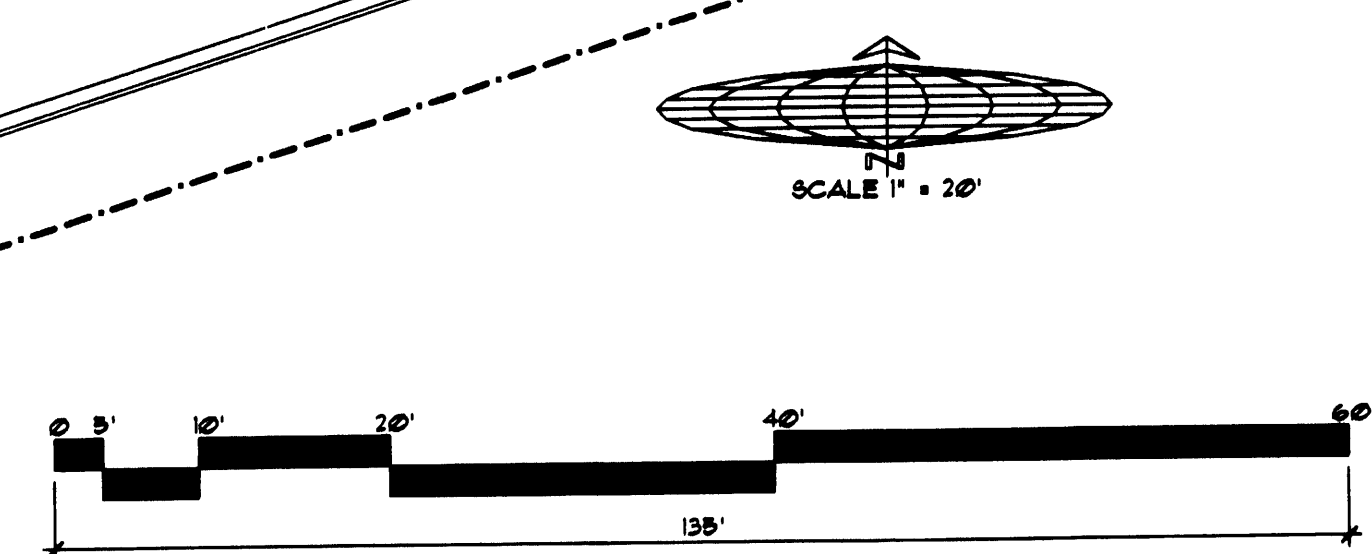
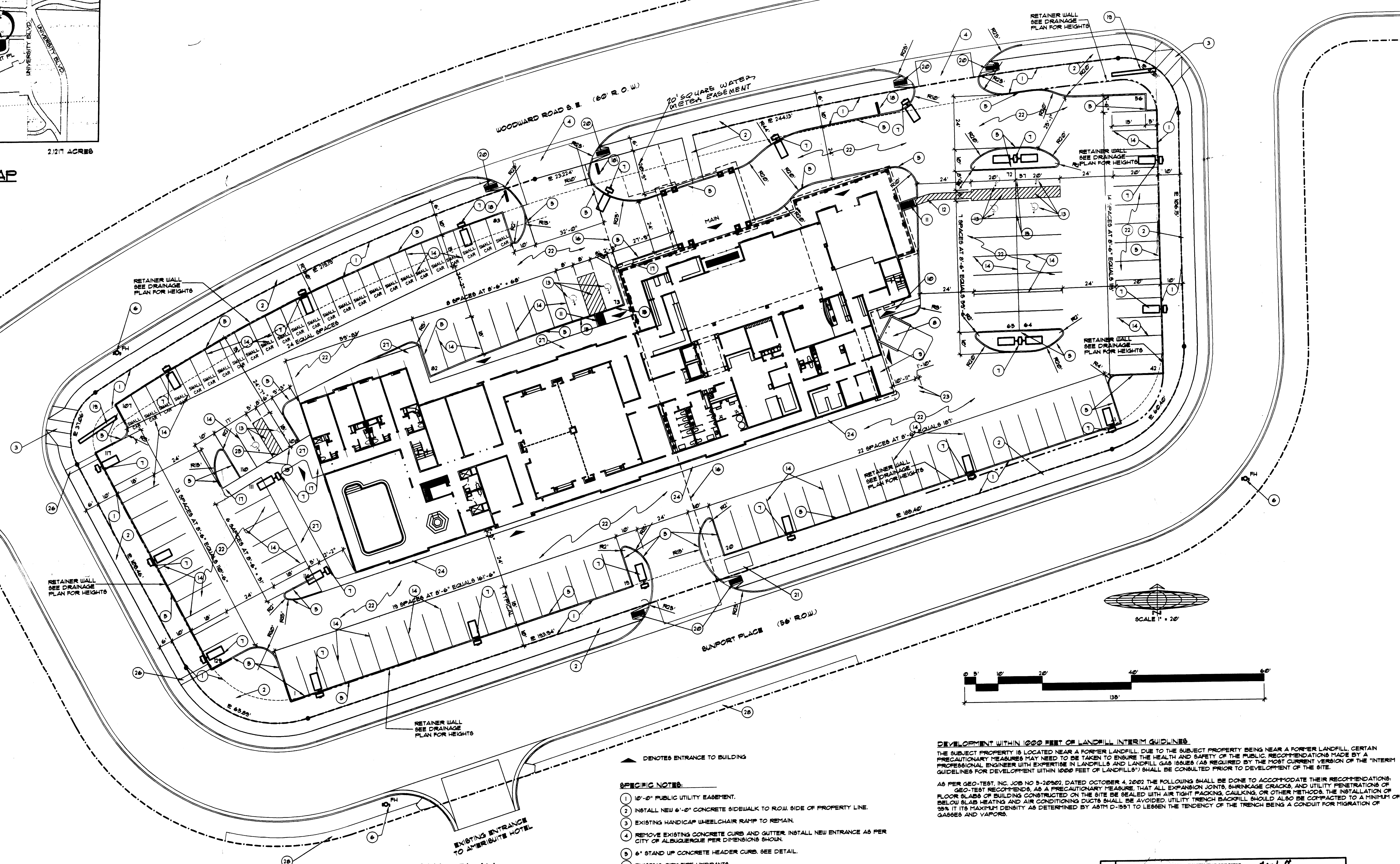


