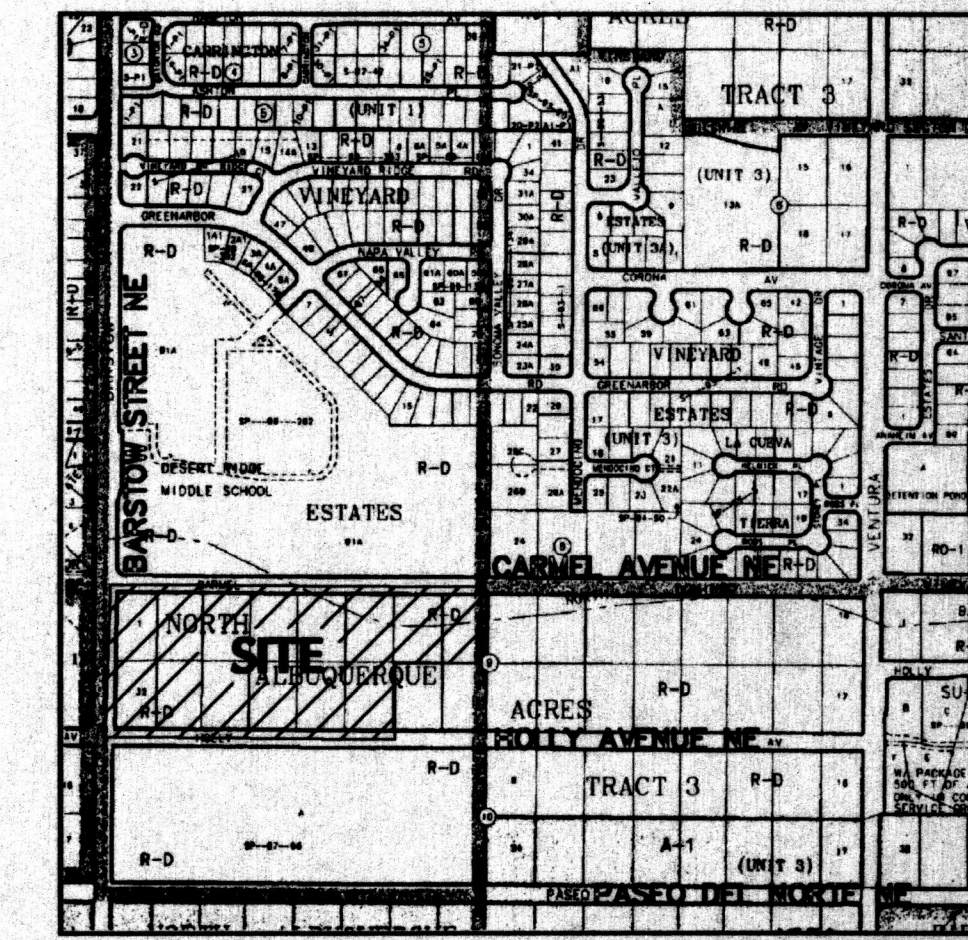
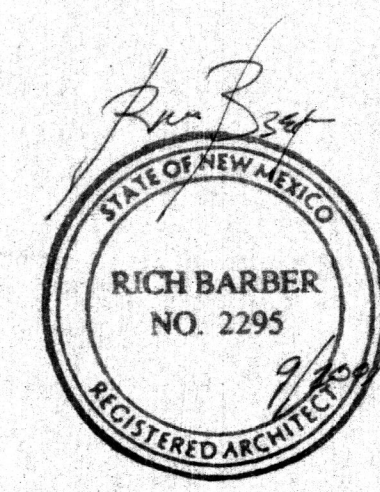


SHEET INDEX:

- A1 SITE PLAN
- A2 SITE DETAILS
- A3 BUILDINGS TYPE I, II & III EXTERIOR ELEVATIONS
- A4 REC. BUILDING EXTERIOR ELEVATIONS
- A5 GARAGE BUILDING EXTERIOR ELEVATIONS
- G1 CONCEPTUAL DRAINAGE PLAN, CALCULATIONS, VICINITY MAP, F.I.R.M., AND OFF SITE BASIN MAP
- G2 CONCEPTUAL GRADING PLAN
- NF.1 CONCEPTUAL INFRASTRUCTURE AND PRIVATE UTILITY SITE PLAN
- L1 LANDSCAPE PLAN



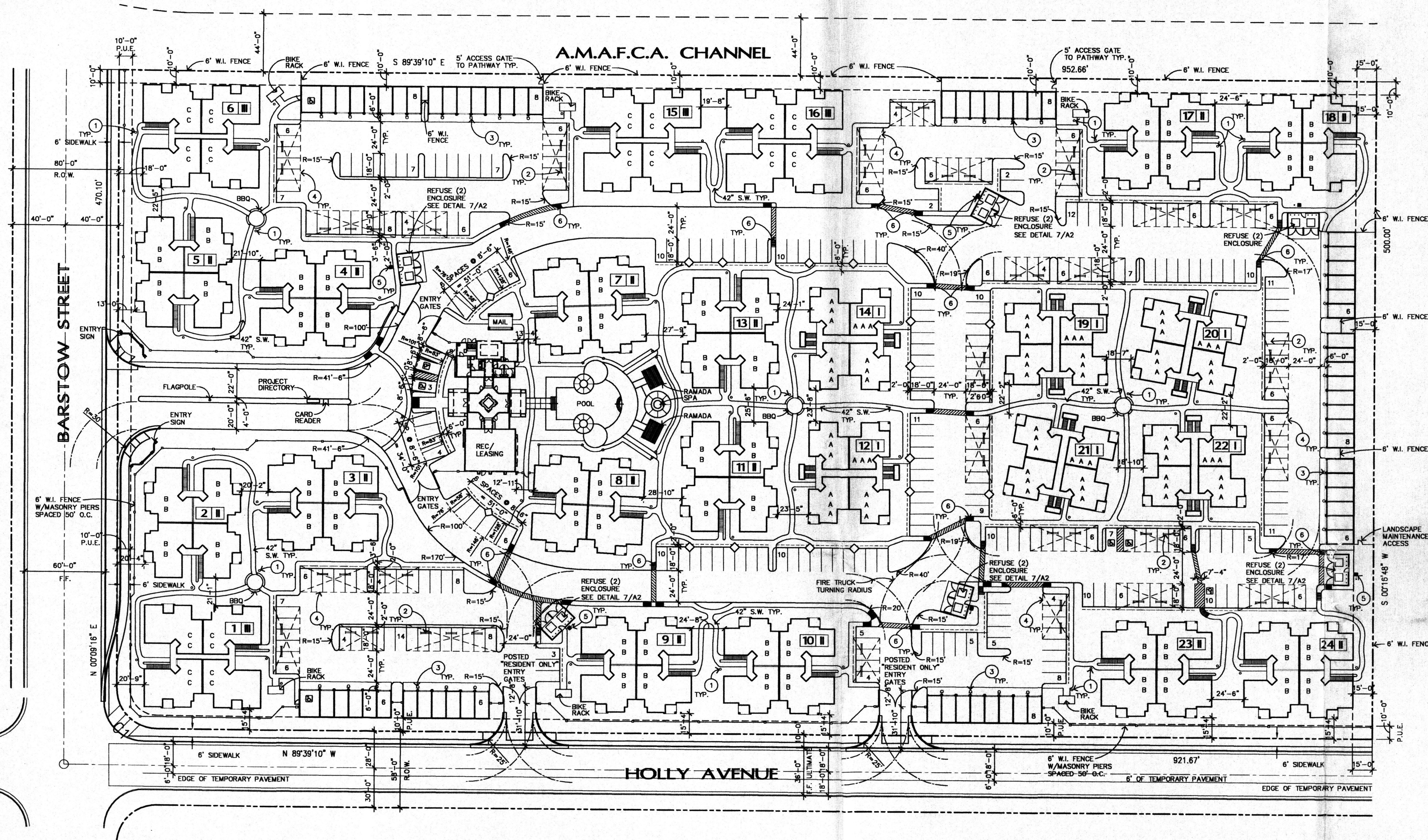
VICINITY MAP C-20 SCALE: 1" = 750'

DRB APPROVAL:

Project No: 1001020
Application No: 01450-00000-01127

<i>David S. ...</i>	11/5/01
Planning Director, City of Albuquerque	Date
<i>Paul J. ...</i>	9-10-01
Transportation Development, City of Albuquerque	Date
<i>Bradley S. ...</i>	10/25/01
City Engineer, City of Albuquerque	Date
<i>Roger A. ...</i>	8-29-01
Utility Development, City of Albuquerque	Date
<i>Adrienne E. ...</i>	9-10-01
Parks and Recreation, City of Albuquerque	Date

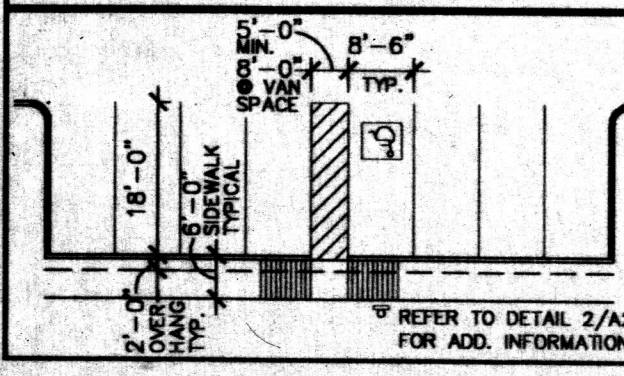
Rich Barber, Approved on Condition ...



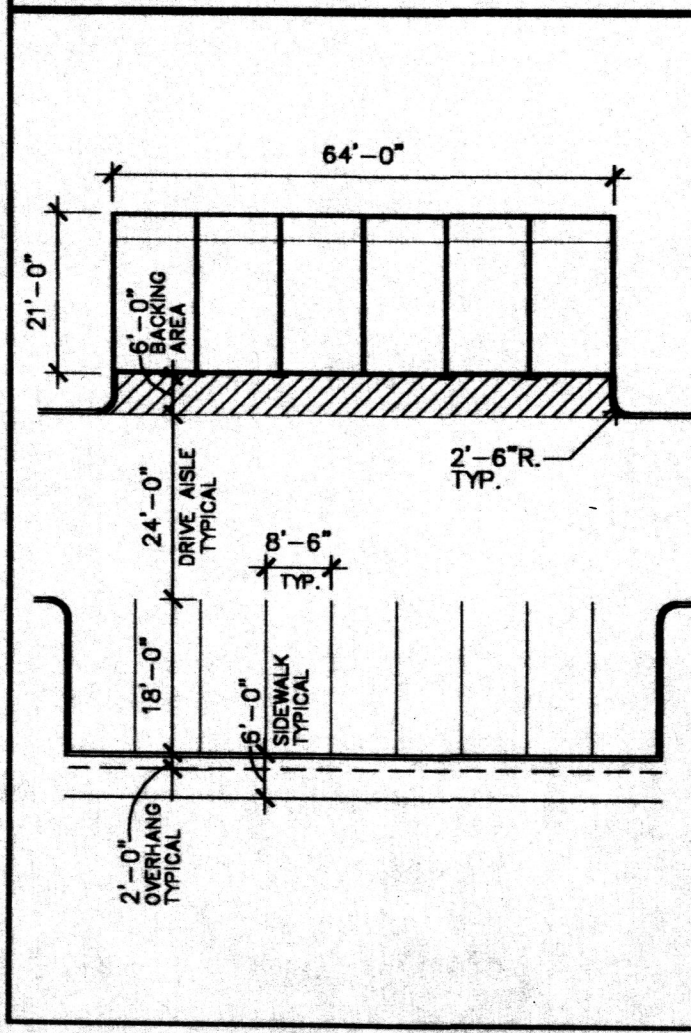
KEYNOTES:

- 1) BOLLARD LIGHT - REFER TO DETAIL 6/A2
- 2) FLOURESCENT LIGHT FIXTURE ATTACHED TO PARKING CANOPY - REFER TO DETAIL 1/A2
- 3) SURFACE MOUNT GARAGE LIGHT - REFER TO DETAIL 9/A2
- 4) PARKING CANOPY - REFER TO DETAIL 1/A2
- 5) POLE LIGHT REFUSE ENCLOSURE - REFER TO DETAIL 9/A2
- 6) DENOTES LOCATION OF ACCESSIBLE RAMP - RAMP SHALL NOT INTRUDE INTO ASPHALT REFER TO DETAIL 4/A2.

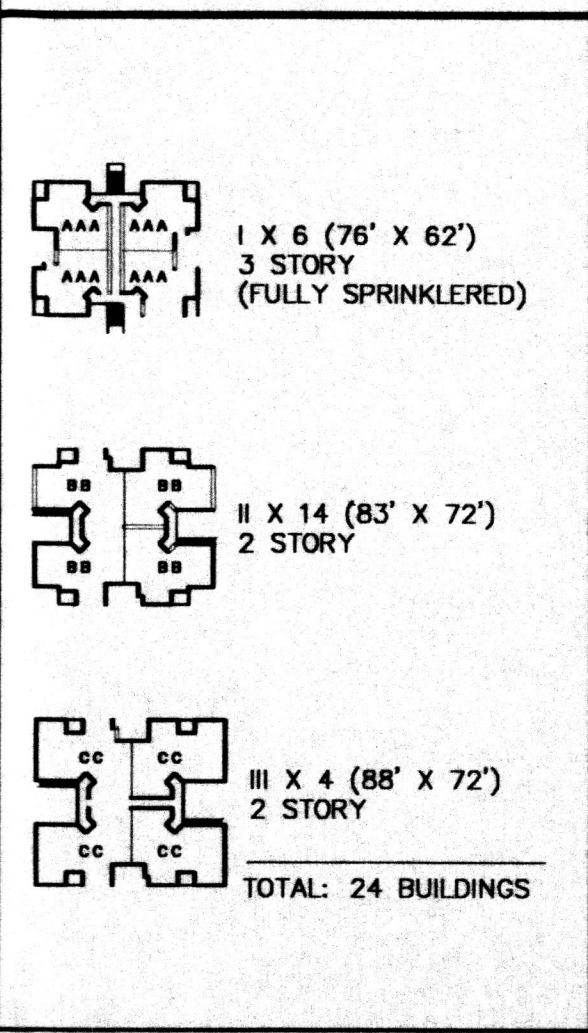
ACCESSIBLE RAMP TYPICAL



GARAGE/DRIVE AISLE DETAIL TYP.



BUILDING TYPES



SITE PLAN NOTES:

1. DEVELOPMENT AND USE OF THIS SITE WILL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES.
2. THIS PROJECT IS LOCATED IN THE CITY OF ALBU. WATER SERVICE AREA AND HAS BEEN DESIGNATED AS HAVING AN ASSURED WATER SUPPLY.
3. ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
4. STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURED BACK 33' FROM THE PROPERTY LINE AND 33' ALONG THE PROPERTY LINE ON EACH SIDE OF THE DRIVEWAY ENTRANCES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'.
5. ANY LIGHTING WILL BE PLACED SO AS TO DIRECT THE LIGHT AWAY FROM ADJACENT RESIDENTIAL DISTRICTS AND WILL NOT EXCEED ONE FOOT CANDLE AT THE PROPERTY LINE. NO NOISE, ODOR OR VIBRATION WILL BE EMITTED SO THAT IT EXCEEDS THE GENERAL LEVEL OF NOISE, ODOR OR VIBRATION EMITTED BY USES OUTSIDE OF THE SITE.
6. OWNERS OF PROPERTY ADJACENT TO PUBLIC RIGHT-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING WITHIN THE RIGHTS-OF-WAY IN ACCORDANCE WITH APPROVED PLANS.
7. GROUND FLOOR UNITS TO BE HANDICAP ACCESSIBLE OR ADAPTABLE PER SEC. - 1105 AND CHAPTER 11 OF 97-UBC NEW MEXICO AMENDMENTS

OPEN SPACE CALCULATIONS:

OPEN SPACE REQ. (2,400 SF/UNIT X 216 UNITS)	518,400 SF
REQUIRED ON-SITE OPEN SPACE	52,000 SF
72 ONE BEDROOM UNITS @ 200 SF/UNIT:	14,400 SF
112 TWO BEDROOM UNITS @ 250 SF/UNIT:	28,000 SF
32 THREE BEDROOM UNITS @ 300 SF/UNIT:	9,600 SF
TOTAL ON-SITE OPEN SPACE REQUIRED:	52,000 SF
ON-SITE OPEN SPACE PROVIDED:	269,603 SF
SITE AREA:	475,863 SF
BUILDING AREA COVERAGE:	(97,000) SF
PARKING AREA & DRIVEWAYS:	(128,700) SF
SUB-TOTAL:	250,163 SF
ADD-BACKS FOR BALCONIES & PATIOS:	19,440 SF
TOTAL ON-SITE OPEN SPACE PROVIDED:	269,603 SF
OPEN SPACE DEFICIT:	248,797 SF
OPEN SPACE REQUIRED:	518,400 SF
OPEN SPACE PROVIDED:	269,603 SF
OPEN SPACE DEFICIT:	248,797 SF (5.712 AC.)

TOTAL REMAINING OPEN SPACE REQUIREMENTS ARE MET VIA THE PROVISION OF DETACHED OPEN SPACE PER THE PROVISIONS OF SECTION 14-16-3-B (A)(5).

SYMBOL SCHEDULE

- 1- BUILDING TYPE
- A/B/C BUILDING NUMBER
- UNIT TYPE - 1st/2nd/ 3rd FLOOR
- ACCESSIBLE PARKING SPACE * DENOTES VAN ACCESSIBLE
- COVERED PARKING CANOPY REFER TO 1/A2 FOR DETAIL
- BOLLARD LIGHTING
- CANOPY LIGHTING
- GARAGE LIGHTING
- REFUSE ENCLOSURE POLE LIGHT

SITE DATA:

PROPOSED USE:	APARTMENTS
ZONING:	RD(MF)
BUILDING HEIGHT:	40'-0" MAX.
LOT AREA:	10.92 AC.
DENSITY:	19.8 D.U./AC.

PROJECT NARRATIVE:
TWO & THREE -STORY, MULTI-FAMILY RESIDENTIAL DEVELOPMENT

NET SITE AREA: ±10.92 ACRES

UNIT MIX TOTAL:

1 BEDROOM	72 D.U. (34%)
2 BEDROOM	112 D.U. (52%)
3 BEDROOM	32 D.U. (14%)
TOTAL	216 D.U. (100%)

PARKING REQUIRED:

1 BEDROOM (72 x 1.5 sp/unit)	= 108 P.S.
2 BEDROOM (112 x 2 sp/unit)	= 224 P.S.
3 BEDROOM (32 x 2 sp/unit)	= 64 P.S.
TOTAL	396 P.S.

PARKING PROVIDED:

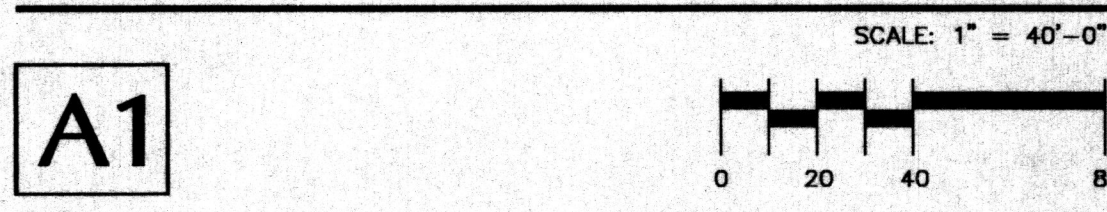
DETACHED GARAGE	64 P.S.
UNCOVERED	180 P.S.
COVERED	152 P.S.
TOTAL	396 P.S.

(1.83 P.S./D.U.)

ACCESSIBLE PARKING REQUIRED:

2% OF COVERED UNIT 216 x 2% =	5 P.S.
TOTAL SURFACE PROVIDED	5 P.S.
ACCESSIBLE GARAGES	2 P.S.

