

PROJECT 1001031

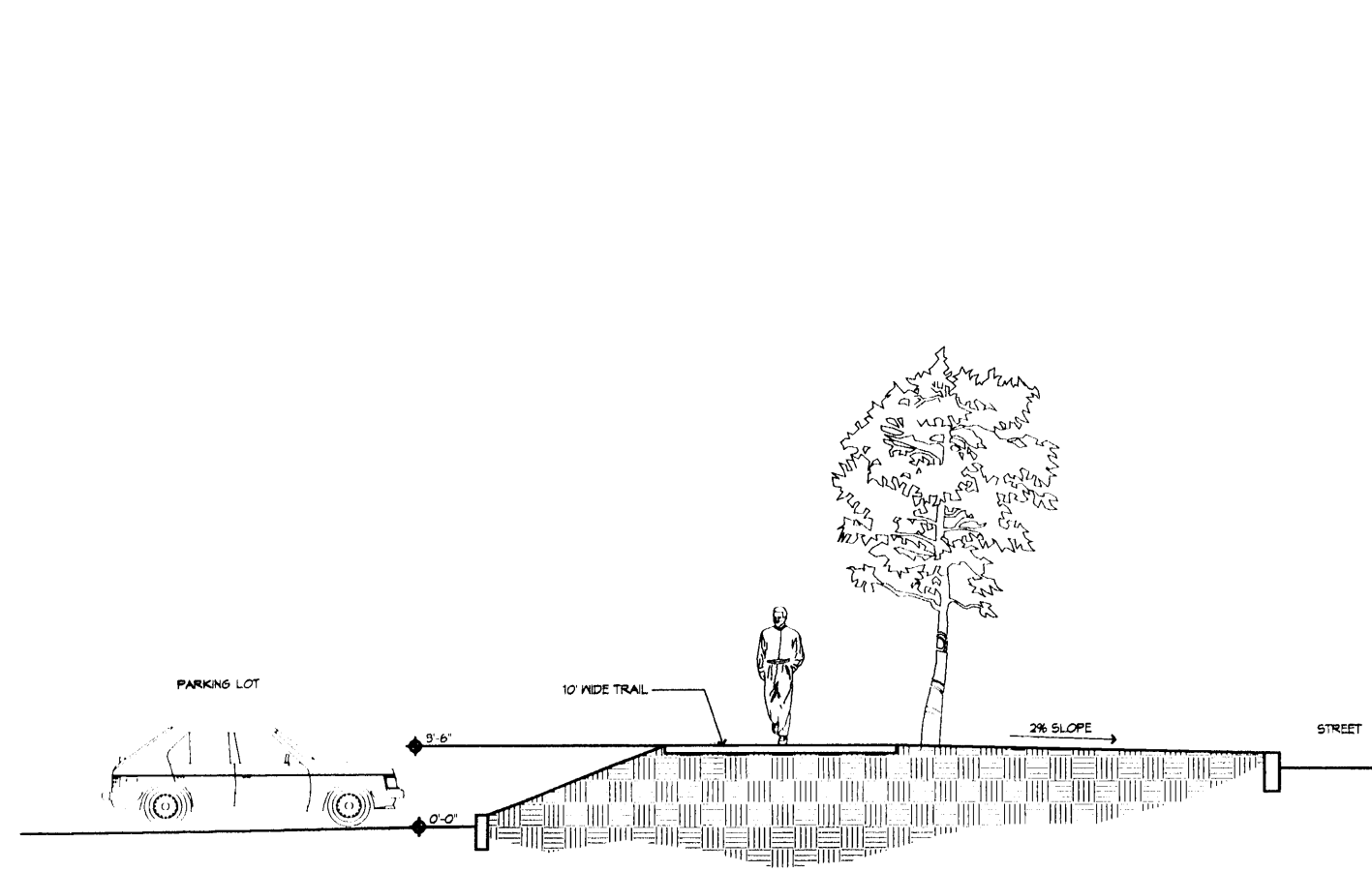
GENERAL NOTES

- A. PARKING LOT TREES - 1 PER EVERY 6 PARKING SPACES.
- B. CROSS ACCESS & CROSS PARKING AGREEMENT BETWEEN PHASE I & PHASE II WILL BE INCORPORATED INTO THE FINAL PLAN.

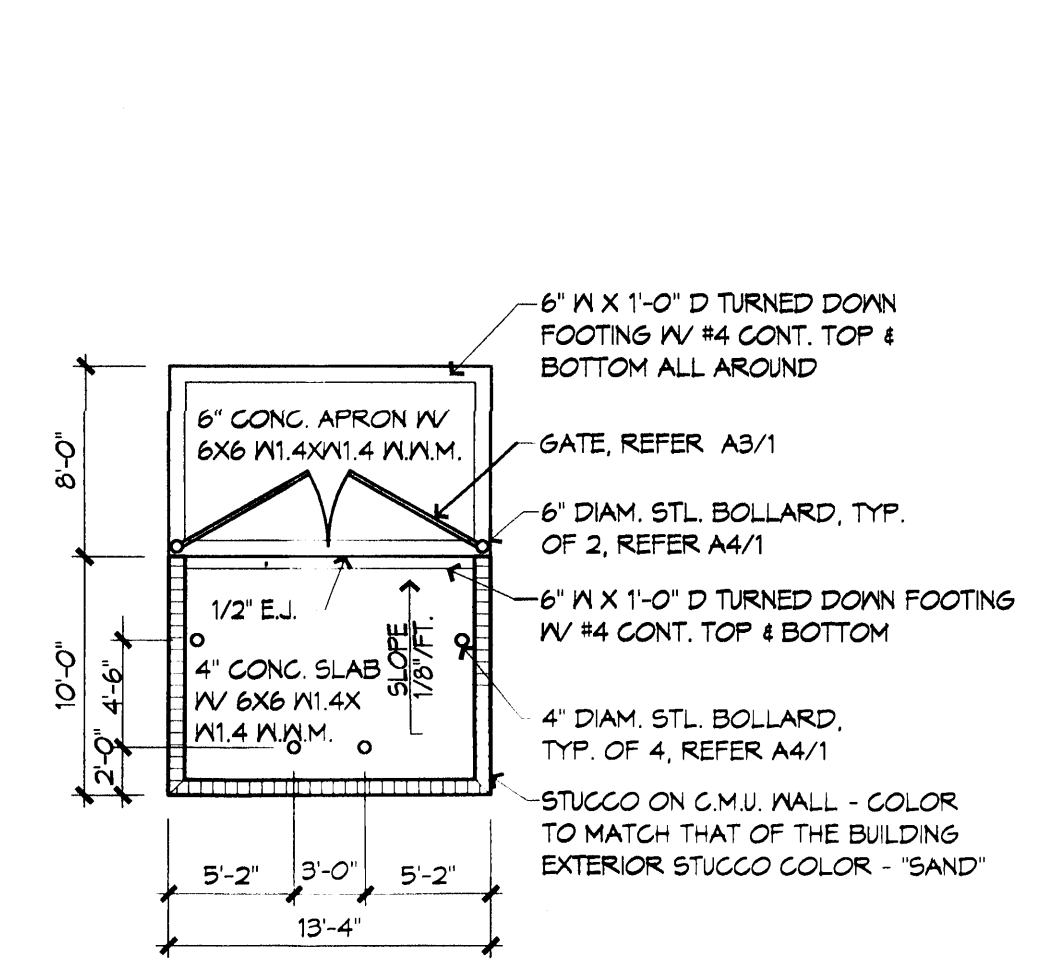
KEY NOTES

1. 8" CMU REFUSE ENCLOSURE PER C.O.A. SOLID PASTE DEPT. STANDARDS. STUCCO TO MATCH PRIMARY BUILDING COLOR. REFER DETAIL A2/1.
2. HANDICAPPED PARKING SIGN, REFER TO DETAIL C/1.
3. BICYCLE RACK IV 1 SPACES, REFER DETAIL A5/1.
4. LANDSCAPE AREA.
5. CONCRETE SIDEWALK.
6. PROPERTY LINE.
7. 28" O.D. PARKING SETBACK ALONG INNOVATION PARKWAY.
8. 15'-0" PARKING SETBACK.
9. 50'-0" X 50'-0" PARKING SETBACK AT INTERIOR CORNER MONUMENT SIGN, REFER TO DETAIL D/1.
10. 20'-0" SPACING OF TREES ALONG INNOVATION PARKWAY.
11. 30'-0" SPACING OF TREES ALONG RESEARCH ROAD.
12. TEXTURED PEDESTRIAN CONNECTION.
13. TREES @ 20'-0" O.D. @ PEDESTRIAN CONNECTION.
14. CAR/VAN POOL, REFER DETAIL C/1.
15. 30" BOLLARD SETBACK.
16. PAINTED PARKING STRIPES.
17. STABILIZED CRUSHER FINE PEDESTRIAN PATH, 6" WIDE.
18. 1/2" I.V. SCREENS.
19. ELECTRICAL TRANSFORMER IV SCREEN MALL ON THREE SIDES CMU SCREEN MALL STUCCO FINISH TO MATCH PRIMARY BUILDING COLOR. #1-10 BE @ 8" ON CENTER.
20. STABILIZED CRUSHER FINE BIKE PAD.
21. 30" BOLLARD SANITARY SEWER EASEMENT.
22. CONCRETE TRAIL.
23. EXISTING RAMP.
24. LOCATE METERS ALONG WEST SIDE OF BUILDING.
25. ASPHALTIC PAVING PER SOILS REPORT.
26. 1/2" ACCESSIBLE RAMP.
27. COLORED CONCRETE PAVEMENT CONTROL JOINTS @ 10'-0" O.C. AND EXPANSION JOINTS @ 25'-0" O.C.
28. PEDESTRIAN ACCESS EASEMENT TO BE ESTABLISHED BY PLAT TO NORTH EDGE OF SIDEWALK.
29. NOT USED.
30. NOT USED.
31. 18" PRIVATE SANITARY SEWER EASEMENT.

