

**SITE DEVELOPMENT PLAN**

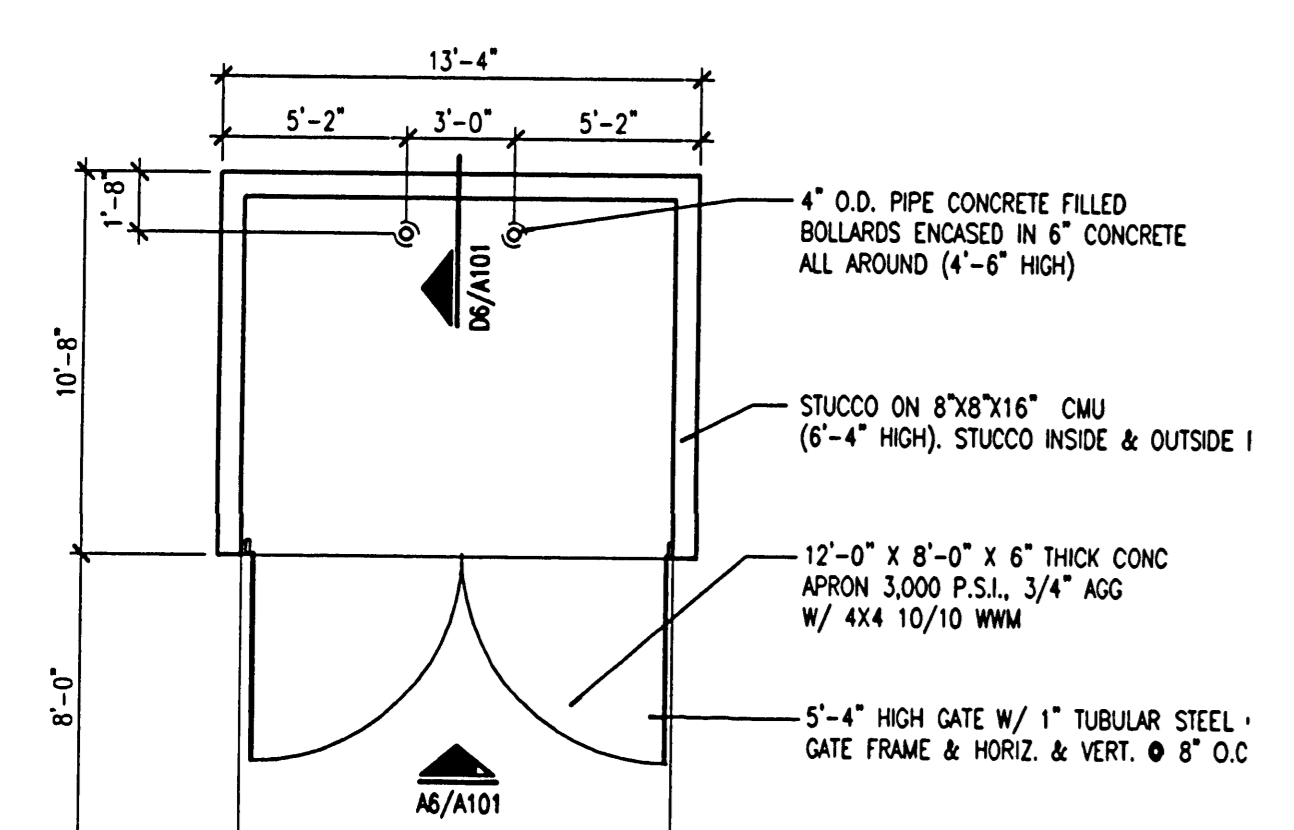
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	3/16/01
URBAN ENGINEER, TRANSPORTATION DIVISION	2/23/01
PLANNING DIVISION	2/19/01
CITY ENGINEER, TRANSPORTATION DIVISION	3/19/01
CITY ENGINEER, TRANSPORTATION DIVISION	3/23/01
CITY ENGINEER, TRANSPORTATION DIVISION	2-2-01
CITY ENGINEER, TRANSPORTATION DIVISION	2-2-01
CITY ENGINEER, TRANSPORTATION DIVISION	1/11/01
CITY ENGINEER, TRANSPORTATION DIVISION	02/05/01

MARK	DATE	DESCRIPTION
ISSUE:		BUILDING PERMIT
PROJECT NO:		0008
CAD DWG FILE:		0008-A-101-T
DRAWN BY:		KMH
CHECKED BY:		RB
DATE:		12/15/00

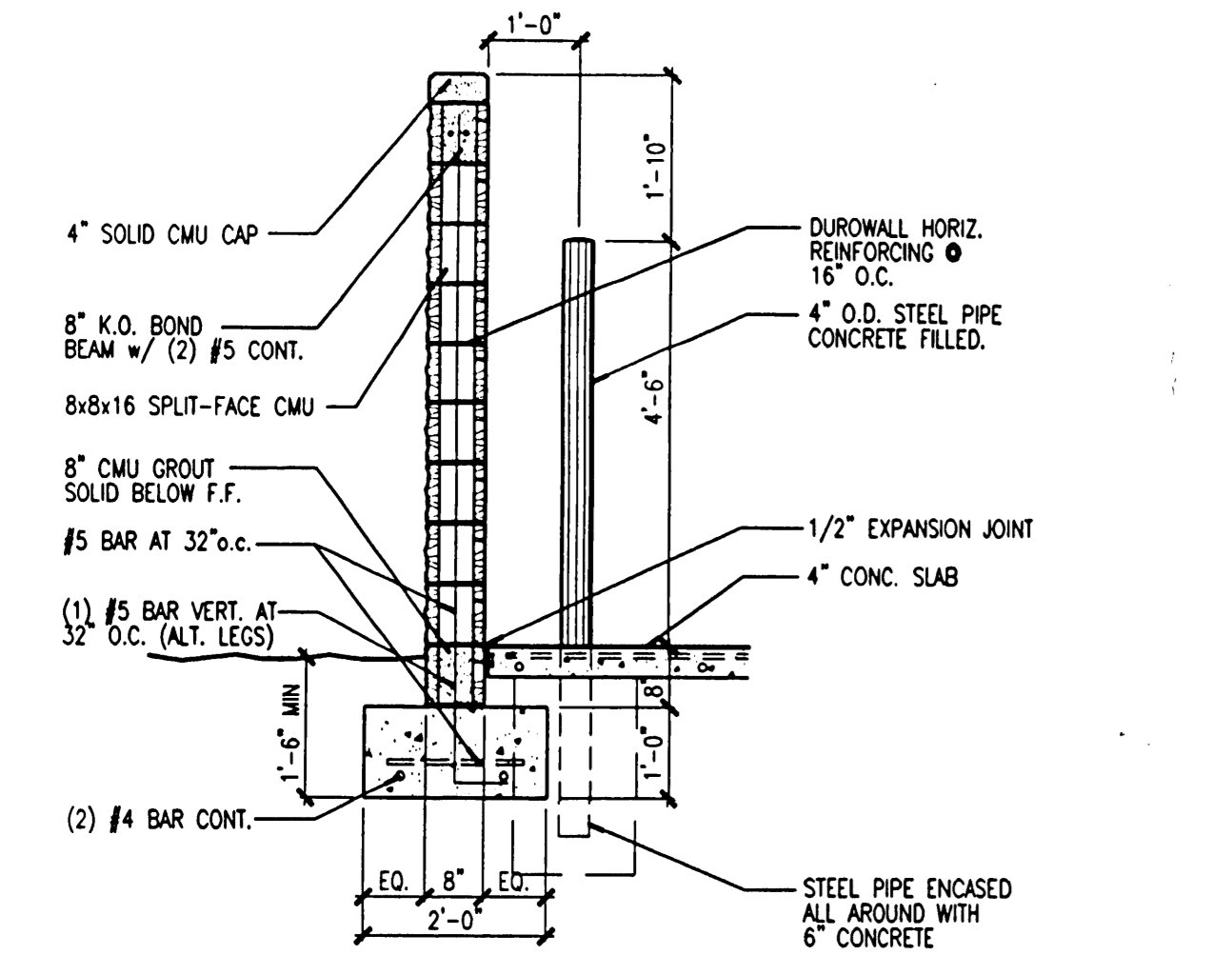
SHEET TITLE  
**BALLOON FIESTA OFFICE BUILDING**