SITE PLAN



A1

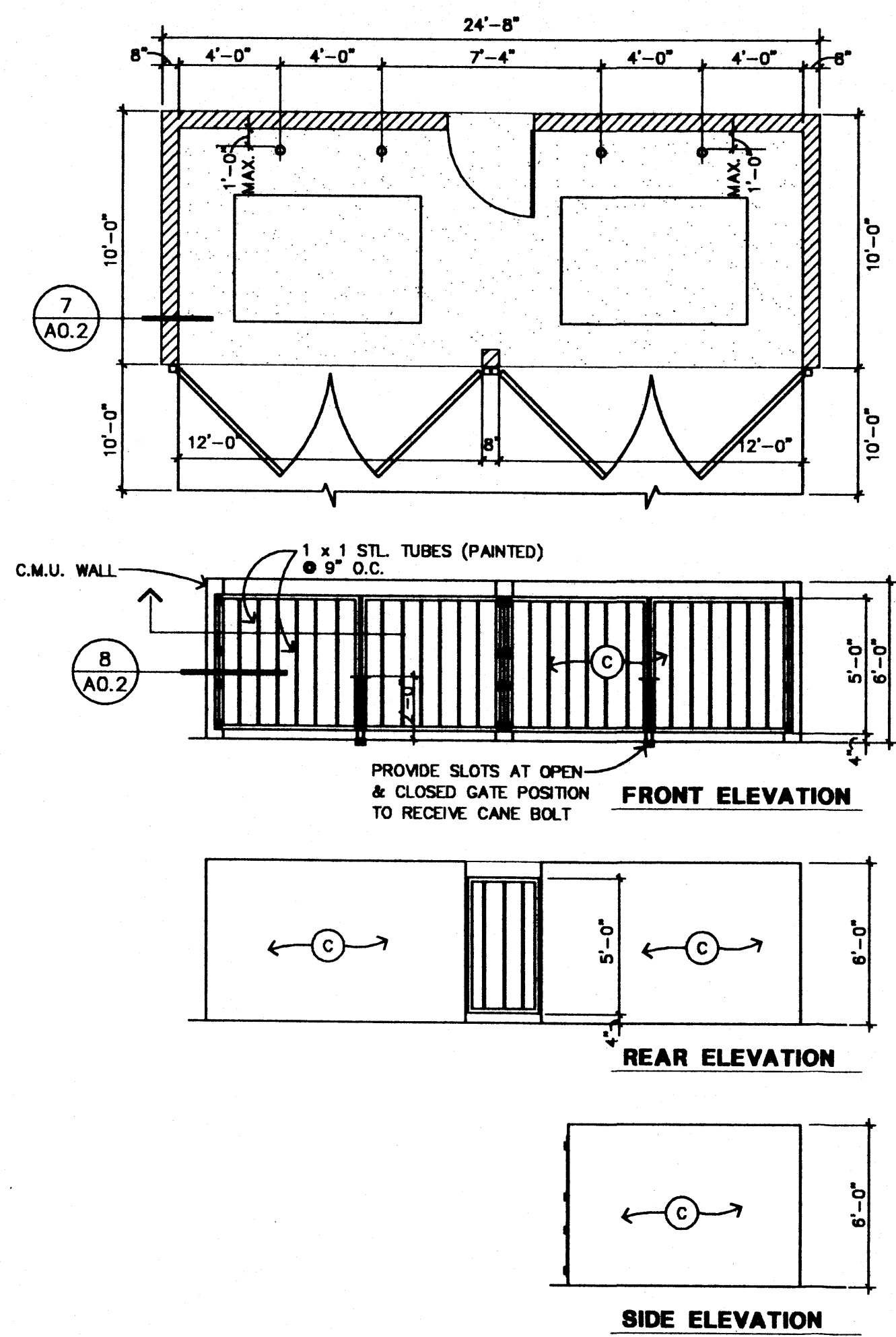
BROADSTONE HEIGHTS
Barstow & Holly Road
ALBUQUERQUE, NEW MEXICO

ALLIANCE RESIDENTIAL COMPANY
4808 N. 22nd STREET, STE. 200
PHOENIX, ARIZONA 85016

DRB Submittal

Architecture/Planning/Landscape Architecture
4019 North 44th Street • Phoenix, Arizona 85018 • (602) 962-8280 • FAX (602) 962-8896
July 01-2018-00 Date: 9/5/01 Revision: Preliminary Not For Construction

PROJECT 1001020



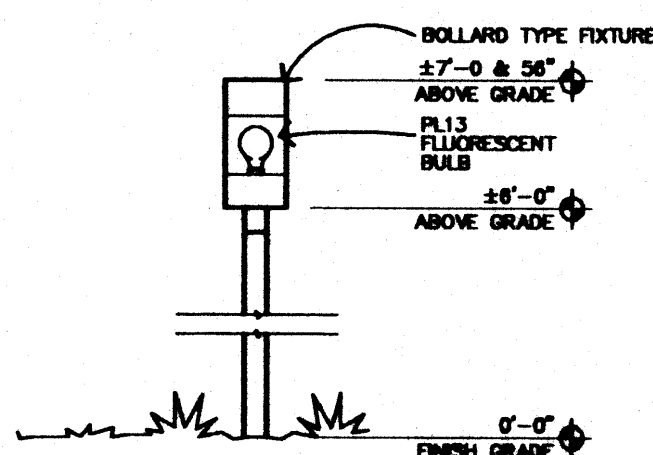
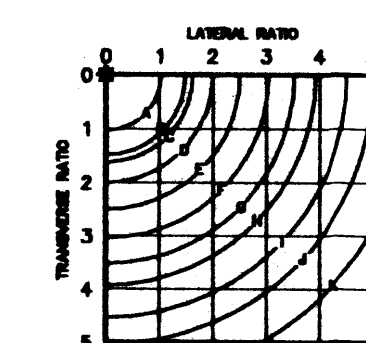
7 DOUBLE REFUSE ENCLOSURE N.T.S.

EXTERIOR COLOR SCHEDULE	
LOCATION	COLOR
A ROOF	WESTILE - "BOHEMIAN BLEND" SLATE
B ACCENT-MISC. METAL (RAILS, DOORS)	ICI - 203 "CASBAH"
C MAIN BODY #1	ICI - 324 "SEPIA TONE"
D MAIN BODY #2	ICI - 598 "GREAT DESERT"
E ACCENT-DETAILS (FASCIA & TRIM)	DUNN EDWARDS - SP 2560 "COCHISE"

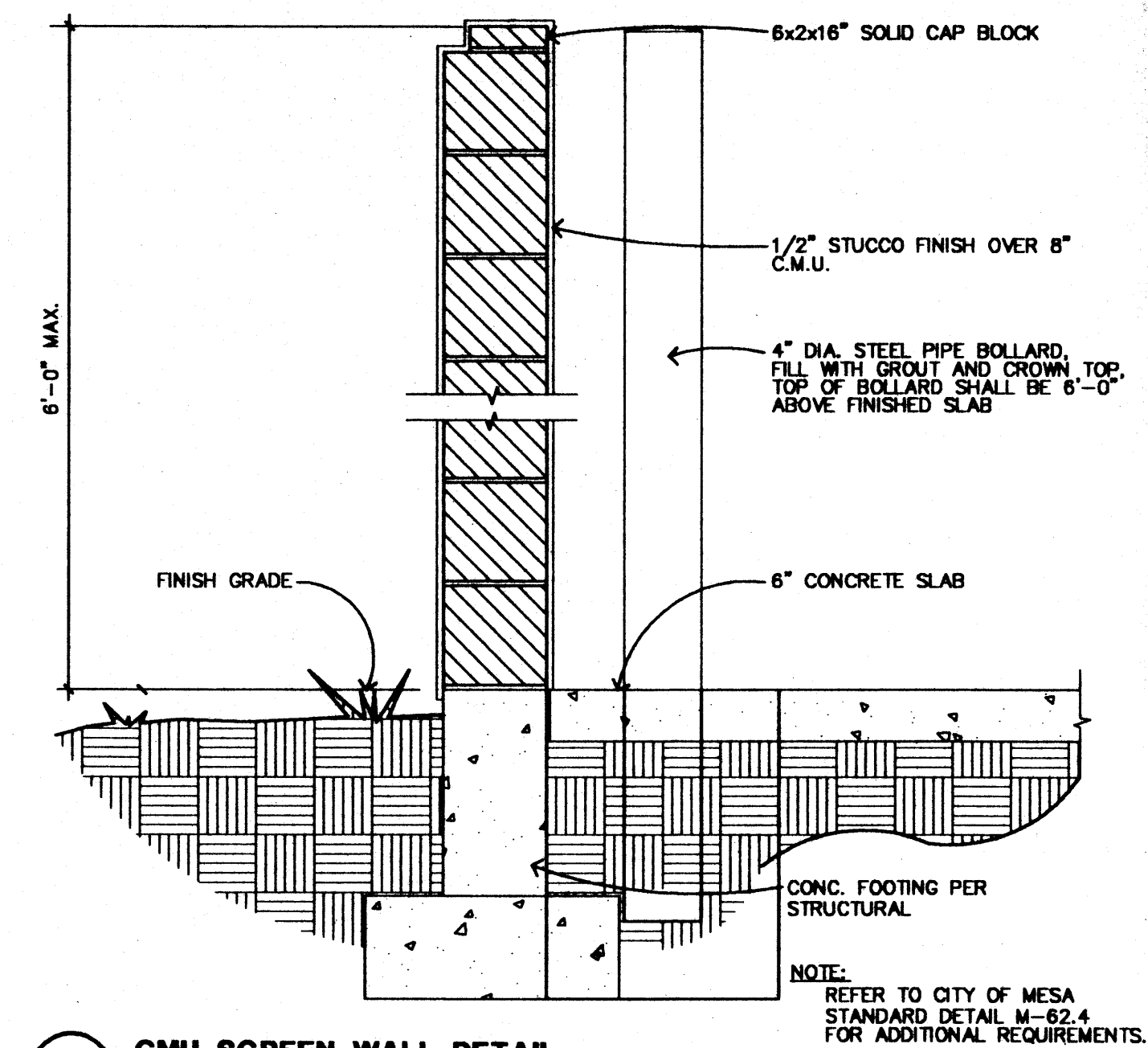
KEYNOTES:

- SURFACE MOUNTED GARAGE LIGHT - REFER TO DETAIL 9/A2.
- CONTROL JOINT

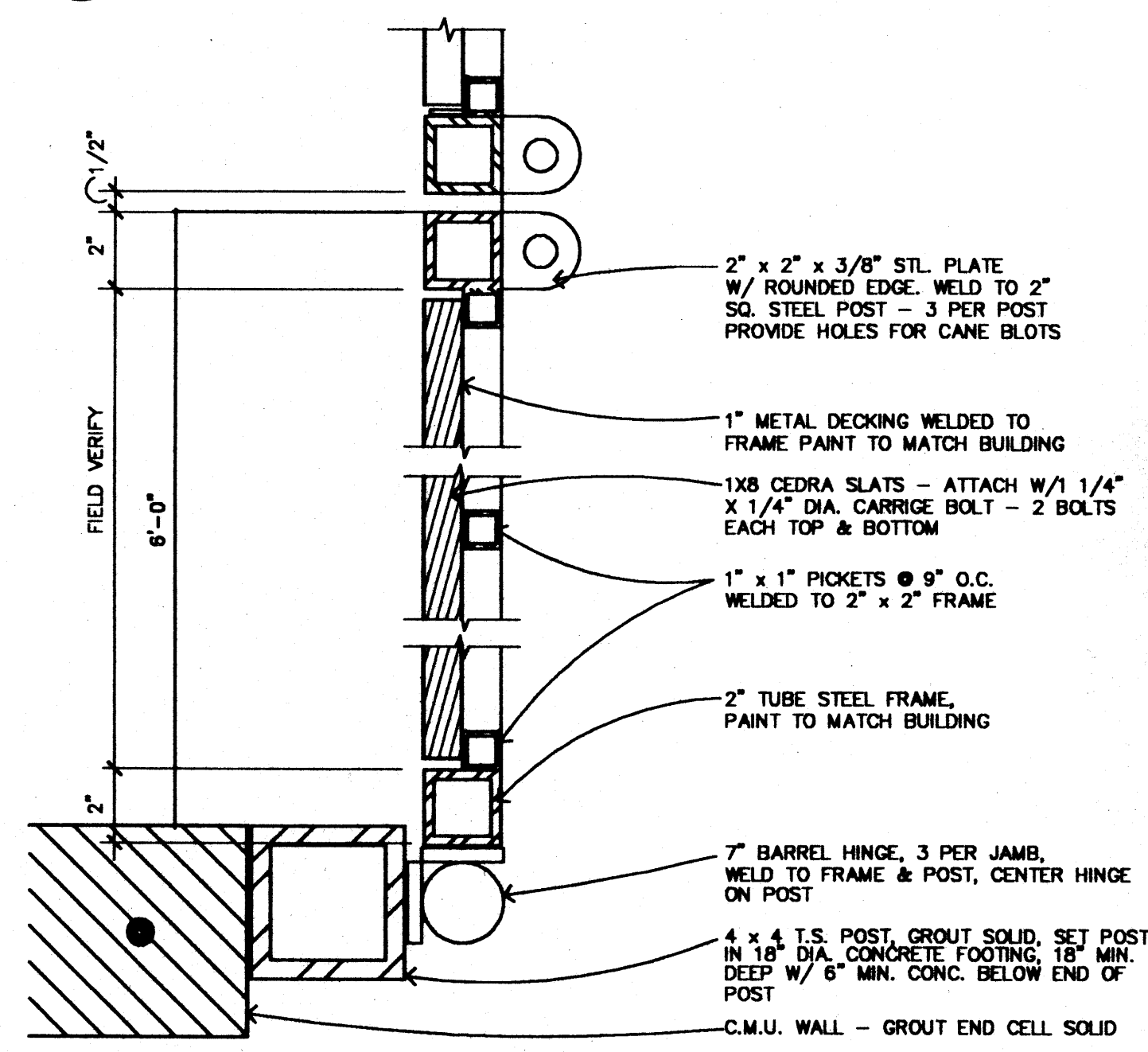
LIGHT SYMBOLS SCHEDULE	
SYMBOL	LOCATION / MODEL
◆	POLE LIGHT (BUILDING) LIGHTING: 1800 & 1800B
◇	BUILDING LIGHT (GARAGE) LIGHTING: 1800 & 1800B
○	CANOPY LIGHT LIGHTING: 1800B



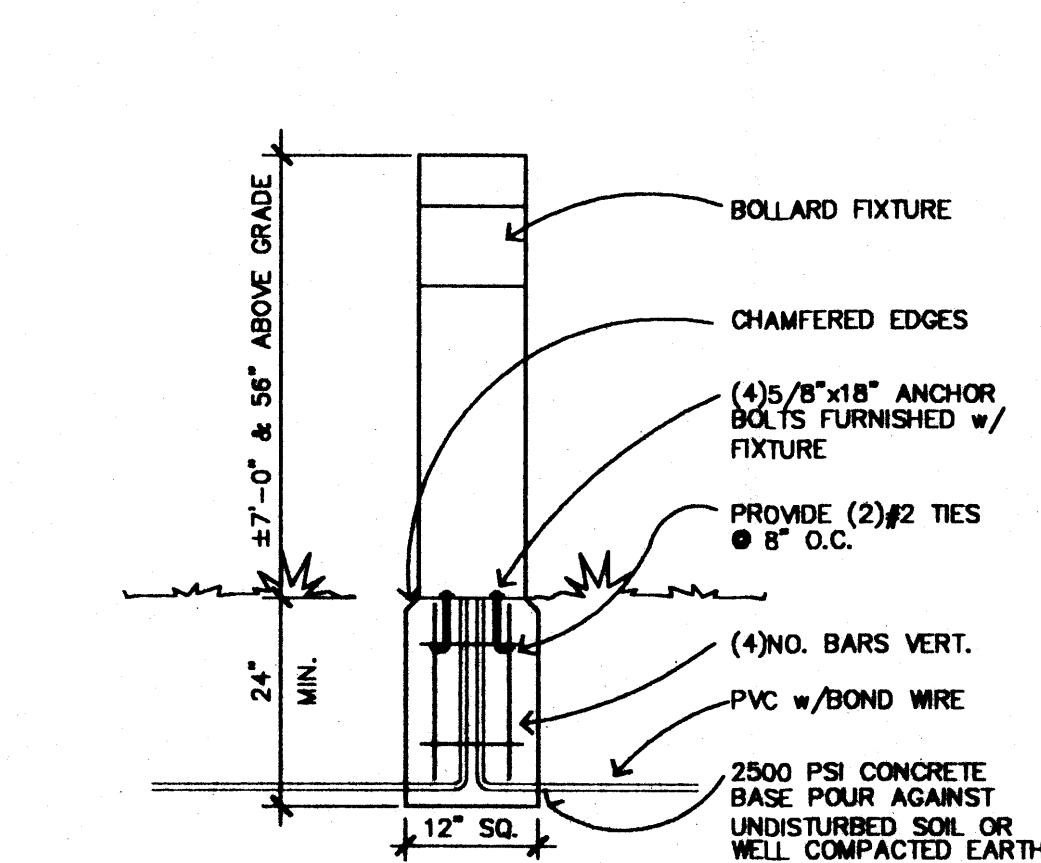
9 PHOTO METRICS NO SCALE



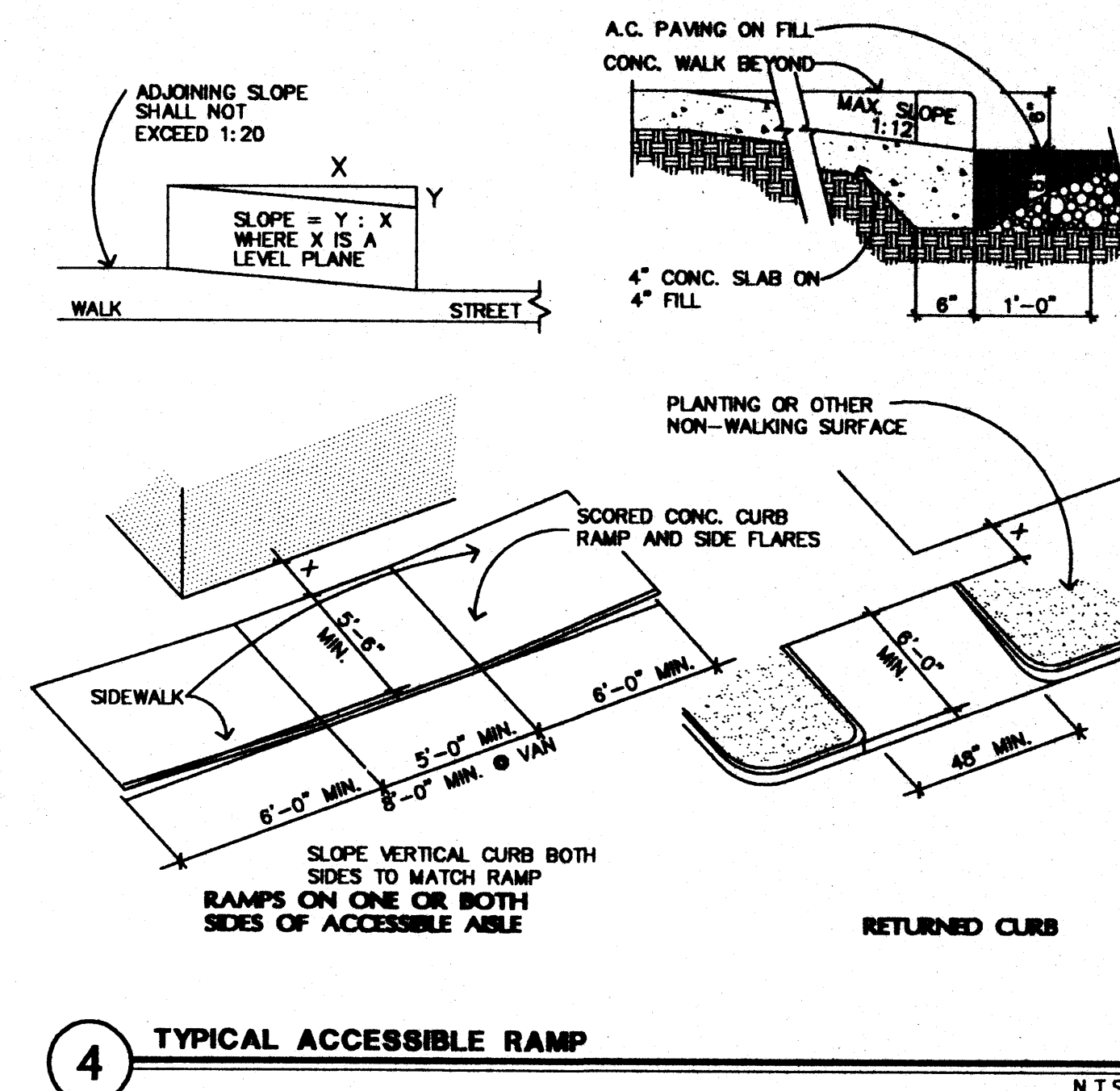
7 CMU SCREEN WALL DETAIL N.T.S.



