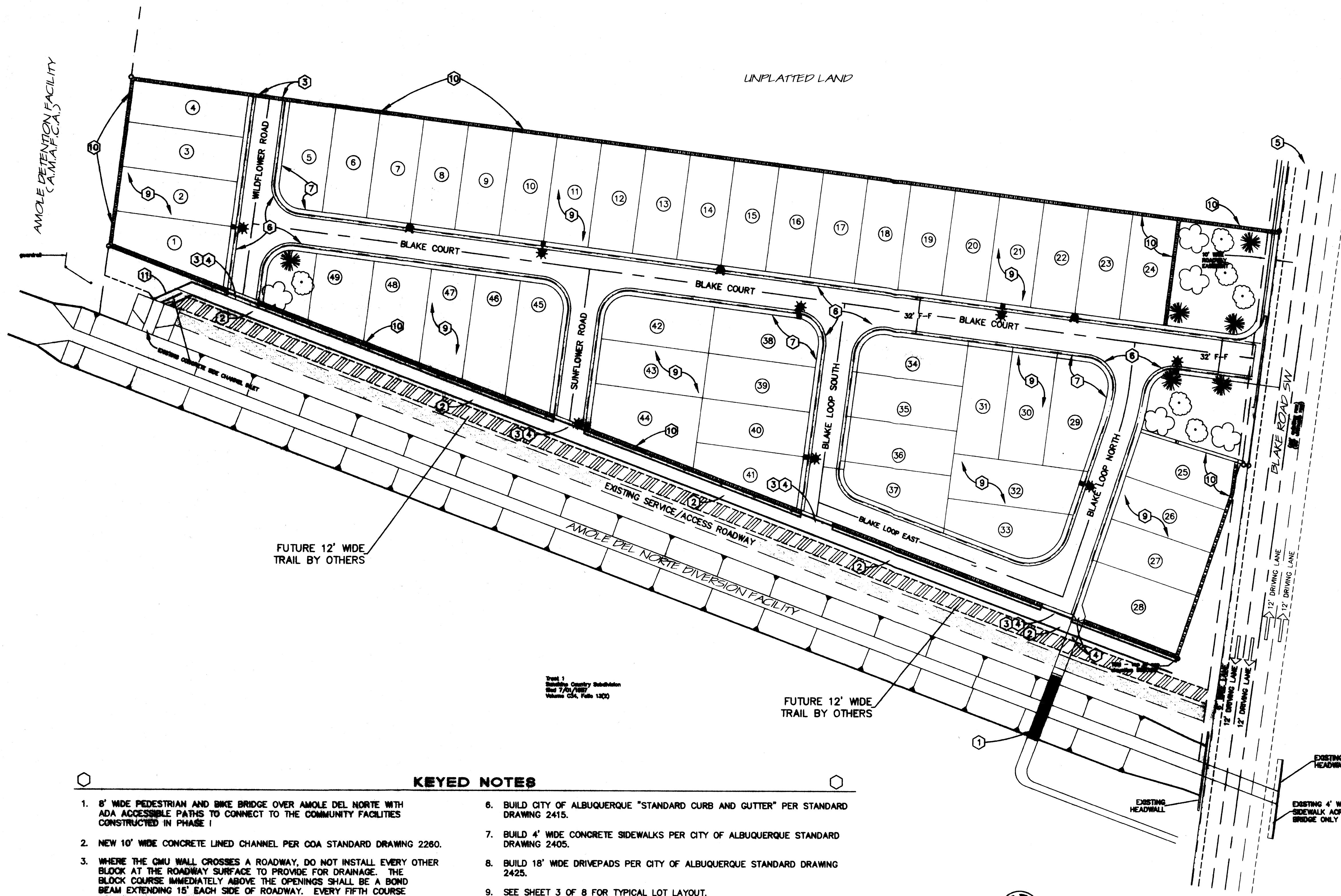
REVISION	DATE	DESCRIPTION

FILE NAME: TITLE 01.09.01 SHEET 1 of 8



# SITE DEVELOPMENT PLAN

**SUNSHINE COUNTRY MOBILE HOME COURT  
PHASE II  
4000 BLAKE ROAD S.W.  
BERNALILLO COUNTY, NEW MEXICO  
TRACT 2, SUNSHINE COUNTRY SUBDIVISION (8.4461 ACRES)  
BERNALILLO COUNTY, NEW MEXICO**



## LEGEND

- LANDSCAPED OPEN SPACE
- AREA LIGHT, PARKMASTER POST TOP MOUNT, (MODEL P-10900, 109W, H. P. SECTION ON 14" ROUND STEEL POLE)
- PROPERTY LINE
- 6' TALL CMU FENCE
- FIRE HYDRANT
- LOT NUMBER
- NEW CURB AND GUTTER AND 4' WIDE SIDEWALK
- DRAINAGE CHANNEL SLOPE

## NOTES

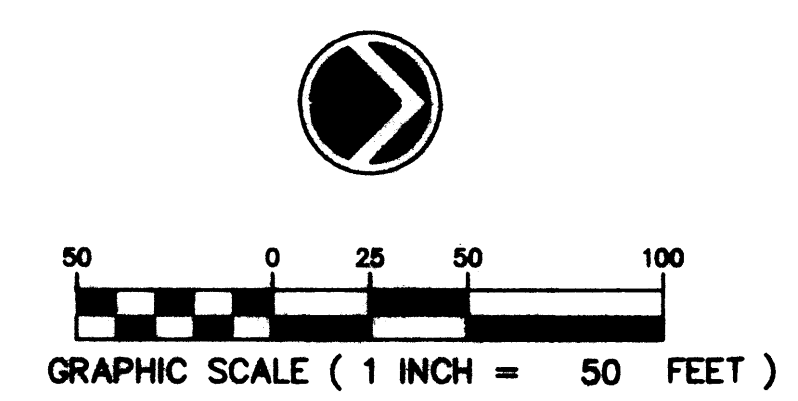
1. ALL LANDSCAPING SHALL BE INSTALLED BY THE OWNER OF THE PARK AND WILL BE MAINTAINED BY THE OWNER.
2. LANDSCAPING SHALL BE WATERED BY AUTOMATIC SPRINKLER SYSTEMS. INSTALLATION AND OPERATION OF THE SPRINKLER SYSTEMS SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PARK.
3. EACH MOBILE HOME SHALL BE SKIRTED WITH MATERIALS COMPATIBLE WITH THE SKIRTS ON THE HOME AND AS APPROVED BY THE OWNER OF THE PARK.
4. EACH LOT SHALL HAVE AN DETACHED STORAGE BUILDING, INSTALLED BY THE OWNER. MINIMUM BUILDING SIZE SHALL BE 8' X 8'.
5. EACH LOT SHALL HAVE A LANDSCAPING AREA, CONTAINING XERISCAPE PLANTINGS, INSTALLED BY THE OWNER OF THE PARK.
6. DISTURBED AREAS SHALL BE SEEDED WITH NATIVE GRASS AND NATIVE SHRUBS FROM CONTAINER GROWN STOCK INSTALLED AND MAINTAINED BY THE OWNER OF THE PARK.
7. ALL INFRASTRUCTURE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1988 EDITION AND AS CURRENTLY AMENDED.
8. A 6' TALL CMU FENCE WILL BE INSTALLED AT ALL BOUNDARY LINES OF THE PARK ADJACENT TO BLAKE ROAD S.W. WHERE A 4' TALL CMU FENCE WILL BE INSTALLED.
9. ALL INTERNAL ROADWAYS ARE 28' FLOWLINE TO FLOWLINE UNLESS OTHERWISE NOTED.