ZONING MAP M-18-Z 2.217 ACRES
VICINITY MAP
SCALE 1" = 150'



100 RENTAL UNITS	11 SPACES PER UNIT	1100 SPACES
RESTAURANT	49 OCCUPANTS	
LOUNGE	21 OCCUPANTS	
RESTAURANT / LOUNGE	69 OCCUPANTS / 3	23 SPACES
TOTAL SPACES REQUIRED		143 SPACES REQUIRED
LESS 10% FOR BUS SERVICE WITHIN 300 FT OF SITE		14 SPACES
		129 SPACES PROVIDED
TOTAL SPACES PROVIDED		129 SPACES PROVIDED
HANDICAP SPACES PROVIDED		8 SPACES PROVIDED
SMALL CAR SPACES (25% OR 15 PERMITTED/125)		125 SPACES PROVIDED

FIRST LEVEL HEATED	10,573 SQ. FT.
SECOND LEVEL HEATED	11,134 SQ. FT.
THIRD LEVEL HEATED	10,600 SQ. FT.
FOURTH LEVEL HEATED	10,600 SQ. FT.
TOTAL HEATED	42,907 SQ. FT.
PORTE COUCHERE	914 SQ. FT.
COVERED WALKWAY	1,434 SQ. FT.
KITCHEN SERVICE PORCH	86 SQ. FT.
HOTEL SERVICE PORCH	69 SQ. FT.
MAINTENANCE PORCH	148 SQ. FT.
TOTAL AREA UNDER ROOF	73,904 SQ. FT.