**A-101-T**  
sheet 1 of 1 sheets

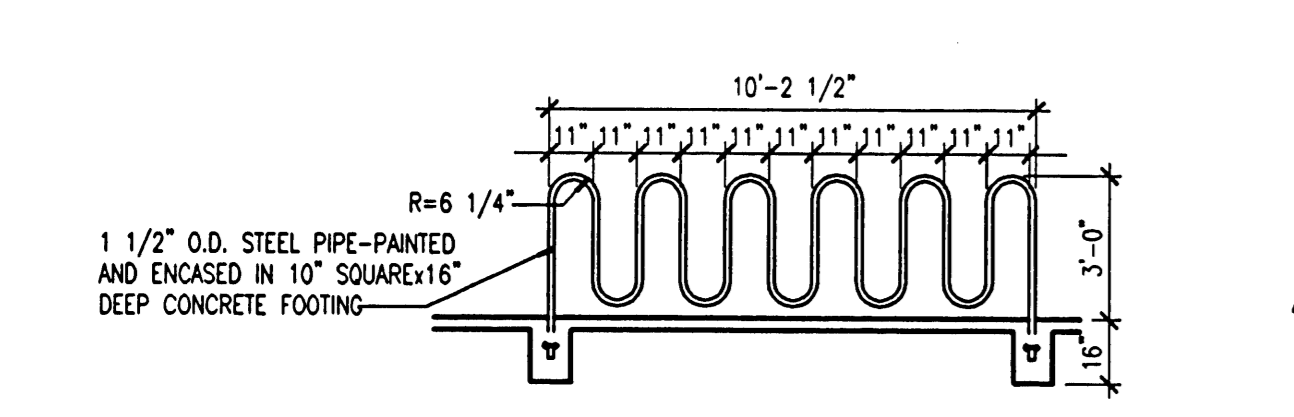
PROJECT 1001050



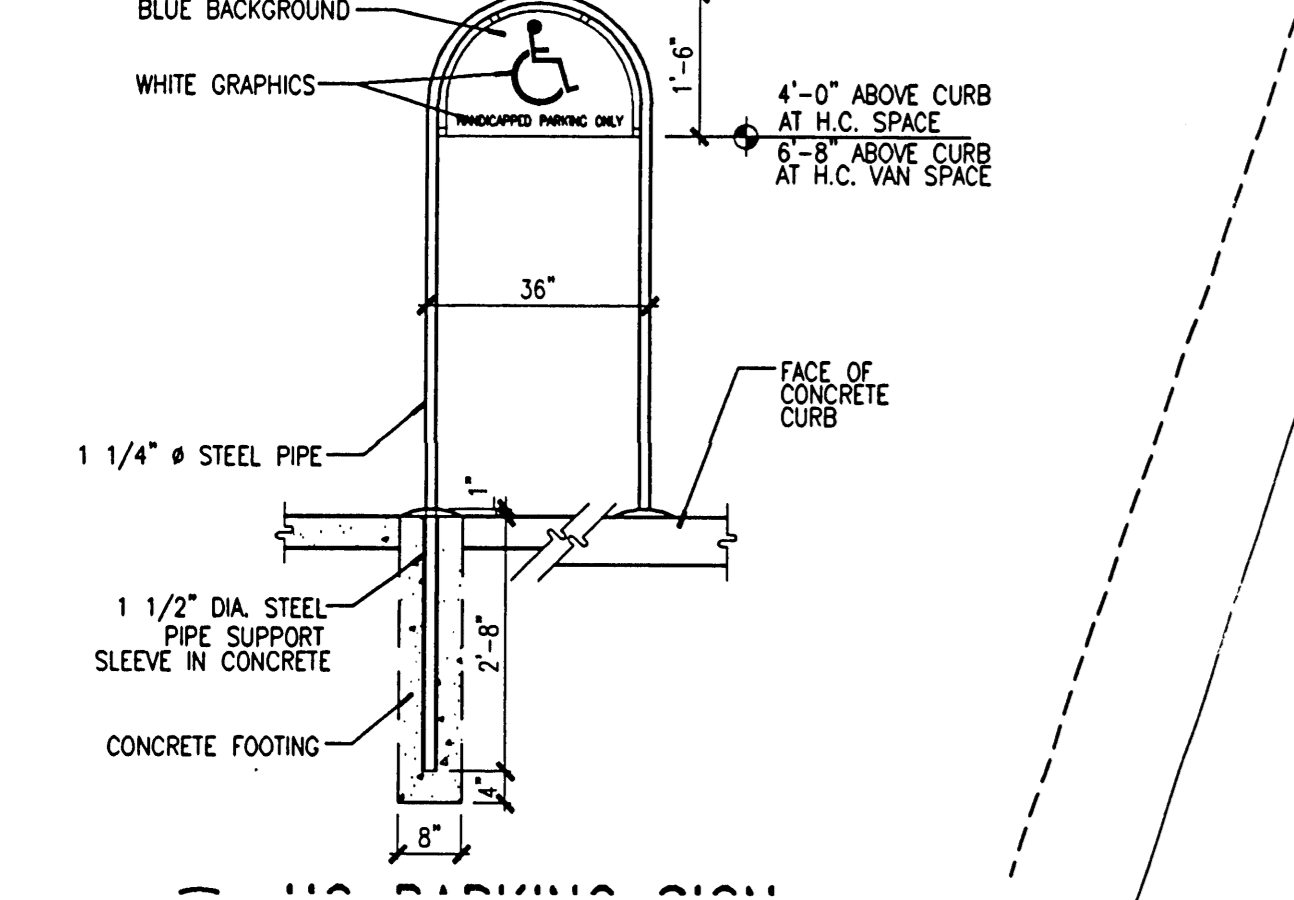
**E6 DUMPSTER PLAN**  
3/16" = 1'-0"