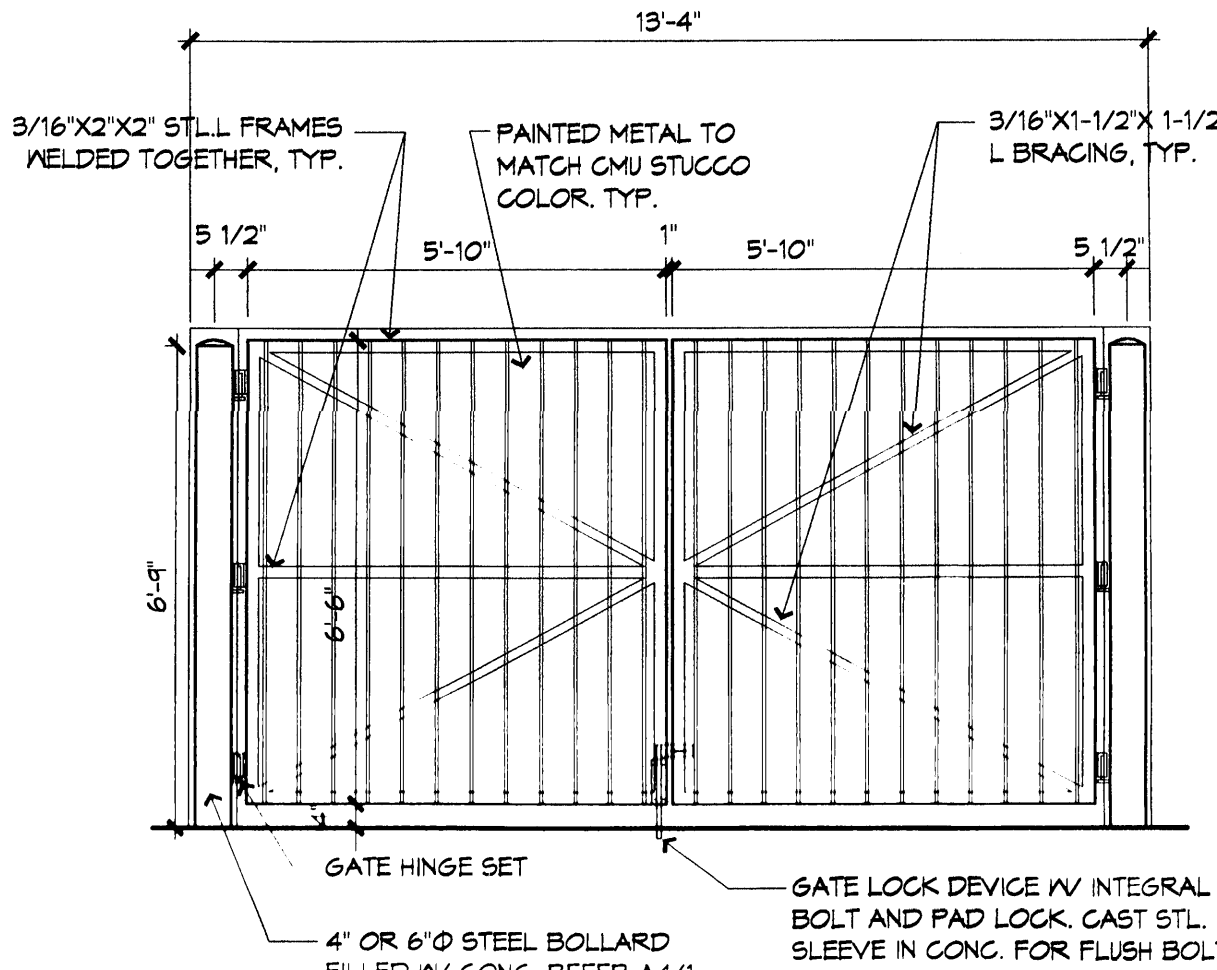
NOTE: MODIFY SIZE FOR # OF SPACES REQUIRED CITY OF ALBUQUERQUE STANDARDS
1 BIKE SPACE/20 CAR SPACES



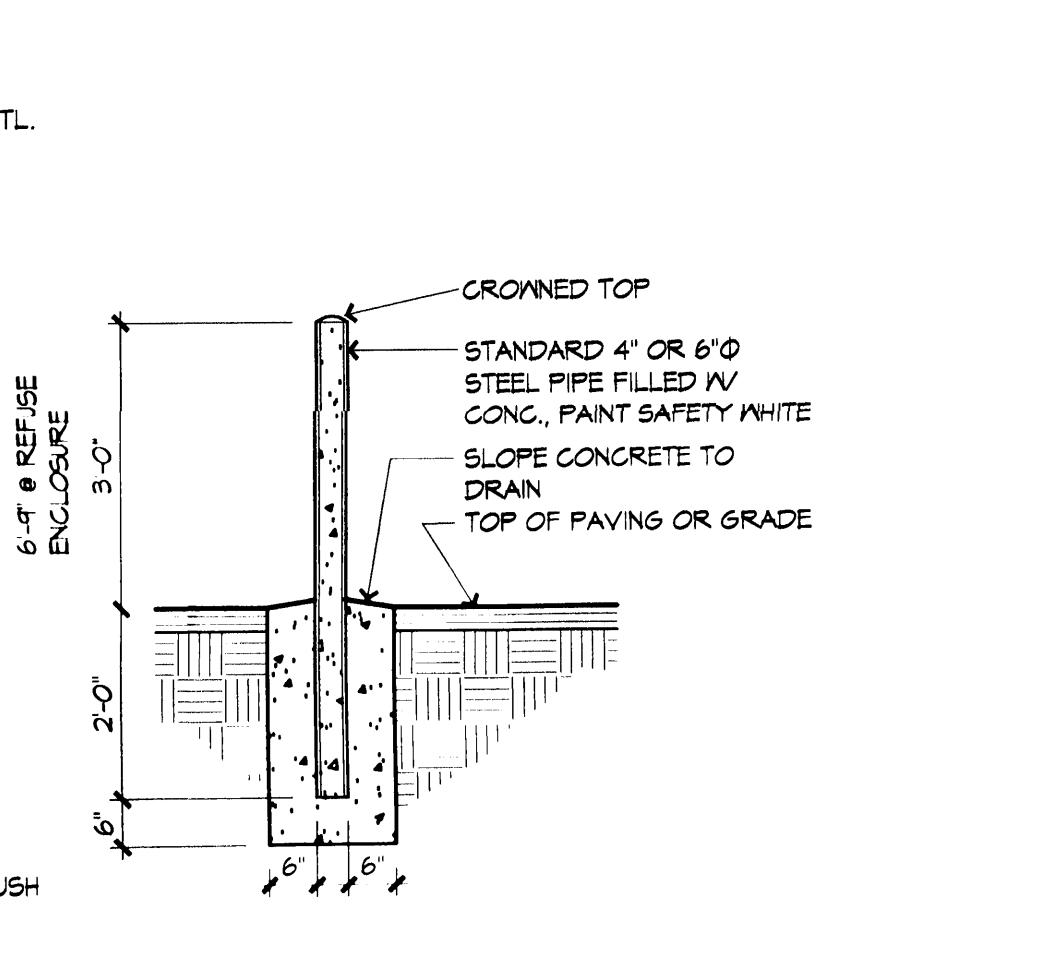
A1 SITE SECTION AT PARKING
1/8" = 1'-0"



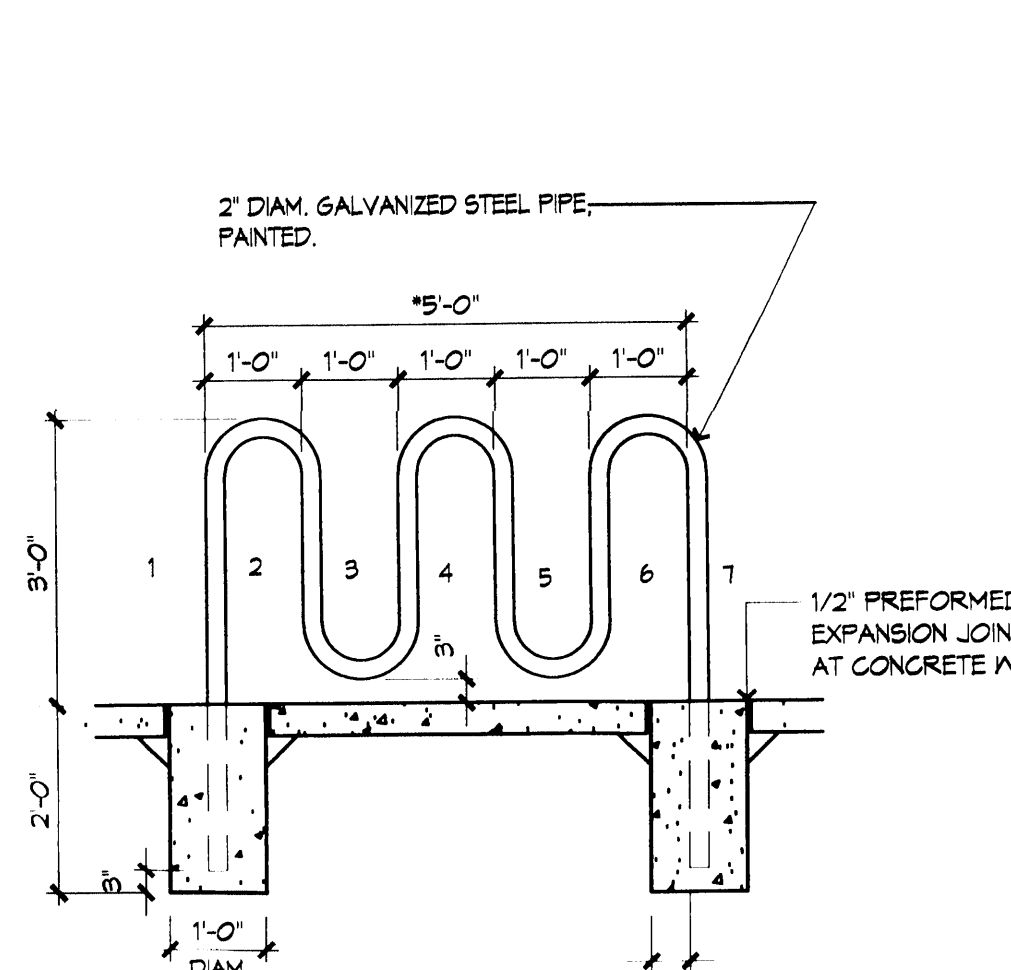
A2 SINGLE REFUSE ENCLOSURE
1/8" = 1'-0"



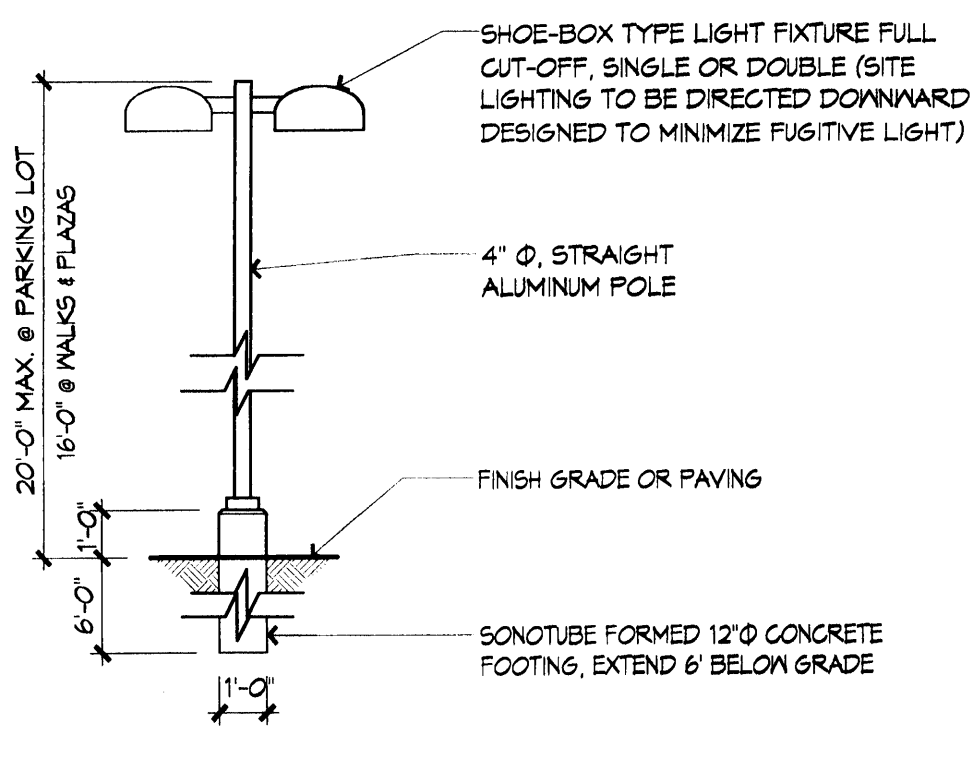
A3 GATE ELEVATION
3/8" = 1'-0"