- ▲ DENOTES ENTRANCE TO BUILDING
- SPECIFIC NOTES:**
- 1) 10'-0" PUBLIC UTILITY EASEMENT.
 - 2) INSTALL NEW 6'-0" CONCRETE SIDEWALK TO ROW SIDE OF PROPERTY LINE.
 - 3) EXISTING HANDICAP WHEELCHAIR RAMP TO REMAIN.
 - 4) REMOVE EXISTING CONCRETE CURB AND GUTTER. INSTALL NEW ENTRANCE AS PER CITY OF ALBUQUERQUE PER DIMENSIONS SHOWN.
 - 5) 6" STAND UP CONCRETE HEADER CURB. SEE DETAIL.
 - 6) EXISTING CITY FIRE HYDRANTS.
 - 7) NEW PARKING AND BUILDING AREA LIGHTS. SEE DETAIL.
 - 8) TRASH ENCLOSURE - SEE DETAIL.
 - 9) SERVICE PORCH
 - 10) 48" CONCRETE WALK.
 - 11) HANDICAP RAMP WITH 6" CURB EACH SIDE.
 - 12) 3' WIDE BLUE HANDICAP ACCESS ROUTE STRIPING - 36" WIDE.
 - 13) 3' WIDE BLUE HANDICAP STRIPING.
 - 14) 3' WIDE YELLOW PARKING SPACE STRIPING.
 - 15) 12" X 18" BLUE AND WHITE HANDICAP SIGN ON STEEL POST, 60" TO BOTTOM A.F.G.
 - 16) EXISTING PROPERTY LINE TO BE REMOVED BY SURVEY PLAT.
 - 17) 6'-0" WIDE CONCRETE SIDEWALK.
 - 18) ENTRANCE AND EXIT SIGNS 24" H X 48" W X 36" H (NON-ILLUMINATED)
 - 19) ILLUMINATED SITE SIGN. SEE DETAIL.
 - 20) INSTALL NEW HANDICAP RAMP FOR WHEELCHAIR ACCESS.
 - 21) EXISTING CONCRETE TRANSFORMER PAD TO BE SCREENED BY LANDSCAPE MATERIAL.
 - 22) ASPHALT PAVING PER CITY OF ALBUQUERQUE SPEC.
 - 23) 6" STEEL PIPE BOLLARD FILLED WITH CONCRETE.
 - 24) CONCRETE SIDEWALK AS DIMENSIONED.
 - 25) ASPHALT AND CONCRETE SIDEWALK FLUSH-NO HANDICAP RAMP REQUIRED.
 - 26) CONCRETE RUN DOWN SEE DETAIL ON DRAINAGE PLAN.
 - 27) 6' WIDE SIDEWALK.
 - 28) EXISTING 48" PUBLIC SIDEWALK.

DEVELOPMENT WITHIN 1000 FEET OF LANDFILL INTERIM GUIDELINES:
 THE SUBJECT PROPERTY IS LOCATED NEAR A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS INHALE (AS REQUIRED BY THE MOST CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1000 FEET OF LANDFILLS") SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE.

AS PER GEO-TEST, INC. JOB NO. 9-2092, DATED OCTOBER 4, 2002, THE FOLLOWING SHALL BE DONE TO ACCOMMODATE THEIR RECOMMENDATIONS: GEO-TEST RECOMMENDS AS A PRECAUTIONARY MEASURE THAT ALL EXPANSION JOINTS, SHRINKAGE CRACKS, AND UTILITY PENETRATIONS OF FLOOR SLABS OF BUILDINGS CONSTRUCTED ON THE SITE BE SEALED WITH AIR TIGHT PACKING, CAULKING, OR OTHER METHODS. THE INSTALLATION OF BELOW SLAB HEATING AND AIR CONDITIONING DUCTS SHALL BE AVOIDED. UTILITY TRENCH BACKFILL SHOULD ALSO BE CONTRACTED TO A FINISH OF SBA IF ITS MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557 TO LESSEN THE TENDENCY OF THE TRENCH BEING A CONDUIT FOR MIGRATION OF GASES AND VAPORS.