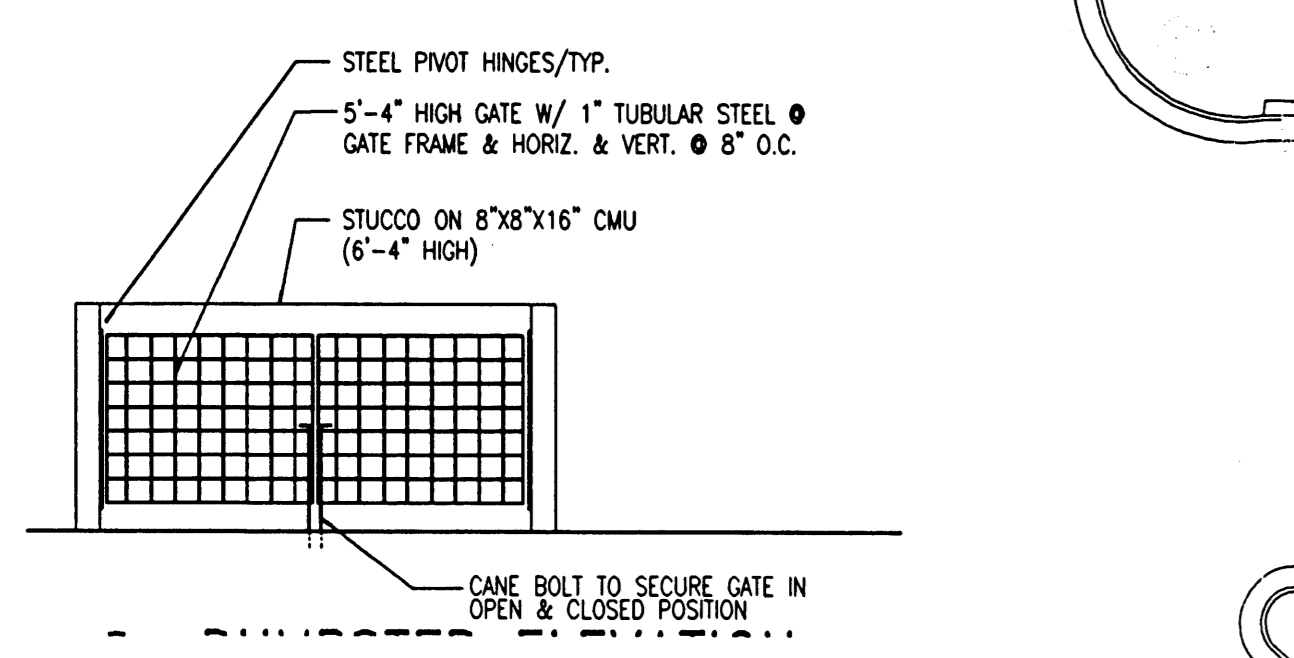
**D6 CMU DUMPSTER WALL**  
1/2" = 1'-0"



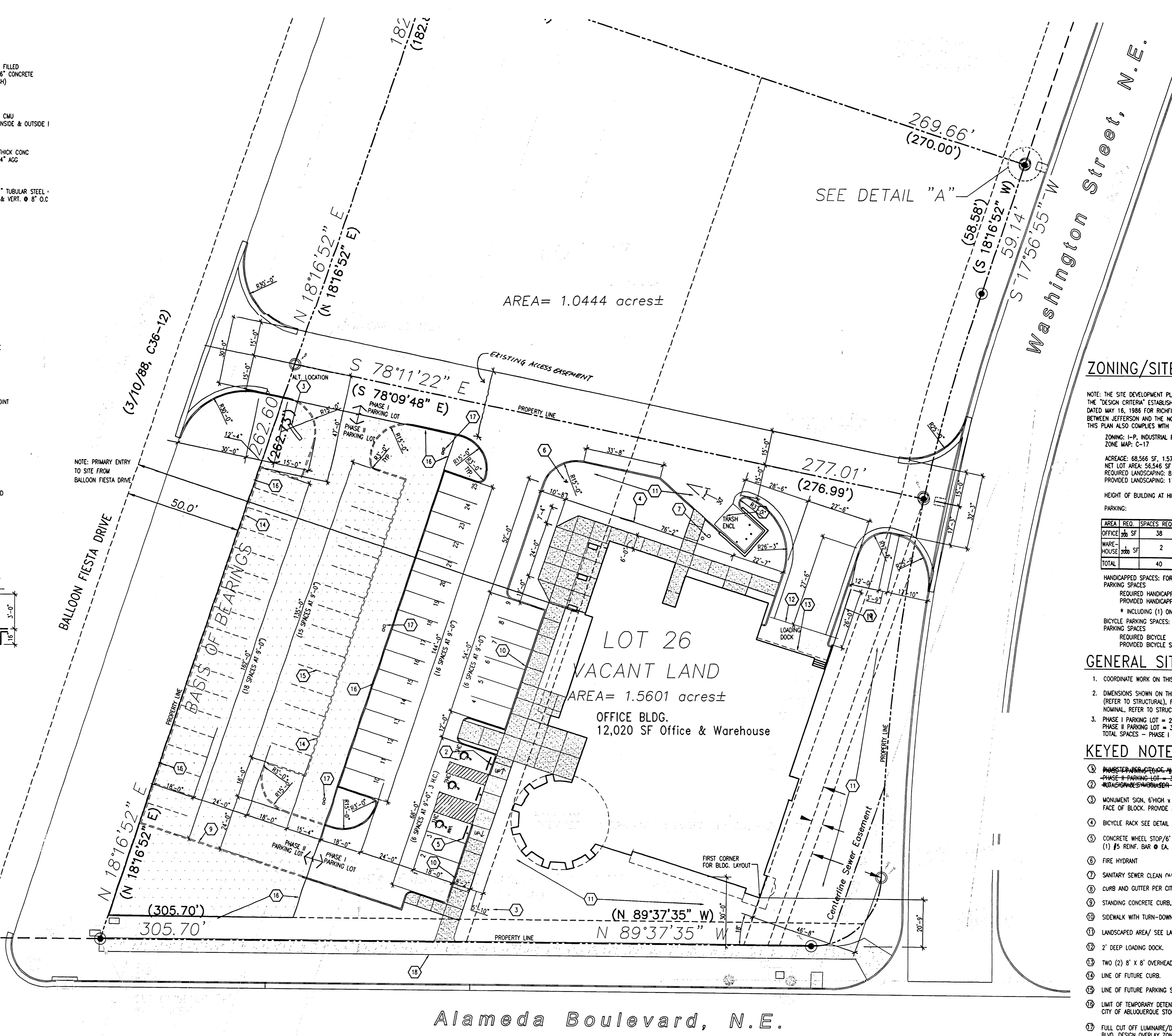
**C6 BIKE RACK**  
1/4" = 1'-0"