Notes:  
1) Benchmark: City of Albuquerque brass cap NM 45-7A, located in the northwest quadrant of the intersection of Blake Road & Coors Road SW, elevation 4803.48'

BOUNDARY AND TOPOGRAPHY PROVIDED BY:  
Ronald A. Forstbauer Surveying Company  
1100 Alvarado NE, Suite C  
Albuquerque, New Mexico 87110  
(505)-268-2112

## KEYED NOTES

1. 8' WIDE PEDESTRIAN AND BIKE BRIDGE OVER AMOLE DEL NORTE WITH ADA ACCESSIBLE PATHS TO CONNECT TO THE COMMUNITY FACILITIES CONSTRUCTED IN PHASE I
2. NEW 10' WIDE CONCRETE LINED CHANNEL PER COA STANDARD DRAWING 2260.
3. WHERE THE CMU WALL CROSSES A ROADWAY, DO NOT INSTALL EVERY OTHER BLOCK AT THE ROADWAY SURFACE TO PROVIDE FOR DRAINAGE. THE BLOCK COURSE IMMEDIATELY ABOVE THE OPENINGS SHALL BE A BOND BEAM EXTENDING 15' EACH SIDE OF ROADWAY. EVERY FIFTH COURSE ABOVE THE INITIAL BOND BEAM SHALL ALSO BE A BOND BEAM EXTENDING THE SAME DISTANCE TO EACH SIDE.
4. BUILD 28' WIDE CONCRETE RUNDOWN PER COA STANDARD DRAWING 2260.
5. CONSTRUCT SOUTH HALF OF ULTIMATE BLAKE ROAD SECTION WITH 6' WIDE BIKE LANE AND 8' WIDE SIDEWALK AS SHOWN ON SHEET 3 OF 8.
6. BUILD CITY OF ALBUQUERQUE "STANDARD CURB AND GUTTER" PER STANDARD DRAWING 2415.
7. BUILD 4' WIDE CONCRETE SIDEWALKS PER CITY OF ALBUQUERQUE STANDARD DRAWING 2405.
8. BUILD 18' WIDE DRIVEPADS PER CITY OF ALBUQUERQUE STANDARD DRAWING 2425.
9. SEE SHEET 3 OF 8 FOR TYPICAL LOT LAYOUT.
10. BUILD 6' HIGH CMU FENCE WITH OUTSIDE FACE ON PROPERTY LINE. BLOCK AND FINISH SHALL BE SELECTED BY THE OWNER AND SHALL BE COMPATIBLE WITH THE SURROUNDING FENCES AND NATURAL COLOR SCHEME.
11. FUTURE DOUBLE BARREL 2' X 5' CONCRETE BOX CULVERT OR FLAT SLAB BRIDGE FOR TRAIL CROSSING.
12. PATH SHALL SLOPE 1:12 OR FLATTER THROUGH TO CHANNEL BOTTOM.

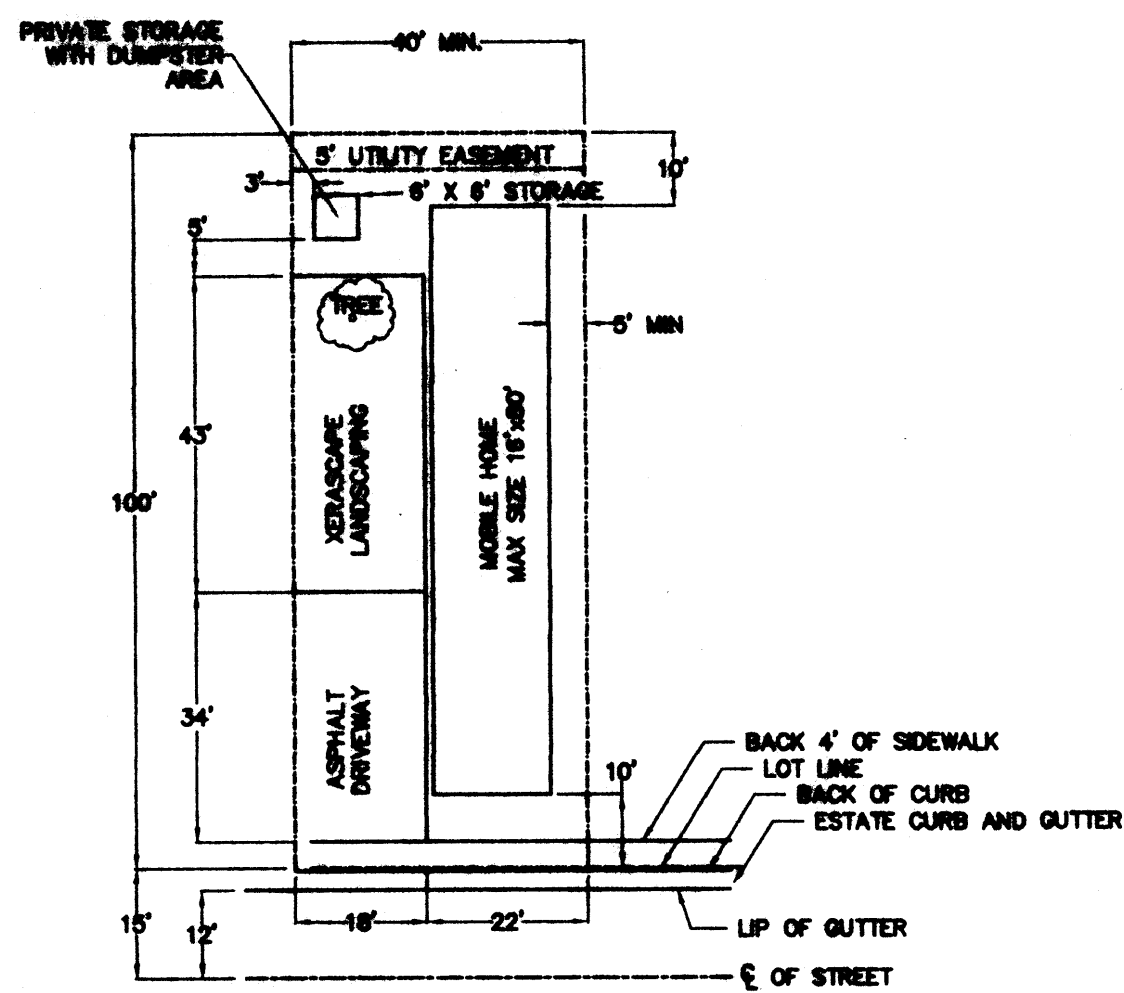


**LARRY READ & ASSOCIATES**  
Civil Engineers  
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Albuquerque, New Mexico 87113  
(505) 237-8421