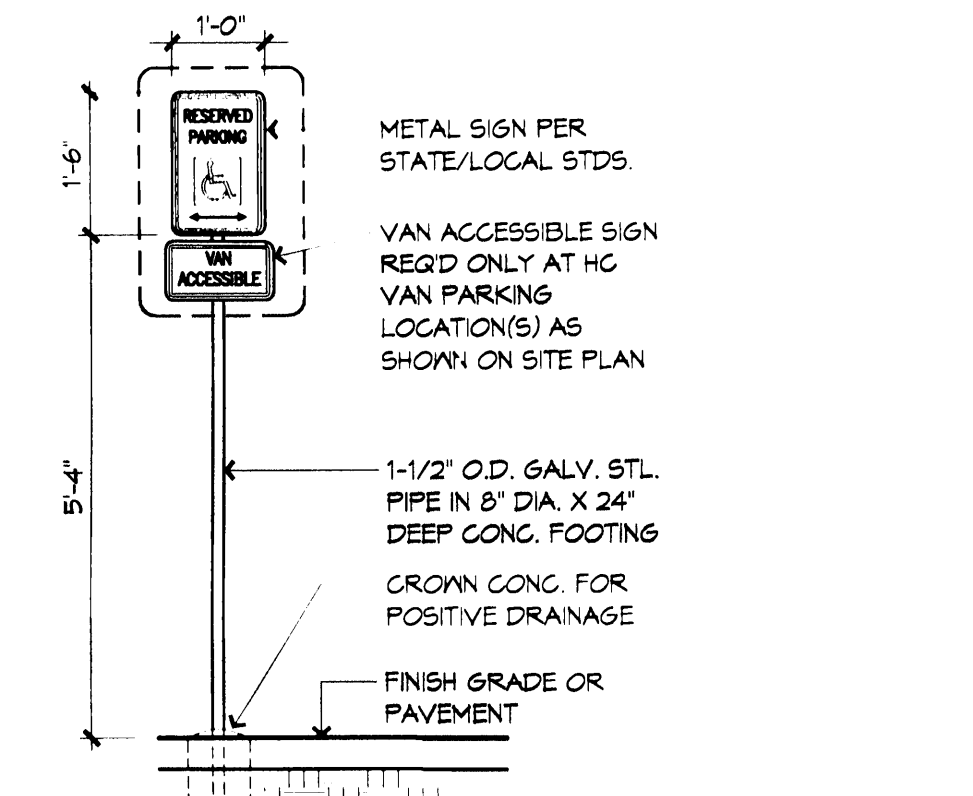
A4 BOLLARD DETAIL
1/2" = 1'-0"



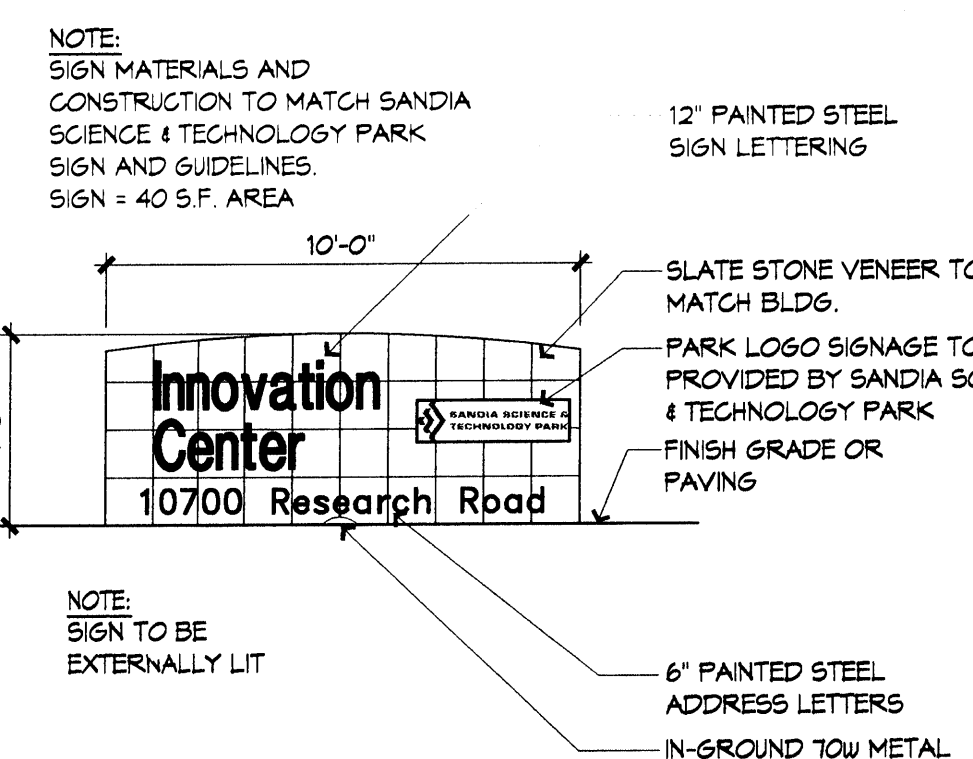
A5 BIKE RACK DETAIL
1/2" = 1'-0"



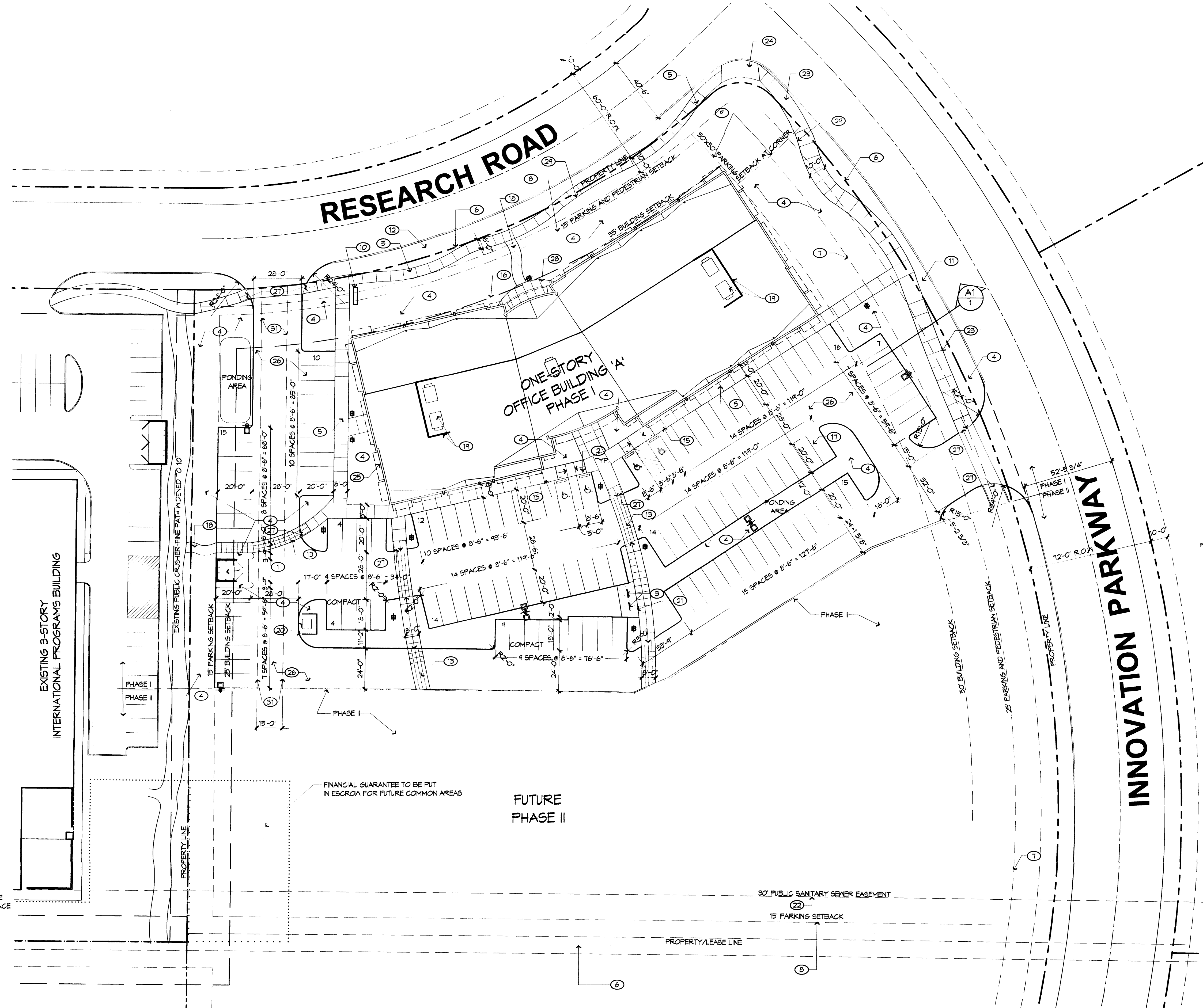
B1 LIGHT STANDARD ELEVATION
1/4" = 1'-0"



C1 H.C. SIGN ELEVATION
1/2" = 1'-0"



D1 MONUMENT SIGN ELEVATION
1/4" = 1'-0"



D3 SITE DEVELOPMENT PLAN
1" = 30'-0"

BUILDING, SITE & PARKING DATA

Legal Description:
4.11 ACRE PORTION OF SOUTHWEST CORNER OF TRACT A, LANDS OF SHAW, MITCHELL MALLORY PARTNERSHIP, JANUARY 22, 1991, VOLUME 95C, FOLIO 14.