**B6 HANDICAPPED PARKING SIGN**  
1/2" = 1'-0"



**A6 DUMPSTER GATE ELEVATION**  
3/16" = 1'-0"



**A1 SITE PLAN**  
1" = 20'-0"

**ZONING/SITE DATA:**

NOTE: THE SITE DEVELOPMENT PLAN SUBMITTED HEREIN IS IN ACCORDANCE WITH THE "DESIGN CRITERIA" ESTABLISHED IN THE EPC "NOTIFICATION OF DECISION" DATED MAY 16, 1986 FOR RICHFIELD PARK SUBDIVISION (NORTH OF ALAMEDA BETWEEN JEFFERSON AND THE NORTH DIVISION CHANNEL), FILE 7-85-70-1. THIS PLAN ALSO COMPLIES WITH THE ALAMEDA BLVD. DESIGN OVERLAY ZONE.

ZONING: I-P, INDUSTRIAL PARK ZONE  
ZONE MAP: C-17

ACREAGE: 88,566 SF, 1.57 ACRES  
NET LOT AREA: 56,546 SF  
REQUIRED LANDSCAPING: 6,482 SF  
PROVIDED LANDSCAPING: 17,302 SF

HEIGHT OF BUILDING AT HIGHEST POINT: 23'-6"

PARKING:

AREA	REQ. SPACES	PROVIDED SPACES
OFFICE BLDG	38	58
WAREHOUSE	2	2
TOTAL	40	60

HANDICAPPED SPACES: FOR 36 TO 50 REQUIRED PARKING SPACES  
REQUIRED HANDICAPPED SPACES: 3  
PROVIDED HANDICAPPED SPACES: 3  
\* INCLUDING (1) ONE VAN ACCESSIBLE SPACE

BICYCLE PARKING SPACES: 1 PER 20 REQUIRED PARKING SPACES  
REQUIRED BICYCLE SPACES: 3  
PROVIDED BICYCLE SPACES: 5

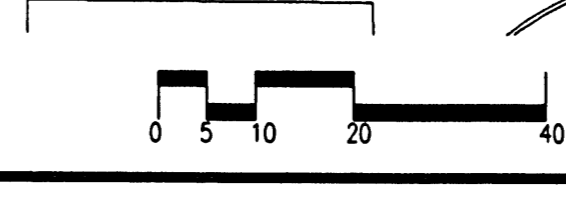
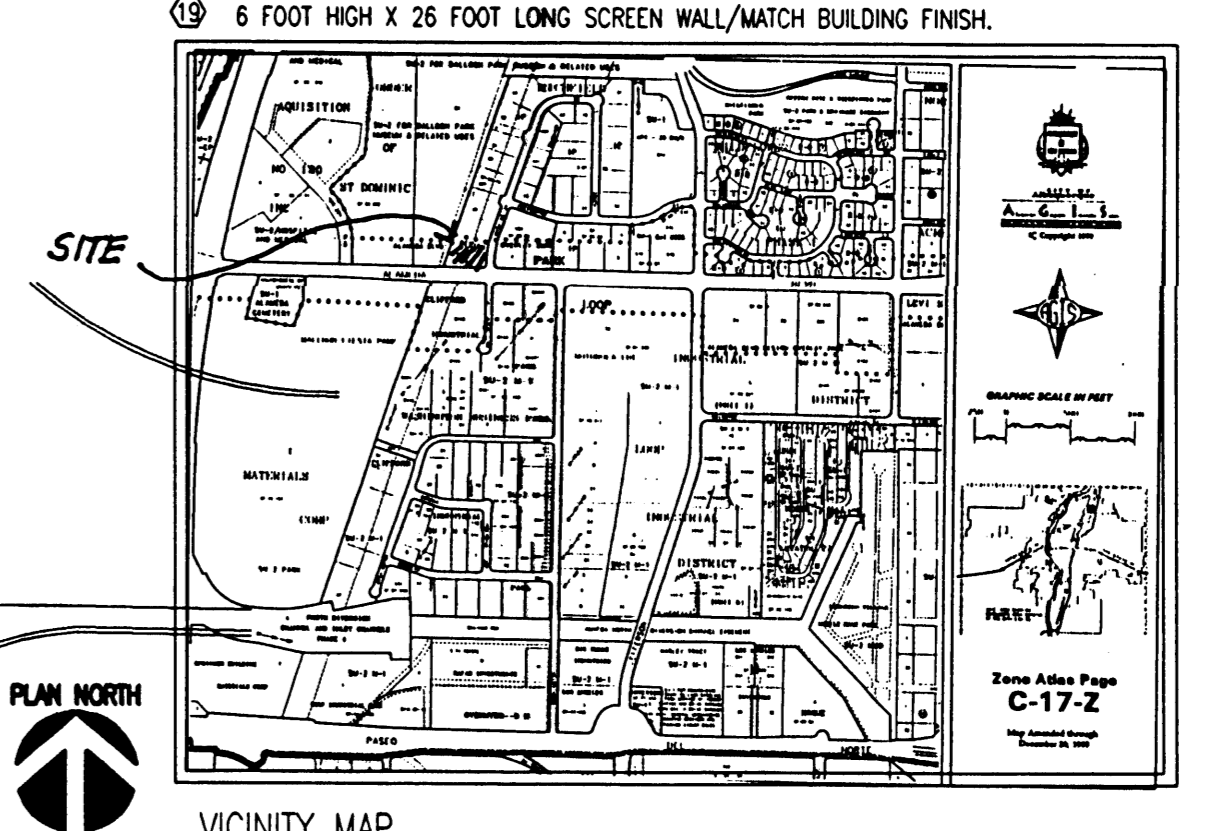
**GENERAL SITE PLAN NOTES:**