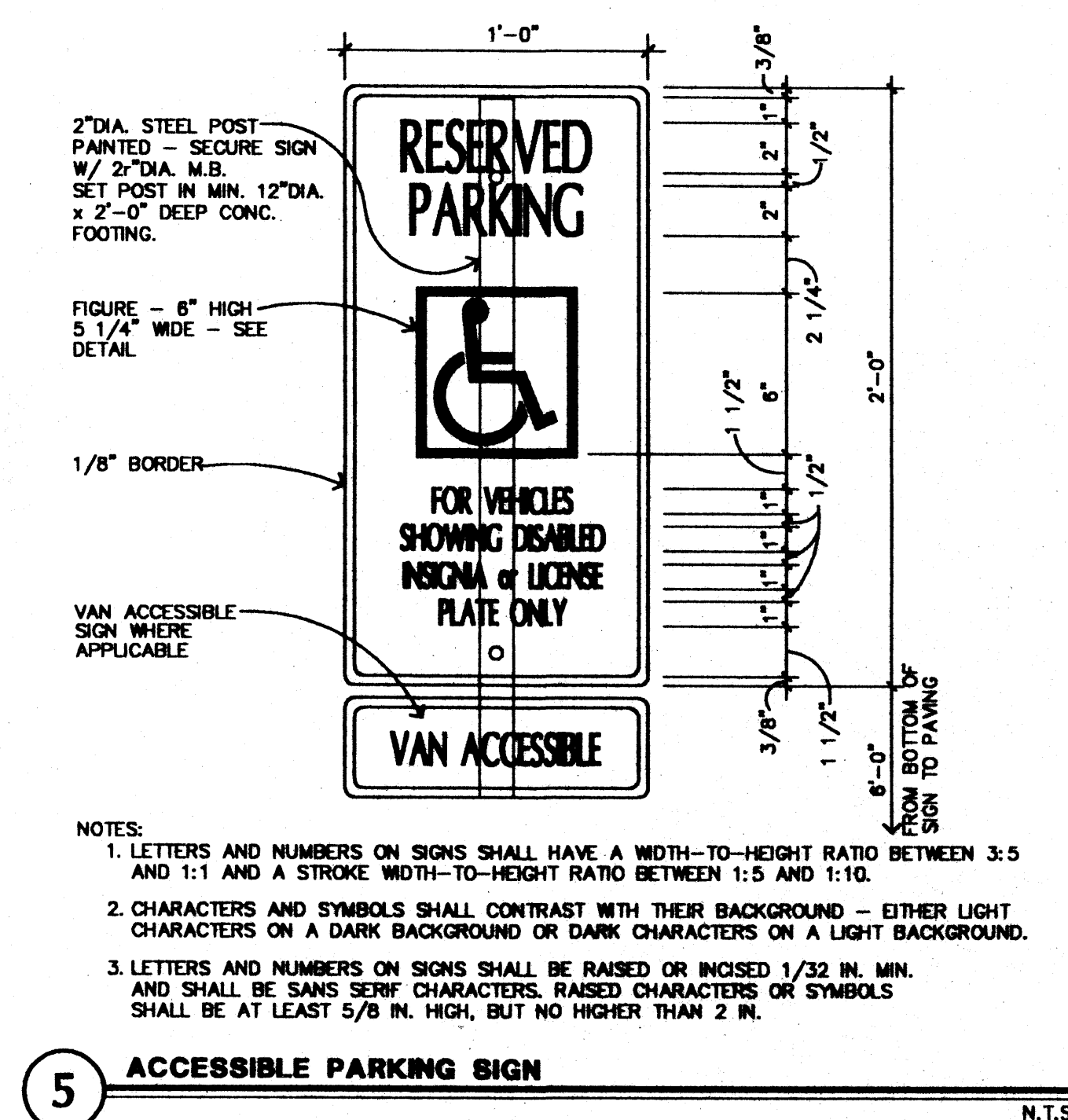
8 REFUSE ENCLOSURE GATE DETAIL N.T.S.



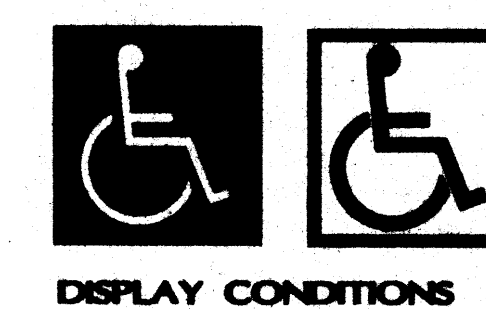
6 LIGHT BOLLARD N.T.S.



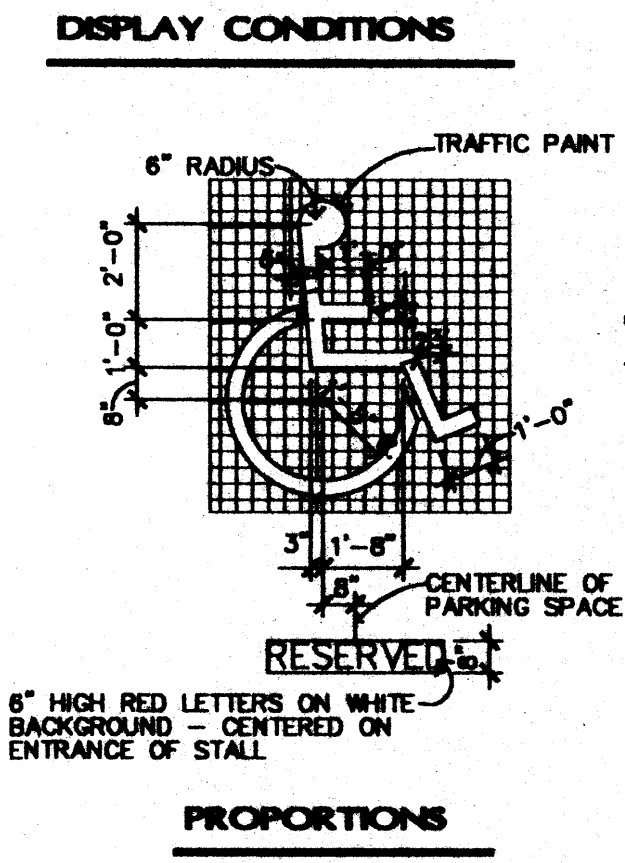
4 TYPICAL ACCESSIBLE RAMP N.T.S.



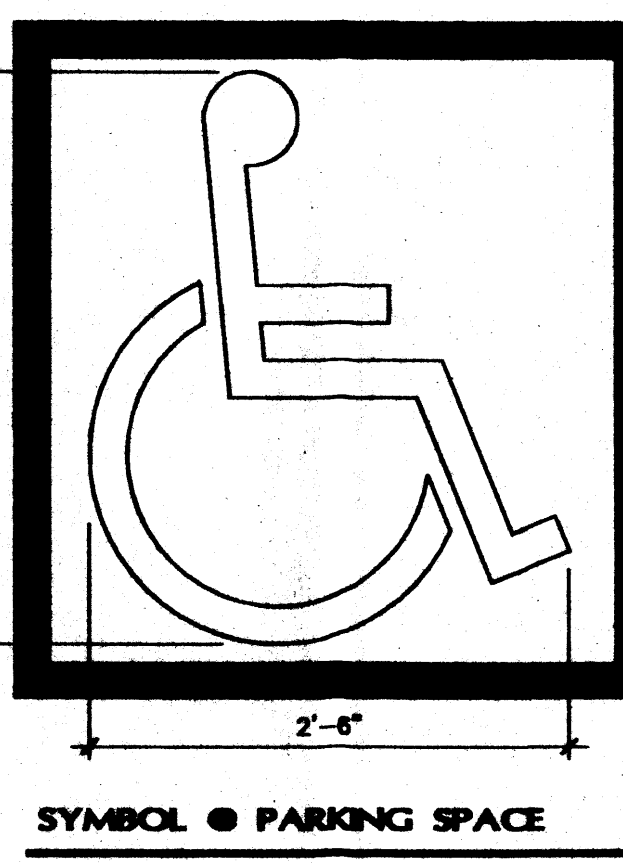
5 ACCESSIBLE PARKING SIGN N.T.S.



DISPLAY CONDITIONS

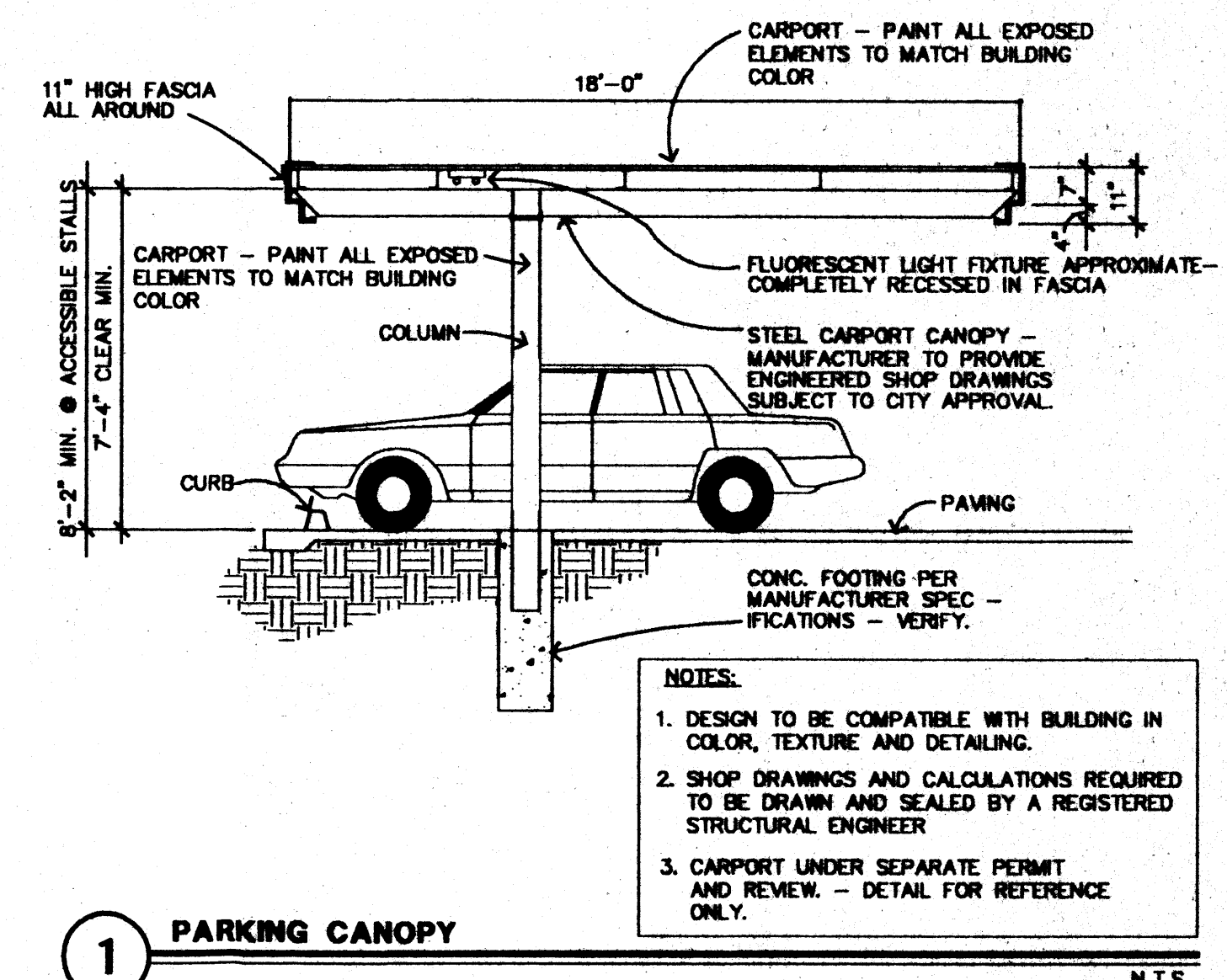


PROPORTIONS

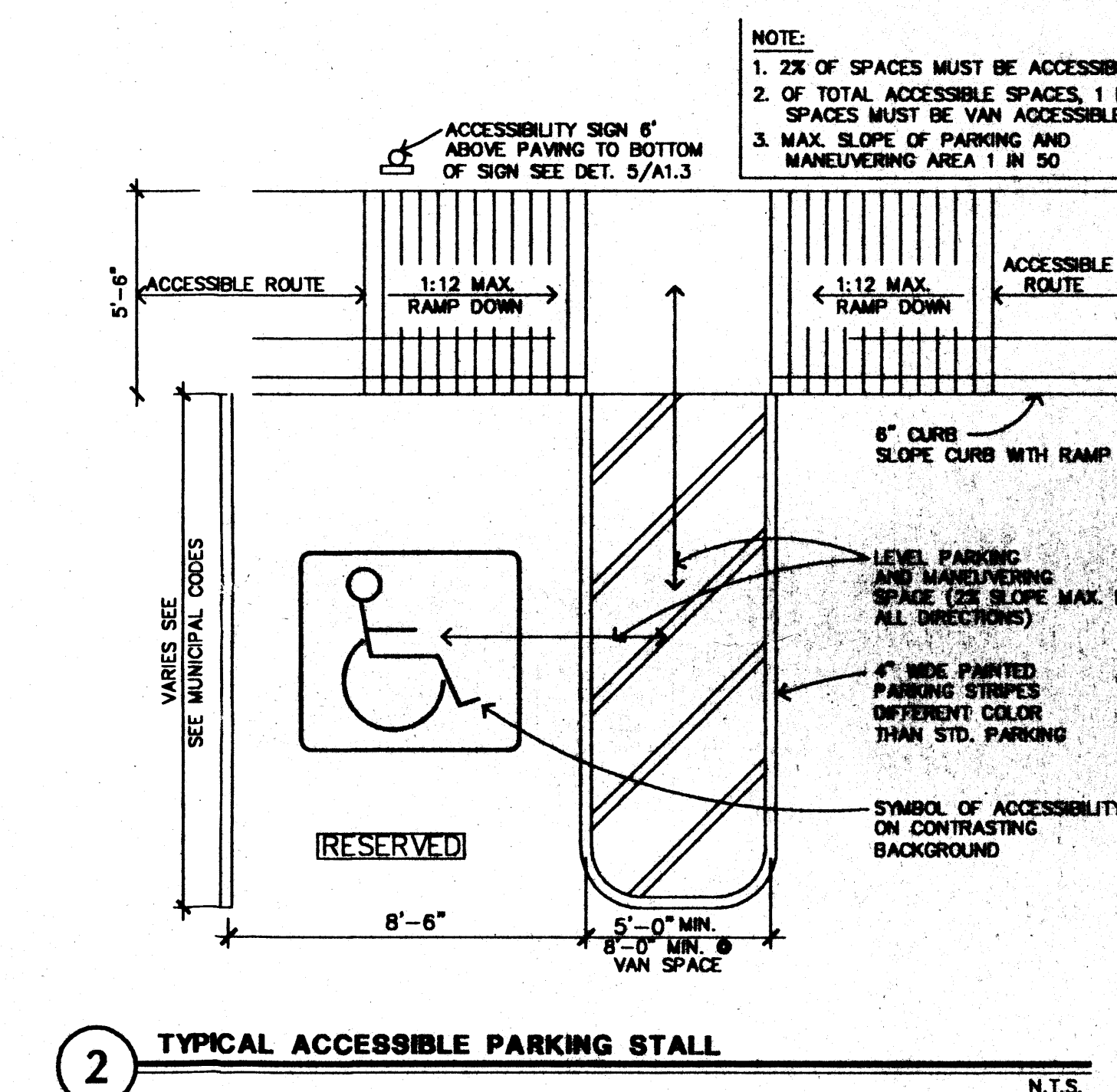


SYMBOL & PARKING SPACE

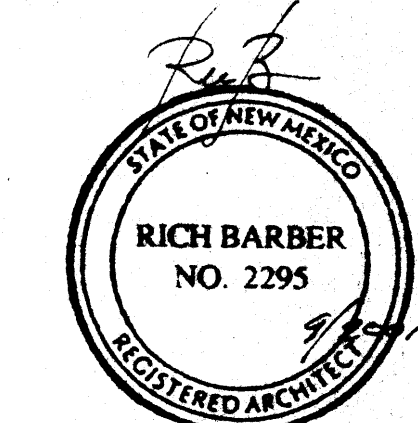
3 INTERNATIONAL SYMBOL OF ACCESSIBILITY N.T.S.