Albuquerque Zoning Code
1. Lot area: 208,619 sq ft (4.79 ac.)
2. Zone: SU-1P - Industrial Park
3. Signage:
a. Maximum: One freestanding (monumental) sign, 50 sq ft/face
b. Provided: 10' x 40' sq ft/face
4. Structure height:
a. Maximum: 120' or less than 45' from property line
b. Actual height of building: 20' (outside of 45')
5. Lot size: no more than 50% buildings (50/105 + 208,619 = 24% < 50%)
6. Setbacks:
a. Front: 35'
b. Side/Rear: 15'
7. Parking:
a. Required:
i. Building "A": 25,475 sq ft @ 55% = 21,654 sq ft net leasable area, / 200 = 108 spaces
ii. Building "B": 24,820 sq ft @ 55% = 20,754 sq ft net leasable area, / 200 = 104 spaces
iii. Total # parking spaces required = 218
Handicapped spaces required: 8, provided: 8
Bicycle parking spaces required: 213 / 20 = 11, provided: 14
b. Provided: 228 total spaces (incl. 8 H.C. & 15 compact)

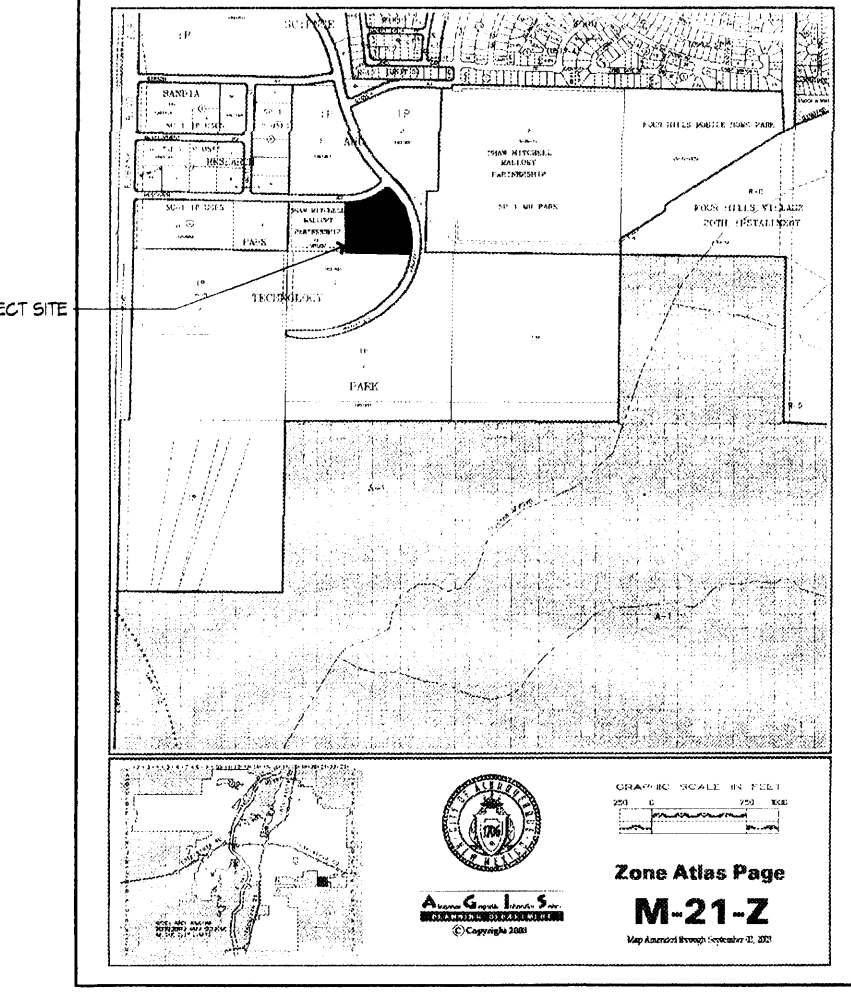
SITE DEVELOPMENT PLAN

APPROVED BY:
Sharon M. Matson 11/10/03
Planning Director, City of Albuquerque Planning Department
James M. O'F 11/6/2003
Master Developer / A/E

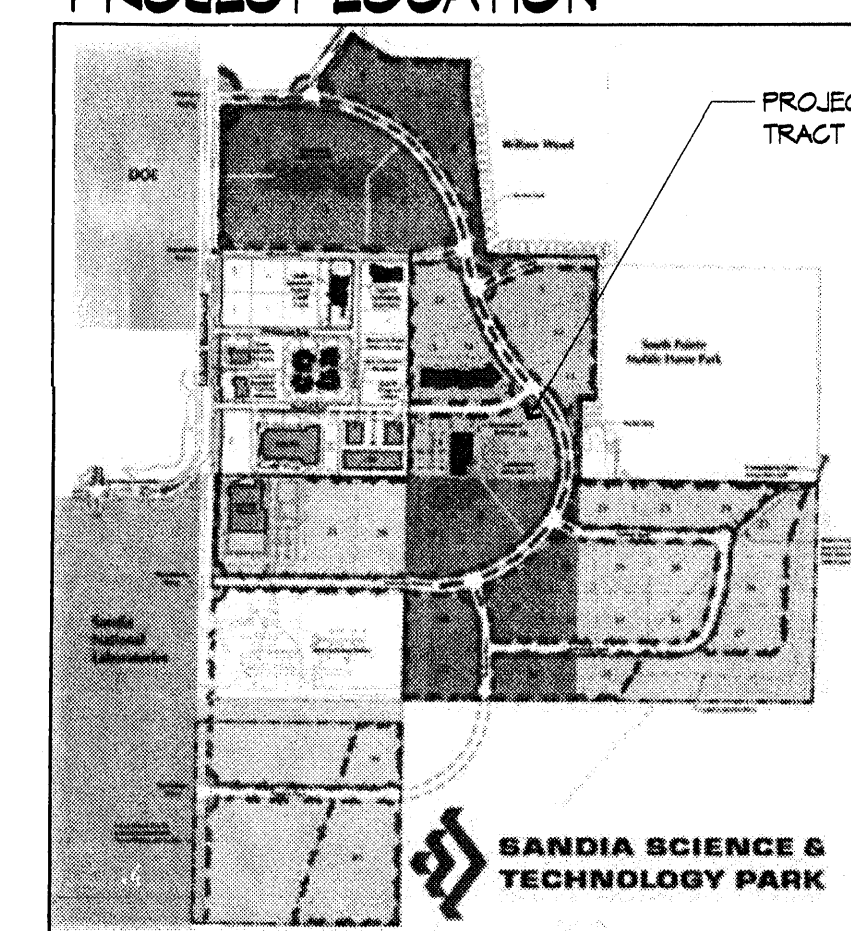
PROJECT NUMBER:

This plan is consistent with the specific site development plan for subdivision approval by the Environmental Planning Commission on March 22, 2001 and that the findings and conditions in the official Notice of Decision have been complied with.

SITE VICINITY MAP



PROJECT LOCATION



architecture
interiors
planning
engineering

Dekker Perich Sabatini

6801 Jefferson NE
Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4222
dps@dpsabq.com

ADMINISTRATIVE APPROVAL

1001031

ENGINEER

PROJECT

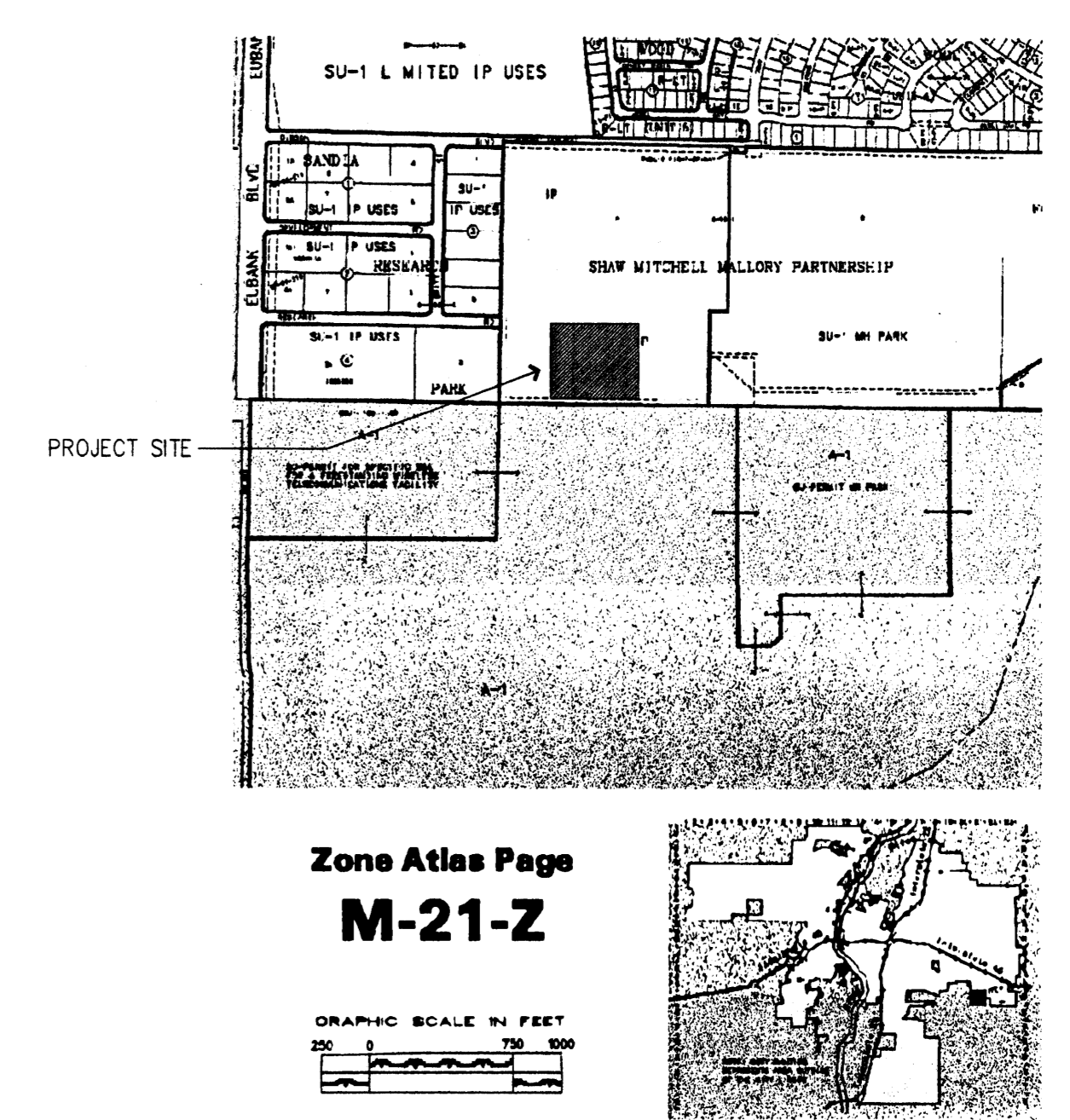
Innovation Park
10700 Research Road
Albuquerque, New Mexico

SANDIA SCIENCE & TECHNOLOGY PARK
AMELANG PARTNERS INC.
DESIGN • BUILD • DEVELOP

REVISIONS
▲
▲
▲
▲
1001031

DRAWN BY: SAS
REVIEWED BY: TG
DATE: 10/08/03
PROJECT NO.: 08040.001
DRAWING NAME: SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

SHEET NO. 1 OF 1



LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Tree Requirements: 1 per 1500sf landscape area/ 1 per 6 parking spaces, 1 tree 20' o.c. on Innovation Parkway, and 1 per 30' o.c. on Research Road.

Santa Ana Tan Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

Shrubs shall be planted a minimum of 3' from tree trunk, for ease of maintenance.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection/backflow preventer for irrigation system is unknown at current time and will be coordinated in the field.