- COORDINATE WORK ON THIS SHEET WITH CIVIL AND LANDSCAPE.
- DIMENSIONS SHOWN ON THIS SHEET ARE TO CENTER OF STRUCTURAL GRID, EDGE OF SLAB (REFER TO STRUCTURAL), FACE OF CURB, OR FACE OF MASONRY (SIZE OF MASONRY IS NOMINAL, REFER TO STRUCTURAL), UNLESS NOTED OTHERWISE.
- PHASE I PARKING LOT = 28 SPACES  
PHASE II PARKING LOT = 33 ADDITIONAL SPACES  
TOTAL SPACES = PHASE I & II = 61 SPACES.

**KEYED NOTES:**

- PHASE I PARKING LOT - 28 SPACES. REFER TO DETAIL E6/A-101.
- PHASE II PARKING LOT - 33 ADDITIONAL SPACES. REFER TO DETAIL E6/A-101.
- MONUMENT SIGN, 8" HIGH x 8" WIDE WITH SPLIT FACE CMU WITH ALUMINUM LETTERS SECURED TO FACE OF BLOCK. PROVIDE 3" HIGH x 4" WIDE AREA FOR BACK LIFT CHANGABLE STORAGE.
- BICYCLE RACK SEE DETAIL D6/A-101.
- CONCRETE WHEEL STOP 6' LONG, VENTED BOTTOM W/ (2) #4 REIN. SECURE TO ASPHALT W/ (1) #5 REIN. BAR @ EA. END.
- FIRE HYDRANT
- SANITARY SEWER CLEAN 10"
- CURB AND GUTTER PER CITY OF ALBUQUERQUE STANDARDS. SEE CIVIL SHEETS.
- STANDING CONCRETE CURB. SEE CIVIL SHEETS.
- SIDEWALK WITH TURN-DOWN EDGE AT ADJACENT PARKING SURFACE. SEE CIVIL SHEETS.
- LANDSCAPED AREA SEE LANDSCAPE PLAN FOR FURTHER DETAIL.
- 2' DEEP LOADING DOCK.
- TWO (2) 8' x 8' OVERHEAD DOORS.
- LINE OF FUTURE CURB.
- LINE OF FUTURE PARKING SPACE STRIPING.
- LIMIT OF TEMPORARY DETENTION POND, PHASE TWO PARKING AREA SHALL BE COMPLETED WHEN CITY OF ALBUQUERQUE STORM DRAINAGE INLET IS COMPLETED ON ALAMEDA BLVD.
- FULL CUT OFF LUMINAIRE/DARK SKY COMPLIANT ON 16 FOOT POLE. COMPLIES W/ ALAMEDA BLVD. DESIGN OVERLAY ZONE, REGULATIONS FOR CHARACTER ZONE 4.
- EXISTING SIDEWALK CONTINUOUS FROM WASHINGTON ST. TO WEST PROPERTY LINE.
- 6 FOOT HIGH X 26 FOOT LONG SCREEN WALL/MATCH BUILDING FINISH.