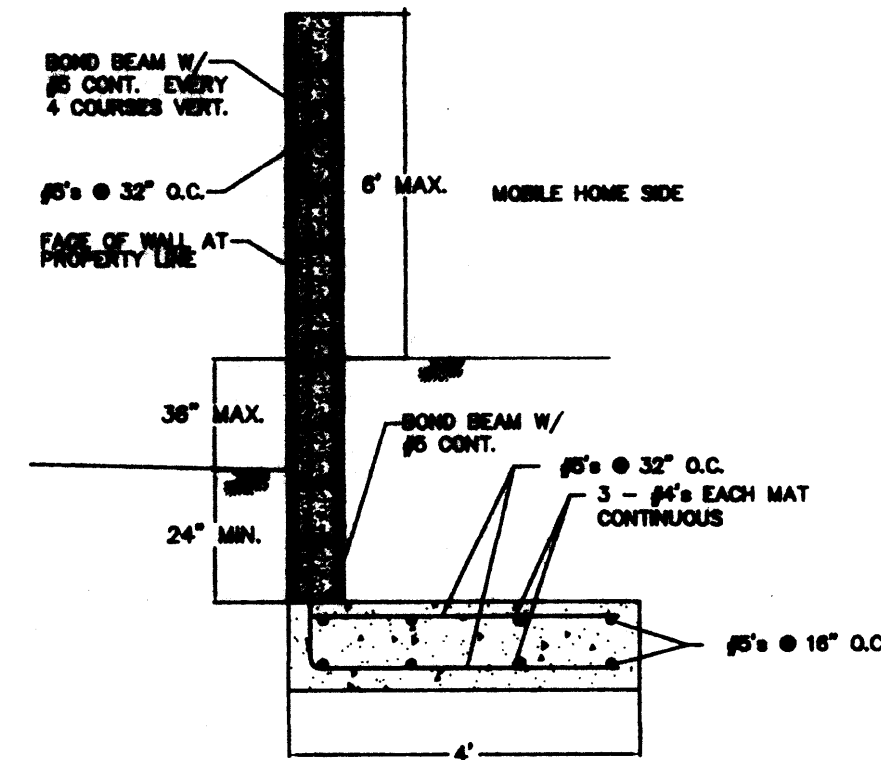


REVISION	DATE	DESCRIPTION

FILE NAME: SITE-00N 4/1/97 **SHEET 2 OF 8**



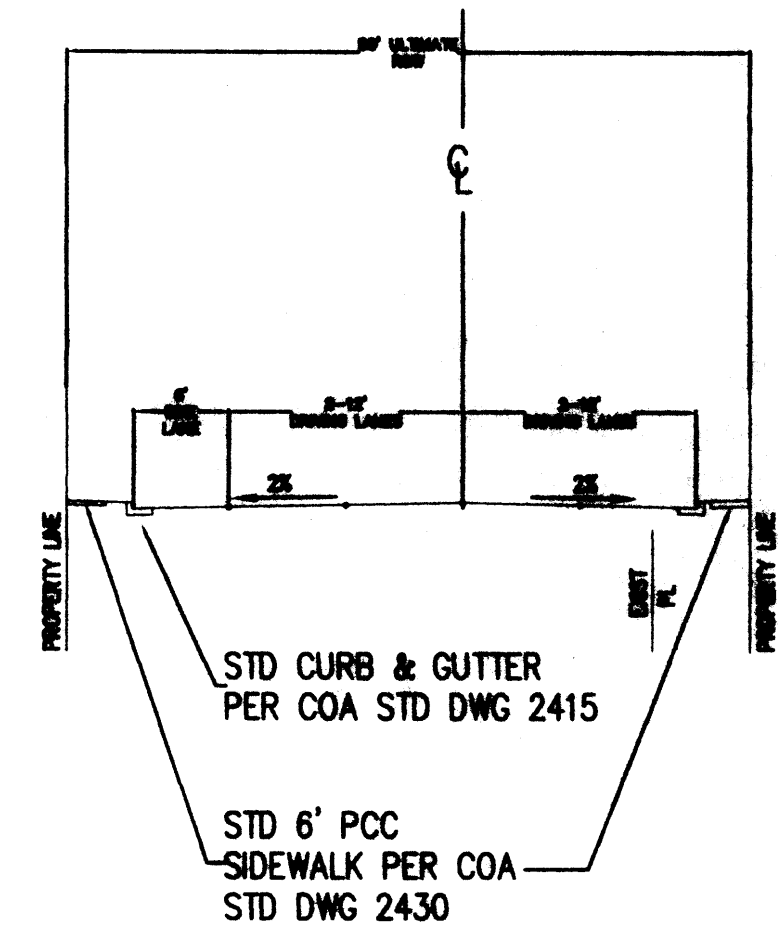
DETAIL - TYPICAL LOT CONFIGURATION



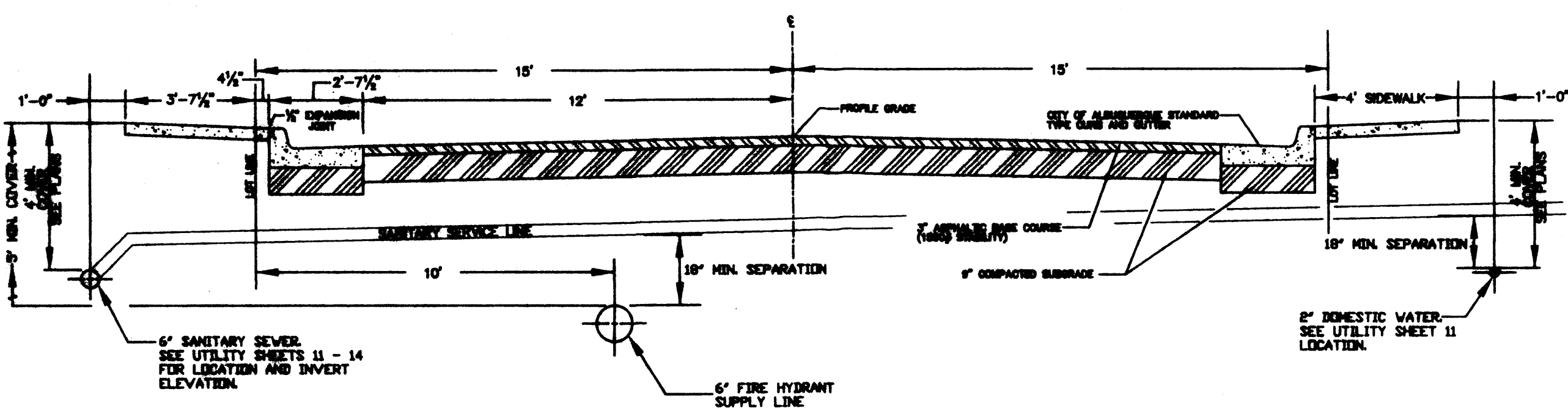
DETAIL - SITE WALLS

CONSTRUCTION NOTES:

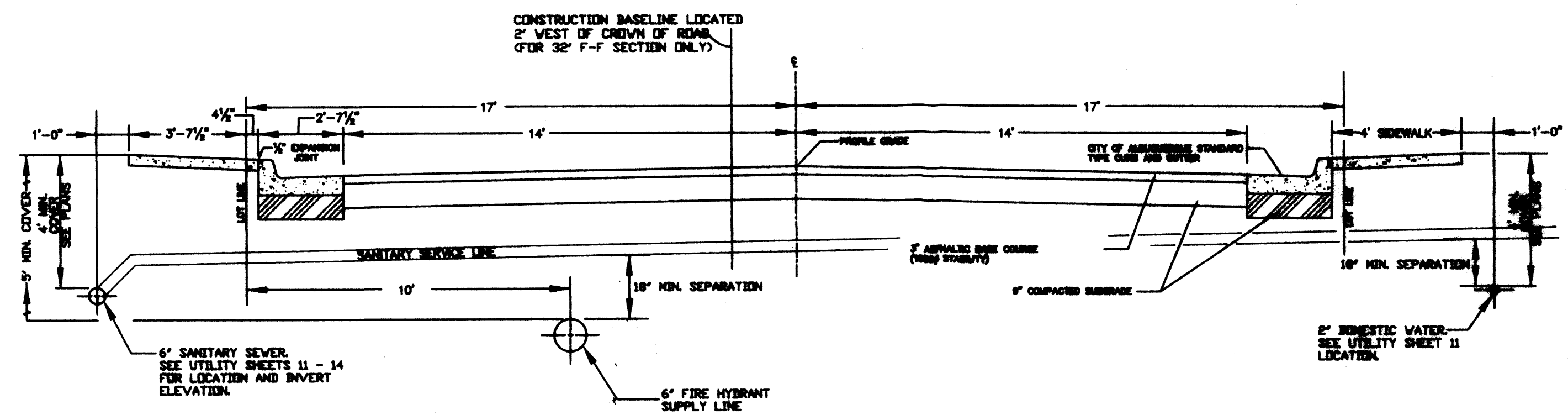
1. ALL MASONRY UNITS SHALL BE 8" X 8" X 16" UNITS AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI.
2. REBAR SHALL BE CENTERED IN THE CELLS AND ALL CELLS FILLED TO THE TOP OF WALL WITH CONCRETE HAVING A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI.
3. THE CONCRETE FOOTING SHALL BE CAST IN PLACE CONCRETE WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI.
4. ALL SOIL AROUND THE FOOTING (ABOVE, BELOW, AND IN FRONT OF) SHALL BE RECOMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR AFTER CONCRETE REACHES 2500 PSI COMPRESSIVE STRENGTH.
5. ALL SURFACES BELOW GROUND LEVEL SHALL BE WATERPROOFED TO PREVENT EFFLORESCENCE.
6. THE EXPOSED PORTIONS OF THE WALL SHALL RECEIVE SURFACE TREATMENT AS SPECIFIED BY THE OWNER.
7. SEEP HOLES SHALL BE INSTALLED AT 10' ON CENTERS. EACH SEEP HOLE SHALL CONSIST OF A 2" PVC PIPE THROUGH THE WALL AT THE LOW GROUND LEVEL, A 1" POCKET OF GRAVEL BEHIND THE PVC PIPE, AND NON-WOVEN 4 OZ FILTER FABRIC COMPLETELY SURROUNDING THE GRAVEL POCKET.
8. ALL REBAR SHALL BE GRADE 60 AND SHALL BE FREE OF GREASE, DIRT, AND SURFACE RUST. REBAR SHALL BE INSTALLED WITH 3" OF CONCRETE COVER. SUPPORTS SHALL BE USED TO SUPPORT THE BARS 3" OFF THE SOIL OR UPPER FACE OF THE FOOTING.



BLAKE ROAD, S.W.  
ULTIMATE TYPICAL SECTION



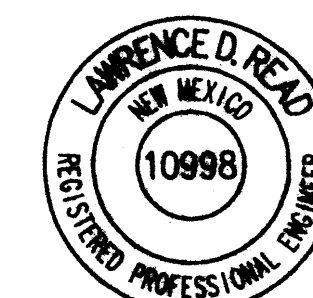
DETAIL - TYPICAL STREET SECTION



DETAIL - STREET SECTION (32' F-F) - USED AT ENTRANCE TO BLAKE LOOP NORTH ONLY

SITE DETAILS  
SUNSHINE COUNTRY MOBILE HOME COURT  
PHASE II  
4000 BLAKE ROAD S.W.  
BERNALILLO COUNTY, NEW MEXICO

LARRY READ & ASSOCIATES  
Civil Engineers  
#194 8100-M4 Wyoming Blvd. NE  
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REVISION	DATE	DESCRIPTION

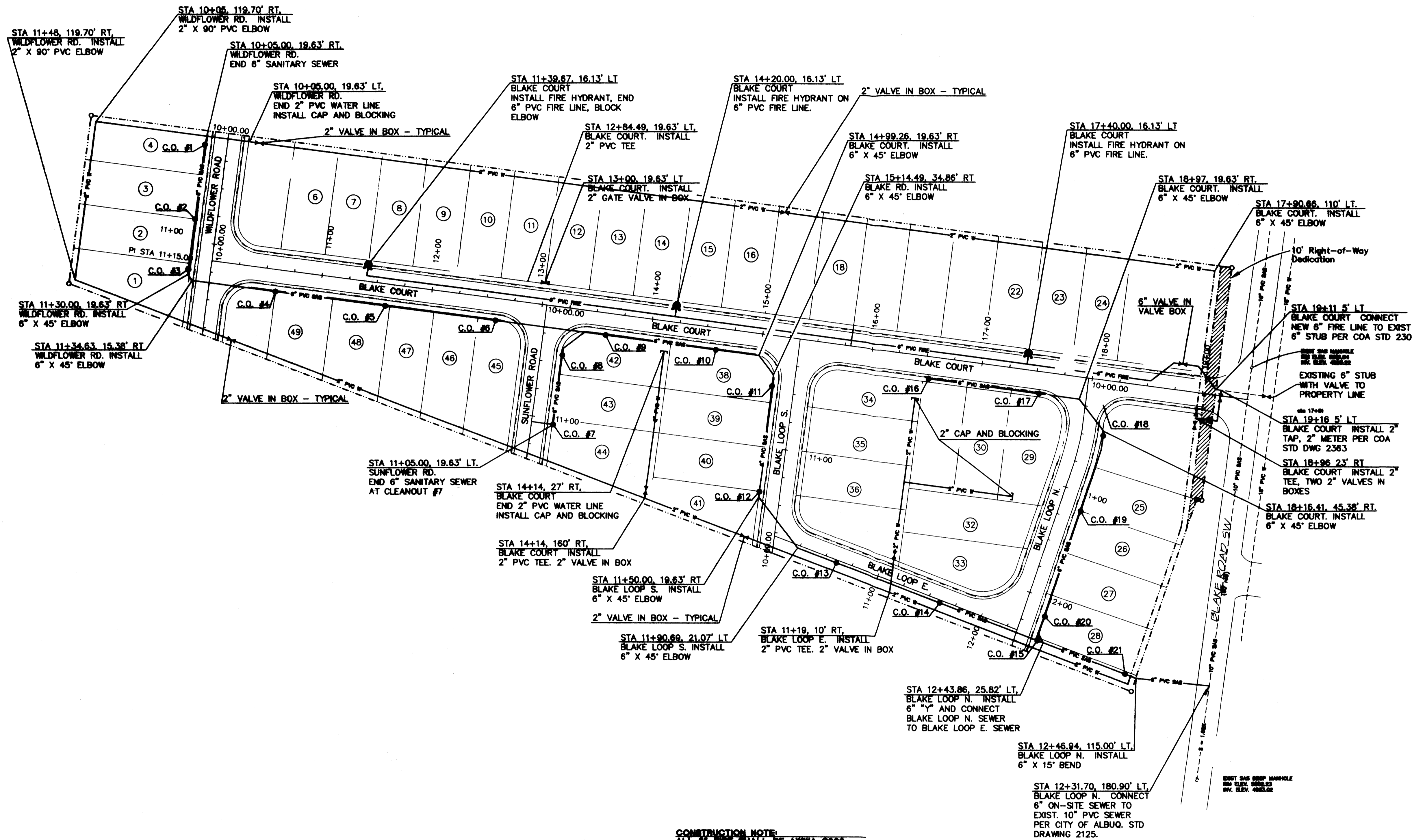
FILE NAME: SITE-DET 11/22/06



# UTILITY PLAN

**SUNSHINE COUNTRY MOBILE HOME COURT  
PHASE II  
4000 BLAKE ROAD S.W.  
ALBUQUERQUE, NEW MEXICO**

TRACT 2, SUNSHINE COUNTRY SUBDIVISION (6.4401 ACRES)  
BERNALILLO COUNTY, NEW MEXICO



**CONSTRUCTION NOTE:**  
ALL 6" PIPE SHALL BE AWWA-C600  
PI CL. 250 OR BETTER AND ALL  
JOINTS SHALL BE RESTRAINED OR ALL  
FITTINGS BLOCKED PER COA STD 2820