SIGNATURE BLOCK

THIS PLAN IS CONSISTENT WITH THE SPECIFIC DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON April 21, 2003 **1001067** **03008-00123**

APPLICANT: Michael Holter **4-7-03** DATE

DESIGNER: Michael Holter **3-07-03** DATE

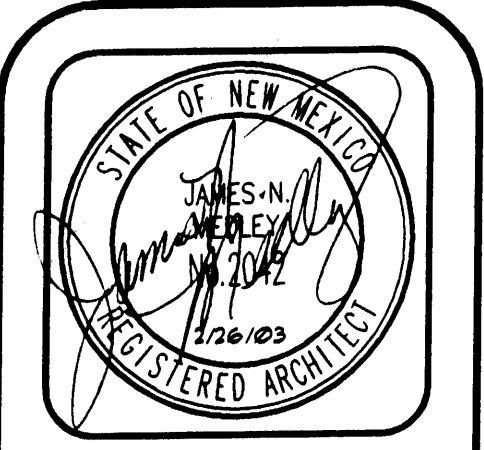
REVIEWING ENGINEER: Christine Anderson **4-8-03** DATE

CITY ENGINEER: Paul L. Pitt **4/10/03** DATE

APPROVED AND CONSENTED TO THESE PLANS as specified by the Development Process Manual April 21, 2003 DATE

APPROVED BY: Michael Holter DATE

LEGAL DESCRIPTION
 LOTS 1 AND 2, BLOCK 4-A
 SANPORT PARK
 SECTION 33, T. 18 N., R. 3 E., N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 (RECAP PLAN WILL BE FILED TO COMBINE INTO ONE LOT)



JIM MEDLEY, Architect
 3100 Christine N.E.
 Albuquerque, NM 87111
 Phone (505) 292-3514 Fax (505) 294-5593

Project No. 1001067
 Date: March 21, 2003
 Drawn by: Michael Holter
 Checked by: Michael Holter

Project: **Holiday Inn HOTEL & SUITES AMERITUS HOSPITALITY INC.**

No.	Revision / Issue	Date:

SITE PLAN PRELIMINARY

Sheet Description: 1 of 6

PROJECT 1001067

BENCH MARK

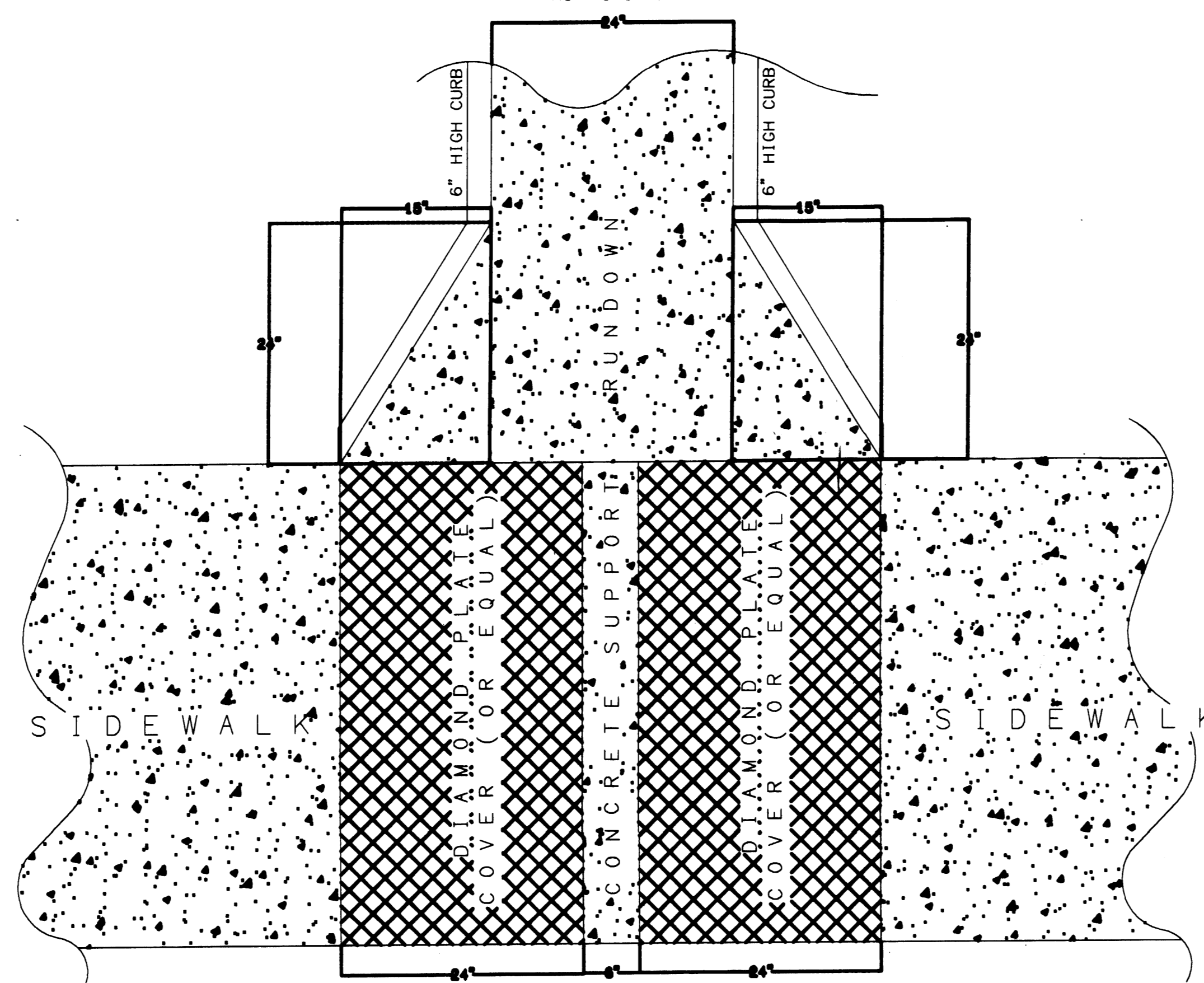
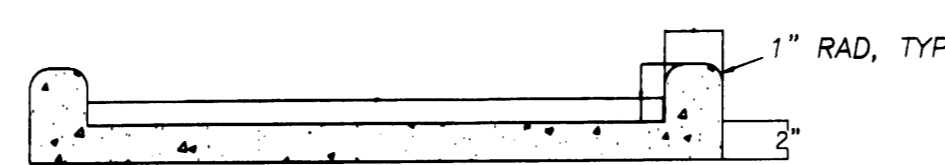
BENCH MARK IS ACS MONUMENT "SOC 12-1" LOCATED 1500' S. OF THE GIBSON BRIDGE OVER AMFCA SOUTH DIVERSION CHANNEL. NGVD ELEVATION: 5047.3

OFFSITE FLOW INFORMATION

OFFSITE CONTRIBUTORY FLOW TO THE PROPERTY IS NEGLIGIBLE.

DRAINAGE NOTES:

- ROOF DRAINAGE CONVEYED TO PARKING LOT VIA GUTTERS AND DOWNSPOUTS
- EROSION CONTROL MEASURES SHALL BE TAKEN WHERE SLOPES EXCEED 3:1.
- EROSION CONTROL MEASURES MAY INCLUDE: SHOTCRETE, CONCRETE, IRRIGATED TURF, RIP-RAP WITH GEOTEXTILE BACKING, TERRACING, OR ANY COMBINATION OF TECHNIQUES THEREOF. EROSION CONTROL MEASURES TAKEN SHALL BE DETERMINED BY LANDSCAPE ARCHITECT.
- SIDEWALK CULVERTS SHALL BE CONSTRUCTED PER COA STD DWG 2236. EACH SIDEWALK CULVERT SHALL BE 24" WIDE. ALIGN EDGES OF RUNDOWN WITH SIDEWALK CULVERT.
- TOPOGRAPHIC MAP PROVIDED BY SURVEYS SOUTHWEST.
- RETAINING WALL DESIGN BY OTHERS.