1 PARKING CANOPY N.T.S.



2 TYPICAL ACCESSIBLE PARKING STALL N.T.S.



SITE DETAILS

A2

BROADSTONE HEIGHTS
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ALLIANCE RESIDENTIAL COMPANY
4808 N. 22nd STREET, STE. 200
PHOENIX, ARIZONA 85016

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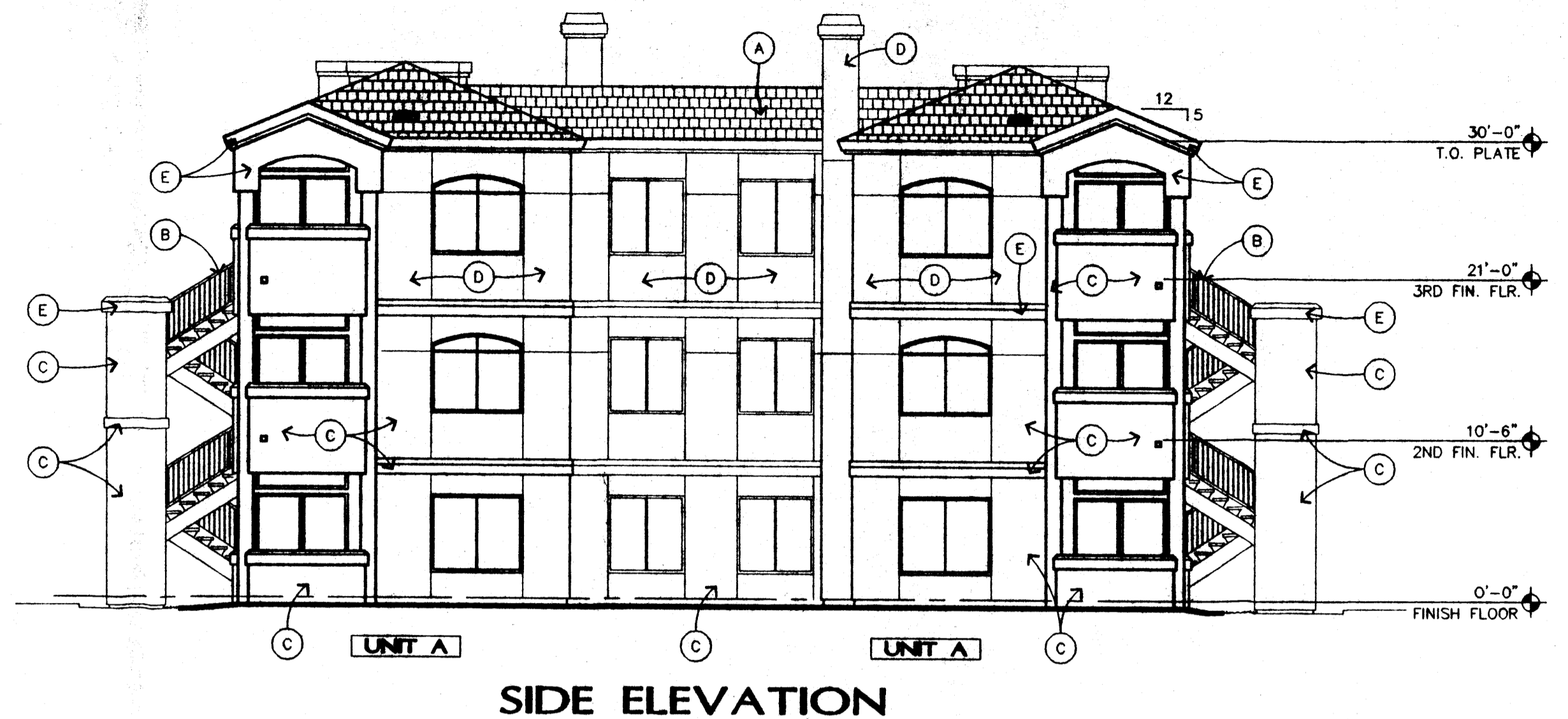
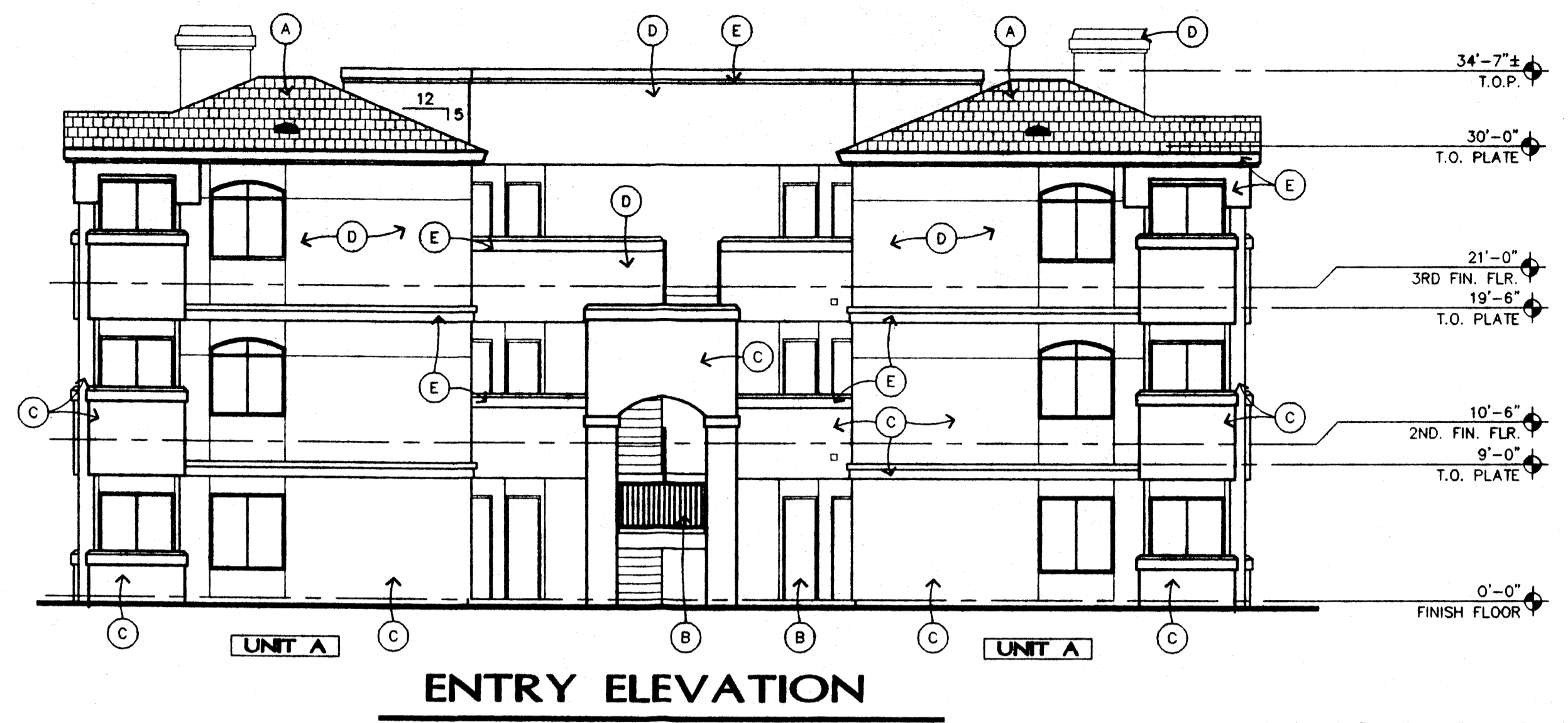
4819 North 44th Street • Phoenix, Arizona 85018 • (602) 942-8200 • FAX (602) 942-8200
Job# 01-2013-01 Date: 9/4/13 Revisions: Preliminary Not For Construction



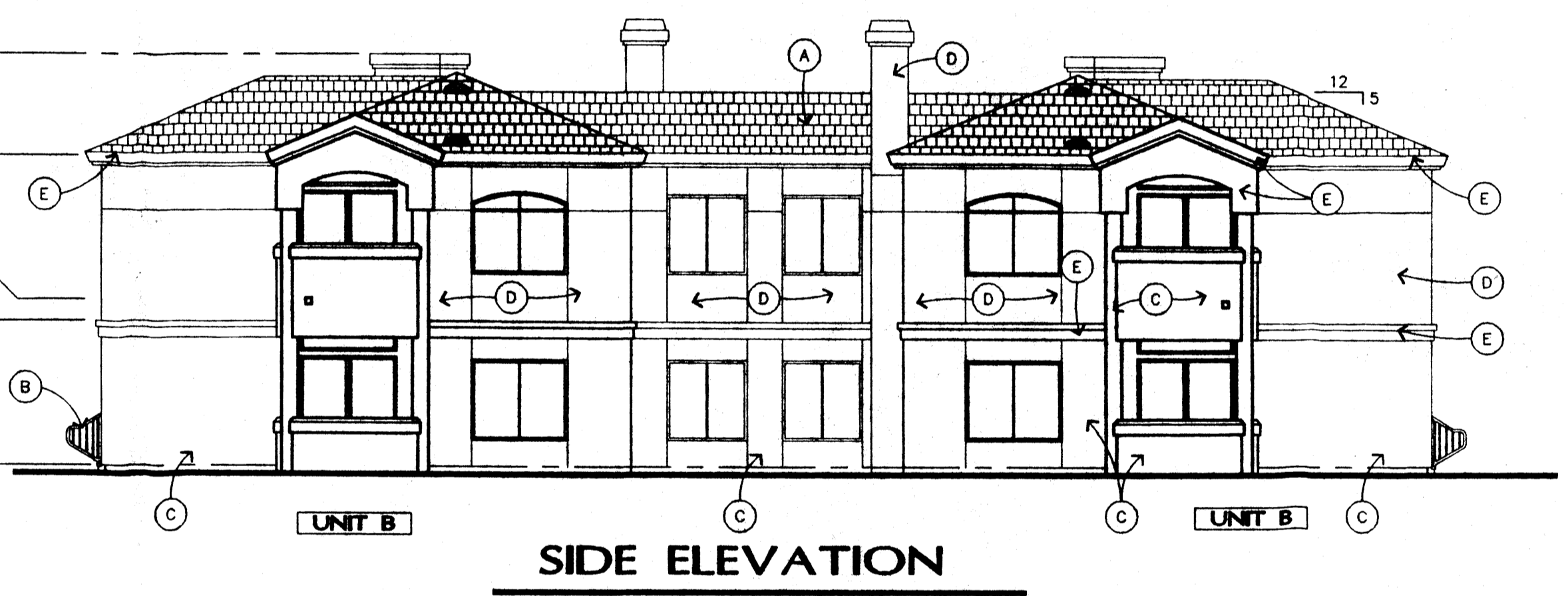
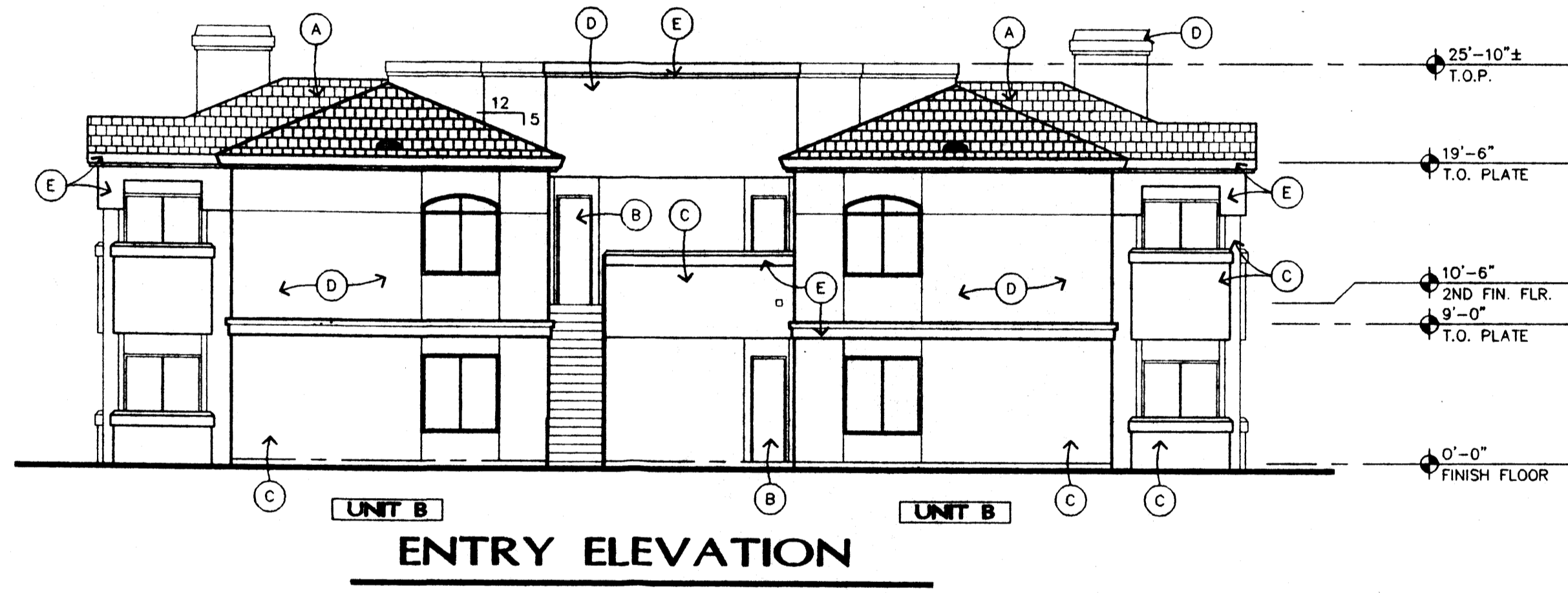
EXTERIOR COLOR SCHEDULE	
LOCATION	COLOR
A ROOF	WESTLE - "BOHEMIAN BLEND" SLATE
B ACCENT-MISC. METAL (RAILS), DOORS	ICI - 203 "CASBAH"
C MAIN BODY #1	ICI - 324 "SEPIA TONE"
D MAIN BODY #2	ICI - 598 "GREAT DESERT"
E ACCENT-DETAILS FASCIA & TRIM	DUNN EDWARDS - SP 2560 "COCHISE"

KEYNOTES:

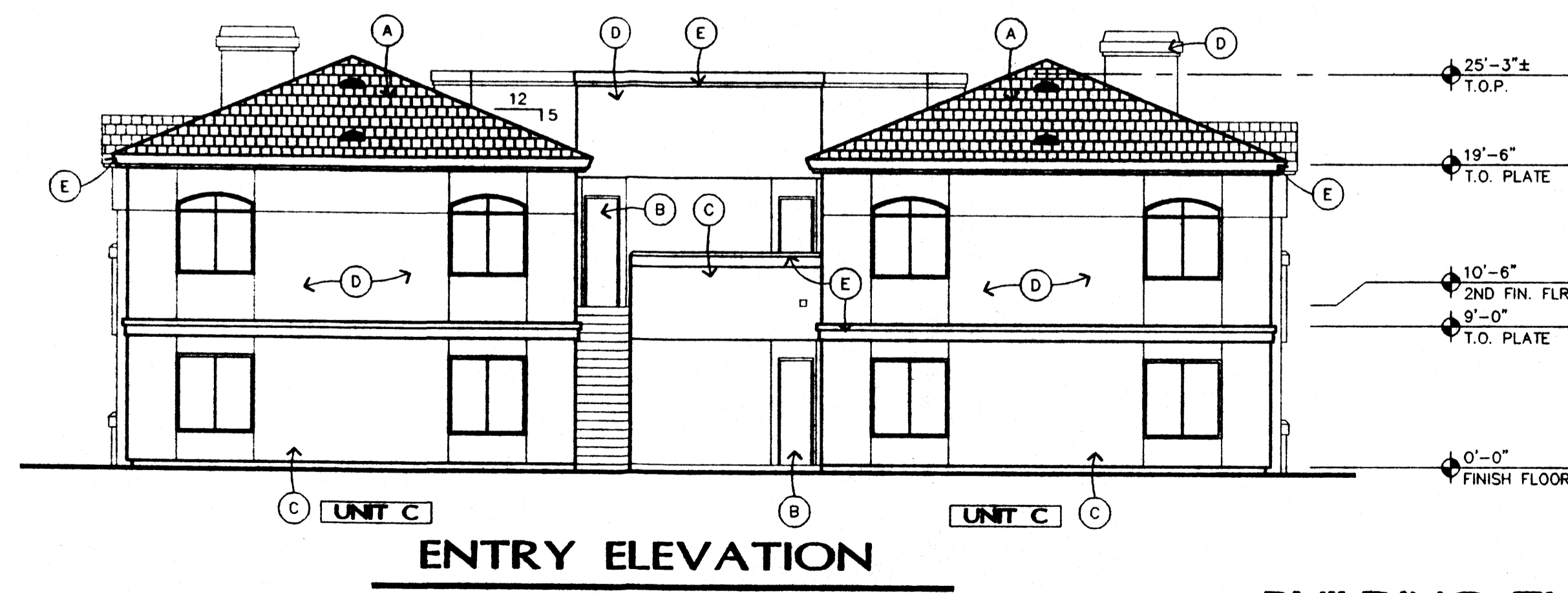
- SURFACE MOUNTED GARAGE LIGHT - REFER TO DETAIL 9/A2.
- CONTROL JOINT



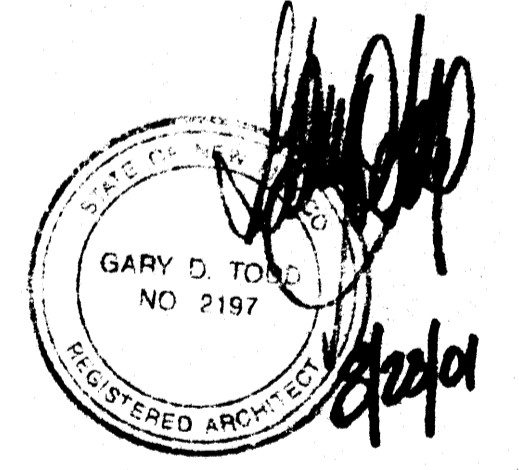
BUILDING TYPE I
SCALE: 1/8" = 1'-0"



BUILDING TYPE II
SCALE: 1/8" = 1'-0"



BUILDING TYPE III
SCALE: 1/8" = 1'-0"