## LEGEND

- NEW WATER LINE AND VALVE IN VALVE BOX
- NEW SANITARY SEWER WITH CLEANOUT (WITH CAP AND CONCRETE COLLAR INSTALLED AT 100' MAX. SPACING)
- PROPERTY LINE
- FIRE HYDRANT
- LOT NUMBER
- NEW CURB AND GUTTER AND 4' WIDE SIDEWALK
- EXISTING SANITARY SEWER AND MANHOLE

## NOTES

1. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS, LATEST EDITION.
2. ALL FITTING, INCLUDING BENDS, TEES, CAPS ON THE 6" FIRE LINE, WATER METER AND WATER SUPPLY, SHALL BE BLOCKED WITH CONCRETE THROUST BLOCKS PER COA STANDARD DRAWING 2320.
3. CONTRACTOR SHALL INSURE THAT THE WATER METER AND BOX MATCH THE CITY OF ALBUQUERQUE STANDARD CONFIGURATION AND MANUFACTURE.

**LARRY READ & ASSOCIATES**  
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REVISION	DATE	DESCRIPTION

FILE NAME: UTILPLAN 3/23/98 **SHEET 4 OF 5**

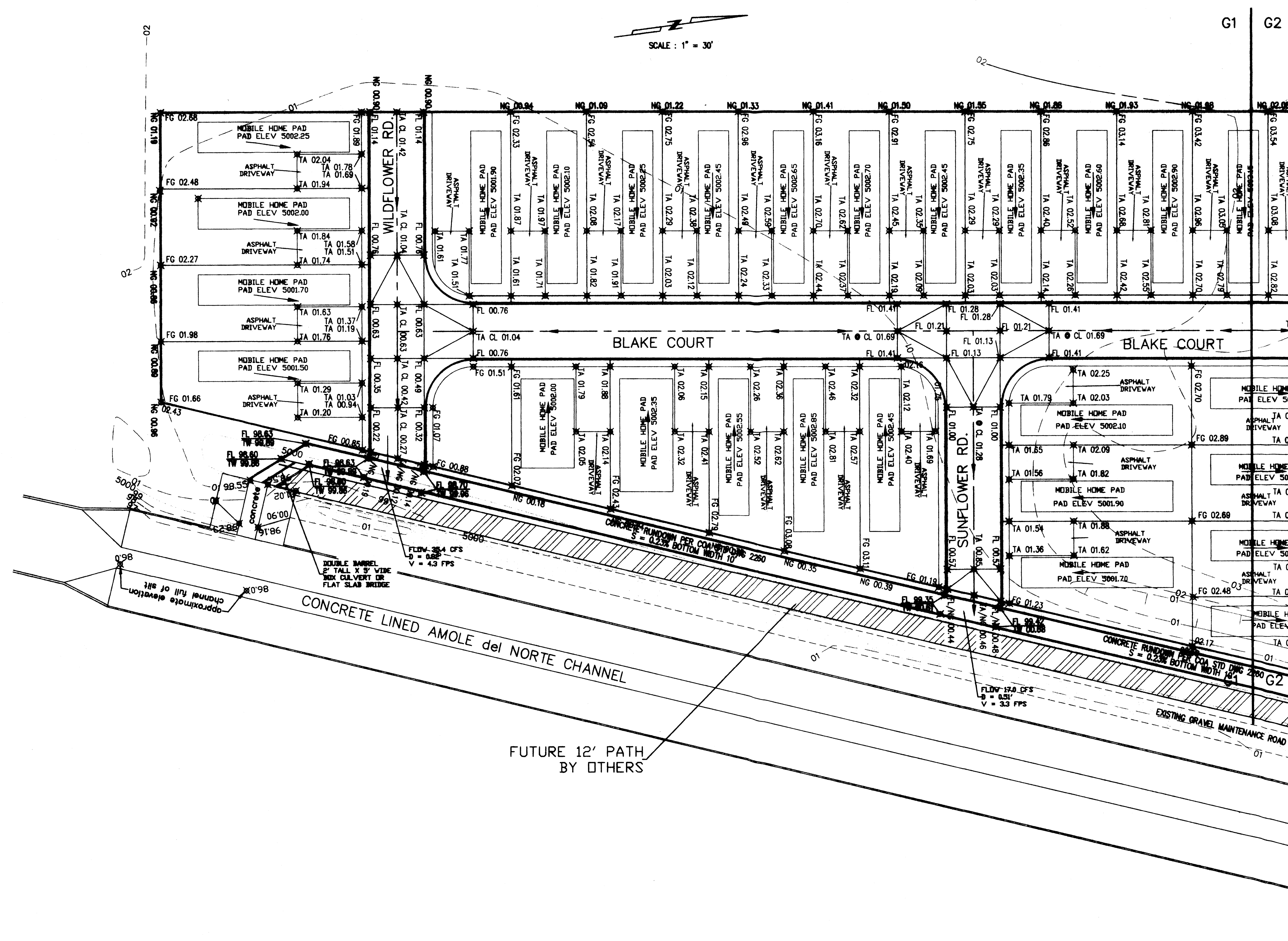


# LOT GRADING PLAN SHEET G1

**SUNSHINE COUNTRY MOBILE HOME COURT  
PHASE II  
4000 BLAKE ROAD S.W.  
BERNALILLO COUNTY, NEW MEXICO**  
TRACT 2, SUNSHINE COUNTRY SUBDIVISION 15-4501 45000  
BERNALILLO COUNTY, NEW MEXICO

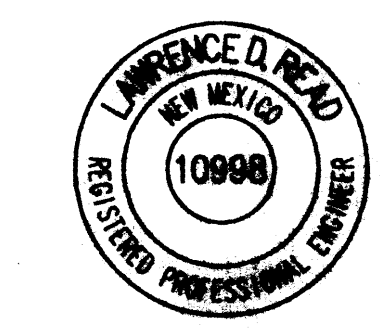
- Notes:
- 1) Benchmark: City of Albuquerque brass cap NM 45-7A, located in the northwest quadrant of the intersection of Blake Road & Coors Road SW. elevation 4953.49
  - 2) Temporary Benchmark: Set on top of the cap stamped LS 4100 at the northeast property corner. Elevation 5000.95.