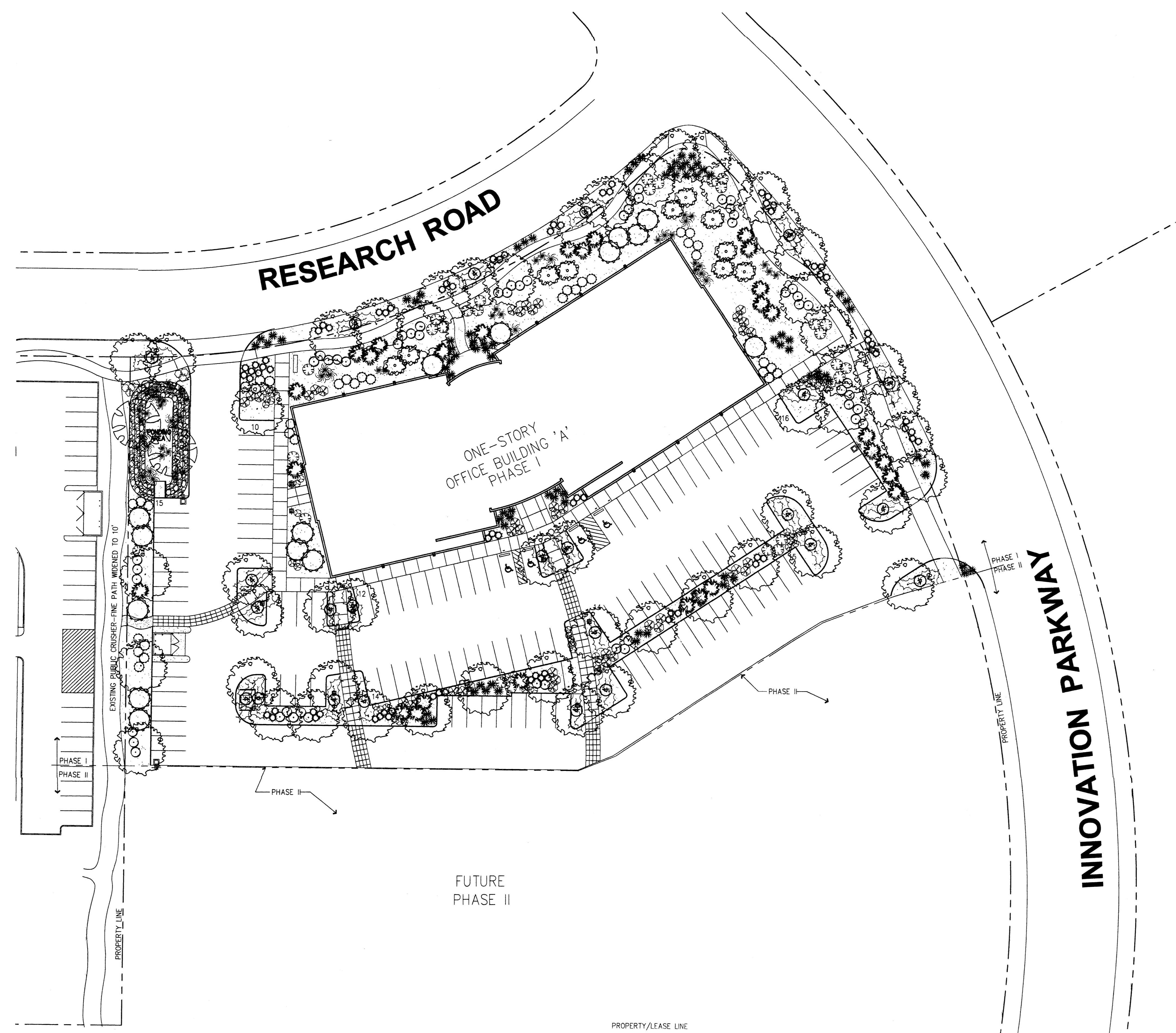
Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.

LANDSCAPE CALCULATIONS

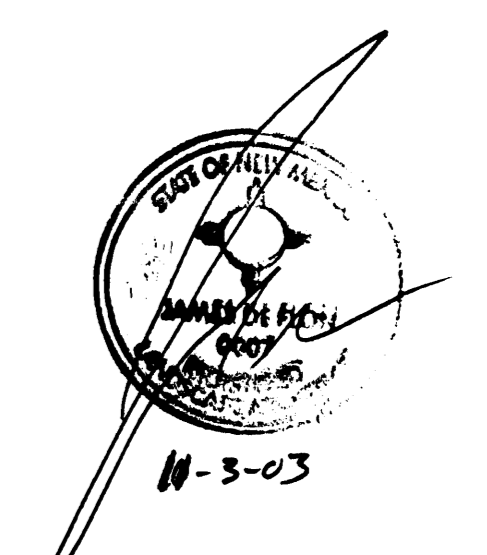
NET LANDSCAPE AREA	
TOTAL LOT AREA	208613 square feet
TOTAL PHASE I AREA	117072 square feet
TOTAL BUILDINGS AREA	-25479 square feet
OFFSITE AREA	-4957 square feet
NET LOT AREA	86640 square feet
LANDSCAPE REQUIREMENT	15%
TOTAL LANDSCAPE REQUIREMENT	12996 square feet
TOTAL LANDSCAPE PROVIDED	33316 square feet
TOTAL SOD PROVIDED	0 square feet
TOTAL NATIVE SEED PROVIDED	0 square feet
TOTAL BED PROVIDED	33316 square feet
TOTAL PONDS PROVIDED	-1314 square feet
TOTAL MINUS PONDS	32002 square feet
GROUND COVER REQ.	75%
TOTAL GROUND COVER REQUIREMENT	24091 square feet
TOTAL GROUND COVER PROVIDED	27084 square feet



PLANT LEGEND

	COTTONWOOD (M) 2 Diplopis fraxinea 2.4' Gal. 50sf		CHINESE PISTACHE (M) 27 Platanus chinensis MONY LOUST (M) 27 Quercus laevis 5' Gal. 25sf
	DESERT WILLOW (L) 15 Dilopis linearis 5' Gal. 22sf		NEW MEXICO OLIVE (M) 10 Forestiera neomexicana 15' Gal. 22sf
	BUTTERFLY BUSH (M) 28 Buddleia davidii 5' Gal. 81sf		APACHE PLUME (L) 27 Foligo parviflora 5' Gal. 25sf
	RED YUCCA (M) 84 Hesperaloe parviflora 1' Gal. 9sf		RUSSIAN SAGE (M) 53 Perovskia atriplicifolia 5' Gal. 36sf
	ROSEMARY (M) 35 Rosmarinus officinalis 2' Gal. 36sf		AUTUMN SAGE (M) 9 Salvia greggii 2' Gal. 9sf
	INDIAN HAWTHORN Raphanopis indica 5' Gal. 36sf		ORNAMENTAL GRASS (M) 55 MADEN GRASS REGAL MIST FOXTAIL GRASS BLUE AVENUE BLUE FESCUE BEAN GRASS
	HONEYSUCKLE (M) 96 Lonicera sp. 1' Gal. 20sf Symbol indicates four plants.		WILDFLOWER 44 1' Gal. 4sf Including but not limited to: BLACK EYE SUSAN, PENSTEMON, SANTALINA, PRIMROSE, YARROW, BLANKET FLOWER, SNOW IN SUMMER, POPPY, DAKILIES, ICE PLANT, RED HOT POKER, AND CONEFLOWER.
	SCOTCH BROOM (M) 78 Cytisus scoparius 1' Gal. 16sf		
	SANTA ANA TAN WITH FILTER FABRIC 2" DEEP		
	OVERSIZED GRAVEL SLOPES 3:1 OR GREATER		

Innovation Park
10700 Research Road
Albuquerque, New Mexico



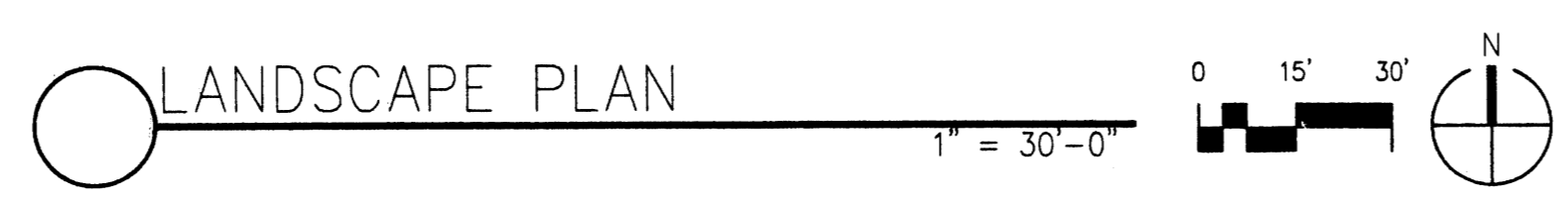
The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmh@hilltoplandscaping.com