**BUILDINGS TYPE I, II & III
EXTERIOR ELEVATIONS**
SCALE: 1/8" = 1'-0"

A3

BROADSTONE HEIGHTS
Barstow & Holly Road
ALBUQUERQUE, NEW MEXICO

ALLIANCE RESIDENTIAL COMPANY
4808 N. 22nd STREET, STE. 200
PHOENIX, ARIZONA 85016

DRB Submittal

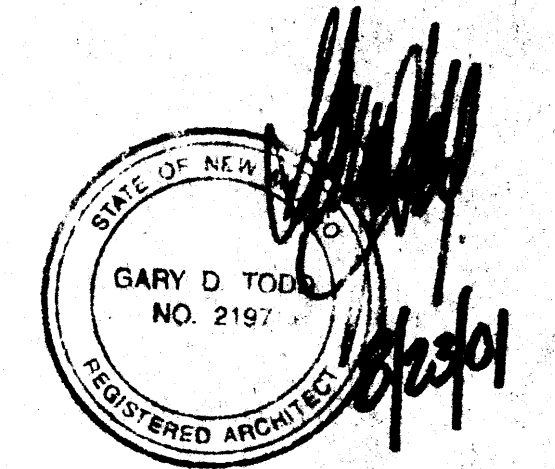
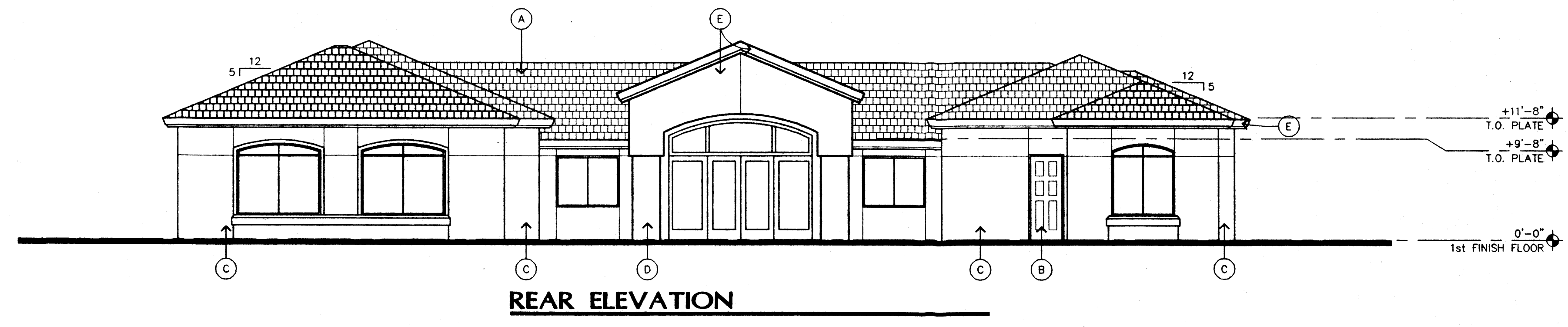
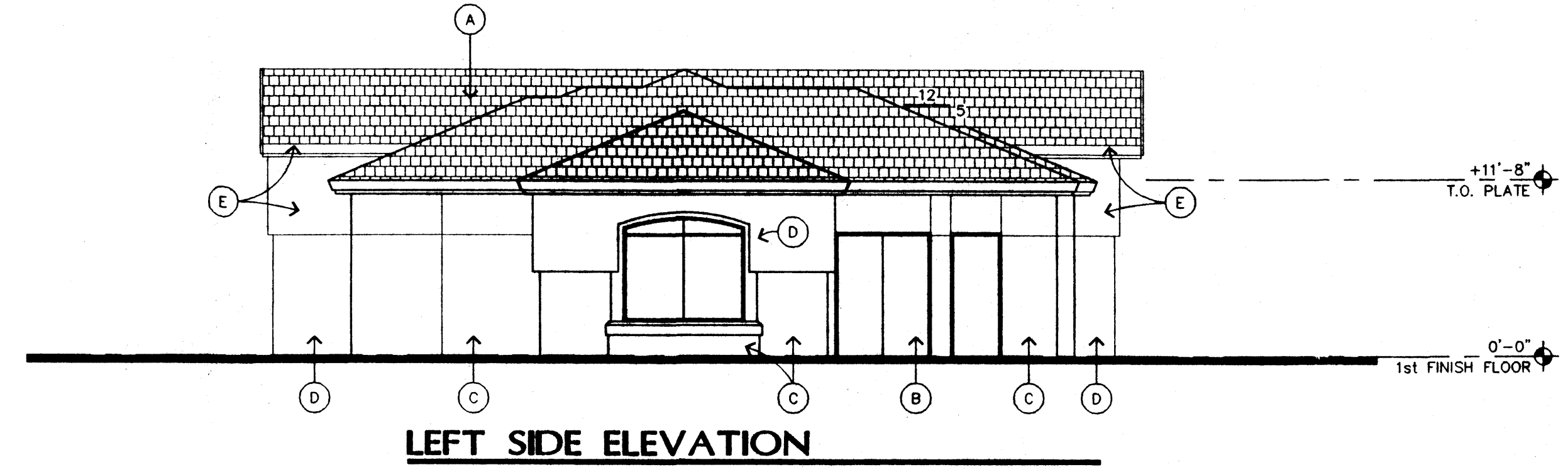
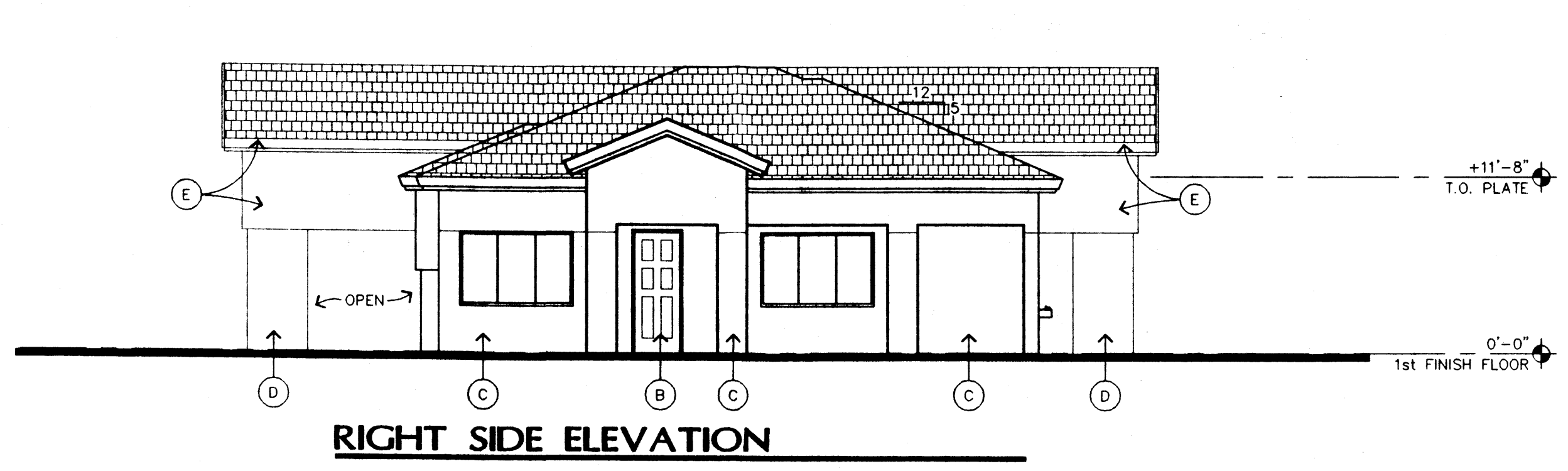
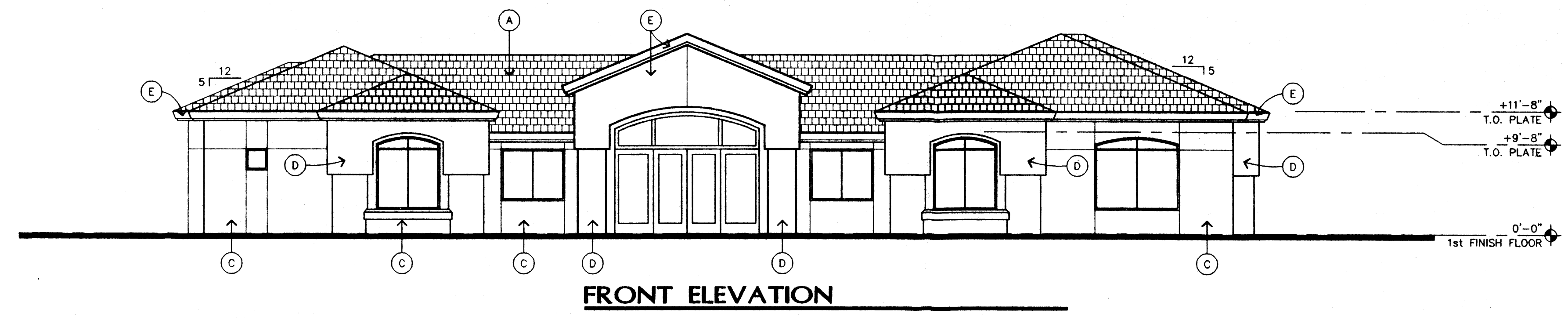
Architecture/Planning/Landscape Architecture
4019 North 44th Street • Phoenix, Arizona 85018 • (602) 952-8200 • FAX (602) 952-0068
Job# 01-2018-00 Date: 8/24/01 Revision: Preliminary Not For Construction



EXTERIOR COLOR SCHEDULE	
LOCATION	COLOR
A ROOF	WESTLE - "BOHEMIAN BLEND" SLATE
B ACCENT+MISC. METAL (RAILS), DOORS	ICI - 203 "CASBAH"
C MAIN BODY #1	ICI - 324 "SEPIA TONE"
D MAIN BODY #2	ICI - 588 "GREAT DESERT"
E ACCENT-DETAILS FASCIA & TRIM	DUNN EDWARDS - SP 2500 "COCHISE"

KEYNOTES:

- SURFACE MOUNTED GARAGE LIGHT - REFER TO DETAIL 9/AZ
- CONTROL JOINT



REC. BUILDING EXTERIOR ELEVATIONS
SCALE: 1/8" = 1'-0"

A4

BROADSTONE HEIGHTS
Barstow & Holly Road
ALBUQUERQUE, NEW MEXICO

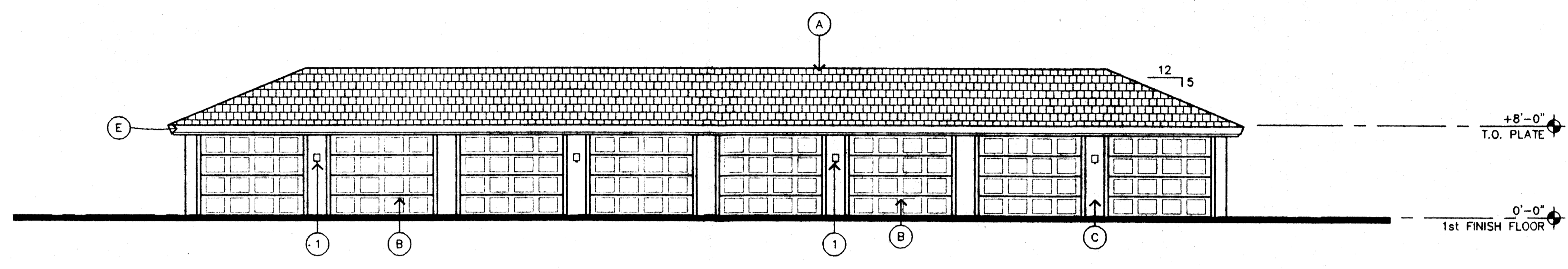
ALLIANCE RESIDENTIAL COMPANY
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PHOENIX, ARIZONA 85016

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Architecture/Planning/Landscape Architecture
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Job# 01-2018-00 Date: 8/24/01 Revision: Preliminary Not For Construction

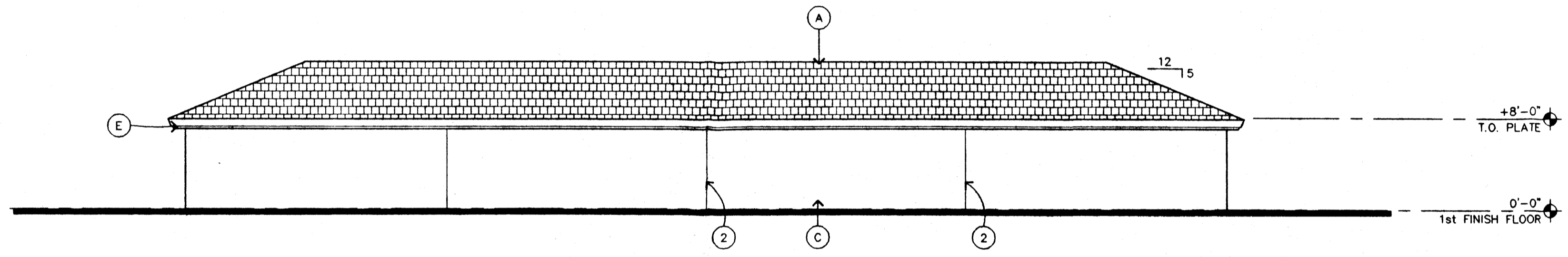
EXTERIOR COLOR SCHEDULE	
LOCATION	COLOR
A ROOF	WESTILE - "BOHEMIAN BLEND" SLATE
B ACCENT-MISC. METAL (RAILS, DOORS)	ICI - 203 "CASBAH"
C MAIN BODY #1	ICI - 324 "SEPIA TONE"
D MAIN BODY #2	ICI - 598 "GREAT DESERT"
E ACCENT-DETAILS FASCIA & TRIM	DUNN EDWARDS - SP 2580 "COCHISE"

- KEYNOTES:**
1. SURFACE MOUNTED GARAGE LIGHT - REFER TO DETAIL 9/AZ.
 2. CONTROL JOINT



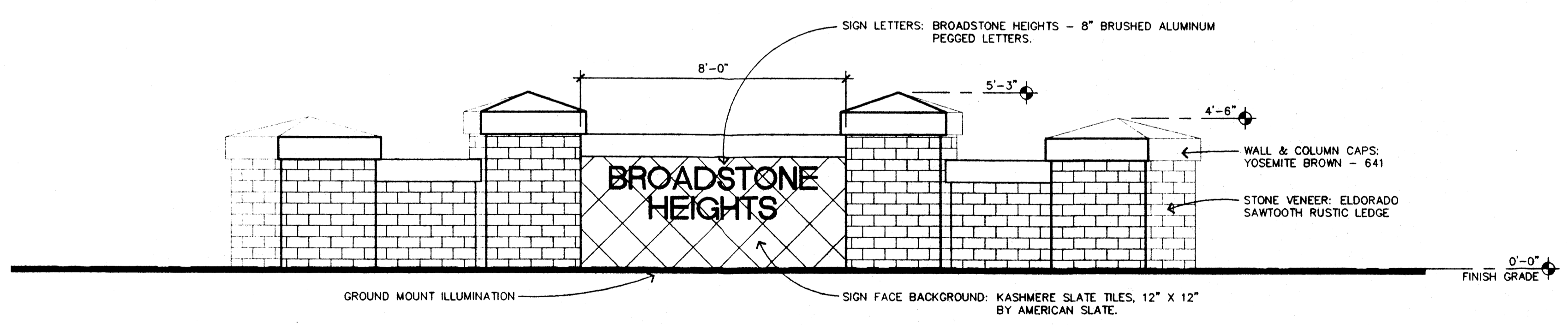
FRONT ELEVATION

SCALE: 1/8" = 1'-0"



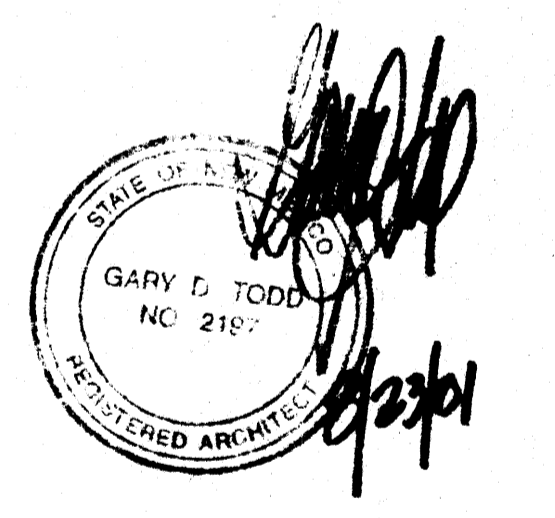
REAR ELEVATION

SCALE: 1/8" = 1'-0"



ENTRY SIGNAGE

SCALE: 3/8" = 1'-0"



GARAGE BUILDING EXTERIOR ELEVATIONS / ENTRY SIGNAGE

A5

BROADSTONE HEIGHTS
Barstow & Holly Road
ALBUQUERQUE, NEW MEXICO

ALLIANCE RESIDENTIAL COMPANY
4808 N. 22nd STREET, STE. 200
PHOENIX, ARIZONA 85016

DRB Submittal

Architecture/Planning/Landscape Architecture
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Job# 01-2018-00 Date: 8/24/18 Revision: Preliminary Not For Construction



CONCEPTUAL DRAINAGE PLAN

I. EXECUTIVE SUMMARY AND INTRODUCTION

THE BROADSTONE HEIGHTS PROJECT CONSISTS OF THE CONSTRUCTION OF A 24 BUILDING, 216 UNIT MULTI-FAMILY RESIDENTIAL DEVELOPMENT LOCATED WITHIN THE VINEYARD SECTOR PLAN AREA OF NORTH ALBUQUERQUE ACRES.

THE AFOREMENTIONED APPROVED CLOMR WAS PREPARED TO SUPPORT THE ELIMINATION OF THE EXISTING FLOOD HAZARD ZONE (AO, DEPTH 1) WHICH IMPACTS THE SITE. THE RESPONSIBILITY AND FUNDING FOR THE POST-CONSTRUCTION LOWR ARE INCLUDED IN THE EXECUTED COST-SHARING AGREEMENT FOR THE AMAFCA PROJECT.

II. PROJECT DESCRIPTION:

AS SHOWN BY VICINITY MAP C-20 LOCATED HEREON, THE SITE IS LOCATED IN THE NORTH ALBUQUERQUE ACRES SECTION OF ALBUQUERQUE, SOUTH OF THE APS DESERT RIDGE MIDDLE SCHOOL. THE SITE IS LOCATED AT THE NORTHEAST CORNER OF HOLLY AVE NE AND BARSTOW STREET NE AND LIES WITHIN THE VINEYARD SECTOR PLAN AREA.

AS SHOWN BY PANEL 141 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS, BERNALILLO COUNTY, NEW MEXICO, INCORPORATED AREAS, DATED SEPTEMBER 20, 1996 AND REVISED TO REFLECT THE LOMR DATED 4/24/98, THE NORTHERN PORTION OF THIS SITE LIES WITHIN A DESIGNATED FLOOD HAZARD ZONE ASSOCIATED WITH THE MAIN CHANNEL OF THE NORTH DOMINGO BACA ARROYO (NDBA).

ALSO SHOWN ON PANEL 141 OF 825 IS A FLOOD HAZARD ZONE IMPACTING THE SOUTHEASTERN PORTION OF THE SITE WHICH IS ATTRIBUTED TO A TRIBUTARY FINGER OF THE NDBA. AT THE TIME OF THIS PLAN PREPARATION, FINAL FEMA APPROVAL OF A LETTER OF MAP REVISION (LOMR) REMOVING THIS TRIBUTARY FROM THE FLOODPLAIN WAS PENDING.

III. BACKGROUND DOCUMENTS

THE FOLLOWING IS A LIST OF DOCUMENTS RELATED TO THE SITE AND SURROUNDING AREA. THIS LIST MAY NOT BE INCLUSIVE, HOWEVER, REPRESENTS A SUMMARY OF RELEVANT PLANS AND DOCUMENTS WHICH ARE KNOWN TO THE ENGINEER AT THE TIME OF PLAN PREPARATION.

A. THE "NORTH AND SOUTH DOMINGO BACA ARROYO AND PASEO DEL NORTE CORRIDOR DRAINAGE MANAGEMENT PLAN" PREPARED FOR AMAFCA BY RESOURCE TECHNOLOGY, INC. (RTI) DATED DECEMBER, 1991. THIS PLAN HAS BEEN ADOPTED BY AMAFCA AS A GUIDELINE FOR DRAINAGE MANAGEMENT WITHIN THIS AREA WHICH INCLUDES THE NORTH DOMINGO BACA ARROYO (NDBA).

B. MASTER DRAINAGE PLAN - NORTH ARROYO DE DOMINGO BACA, PREPARED BY JMA DATED 02/28/1996. THIS PLAN WAS SPECIFICALLY PREPARED FOR ALBUQUERQUE PUBLIC SCHOOLS (APS) TO SERVE AS A GUIDE IN IDENTIFYING PROPOSED IMPROVEMENTS TO THE NDBA ARROYO BETWEEN THE UPPER AND LOWER NORTH DOMINGO BACA DAMS.

C. LETTER OF MAP REVISION (LOMR) FOR NORTH DOMINGO BACA ARROYO TRIBUTARY AND AVULSION/PASEO DEL NORTE STORM DRAIN (FEMA CASE NO. 01-06-152P) PREPARED BY RTI FOR AMAFCA. THIS LOMR CONTAINS A RECENT HYDRAULIC ANALYSIS AND ADDITIONAL INFORMATION FOR THE NORTH DOMINGO BACA ARROYO TRIBUTARY AND AVULSION AND ESTABLISHED DEVELOPED DRAINAGE BASIN BOUNDARIES.

D. REQUEST FOR CONDITIONAL LETTER OF MAP REVISION (CLOMR) FOR THE NORTH DOMINGO BACA ARROYO EXTENSION PREPARED BY JMA, DATED 11/14/2000, APPROVED BY FEMA 05/25/2001 (CASE NUMBER 01-06-577R). THIS REQUEST INCLUDES ANALYSIS AND PRELIMINARY DESIGN SUPPORTING THE FLOOD PLAN REVISIONS ASSOCIATED WITH THE SUBSTANTIALLY COMPLETE AMAFCA EXTENSION OF THE NORTH DOMINGO BACA ARROYO PERMANENT IMPROVEMENTS.

E. AGREEMENT FOR EXTENSION OF THE NORTH DOMINGO BACA ARROYO DRAINAGE FACILITY FROM A POINT 300 FEET WEST OF BARSTOW STREET. THIS COST-SHARING AGREEMENT, EXECUTED FEBRUARY 27, 2001, BETWEEN AMAFCA, ALBUQUERQUE PUBLIC SCHOOLS (APS), HOECH REAL ESTATE CORPORATION (HREC) AND THE CITY OF ALBUQUERQUE, ADDRESSES THE CONSTRUCTION BY AMAFCA OF THE AFOREMENTIONED PUBLIC 96" STORM DRAIN EXTENSION, ALONG WITH OTHER DRAINAGE AND BARSTOW STREET PAVING IMPROVEMENTS.

F. CONSTRUCTION PLANS FOR THE NORTH DOMINGO BACA ARROYO WINDOW K EXTENSION PREPARED BY JMA DATED, 04/03/2001, CITY PROJECT # 660281. THESE CONSTRUCTION PLANS WERE PREPARED FOR AMAFCA TO SUPPORT THE AFOREMENTIONED COST-SHARING AGREEMENT (REFERENCE E) AND INCLUDE THE PUBLIC STORM DRAIN EXTENSION AND INLET STRUCTURE BEING CONSTRUCTED WITHIN THE PUBLIC DRAINAGE RIGHT-OF-WAY AND EASEMENTS TO THE NORTH AND EAST OF THE SITE. AS PREVIOUSLY INDICATED, THESE IMPROVEMENTS, CONSTRUCTED BY AMAFCA, WERE SUBSTANTIALLY COMPLETE AT THE TIME THIS PLAN WAS PREPARED.

G. CONSTRUCTION PLANS FOR LA CUEVA VILLAGE UNIT 2 PATIO HOMES PREPARED BY JMA DATED, 5/02/2001, CITY PROJECT # 572985. THESE CONSTRUCTION PLANS INCLUDE THE PAVING, WATER, SANITARY SEWER, AND STORM DRAINAGE INFRASTRUCTURE FOR UNIT 2 OF LA CUEVA VILLAGE WHICH LIES ON THE WEST SIDE OF BARSTOW STREET, DIRECTLY ACROSS FROM THIS PROJECT. THESE PLANS INCLUDED THE PERMANENT BARSTOW STREET IMPROVEMENTS WHICH FRONT THE PROPOSED BROADSTONE HEIGHTS SITE. AT THE TIME OF PLAN PREPARATION, THE BARSTOW STREET PAVING PORTION OF THIS PROJECT WAS SUBSTANTIALLY COMPLETE.