AFD PLANS CHECKING OFFICE  
924-3611  
APPROVED (AS APPROVED)  
SIGNATURE & DATE



**BALLOON FIESTA OFFICE BUILDING**

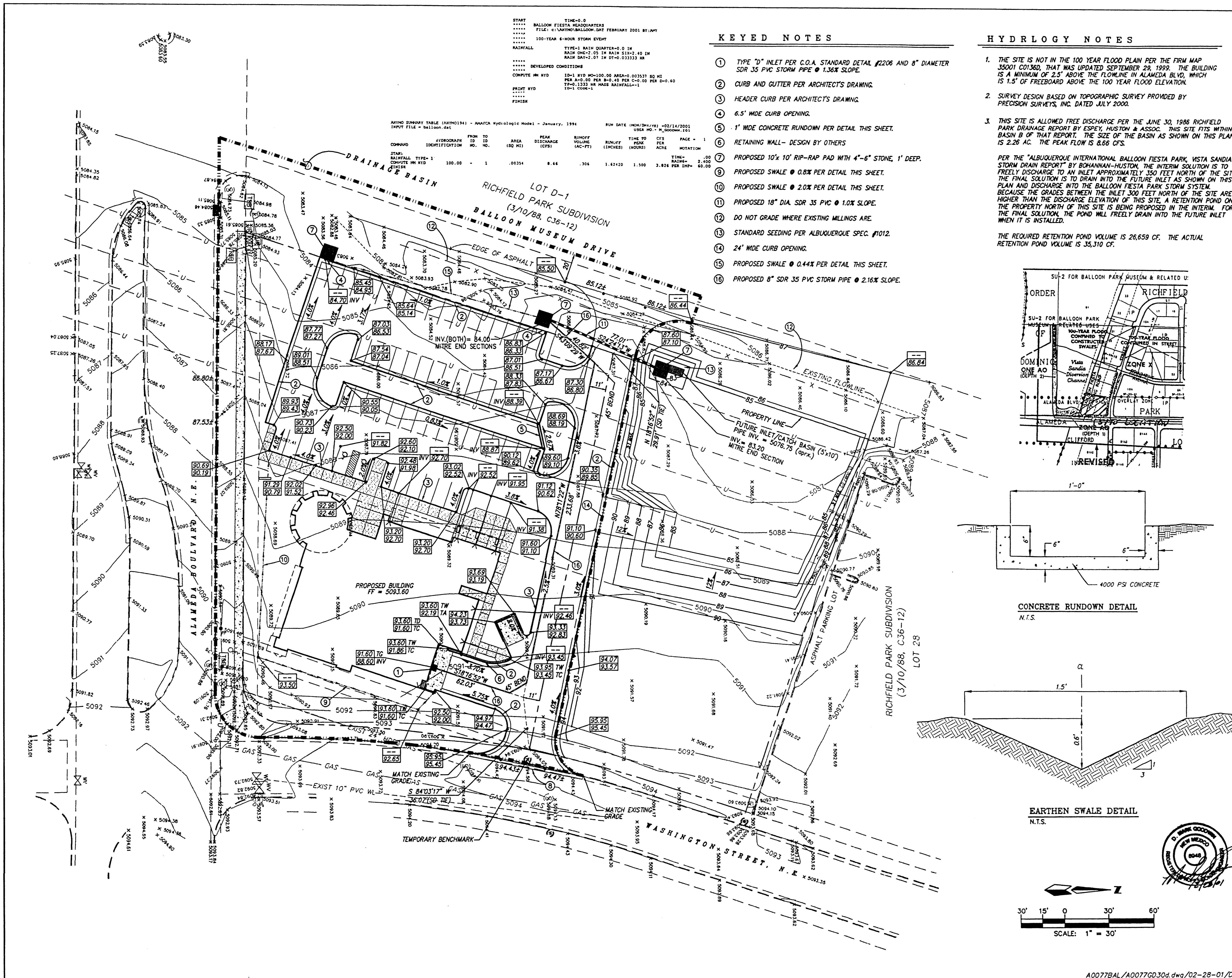
REV 2/15/01  
REV 2/28/01

MARK	DATE	DESCRIPTION
ISSUE:		BUILDING PERMIT
PROJECT NO:		000B
CAD DWG FILE:		C-101
DRAWN BY:		
CHECKED BY:		
DATE:	12/15/00	

SHEET TITLE  
GRADING & DRAINAGE PLAN

BALLOON FIESTA OFFICE BUILDING

**C-101**  
sheet 1 of 1 sheets



**KEYED NOTES**

- 1 TYPE "D" INLET PER C.O.A. STANDARD DETAIL #2206 AND 8" DIAMETER SDR 35 PVC STORM PIPE @ 1.36% SLOPE.
- 2 CURB AND GUTTER PER ARCHITECT'S DRAWING.
- 3 HEADER CURB PER ARCHITECT'S DRAWING.
- 4 6.5' WIDE CURB OPENING.
- 5 1" WIDE CONCRETE RUNDOWN PER DETAIL THIS SHEET.
- 6 RETAINING WALL - DESIGN BY OTHERS.
- 7 PROPOSED 10'x10' RIP-RAP PAD WITH 4"-6" STONE, 1' DEEP.
- 8 PROPOSED SWALE @ 0.8% PER DETAIL THIS SHEET.
- 9 PROPOSED SWALE @ 2.0% PER DETAIL THIS SHEET.
- 10 PROPOSED 18" DIA. SDR 35 PVC @ 1.0% SLOPE.
- 11 DO NOT GRADE WHERE EXISTING MILLINGS ARE.
- 12 STANDARD SEEDING PER ALBUQUERQUE SPEC. #1012.
- 13 24" WIDE CURB OPENING.
- 14 PROPOSED SWALE @ 0.44% PER DETAIL THIS SHEET.
- 15 PROPOSED 8" SDR 35 PVC STORM PIPE @ 2.16% SLOPE.

**HYDRLOGY NOTES**

1. THE SITE IS NOT IN THE 100 YEAR FLOOD PLAIN PER THE FIRM MAP JS001 E0136D, THAT WAS UPDATED SEPTEMBER 29, 1999. THE BUILDING IS A MINIMUM OF 2.5' ABOVE THE FLOODING IN ALAMEDA BLVD, WHICH IS 1.5' OF FREEBOARD ABOVE THE 100 YEAR FLOOD ELEVATION.
  2. SURVEY DESIGN BASED ON TOPOGRAPHIC SURVEY PROVIDED BY PRECISION SURVEYS, INC. DATED JULY 2000.
  3. THIS SITE IS ALLOWED FREE DISCHARGE PER THE JUNE 30, 1986 RICHFIELD PARK DRAINAGE REPORT BY ESPY, HUSTON & ASSOC. THIS SITE FITS WITHIN BASIN B OF THAT REPORT. THE SIZE OF THE BASIN AS SHOWN ON THIS PLAN IS 2.26 AC. THE PEAK FLOW IS 8.66 CFS.
- PER THE "ALBUQUERQUE INTERNATIONAL BALLOON FIESTA PARK, VISTA SANDIA STORM DRAIN REPORT" BY BOHANNAN-HUSTON, THE INTERIM SOLUTION IS TO FREELY DISCHARGE TO AN INLET APPROXIMATELY 350 FEET NORTH OF THE SITE. THE FINAL SOLUTION IS TO DRAIN INTO THE FUTURE INLET AS SHOWN ON THIS PLAN AND DISCHARGE INTO THE BALLOON FIESTA PARK STORM SYSTEM BECAUSE THE GRADES BETWEEN THE INLET 300 FEET NORTH OF THE SITE ARE HIGHER THAN THE DISCHARGE ELEVATION OF THIS SITE. A RETENTION POND ON THE PROPERTY NORTH OF THIS SITE IS BEING PROPOSED IN THE INTERIM. FOR THE FINAL SOLUTION, THE POND WILL FREELY DRAIN INTO THE FUTURE INLET WHEN IT IS INSTALLED.
- THE REQUIRED RETENTION POND VOLUME IS 26,659 CF. THE ACTUAL RETENTION POND VOLUME IS 35,310 CF.



**VICINITY MAP** ZONE MAP: C-17-Z

**TBM (TEMPORARY BENCHMARK)**

EXISTING MANHOLE LOCATED 6.64 FEET EAST OF THE NORTHEAST PROPERTY CORNER OF LOT 26. RIM ELEV. = 5094.50

**ACS BENCHMARK**

STATION "NDC 7" IS LOCATED AT THE ALAMEDA ROAD BRIDGE OVER THE AMAFCA NORTH DIVERSION CHANNEL. TO REACH THE STATION FROM ALAMEDA BRIDGE, GO TO THE SOUTHWEST CORNER TO BRIDGE AND STATION 2.5 FEET FROM SOUTHWEST CORNER OF HEADWALL. STATION IS AMAFCA BRASS TABLET STAMPED "NDC 7" SET ON A CONCRETE POST PROJECTING 0.3 FEET ABOVE THE GROUND.