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REVISIONS

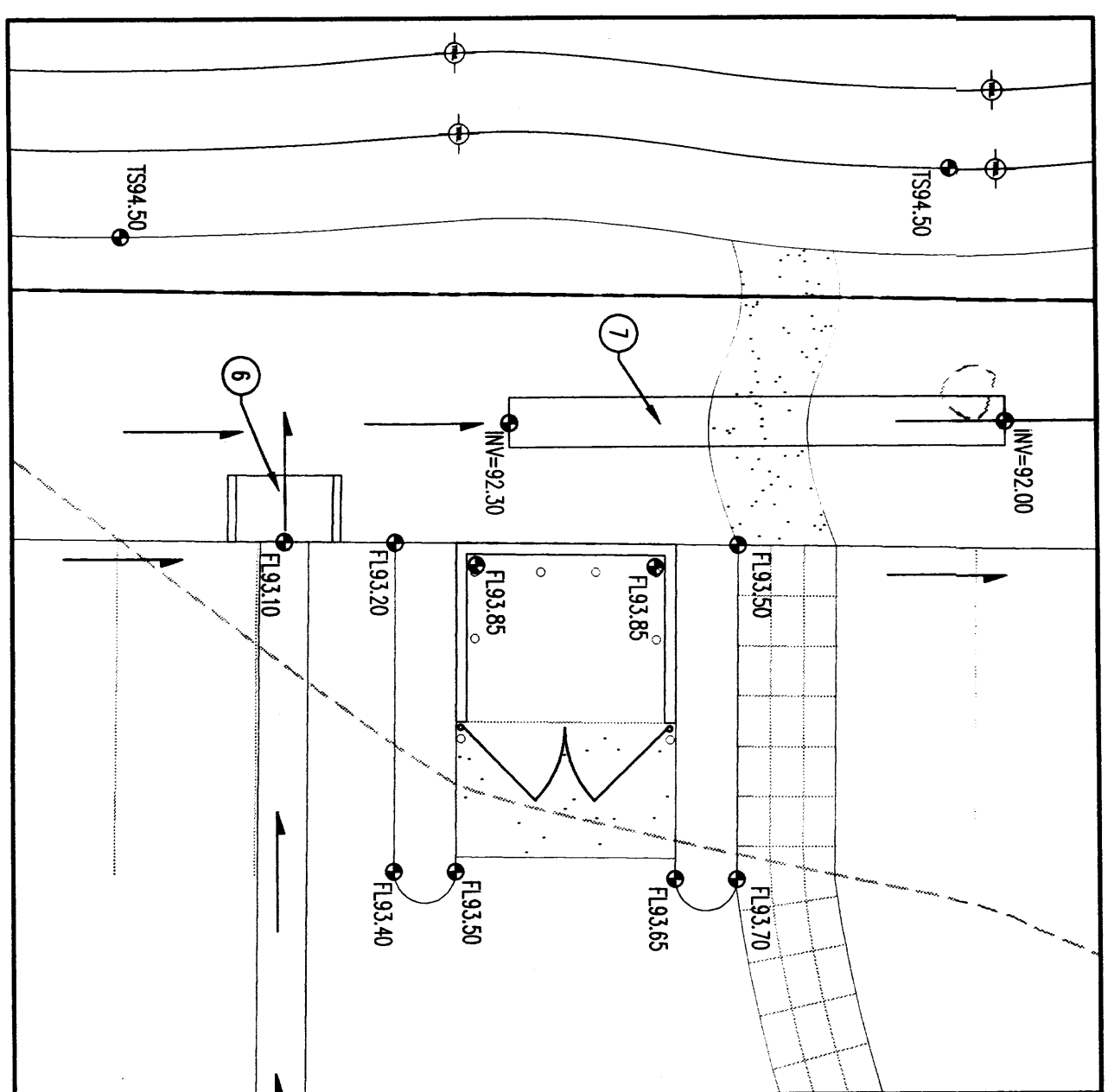
1	
2	
3	
4	
5	
6	

DRAWN BY _____
REVIEWED BY _____ TG
DATE 10/03/03
PROJECT NO. 03040.001
DRAWING NAME LANDSCAPE PLAN
SHEET NO. _____

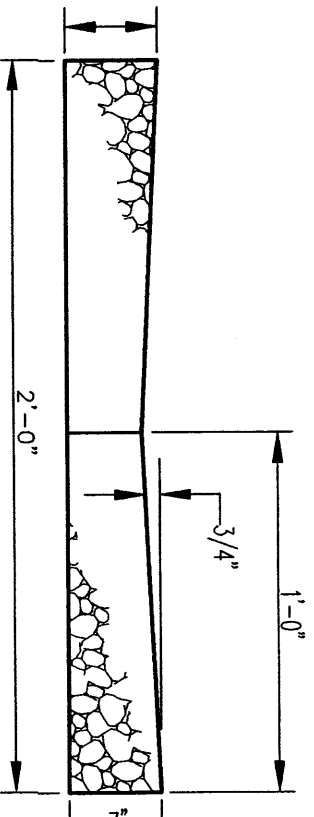
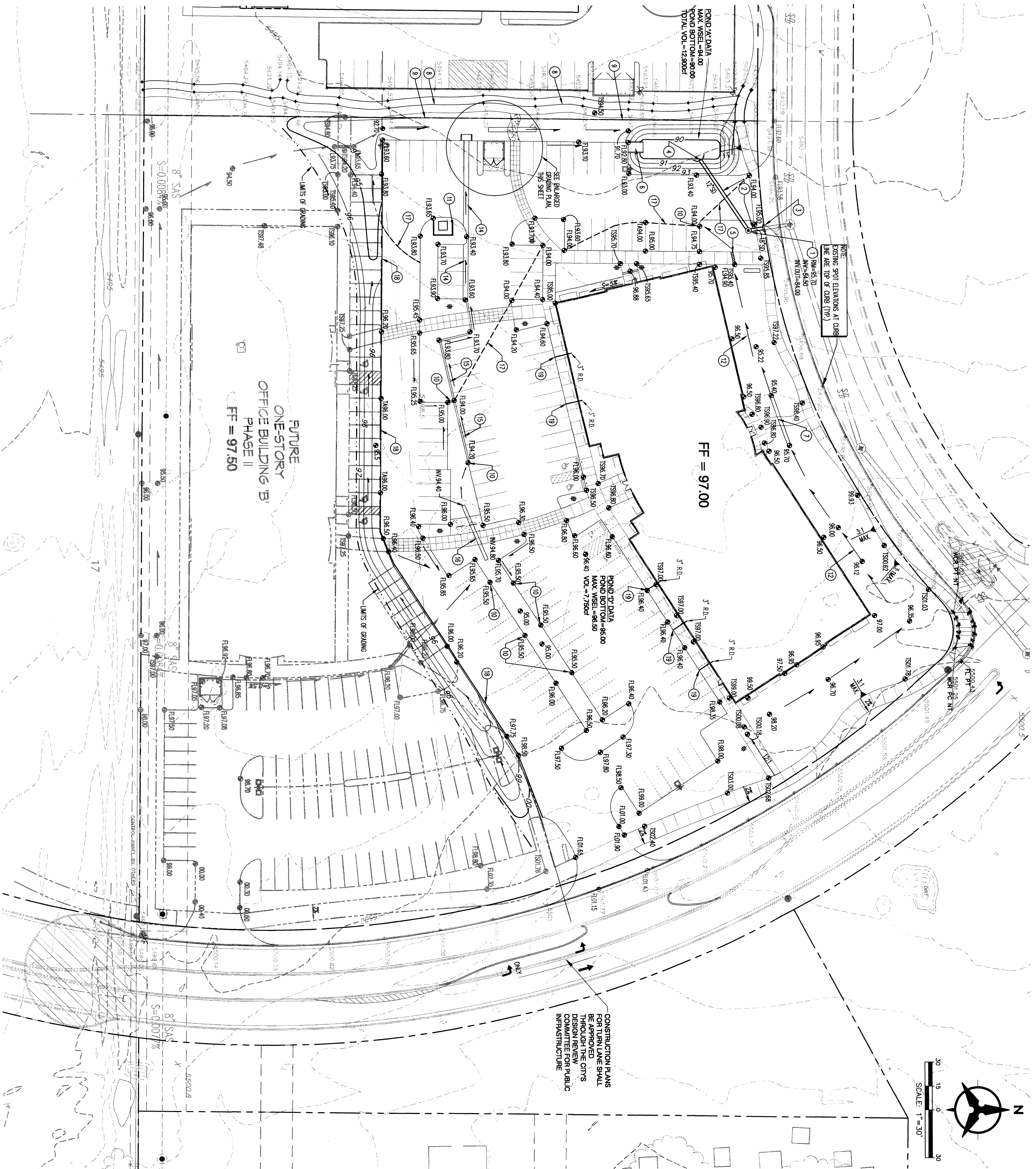


Innovation Park
10700 Research Road
Albuquerque, New Mexico

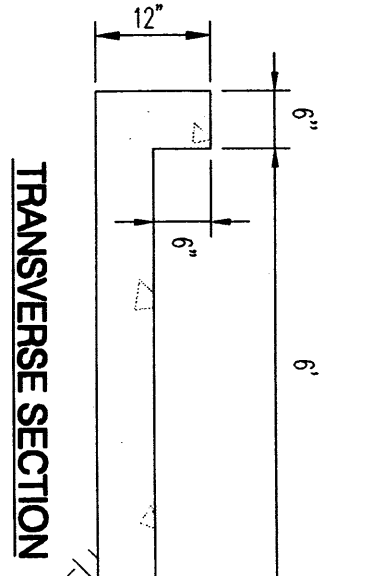
- GRADING & DRAINAGE KEYED NOTES**
1. EXISTING AS PROVIDED EXCEPT GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE ELEVATION SHOWN ON THIS PLAN.
 2. THE COST FOR REQUIRED CONSTRUCTION, DIST. AND DESIGN CONTROL MEASURES SHALL BE BORNE BY THE PROPERTY OWNER.
 3. ALL WORK RELATIVE TO CONSTRUCTION, PREPARATION, INSTALLATION, MAINTENANCE AND REPAIRS SHALL BE PERFORMED IN ACCORDANCE WITH THE "BEST PRACTICES" AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL UNLESS OTHERWISE SPECIFIED OR PROVIDED FOR SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (CMA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND EDITION).
 4. EXISTING STAIRS SHALL NOT EXCEED 1:1 VERTICAL, UNLESS SHOWN OTHERWISE.
 5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
 6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL EXPOSED FROM THE SITE (OR ADJACENT PROPERTY OF PUBLIC RIGHT-OF-WAY) THIS SHOULD BE COVERED BY AN APPROVED METHOD OF EROSION CONTROL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE (CMA) AND THE STATE OF NEW MEXICO FOR ANY WORK PERFORMED OUTSIDE THE PROPERTY BOUNDARIES.
 7. A PERSONNEL LIST FOR ALL FULL-TIME EMPLOYEES, MATERIAL, AND EQUIPMENT WILL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO THE START OF CONSTRUCTION. ALL PERSONNEL SHALL BE TRAINED AND CERTIFIED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE (CMA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND EDITION).
 8. FENCING AND BOUNDARY MARKERS SHALL BE 4'-0" TYPICAL FROM ELEVATIONS. PHOTO ELEVATION SHALL BE 1'-0" HIGH FROM BUILDING PLAIN ELEVATION.
 9. ALL PROPOSED CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE PLANNING AND ZONING DEPARTMENT OF THE CITY OF ALBUQUERQUE (CMA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND EDITION).
 10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION COMPANY STATION POINT TO REMAINING CONSTRUCTION.
 1. INSTALL NEW 4" DIA. TYPE 'C' STORM DRAIN UNWELDED AS PER CMA STD. SPEC. 2008.
 2. NEW 12" STORM DRAIN.
 3. THE NEW 12" STORM DRAIN TO EXISTING 18" DRAINAGE & EXISTING 18" DRAINAGE FROM CONCRETE COLLECTOR AT CONNECTION.
 4. DRAINAGE (NEW STORM DRAIN, MENTAL, EXISTING DRAIN SECTION, M-48-32).
 5. 12" WIRE MESH COLLECTOR AS PER CMA STD. SPEC. 2008.
 6. CONCRETE FLOWLINE AS PER CMA STD. SPEC. 2008.
 7. DRAINAGE TO EXISTING 18" DRAINAGE PIPE. WATER DRAIN TO MATCH SLOPE. SEE PLAN FOR MATCH LINE.
 8. EXISTING CONCRETE CURB SHALL BE REPAIRED AND RECONSTRUCTED WITH CONCRETE PAVEMENT. MATCH LINE TO EXISTING CONCRETE CURB.
 9. ELEVATION AT PROPERTY LINE SHALL BE 94.00.
 10. PROVIDE 4" WIRE MESH GRADING FOR DRAINAGE.
 11. TRANSVERSE AND ELEVATION = 94.10.
 12. DRAINAGE SHALL BE 12" DIA. FROM FACE OF BUILDING.
 13. W/ NOT USED.
 14. VALLET CUTTERS AS PER DETAIL THIS SHEET.
 15. CURB & CUTTER AS PER "SECTION CURB AND CUTTER" CMA STD. SPEC. 2008.
 16. 12" STORM DRAIN PIPE, WATER DRAIN TO MATCH SLOPE.
 17. MINIMUM VERTICAL CURB LIMIT OF 18".
 18. MENTAL OF EXISTING CONCRETE CURB SHALL BE REPAIRED AND RECONSTRUCTED WITH CONCRETE PAVEMENT. MATCH LINE TO EXISTING CONCRETE CURB.