- NOTES:
- ALL CURB AND GUTTER SHALL BE CITY OF ALBUQUERQUE STANDARD CURB AND GUTTER PER STANDARD DETAIL 2415.
  - TOP OF CURB ELEVATION SHALL BE 8" (0.67') ABOVE THE FLOWLINE ELEVATION SHOWN UNLESS OTHERWISE SHOWN.
  - FOR CURB RETURN QUARTER POINTS AND STREET PROFILES SEE PLAN AND PROFILE SHEETS 8, 9, AND 10 OF 16.



VININITY MAP N-10-Z

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REVISION	DATE	DESCRIPTION

FILE NAME: G1 8/1/88



# LOT GRADING PLAN SHEET Q2

SUNSHINE COUNTRY MOBILE HOME COURT  
PHASE II  
4000 BLAKE ROAD S.W.  
BERNALILLO COUNTY, NEW MEXICO  
TRACT 2, SUNSHINE COUNTRY SUBDIVISION (S.4481 ACRES)  
BERNALILLO COUNTY, NEW MEXICO

- Notes:
- Benchmark: City of Albuquerque brass cap #45-7A, located in the northwest quadrant of the intersection of Blake Road & Coors Road SW. elevation 4853.48
  - Temporary Benchmark: Set on top of the cap stamped LS 4100 at the northeast property corner. Elevation 5000.95.

- NOTES:
- ALL CURB AND GUTTER SHALL BE CITY OF ALBUQUERQUE STANDARD SURB AND GUTTER PER STANDARD DETAIL 2415.
  - TOP OF CURB ELEVATION SHALL BE 8" (0.67') ABOVE THE FLOWLINE ELEVATION SHOWN UNLESS OTHERWISE SHOWN.
  - FOR CURB RETURN QUARTER POINTS AND STREET PROFILES SEE PLAN AND PROFILE SHEETS 8, 9, AND 10 OF 16.

(C1) CURB RETURN  
STA. 9+83.81, 34.00' RT.  
PT. FL ELEV.

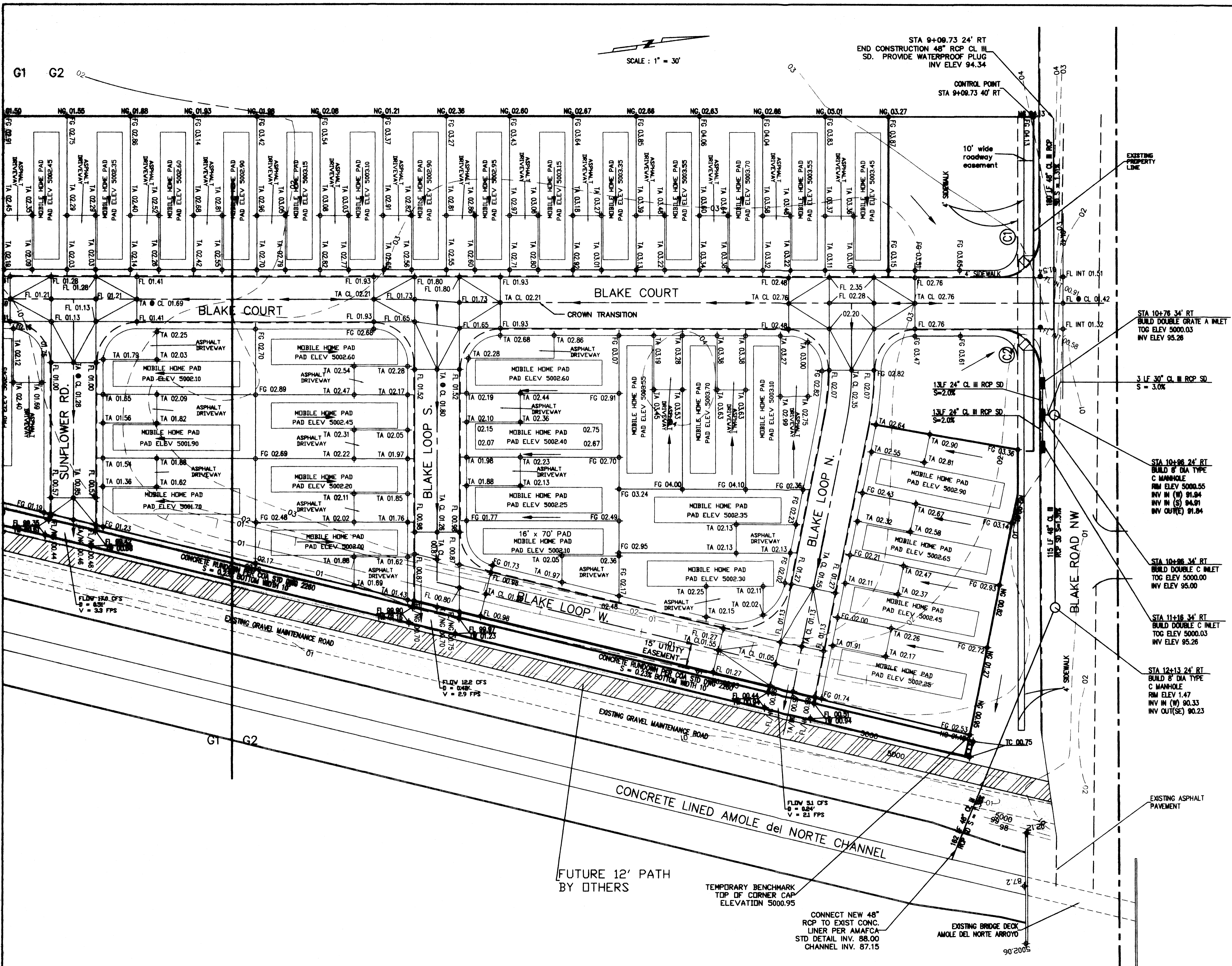
RET.	FL ELEV.	B.C. CURVE DATA
1	01.43	$\Delta = 90^{\circ}09'51"$
2	01.53	$R = 25.00'$
3	01.75	$T = 25.07'$
RET.	01.78	$L = 39.34'$

CURB RETURN  
STA. 10+08.56, 59.00' RT.

(C2) CURB RETURN  
STA. 10+40.56, 34.00' RT.  
PT. FL ELEV.

RET.	FL ELEV.	B.C. CURVE DATA
1	01.29	$\Delta = 89^{\circ}50'09"$
2	01.00	$R = 25.00'$
3	00.71	$T = 24.93'$
RET.	00.41	$L = 39.20'$

CURB RETURN  
STA. 10+67.21, 59.00' RT.