H. PLAT OF TRACT A AND B, DESERT RIDGE PREPARED BY JMA FILED 05/09/01, BOOK 2001C, PG 134. THIS PLAT CREATED THE TRACT OF LAND FOR THE PROPOSED SITE (TRACT A). THIS PLAT INCLUDED A BULK LAND VARIANCE FOR TRACT A, THEREBY DEFERRING INFRASTRUCTURE REQUIREMENTS TO BE DETERMINED IN CONJUNCTION WITH SITE DEVELOPMENT PLANS FOR THE TRACT. THE PUBLIC DRAINAGE RIGHT-OF-WAY AND EASEMENTS TO SUPPORT THE AMAFCA COST-SHARING PROJECT WERE DEDICATED AND GRANTED WITH THE FILING OF THIS PLAT.

THE PROPOSED CONSTRUCTION OF A MULTI-FAMILY DEVELOPMENT DRAINING DIRECTLY AND FREELY TO THE PERMANENT NORTH DOMINGO BACA ARROYO DRAINAGE IMPROVEMENTS AS PROPOSED AND DESCRIBED HEREIN IS CONSISTENT WITH AND IN ACCORDANCE WITH THE POLICIES AND REQUIREMENTS OF THE ABOVE LISTED DOCUMENTS, AND IS CONSISTENT WITH THE CONCEPTS PREVIOUSLY ESTABLISHED BY THE CITY AND AMAFCA FOR THIS PHASE OF NORTH DOMINGO BACA ARROYO DEVELOPMENT.

IV. EXISTING CONDITIONS:

THE SITE IS UNDEVELOPED. BARSTOW STREET NE TO THE EAST IS A FULLY DEVELOPED PUBLIC STREET WITH STANDARD CURB AND GUTTER HAVING BEEN RECENTLY CONSTRUCTED AS PART OF CITY PROJECT # 572985 (REFERENCE G). AN EXISTING 96" PUBLIC STORM DRAIN IS CURRENTLY UNDER CONSTRUCTION BY AMAFCA WITHIN THE PUBLIC DRAINAGE RIGHT-OF-WAY TO THE NORTH. HOLLY AVENUE NE TO THE SOUTH IS UNDEVELOPED. CONSTRUCTION PLANS FOR THE PERMANENT HOLLY PAVING IMPROVEMENTS ARE CURRENTLY BEING PREPARED BY A DIFFERENT CONSULTANT TO SUPPORT THIS PROJECT.

THE SITE, GENERALLY SHEET DRAINS FROM EAST TO WEST, WITH THE MAJORITY OF RUNOFF ULTIMATELY REACHING RECENTLY CONSTRUCTED STORM DRAIN INLETS AT A SAG POINT IN BARSTOW STREET NE NEAR THE NORTHWEST CORNER OF THE SITE. THIS PUBLIC SYSTEM DRAINS TO THE WINDOW G SOIL CEMENT CHANNEL.

OFFSITE FLOWS DO NOT ENTER THE SITE FROM THE UNDEVELOPED HOLLY AVENUE NE TO THE SOUTH OR FROM THE PUBLIC DRAINAGE RIGHT OF WAY TO THE NORTH, BOTH OF WHICH EXHIBIT PARALLEL TOPOGRAPHY. OFFSITE FLOWS ARE INCAPABLE OF ENTERING THE SITE FROM BARSTOW STREET TO THE WEST WHICH IS A FULLY DEVELOPED STREET WHICH LIES TOPOGRAPHICALLY LOWER. DUE TO THE RECENTLY CONSTRUCTED PUBLIC DRAINAGE IMPROVEMENTS FROM PROJECT # 660281 (REFERENCE F) THE SITE IS NO LONGER IMPACTED BY OFFSITE FLOWS FROM THE MAIN CHANNEL OF THE NORTH DOMINGO BACA ARROYO. OFFSITE FLOWS FROM UNDEVELOPED PROPERTIES TO THE EAST IN THE AMOUNT OF 19.3 CFS PASS THROUGH THE SOUTHEAST CORNER OF THE SITE BEFORE REACHING HOLLY AVE NE RIGHT-OF-WAY. THESE FLOWS WILL TEMPORARILY BE REDIRECTED BY A HEADER CURB AT THE PROPERTY LINE TO THE SOUTH TO THEIR EXISTING OUTFALL IN HOLLY AVE NE. UPON DEVELOPMENT OF THE UPSTREAM PROPERTIES, ALL DEVELOPED RUNOFF WILL THEN BE DIRECTED TO THE NORTH, AND THESE OFFSITE FLOWS WILL BE ELIMINATED.

CONCEPTUAL DRAINAGE PLAN (CONTINUED)

V. DEVELOPED CONDITIONS

AS PREVIOUSLY DESCRIBED, THE PROPOSED IMPROVEMENTS CONSIST OF THE CONSTRUCTION OF A 24 BUILDING, 216 UNIT MULTI-FAMILY RESIDENTIAL DEVELOPMENT. OFFSITE PUBLIC DRAINAGE INFRASTRUCTURE SERVING THIS SITE HAS BEEN RECENTLY CONSTRUCTED BY AMAFCA AS PART OF A COST SHARING AGREEMENT. ALL DEVELOPED ONSITE DRAINAGE WILL BE DIRECTED TO PAVED PARKING AREAS AND STORM INLETS WHICH WILL INTRODUCE THE FLOWS TO A PRIVATE ONSITE STORM DRAIN WHICH WILL OUTFALL TO THE 96" PUBLIC STORM DRAIN THROUGH A 42" STUBOUT PROVIDED AT THE NORTHWEST CORNER OF THE SITE. THE APPROVED DRAINAGE REPORT AND CLOMR PREPARED BY THIS OFFICE TO SUPPORT THE AMAFCA PROJECT (REFERENCE D) DEMONSTRATED THAT THE 96" PUBLIC STORM DRAIN IS SIZED FOR FREE DISCHARGE OF FULLY DEVELOPED RUNOFF FROM THIS SITE AND WAS DESIGNED FOR AND DESIGNED TO ACCEPT THIS RUNOFF IN THIS MANNER.

A SEPARATE SUBMITTAL WILL BE MADE FOR BUILDING PERMIT APPROVAL. THAT SUBMITTAL WILL ADDRESS THE STATUS OF THE ADJACENT CONSTRUCTION PROJECTS, AND THE POST-CONSTRUCTION LOWR. IT WILL ALSO INCLUDE DETAILED SITE GRADING, ADDRESS PROJECT PHASING FOR CERTIFICATE OF OCCUPANCY PURPOSES, DELINEATE SUB-BASINS, AND PROVIDE A DETAILED DESIGN AND SUPPORTING CALCULATIONS FOR THE PRIVATE STORM DRAIN SYSTEM.

THE AMAFCA COST-SHARING AGREEMENT INCLUDES FUNDING AND PROVISIONS WHICH REQUIRE SUBMITTAL AND COMPLETION OF THE POST-CONSTRUCTION LOWR WHICH WILL ELIMINATE THE FLOODPLAIN WHICH IMPACTS A PORTION OF THE SITE. FLOOD INSURANCE MAY BE REQUIRED FOR ANY BUILDINGS CONSTRUCTED WITHIN THE FLOODPLAIN PRIOR TO FEMA APPROVAL OF THE LOMR.

VI. PUBLIC INFRASTRUCTURE

AS PREVIOUSLY INDICATED, A 96" PUBLIC STORM DRAIN IS CURRENTLY UNDER CONSTRUCTION BY AMAFCA UNDER CITY PROJECT NO. 660281 WITHIN THE PUBLIC DRAINAGE RIGHT OF WAY LOCATED TO THE NORTH OF THE SITE. ALSO, PAVING IMPROVEMENTS IN BARSTOW STREET NE ARE CURRENTLY UNDER CONSTRUCTION UNDER CITY PROJECT NO. 572985 AND INCLUDE A FULL WIDTH OF PAVING. IN SUPPORT OF THE SITE PLAN APPROVAL BY THE DRB, A 10" WATERLINE AND HALF WIDTH (NORTH) PAVING IN HOLLY AVE. NE AND A DECAL LANE IN BARSTOW STREET NE ARE SHOWN ON THE DRAFT INFRASTRUCTURE LIST INCLUDED WITH THIS SUBMITTAL. PUBLIC RIGHT OF WAY WILL BE DEDICATED BY PLAT IN ORDER TO ACCOMMODATE THE NEW DECAL LANE IN BARSTOW STREET NE.

VII. GRADING PLAN

THE GRADING PLAN ON SHEET 2 OF THIS SUBMITTAL SHOWS: 1) EXISTING GRADES INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1'0" INTERVALS AS TAKEN FROM THE TOPOGRAPHIC SURVEY PREPARED BY JEFF MORTENSEN & ASSOCIATES, INC DATED 11/03/2000, 2) PROPOSED GRADES INDICATED BY SPOT ELEVATIONS AND BUILDING PAD ELEVATIONS, 3) THE LIMIT AND CHARACTER OF THE EXISTING IMPROVEMENTS, 4) THE LIMIT AND CHARACTER OF THE PROPOSED IMPROVEMENTS, 5) CONTINUITY BETWEEN EXISTING AND PROPOSED GRADES, 6) THE EXISTING FLOODPLAIN LIMITS, 7) THE LIMIT AND CHARACTER OF PUBLIC STORM DRAINAGE IMPROVEMENTS CURRENTLY UNDER CONSTRUCTION BY CITY PROJECT # 660281, AND 8) THE LIMIT AND CHARACTER OF BARSTOW STREET PAVING IMPROVEMENTS CURRENTLY UNDER CONSTRUCTION BY CITY PROJECT # 572985.

VIII. CALCULATIONS

THE CALCULATIONS, WHICH APPEAR HEREON, ANALYZE BOTH THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRE AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, DATED JANUARY, 1993, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUNOFF GENERATED. AS DEMONSTRATED BY THE PROPOSED DRAINAGE REPORT AND CLOMR PREPARED BY THIS OFFICE TO SUPPORT THE AMAFCA PROJECT (REFERENCE D), THE 96" PUBLIC STORM DRAIN IS SIZED FOR FREE DISCHARGE OF FULLY DEVELOPED RUNOFF FROM THIS SITE.

IX. CONCLUSION

THE PROPOSED IMPROVEMENTS ARE CONSISTENT WITH THE DEVELOPMENT CRITERIA ESTABLISHED BY SEVERAL PREVIOUS PLANS. DEVELOPED RUNOFF FROM THIS SITE WILL DRAIN FREELY TO EXISTING DOWNSIDE IMPROVEMENTS WHICH WERE RECENTLY CONSTRUCTED BY AMAFCA AS PART OF A COST-SHARING AGREEMENT. THERE ARE NO NEW PUBLIC DRAINAGE EASEMENTS, DRAINAGE RIGHT OF WAY, DESIGN VARIANCES, OR PUBLIC DRAINAGE INFRASTRUCTURE IMPROVEMENTS REQUIRED BY THIS PROPOSAL. THE INFRASTRUCTURE LIST FOR THIS PROJECT INCLUDES A 10" WATER LINE AND HALF WIDTH PAVING IN HOLLY AVE. N.E. AND A DECAL LANE IN BARSTOW STREET N.E.

CALCULATIONS

SITE CHARACTERISTICS

I. PRECIPITATION ZONE = 3

II. P_{6,100} = P₃₆₀ = 2.60 IN.

III. TOTAL AREA (A_T) = 474,520 SF/10.89 AC

IV. EXISTING LAND TREATMENT

Table with 3 columns: Treatment, Area (SF/AC), %

V. DEVELOPED LAND TREATMENT

Table with 3 columns: Treatment, Area (SF/AC), %

VI. EXISTING CONDITION

1. VOLUME

E_w = (E_AA_A + E_BA_B + E_CA_C + E_DA_D) / A_T

E_w = [(0.66)(10.67) + (1.29)(0.22)] / 10.67 = 0.69 IN.

V₁₀₀ = (E_w / 12) A_T

V₁₀₀ = (0.69 / 12) 474,520 = 27,280 CF

2. PEAK DISCHARGE

Q_p = Q_{PA}A_A + Q_{PB}A_B + Q_{PC}A_C + Q_{PD}A_D

Q_p = Q₁₀₀ = (1.87)(10.67) + (3.45)(0.22) = 20.7 CFS

VII. DEVELOPED CONDITION

1. VOLUME

E_w = (E_AA_A + E_BA_B + E_CA_C + E_DA_D) / A_T

E_w = [(0.92)(1.63) + (1.29)(1.63) + (2.36)(7.63)] / 10.67 = 2.03 IN.

V₁₀₀ = (E_w / 12) A_T

V₁₀₀ = (2.03 / 12) 474,520 = 80,270 CF

2. PEAK DISCHARGE

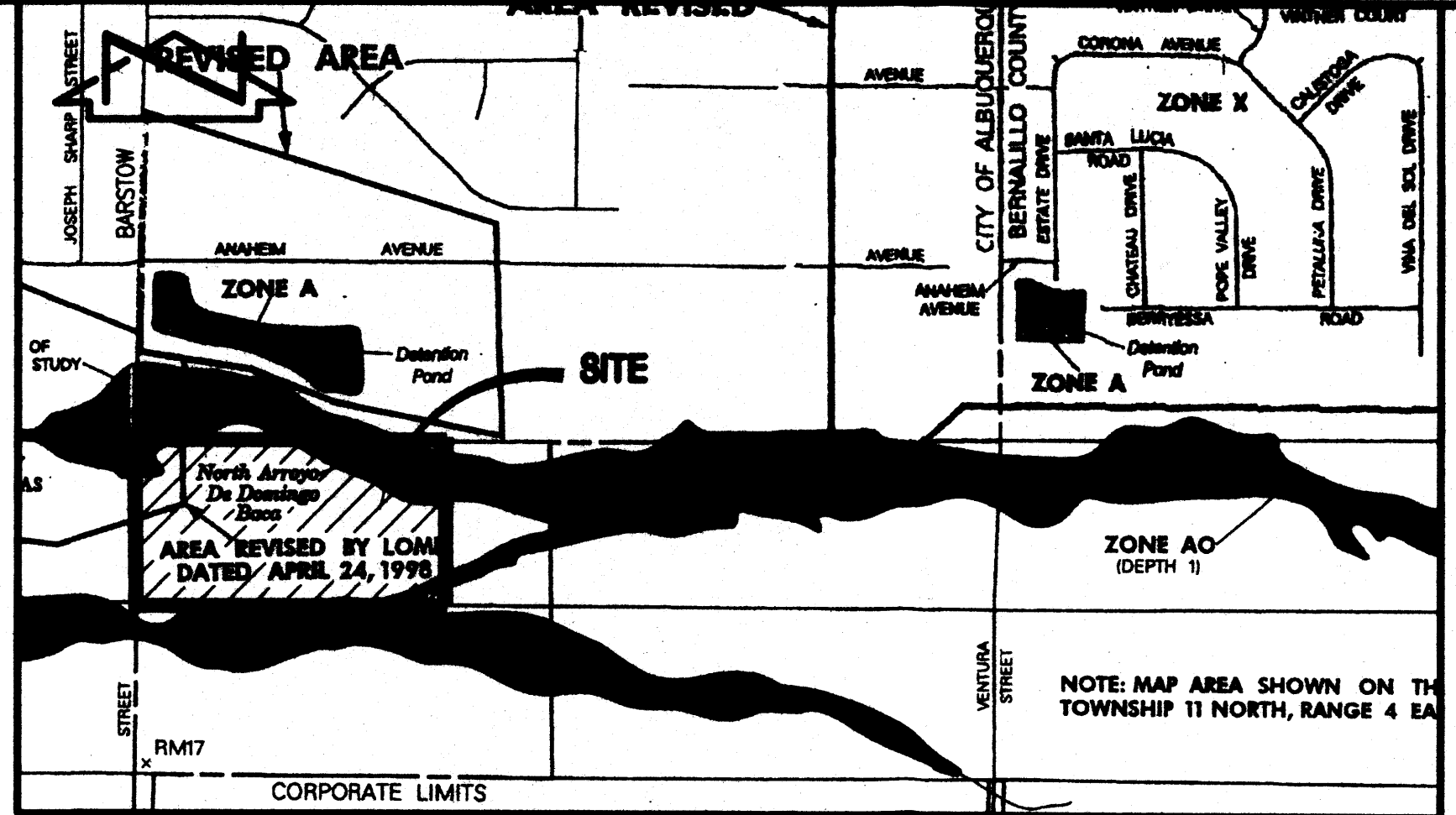
Q_p = Q_{PA}A_A + Q_{PB}A_B + Q_{PC}A_C + Q_{PD}A_D

Q_p = Q₁₀₀ = (2.60)(1.63) + (3.45)(1.63) + (5.02)(7.63) = 48.2 CFS

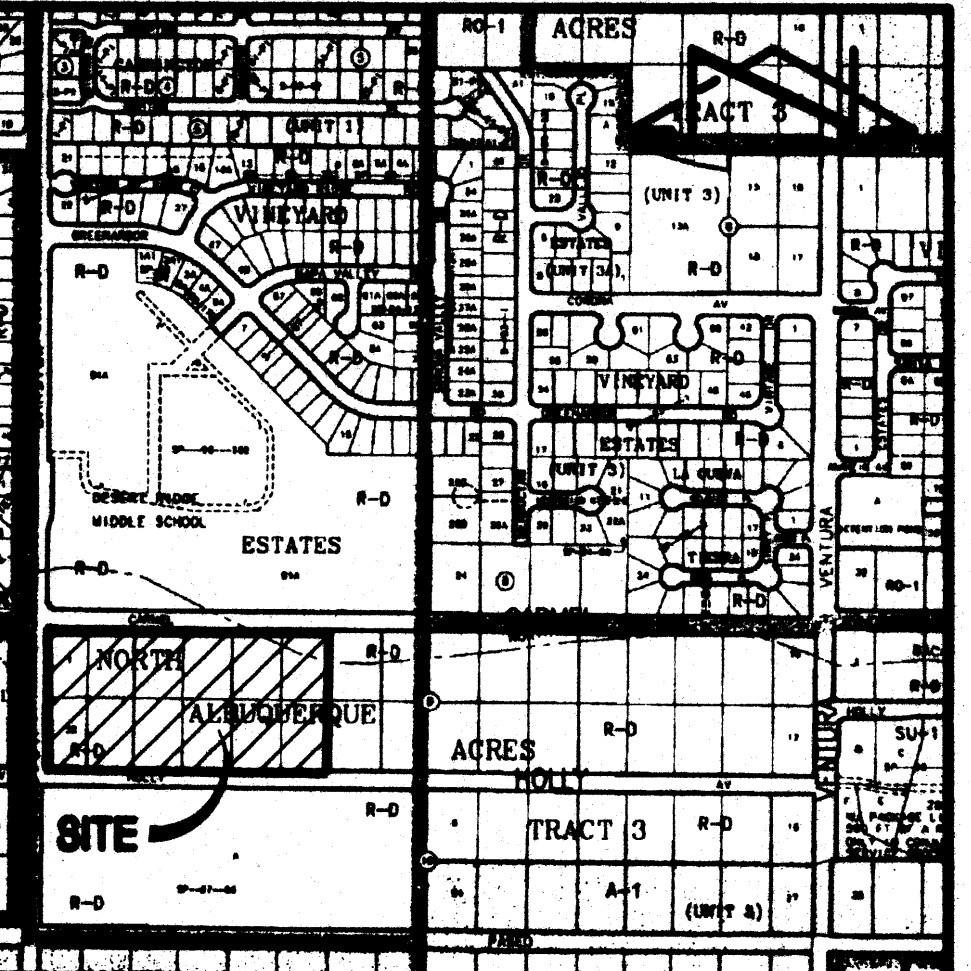
VIII. COMPARISON

1. ΔV₁₀₀ = 80,270 - 27,280 = 52,990 CF (INCREASE)