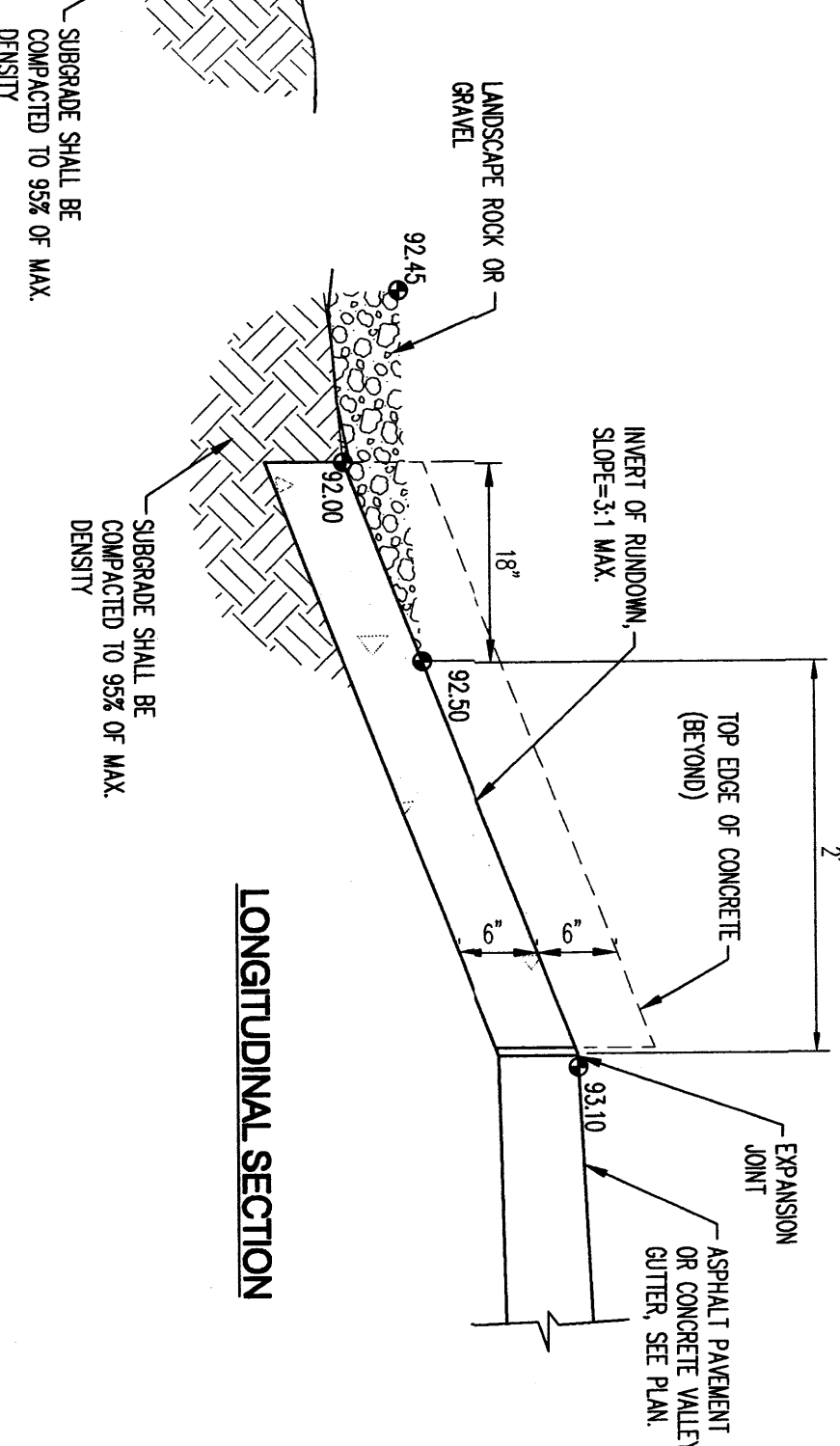
ENLARGED GRADING PLAN
SCALE: 1"=10'



TYPICAL VALLEY GUTTER SECTION
CONCRETE FOR ALL VALLET CUTTERS WILL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3500 PSI IN 28 DAYS

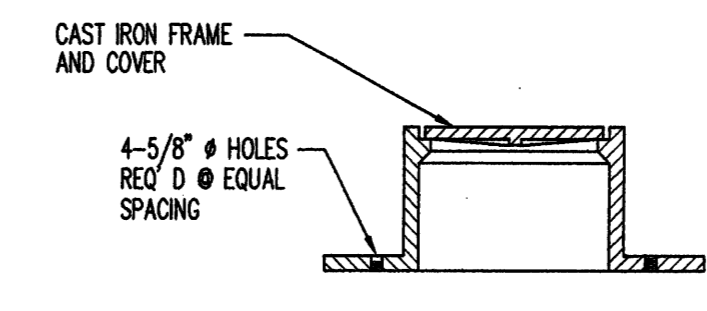
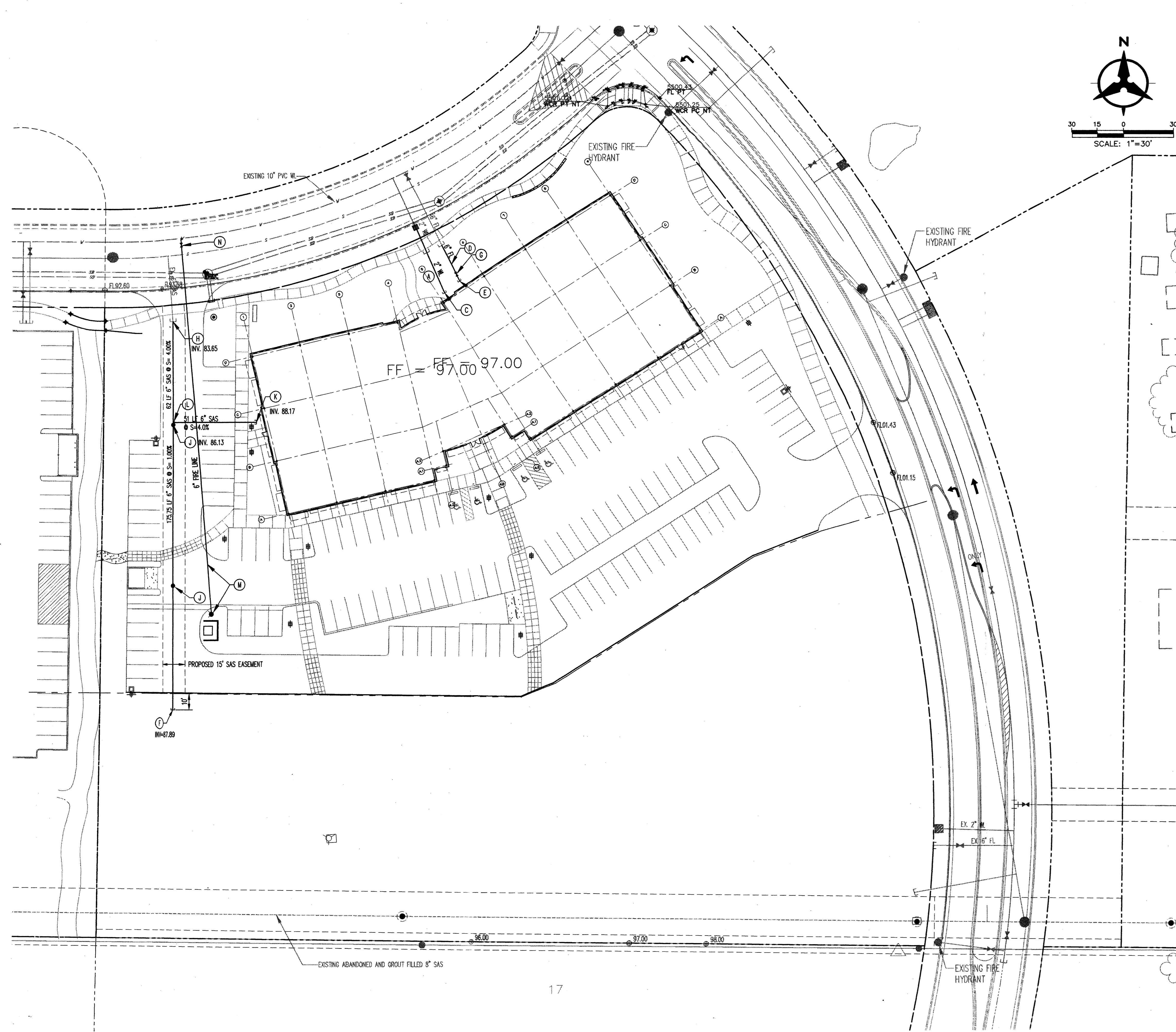