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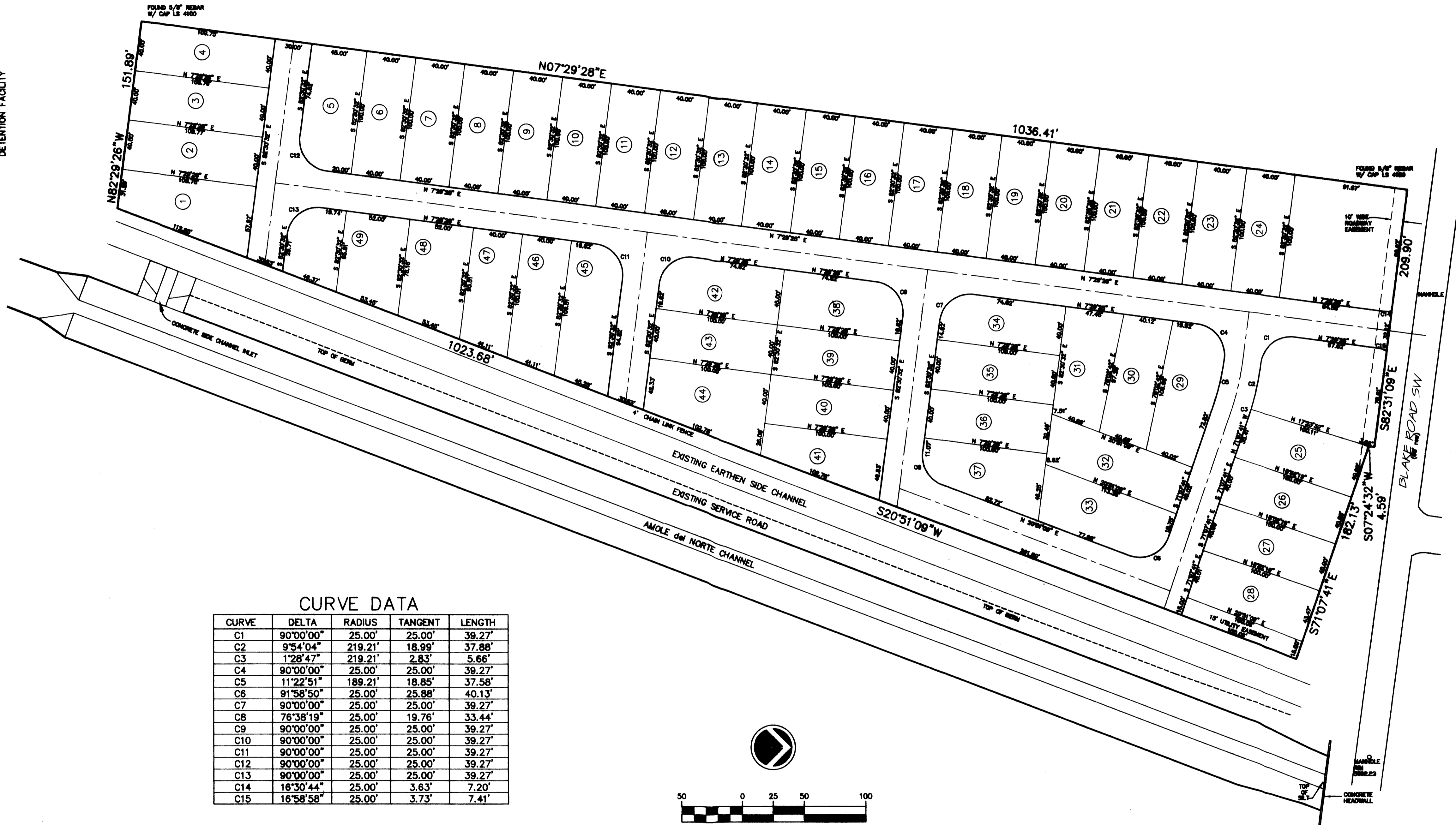


REVISION	DATE	DESCRIPTION

FILE NAME: Q2 1/22/87

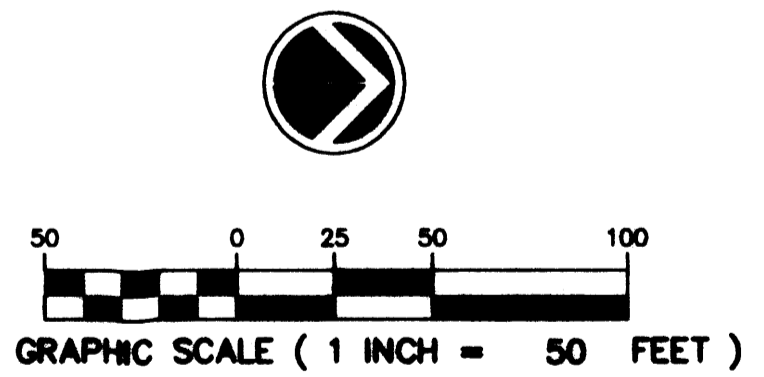


EXISTING AMOLE  
STORMWATER  
DETENTION FACILITY



CURVE DATA

CURVE	DELTA	RADIUS	TANGENT	LENGTH
C1	90°00'00"	25.00'	25.00'	39.27'
C2	9°54'04"	219.21'	18.99'	37.88'
C3	1°28'47"	219.21'	2.83'	5.66'
C4	90°00'00"	25.00'	25.00'	39.27'
C5	11°22'51"	189.21'	18.85'	37.58'
C6	91°58'50"	25.00'	25.88'	40.13'
C7	90°00'00"	25.00'	25.00'	39.27'
C8	76°38'19"	25.00'	19.76'	33.44'
C9	90°00'00"	25.00'	25.00'	39.27'
C10	90°00'00"	25.00'	25.00'	39.27'
C11	90°00'00"	25.00'	25.00'	39.27'
C12	90°00'00"	25.00'	25.00'	39.27'
C13	90°00'00"	25.00'	25.00'	39.27'
C14	18°30'44"	25.00'	3.63'	7.20'
C15	18°58'58"	25.00'	3.73'	7.41'



Notes:  
 1) Benchmark: City of Albuquerque brass cap NM 45-7A, located in the northwest quadrant of the intersection of Blake Road & Coors Road SW, elevation 4953.49  
 2) Temporary Benchmark: Set on top of the cap stamped LS 4100 at the northeast property corner. Elevation 5000.95.  
 BOUNDARY AND TOPOGRAPHY PROVIDED BY:  
 Ronald A. Forstbauer Surveying Company  
 1100 Alvarado NE, Suite C  
 Albuquerque, New Mexico 87110  
 (505)-268-2112