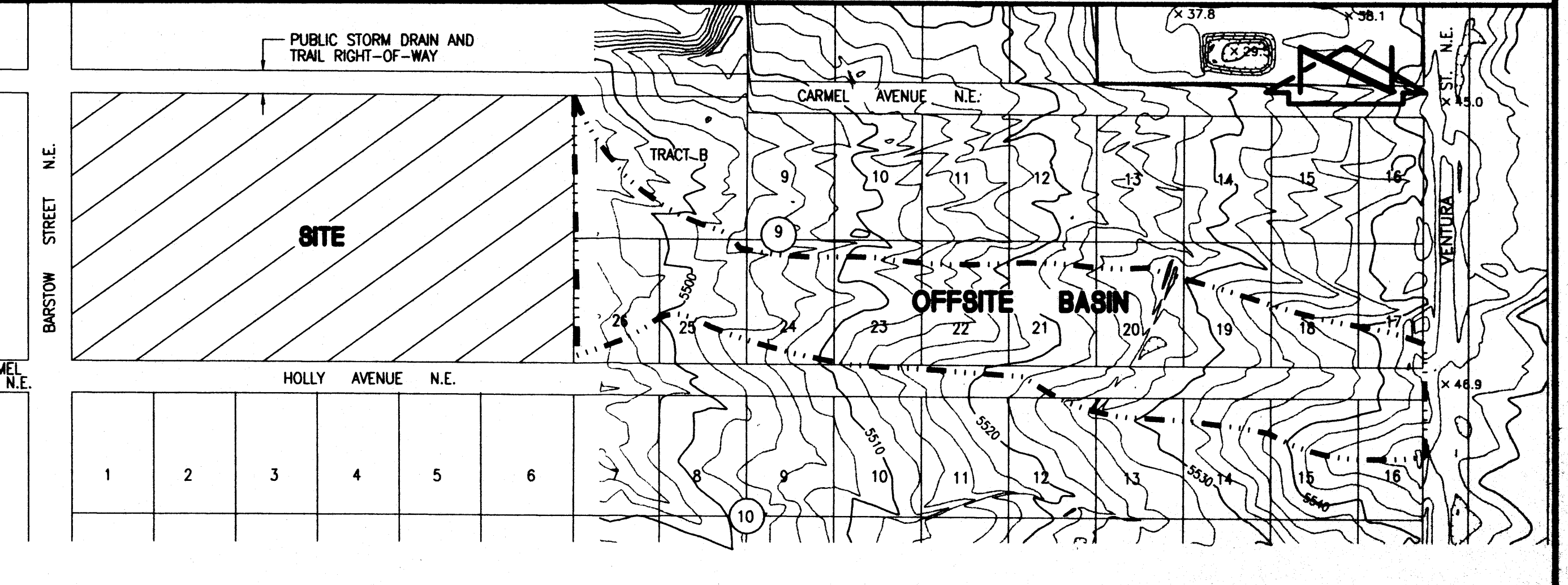
2. ΔQ₁₀₀ = 48.2 - 20.7 = 27.5 CFS (INCREASE)



PANEL 141 OF 825 REVISED TO REFLECT L.O.M.R.S DATED 09/23/96, 04/24/98 AND 04/26/99



VICINITY MAP SCALE: 1" = 750'±



OFFSITE BASIN MAP SCALE: 1" = 200'± CONTOURS FROM AERIAL PHOTOGRAPHY 8/11/1998 PROVIDED BY BERNALILLO COUNTY

OFFSITE BASIN CALCULATIONS

A_T = 9.9 ac
A_A = 9.4 ac
A_C = 0.5 ac
Q₁₀₀ = Q_AA_A + Q_CA_C = (1.87)(9.4) + (3.45) = 19.3 cfs
Q₁₀₀ = 19.3 cfs

PROJECT BENCHMARK

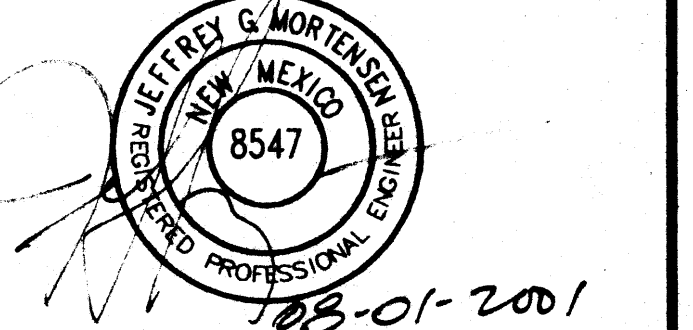
AN ALUMINUM CAP LOCATED AT THE SW CORNER OF VENTURA AND SIGNAL AND STAMPED "3-C20. (NOTE: ELEVATION NOT PUBLISHED. DATA FROM CITY SURVEY DEPARTMENT.) ELEVATION = 5569.89 FEET (M.S.L.D.-1929)

T.B.M.

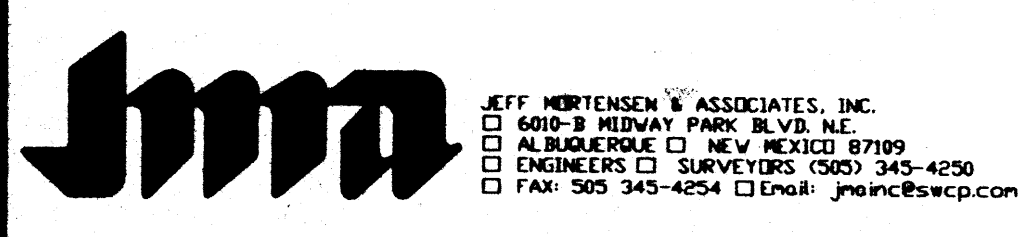
T.B.M. A #5 REBAR WITH CAP "ILLEGIBLE" AND LOCATED AT THE SW CORNER OF DESERT RIDGE MIDDLE SCHOOL AS SHOWN ON THE DRAWING. ELEVATION = 5467.52 FEET (M.S.L.D.1929)

EROSION CONTROL MEASURES:

- 1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
3. THE CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION.
4. ANY AREAS OF EXCESS DISTURBANCE (TRAFFIC ACCESS, STORAGE YARD, EXCAVATED MATERIAL, ETC.) SHALL BE RE-SEEDING ACCORDING TO C.O.A. SPECIFICATION 1012 "NATIVE GRASS SEEDING". THIS WILL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.



Plot Date: 08-01-2001 Plot Time: 10:33 am File Path: E:\JMA\WORK\100281\DWG File Name: 10283VL.DWG



CONCEPTUAL DRAINAGE PLAN, CALCULATIONS, VICINITY MAP, F.I.R.M. AND OFFSITE BASIN MAP BROADSTONE HEIGHTS

Table with columns: DESIGNED BY, DRAWN BY, APPROVED BY, NO., DATE, BY, REVISIONS, JOB NO., DATE, SHEET

BOUNDARY TABLE

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C1	30.00'	47.02'	42.36'	N 44°44'57" W	89°48'26"

PROJECT BENCHMARK

AN ALUMINUM CAP LOCATED AT THE SW CORNER OF VENTURA AND SIGNAL AND STAMPED "C-20"
(NOTE: ELEVATION NOT PUBLISHED. DATA FROM CITY SURVEY DEPARTMENT.)
ELEVATION = 5569.89 FEET (M.S.L.D.)

T.B.M.

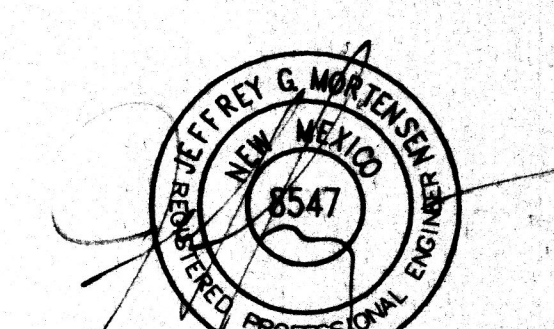
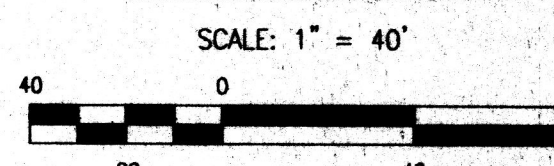
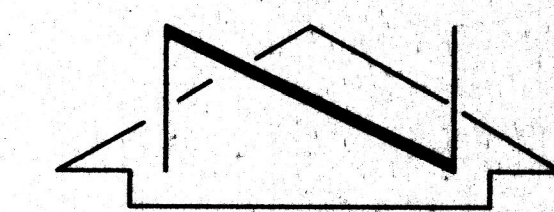
A #5 REBAR WITH CAP "ILLEGIBLE" AND LOCATED AT THE SW CORNER OF TRACT A, DESERT RIDGE MIDDLE SCHOOL.
ELEVATION = 5467.52 FEET (M.S.L.D.)

LEGEND

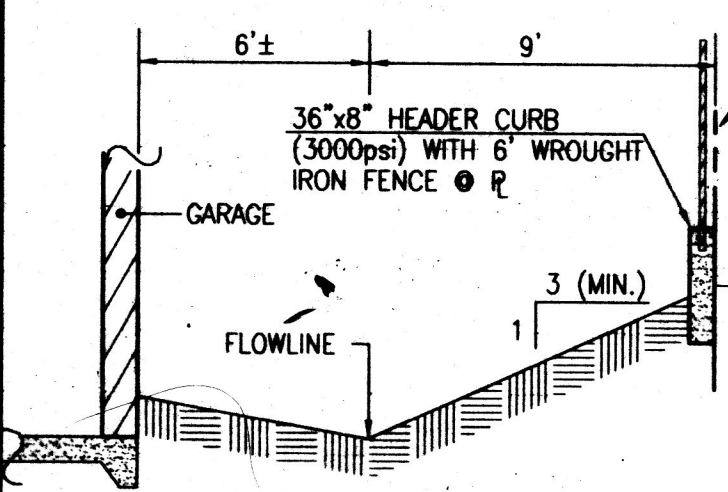
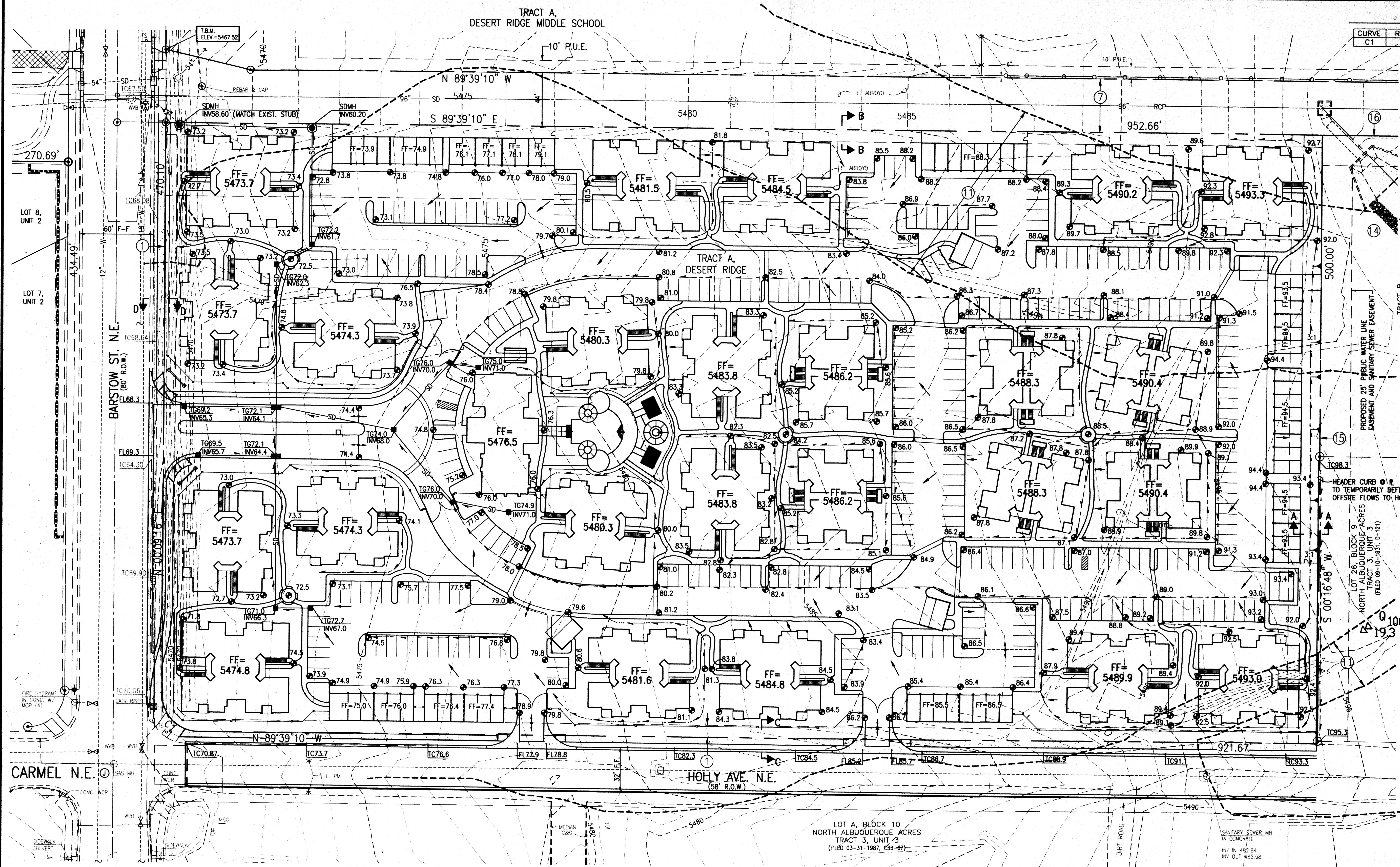
C&G	CURB AND GUTTER
CATV	CABLE TELEVISION CABINET
EA	EDGE OF ASPHALT
EC	ELECTRIC CABINET
EM	ELECTRIC METER
EPB	ELECTRIC PULLBOX
FL	FLOWLINE
FO	FIBER OPTIC
INV	INVERT
MH	MANHOLE
NG	NATURAL GRADE
RCP	REINFORCED CONCRETE PIPE
SAS	SANITARY SEWER
SD	STORM DRAIN
SDMN	STORM DRAIN MANHOLE
TA	TOP OF ASPHALT
TC	TOP OF CURB
TCO	TOP OF CONCRETE
TELE CAB	TELEPHONE CABINET
TPB	TRAFFIC PULLBOX
TR	TELEPHONE RISER
TW	TOP OF WALL
U/G T	UNDERGROUND TELEPHONE
U/G CATV	UNDERGROUND CABLE TELEVISION
WM	WATER METER
WPP	WOOD POWER POLE
WV	WATER VALVE BOX
WVB	EXISTING CONTOUR
---	FLOWLINE
---	PROPOSED FLOWLINE
●	PROPOSED SPOT ELEVATION
▲	HIGH POINT
---	EXISTING FLOOD HAZARD ZONE (SEE KEYED NOTE # 11)
■	PROPOSED STORM INLET
●	PROPOSED STORM DRAIN MANHOLE
●	EXIST. STORM DRAIN MANHOLE

KEYED NOTES

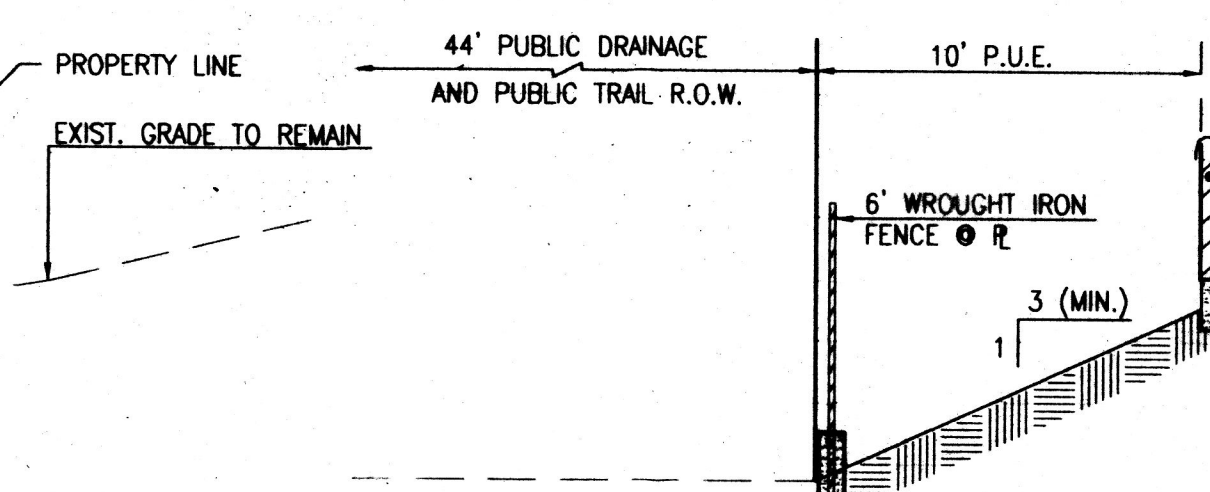
- ① 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 2001C-134.
- ② PUBLIC STORM DRAINAGE AND PUBLIC TRAIL RIGHT-OF-WAY DEDICATED BY PLAT 2001C-135, OFFSITE.
- ③ APPROXIMATE LIMITS OF 100-YEAR FLOODPLAIN (ZONE AO, DEPTH 1) AS SHOWN ON F.L.R.M. PANEL 141 OF 825, MAP NUMBER 35001C0141D, EFFECTIVE DATE SEPTEMBER 20, 1996 (SHOWN FOR INFORMATION ONLY. CLMOR PENDING. LOMR TO FOLLOW COMPLETION OF NORTH DOMINGO BACA WINDOW K STORM DRAIN EXTENSION CONSTRUCTION).
- ④ A.M.A.F.C.A. DRAINAGE EASEMENT GRANTED BY PLAT 2001C-134.
- ⑤ 25' PUBLIC WATER LINE AND SANITARY SEWER EASEMENT GRANTED BY PLAT 2001C-134 (TO BE VACATED).
- ⑥ 25' PUBLIC WATER LINE AND SANITARY SEWER EASEMENT GRANTED BY PLAT 2001C-134.