TRANSVERSE SECTION

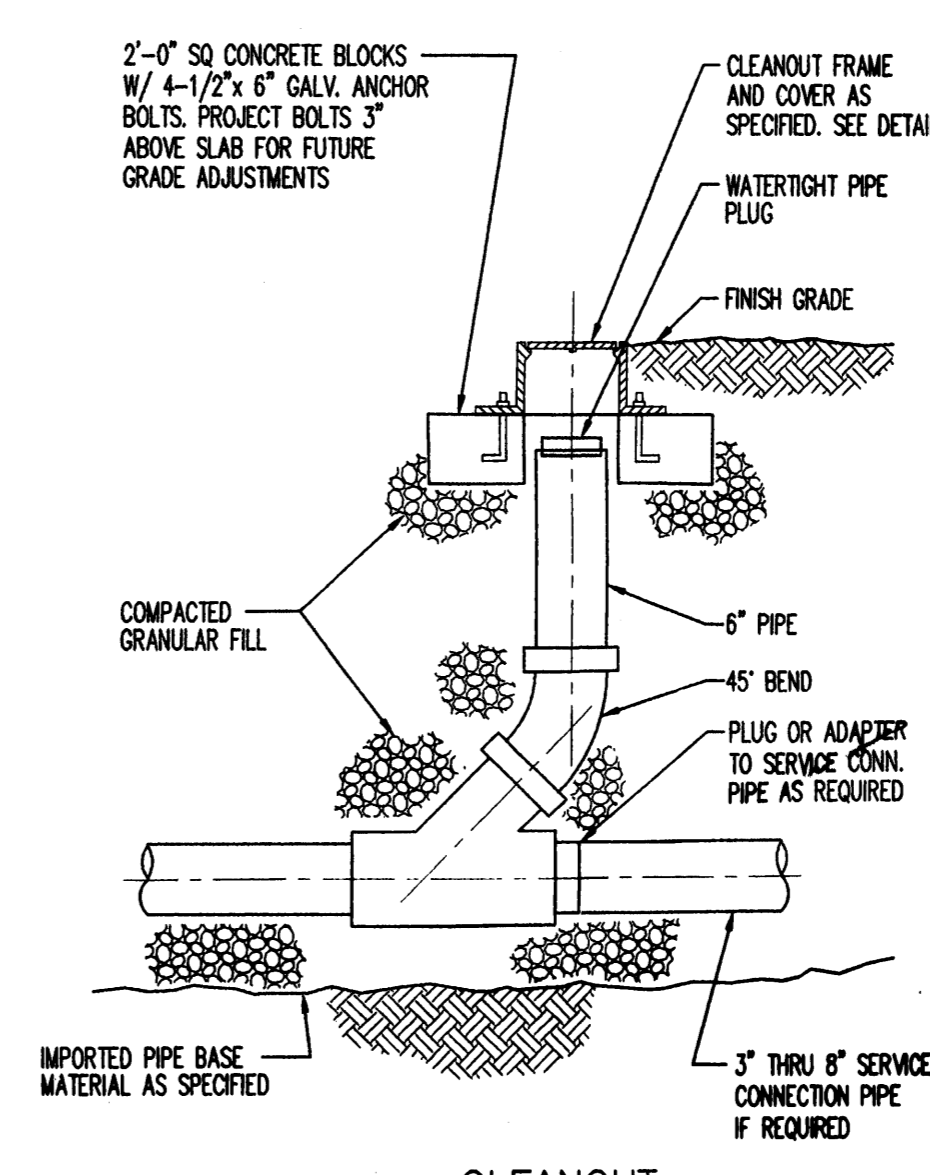


LONGITUDINAL SECTION

CONCRETE RUNDOWN DETAILS
N.T.S.



CLEANOUT FRAME & COVER
N.T.S.



GENERAL NOTES

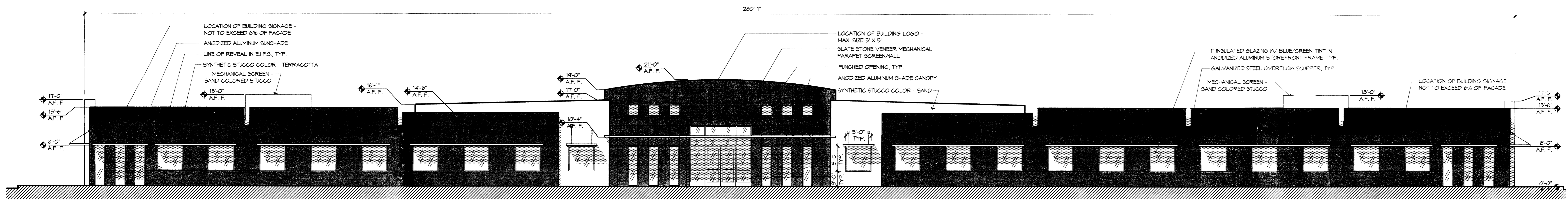
- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOGRAPHICAL RECORD, WHERE APPLICABLE. CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT THE CITY LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADEING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADEING AT THE END AND BEGINNING OF EACH DAY.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

UTILITY NOTES

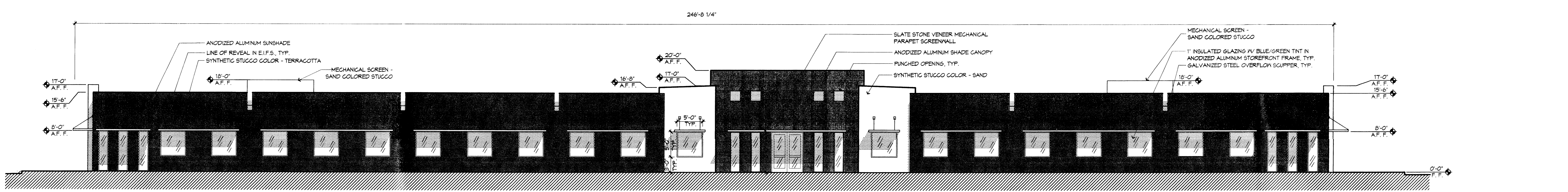
- THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PIPS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
- MINIMUM DEPTHS OF COVER SHALL BE: 48" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM PLUMBING CODE, LATEST EDITION.
- UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
- ROUGH GRADING OF SITE (±0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
- CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
- ALL VALVES SHALL BE ANCHORED PER COA STANDARD DWG. 2333.
- FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOODUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
- CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.

UTILITY KEYED NOTES

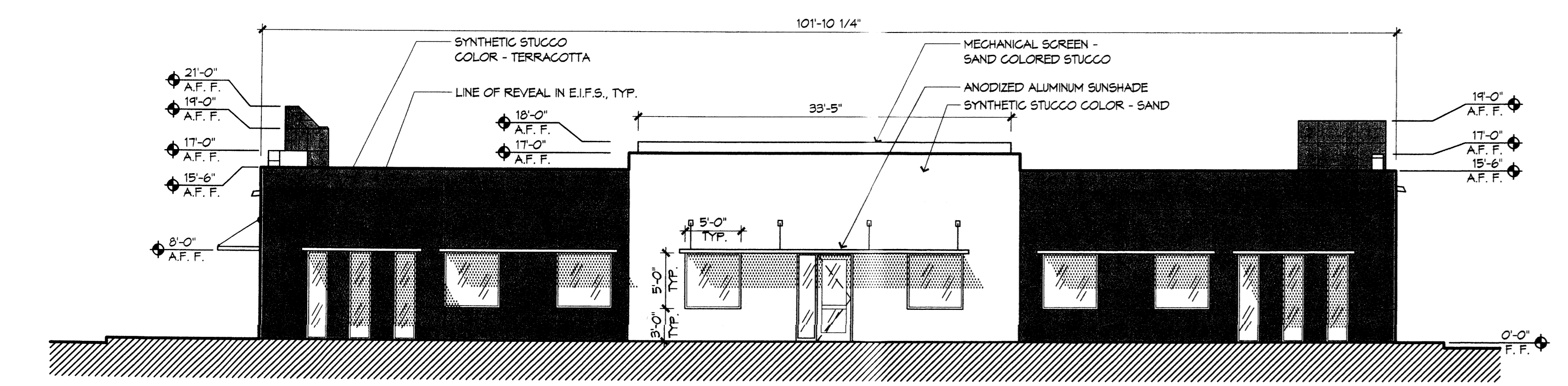
- (A) CONTRACTOR SHALL COORDINATE W/ CITY FOR INSTALLATION OF 1.5" WATER METER AND METER BOX. CONTRACTOR SHALL TIE 2" WATER SERVICE LINE TO 1.5" TIE PIECE ON DOWNSIDE SIDE OF WATER METER AND INSTALL 27 LF OF 2" WATER SERVICE LINE.
- (C) STUB 2" WATER SERVICE TO WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
- (D) THE NEW 6" FIRE LINE TO EXISTING 6" FIRE LINE STUB. REMOVE EXISTING CAP. INSTALL 6" FIRE LINE AS SHOWN.
- (E) STUB 6" FIRE LINE TO WITHIN 5' OF BUILDING, SEE PLUMBING PLANS FOR CONTINUATION.
- (F) STUB 6" SANITARY SEWER 10' PAST PROPERTY LINE.
- (G) REMOVE EXISTING CAP. INSTALL 6" GATE VALVE AND VALVE BOX AS PER COA. STD DWGS. 2333, 2326, 2328.
- (H) THE NEW 6" SAS TO EXISTING SAS STUB OUT.
- (I) INSTALL CLEANOUT PER DETAIL, THIS SHEET.
- (K) STUB SAS TO WITHIN 5' OF BUILDING, SEE PLUMBING PLAN FOR CONTINUATION.
- (L) INSTALL 6"x6" TEE-WYE. INSTALL CLEANOUT ON MAIN LINE IMMEDIATELY UPSTREAM OF TEE-WYE.
- (M) INSTALL 6" FIRE LINE WITHIN THE SITE AND INSTALL FIRE HYDRANT AS PER COA. STD DWG. 2340. BLANCK ELEV. = 94.40.
- (N) CONTRACTOR SHALL COORDINATE AND PAY FOR CITY INSTALLATION OF 6" WATER LINE WITHIN CITY ROW, INCLUDING CONNECTION TO 18" CITY MAIN AND INSTALLATION OF GATE VALVE ON NEW 6" WATER LINE.



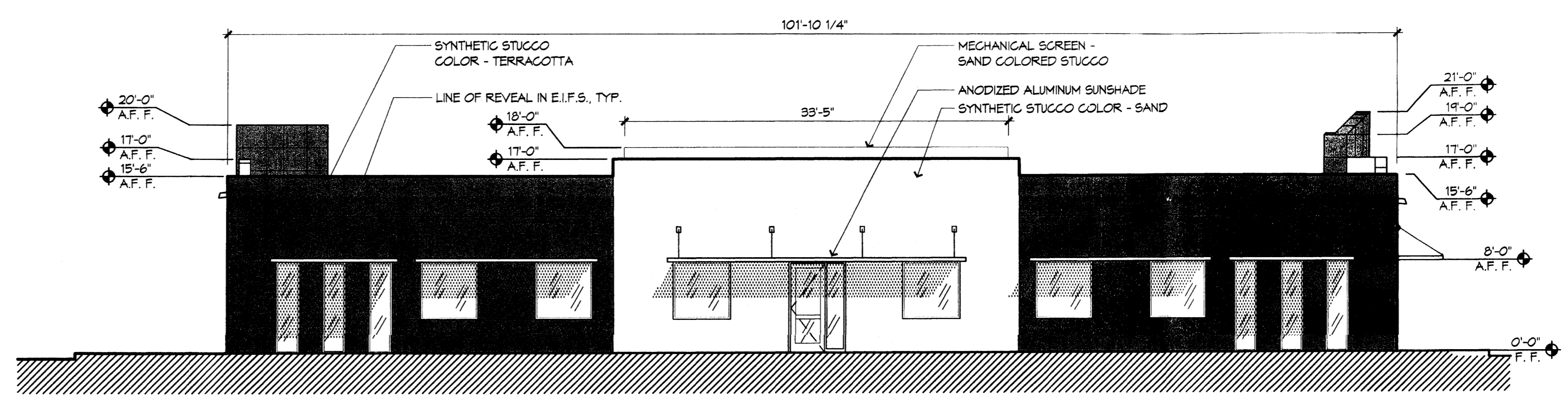
A1 BUILDING 'A' SOUTH ELEVATION
1/8" = 1'-0"



B1 BUILDING 'A' NORTH ELEVATION
1/8" = 1'-0"



C1 BUILDING 'A' EAST ELEVATION
1/8" = 1'-0"



C2 BUILDING 'A' WEST ELEVATION
1/8" = 1'-0"

Innovation Park
10700 Research Road
Albuquerque, New Mexico

REVISIONS

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DRAWN BY: SAS
REVIEWED BY: TG
DATE: 10/08/08
PROJECT NO: 08040.001
DRAWING NAME: EXTERIOR ELEVATIONS BUILDING 'A'