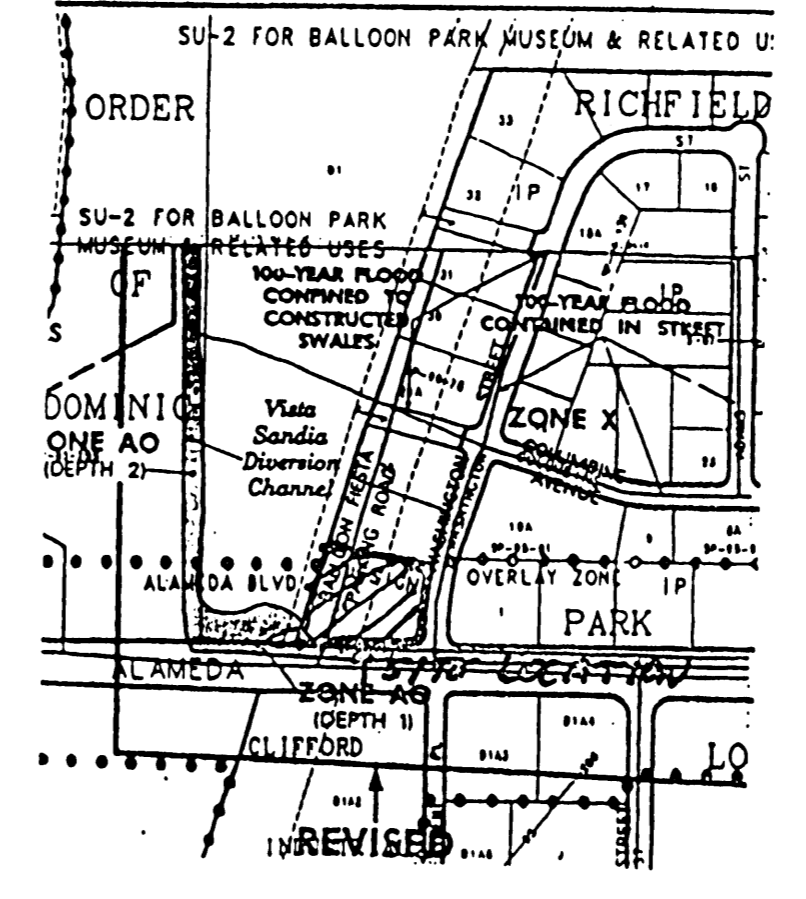
X = 394,094.80 Y = 1,522,635.84 ELEV = 5,062.6

**LEGAL DESCRIPTION**

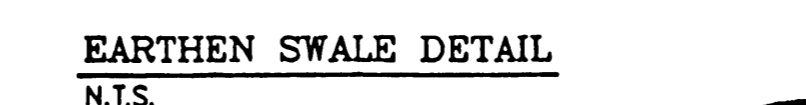
LOT 26, RICHFIELD PARK SUBDIVISION.

**LEGEND**

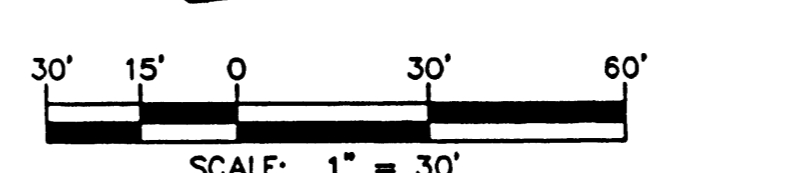
---	BOUNDARY LINE
---	NEW CURB & GUTTER
---	EXISTING CURB & GUTTER
---	EXISTING UTILITY LINE
---	EXISTING CONTOUR LINE
---	GAS
---	EXISTING 2" HIGH PRESSURE GAS LINE
---	EXIST-10" PVC WL
---	EXISTING WATER LINE
---	EXISTING GATE VALVE
---	EXISTING FIRE HYDRANT
---	EXISTING WATER METER
---	EXIST-24" HOPE SAS
---	EXISTING SANITARY SEWER LINE
---	EXISTING SANITARY SEWER MANHOLE
---	EXISTING POWER POLE
---	EXISTING PEDESTAL
---	EXISTING TELEPHONE RISER
---	EXISTING SPOT ELEVATION
---	EXISTING UTILITY PEDESTAL
---	EXISTING PEDESTAL
---	EXISTING TELEPHONE RISER
---	PROPOSED TOP OF CURB ELEVATION
---	PROPOSED FLOWLINE ELEVATION
---	PROPOSED SPOT ELEVATION
---	PROPOSED SLOPE
---	PROPOSED TOP OF WALL ELEVATION
---	PROPOSED TOP OF ASPHALT ELEVATION
---	PROPOSED TOP OF GRADE ELEVATION
---	PROPOSED TOP OF DOCK ELEVATION
---	PROPOSED TOP OF CONCRETE ELEVATION
---	PROPOSED STORM DRAIN LINE
---	PROPOSED STORM DRAIN INLET
---	PROPOSED DRAINAGE BASIN



**CONCRETE RUNDOWN DETAIL**  
N.T.S.



**EARTHEN SWALE DETAIL**  
N.T.S.



A0077BAL/A0077GD30d.dwg/02-28-01/DER

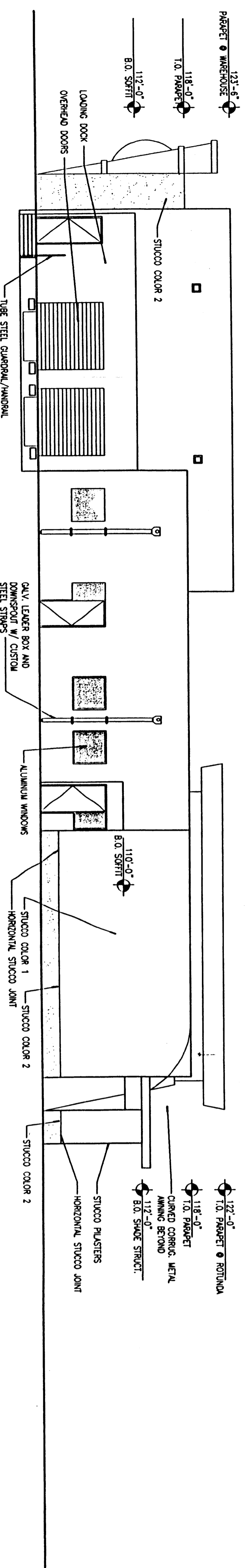
**BALLOON FIESTA HEADQUARTERS**  
**GRADING AND DRAINAGE PLAN**