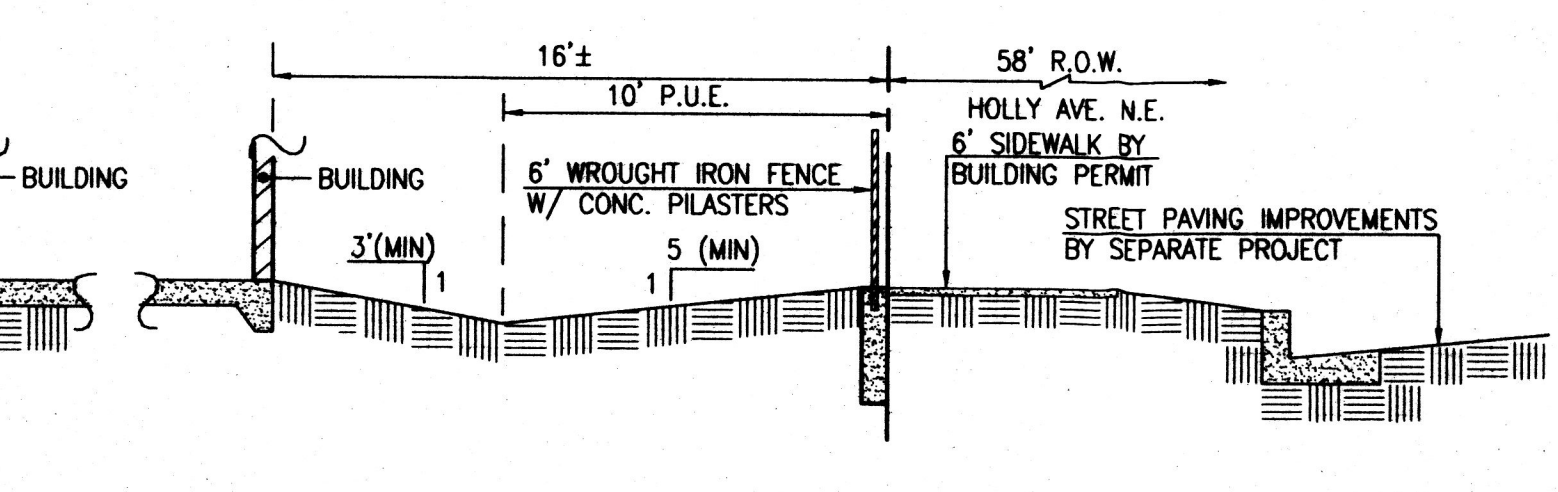
08-01-2001



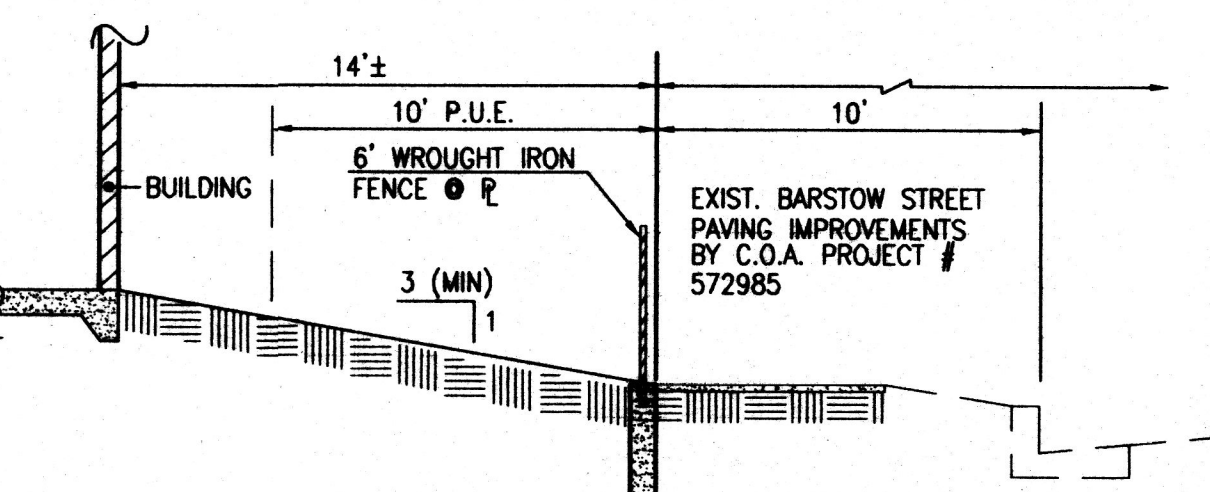
SECTION A-A
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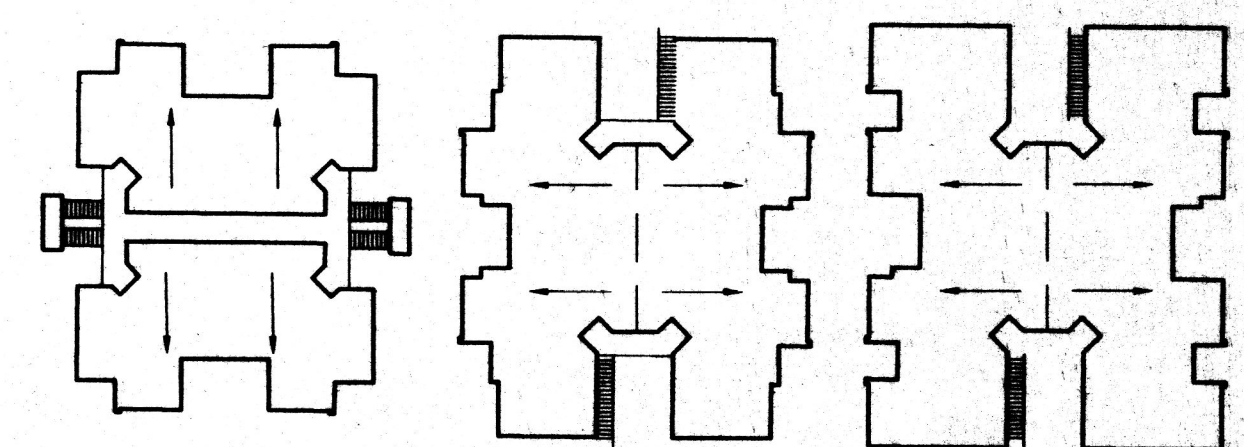
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SECTION C-C
SCALE: 1"=5'

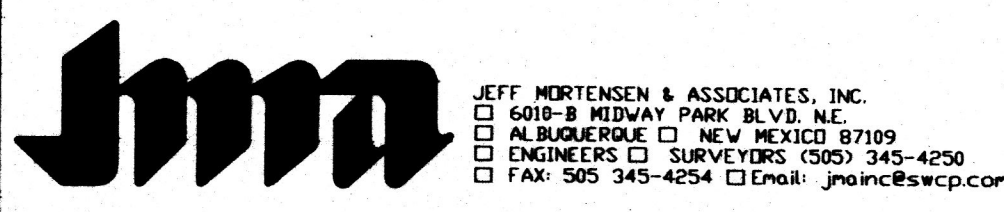


SECTION D-D
SCALE: 1"=5'



TYPICAL ROOF DRAINAGE

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 Plot Time: 10:11 am
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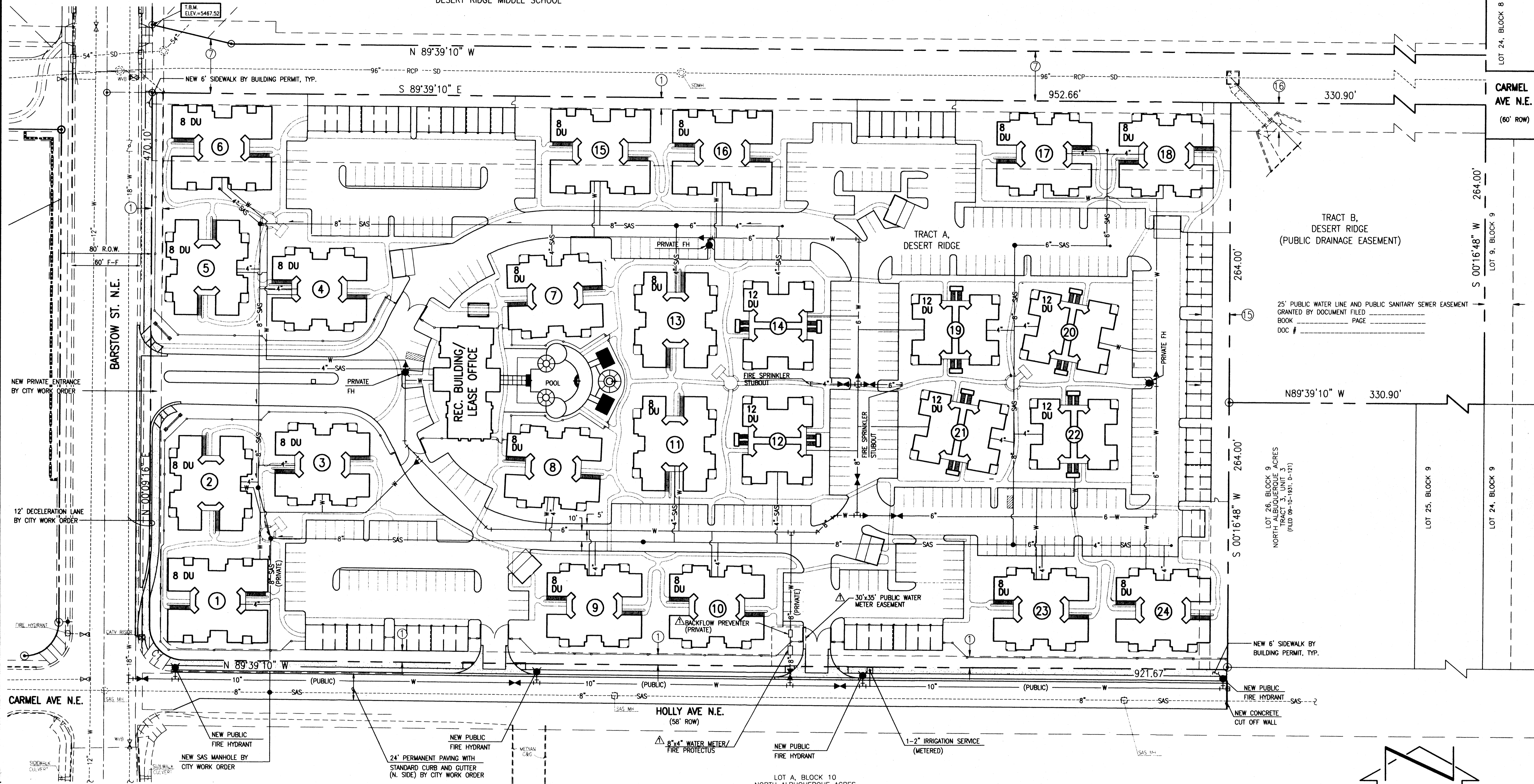


JEFF MORTENSEN & ASSOCIATES, INC.
 6010-B MIDWAY PARK BLVD. N.E.
 ALBUQUERQUE, NEW MEXICO 87109
 ENGINEERS & SURVEYORS (C05) 345-4250
 FAX: 505 345-4254 Email: jma@jma-inc.com

**CONCEPTUAL GRADING PLAN
BROADSTONE HEIGHTS**

DESIGNED BY	DATE	BY	REVISIONS	JOB NO.
C.J.S.				2001.028.3
DRAWN BY				DATE
J.Y.R.				08-2001
APPROVED BY				SHEET
J.G.M.				G.2

TRACT A,
DESERT RIDGE MIDDLE SCHOOL



TRACT B,
DESERT RIDGE
(PUBLIC DRAINAGE EASEMENT)

25' PUBLIC WATER LINE AND PUBLIC SANITARY SEWER EASEMENT
GRANTED BY DOCUMENT FILED
BOOK _____ PAGE _____
DOC # _____

LOT 26, BLOCK 9
NORTH ALBUQUERQUE ACRES
TRACT 3, UNIT 3
(FILED 09-10-1931, D-121)

HOLLY AVE. N.E.
(58' ROW)

8" x 4" WATER METER/
FIRE PROTECTUS

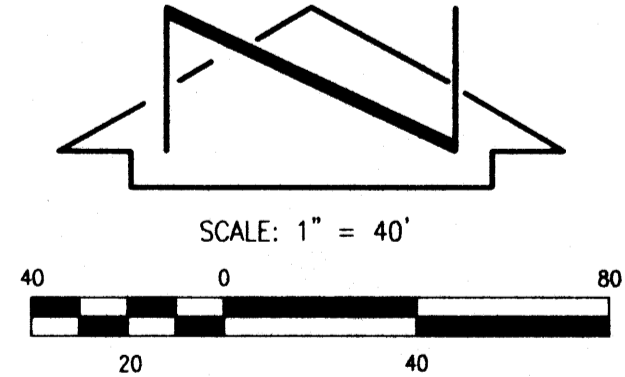
LOT A, BLOCK 10
NORTH ALBUQUERQUE ACRES
TRACT 3, UNIT 3
(FILED 03-31-1987, C33-67)

BOUNDARY TABLE

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C1	30.00'	47.02'	42.36'	N 44°44'57" W	89°48'26"

KEYED NOTES

- ① 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 2001C-134
- ⑦ PUBLIC STORM DRAINAGE AND PUBLIC TRAIL RIGHT-OF-WAY DEDICATED BY PLAT 2001C-135, OFFSITE
- ⑮ 25' PUBLIC WATER LINE AND PUBLIC SANITARY SEWER EASEMENT GRANTED BY PLAT 2001C-134 - TO BE VACATED.
- ⑯ 25' PUBLIC WATER LINE AND PUBLIC SANITARY SEWER EASEMENT GRANTED BY PLAT 2001C-134 - TO REMAIN.



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 Plot Time: 08:27 am

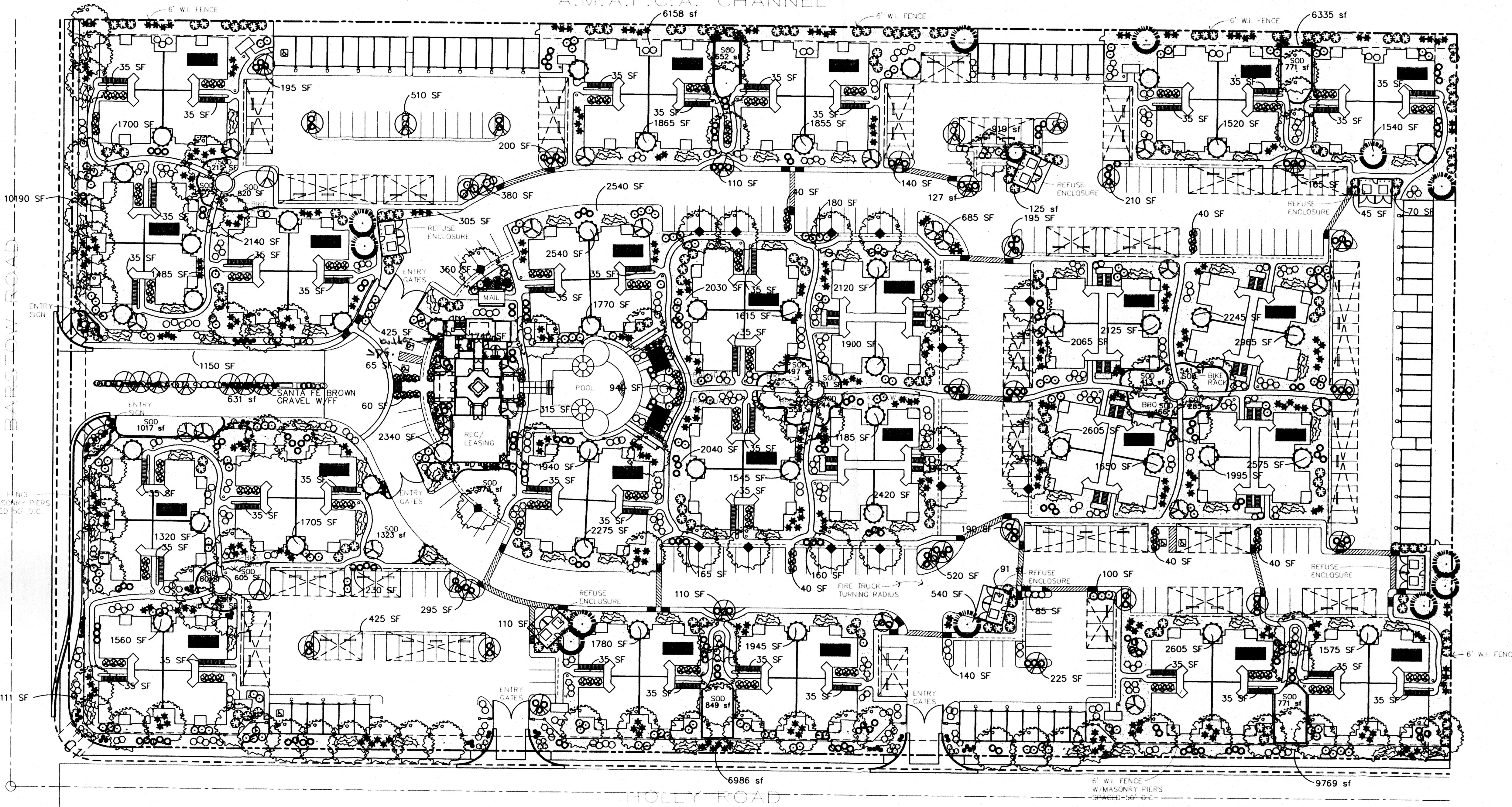
JEFF MORTENSEN & ASSOCIATES, INC.
 6000-B MIDWAY PARK BLVD. N.E.
 ALBUQUERQUE, N.M. 87109
 ENGINEERS & SURVEYORS (505) 343-4250
 FAX: 505 343-4254 □ Email: jmort@jma.com

CONCEPTUAL INFRASTRUCTURE AND PRIVATE UTILITY SITE PLAN
BROADSTONE HEIGHTS

DESIGNED BY	J.G.M.	NO.	DATE	BY	REVISIONS	JOB NO.	2001.028.4
DRAWN BY	J.Y.R.	1	08-01	G.M.	ADDRESS DRB COMMENTS.	DATE	08-2001
APPROVED BY	J.G.M.					SHEET	OF INF.1

Professional Engineer Seal for Jeff Mortensen, License No. 8547, State of New Mexico. Includes handwritten dates 08-23-2001 and 07-31-2001.

A.M.A.F.C.A. CHANNEL



- ### PLANT LEGEND
- HONEY LOCUST, OR SYCAMORE (H) 102
Gleditsia triacanthos
Platanus spp.
2" Cal.
 - FLOWERING PEAR (H) 41
Pyrus calleryana
2" Cal.
 - AUSTRIAN PINE (H) 13
Pinus nigra
6"-8"
 - DESERT WILLOW (L) 47
Chilopsis linearis
15 Gal.
 - WASHINGTON HAWTHORN (H) 24
Crataegus phanopyrum
15 Gal.
 - PALM YUCCA (L) 3
 - INDIAN HAWTHORN (M) 150
Raphiolepis indica
5 Gal.
 - RUSSIAN SAGE (M) 189
Perovskia atriplicifolia
5 Gal.
 - APACHE PLUME (L) 149
Fallugia paradoxa
5 Gal.
 - CREEPING ROSEMARY (M) 247
Rogmarinus officinalis
5 Gal.
 - MAIDEN GRASS (M) 336
Miscanthus sinensis
5 Gal.
 - THREADGRASS (L) 83
Stipa tenuissima
2 Gal.
 - AUTUMN SAGE (M) 235
Salvia greggii
2 Gal.
 - CHAMISA (L) 165
Chrysothamnus nauseosus
1 Gal.
 - TAM JUNIPER (M) 204
Juniperus sabina
1 Gal.
 - WILDFLOWER 36
1 Gal.
 - OVERSIZED GRAVEL & BOULDERS
 - 3/4" GRAY GRAVEL WITH FILTER FABRIC
 - SOD
 - COMMERCIAL GRADE STEEL EDGING

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

3/4" Gray Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

LANDSCAPE CALCULATIONS

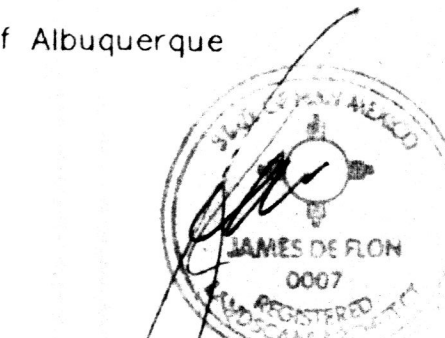
NET LANDSCAPE AREA	
TOTAL LOT AREA	475,863 square feet
TOTAL BUILDINGS AREA	97,000 square feet
OFFSITE AREA	0 square feet
NET LOT AREA	378,863 square feet
LANDSCAPE REQUIREMENT	15%
TOTAL LANDSCAPE REQUIREMENT	56,830 square feet
TOTAL LANDSCAPE PROVIDED	146,621 square feet
TOTAL BED PROVIDED	136,320 square feet
TOTAL SOD PROVIDED	10,301 (18%) square feet
TOTAL NATIVE SEED PROVIDED	0 square feet

STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Name of Street: BARSTOW ROAD NE
Required #: 16 Provided #: 16

Name of Street: HOLLY ROAD NE
Required #: 30 Provided #: 30



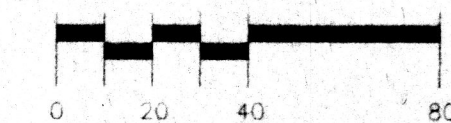
The Hilltop
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LANDSCAPE PLAN

SCALE: 1" = 40'-0"



BROADSTONE HEIGHTS
Barstow & Holly Road
ALBUQUERQUE, NEW MEXICO
ALLIANCE RESIDENTIAL COMPANY

4808 N. 22nd STREET, STE. 200
PHOENIX, ARIZONA 85016

DRB Submittal

Architecture/Planning/Landscape Architecture

4019 North 44th Street • Phoenix, Arizona 85018 • (602) 952-8280 • FAX (602) 952-8995
Job# 01-2018-00 Date: July 24, 2001 Revision: Preliminary Not For Construction