SITE GEOMETRY SHEET  
 SUNSHINE COUNTRY MOBILE HOME COURT  
 PHASE II

LARRY READ & ASSOCIATES  
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 Albuquerque, New Mexico 87113  
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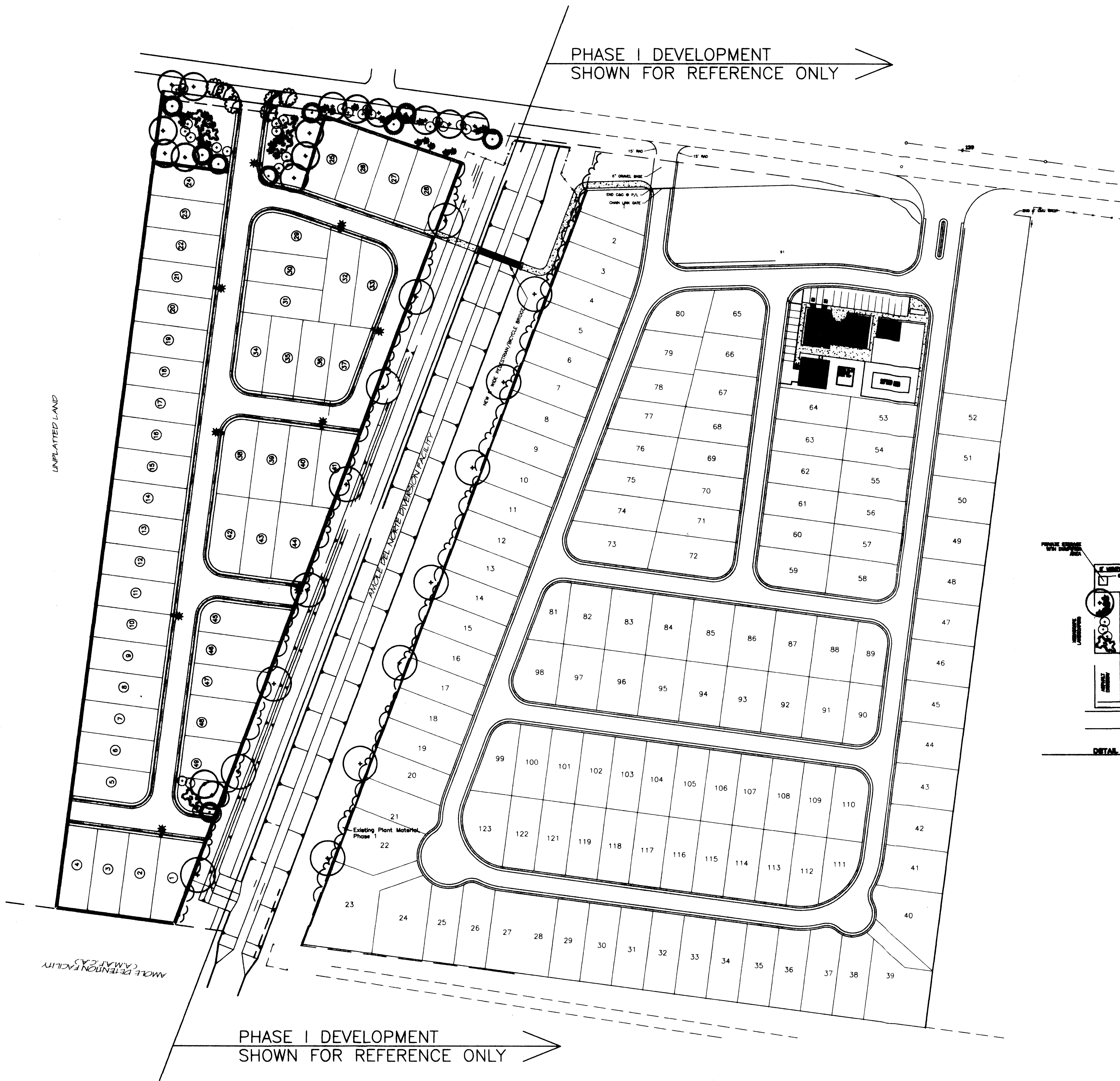


REVISION	DATE	DESCRIPTION

FILE NAME: TGEOM 1/26/97 **SHEET 7 of 8**



PHASE I DEVELOPMENT  
SHOWN FOR REFERENCE ONLY →

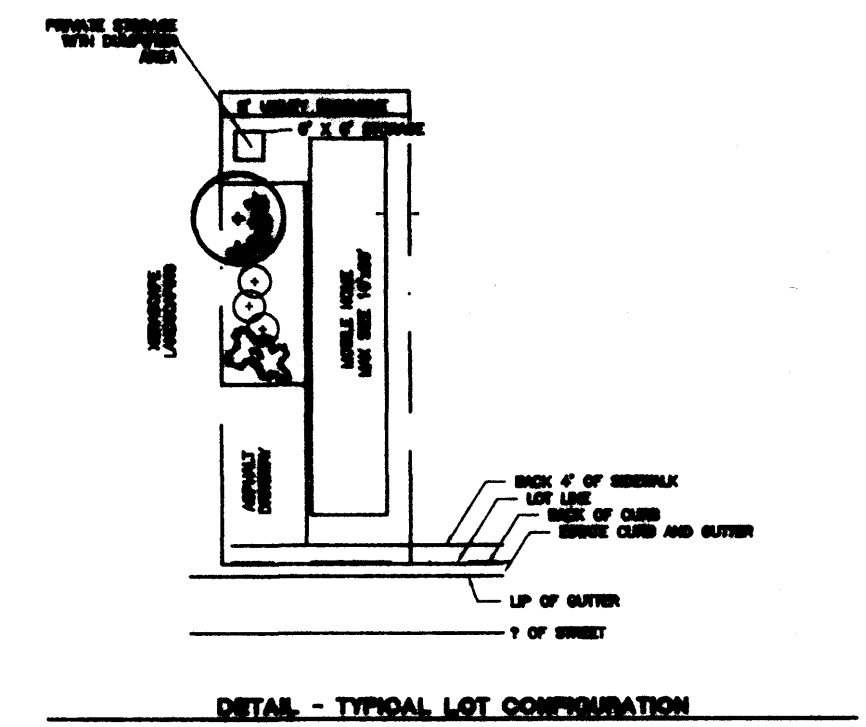


PHASE I DEVELOPMENT  
SHOWN FOR REFERENCE ONLY →

**Landscape Legend**

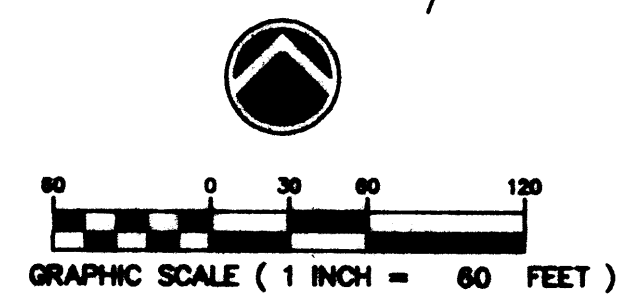
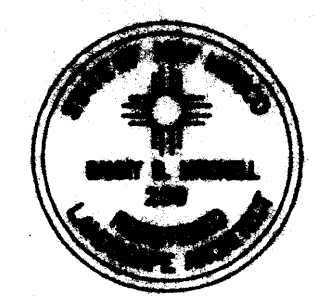
Size	Common Name	Quantity
2 - 2 1/2" cal	Cottonwood	18
2 - 2 1/2" cal	Honeylocust, Oak, Ash	18
15 Gal	Austrian Pine	8
15 Gal	Aspen, or Pinon Pine	7
15 Gal	Purpleplum, Flowering Crabapple	6
5 Gal	Groundcover Juniper	30
5 Gal	Native Shrubs Chamae, Four-wing Saltbush, Apache Plume Sagebrush, Fambush, Marials	27
1 Gal	Virginia Creeper	10' O.C.

Note: All ponding areas shall be seeded with a native seed grass and shrub mix.  
 Note: All landscape beds shall be planted with shrubs to achieve 75% live ground cover.  
 Note: All landscape beds shall be mulched with 2-3" of landscape gravel over filter fabric.



**Landscape Notes**

Landscape Maintenance and Irrigation system maintenance shall be the responsibility of the owner.  
 All Landscaping shall be watered by a complete underground irrigation system operated by automatic timer. Bubblers to trees and (2) drip emitters per shrub. Point of Connection for Irrigation system is unknown at current time and will be coordinated in the field.  
 It is the intent of this plan to comply with the City of Albuquerque, water conservation and waste water ordinance.  
 All landscape beds shall be planted so to achieve 75% live ground cover at maturity.  
 Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the property owner.



Sunshine Country Mobile Home Park  
Phase 2  
Landscape Plan

Desert Skies  
Landscape Architects and Contractors  
520 Phoenix Av. NW  
Albuquerque, NM 87107  
Phone and Fax 505 342-0306  
email: dannym@lobo.net