**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
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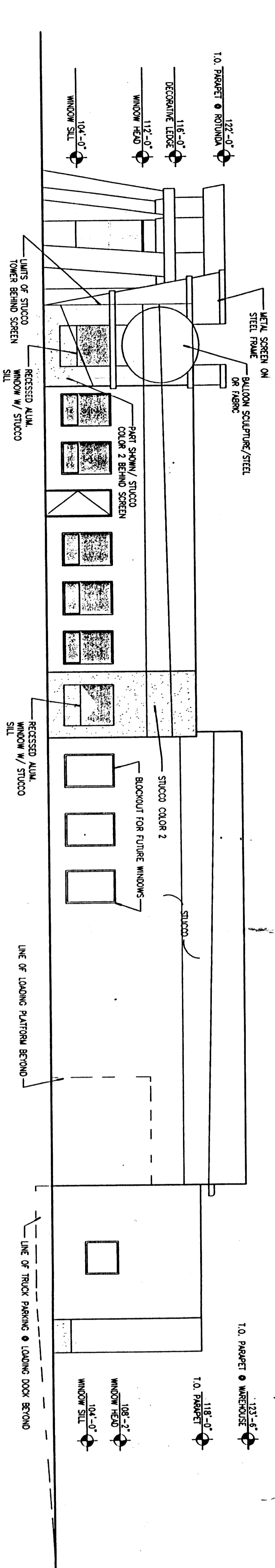
Designed: ALD	Drawn: DER	Checked: DMG	Sheet 1 of 2
Scale: 1" = 30'	Date: 02/28/01	Job: A00077	



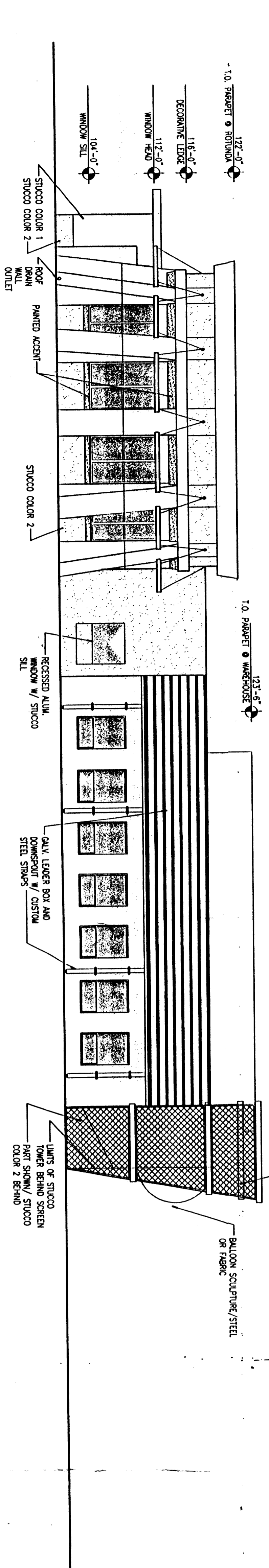




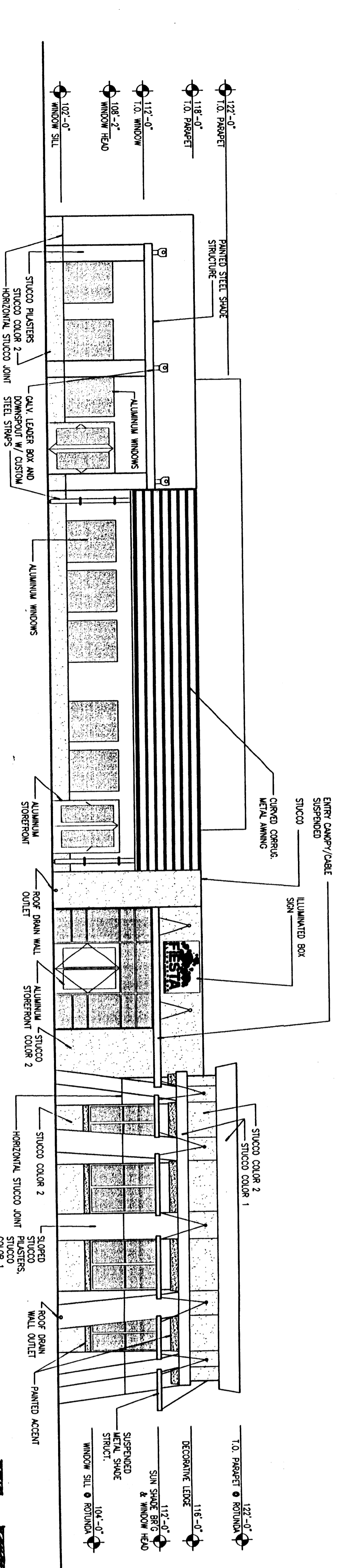
C1 NORTH ELEVATION  
1/8" = 1'-0"



D1 EAST ELEVATION  
1/8" = 1'-0"



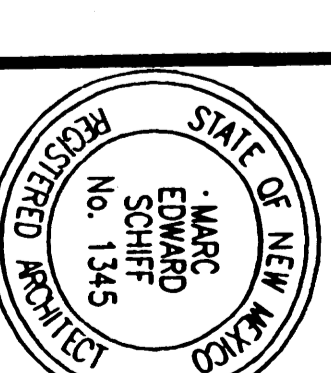
B1 SOUTH ELEVATION  
1/8" = 1'-0"



A1 WEST ELEVATION  
1/8" = 1'-0"

**DCSW** ARCHITECTS  
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 CONSULTANTS

Architect: **DCSW**  
 Engineer:



**BALLOON FIESTA OFFICE BUILDING**

MARK	DATE	DESCRIPTION
ISSUE:	0008	BUILDING PERMIT
CAD DWG FILE:	0008-A-201	
DRAWN BY:	KMH	
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SHEET TITLE  
 ELEVATIONS  
 BALLOON FIESTA  
 OFFICE BUILDING