CHANNEL CAPACITY CALCULATIONS
 NORTH SIDEWALK CHANNEL
 $Q = (1.49 / n) * A * R^{2/3} * S$
 $n = 0.013$ (CONCRETE)
 $A = 0.5$ SQ.FT. (REC. CHANNEL, MIN CROSS SECTION)
 $Rn = 4/2 = 0.167$ SQ.FT.
 $S = 0.033$ FT./FT. (3% TOWARD STREET)
 $Q = (1.49 / 0.013) * 0.5 * (0.167^{2/3}) * 0.033$
 $Q = 3.17$ cfs per culvert
 Q (REQUIRED) = 4.6 cfs (1/2 site requirement)
 $Q > Q$ (REQUIRED)

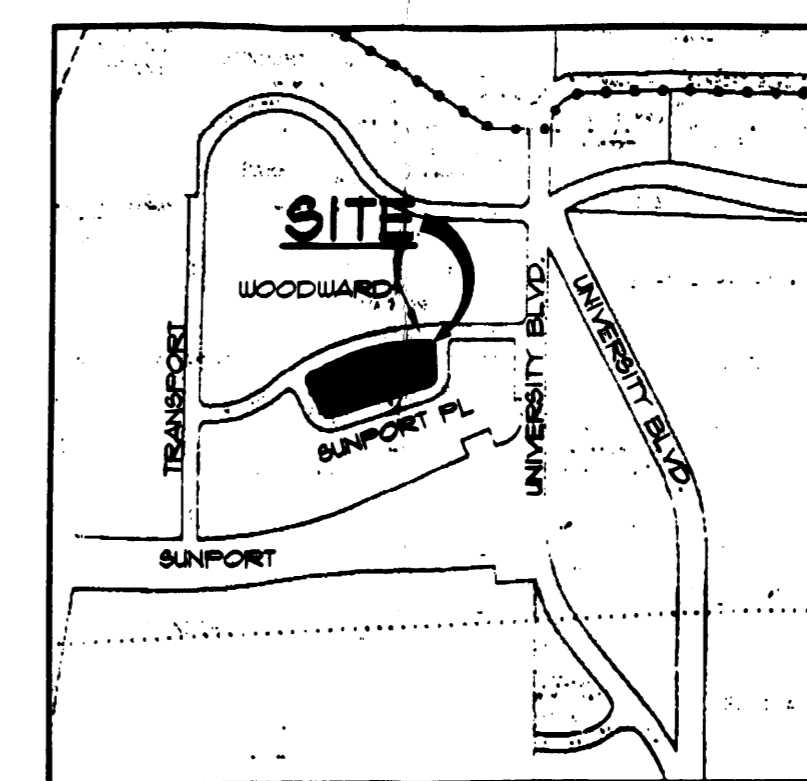
CHANNEL CAPACITY CALCULATIONS
 SOUTH SIDEWALK CHANNEL
 $Q = (1.49 / n) * A * R^{2/3} * S$
 $n = 0.013$ (CONCRETE)
 $A = 0.5$ SQ.FT. (REC. CHANNEL, MIN CROSS SECTION)
 $Rn = 4/2 = 0.167$ SQ.FT.
 $S = 0.033$ FT./FT. (3% TOWARD STREET)
 $Q = (1.49 / 0.013) * 0.5 * (0.167^{2/3}) * 0.033$
 $Q = 3.17$ cfs per culvert
 Q (REQUIRED) = 4.6 cfs (1/2 site requirement)
 $Q > Q$ (REQUIRED)

NOTICE TO CONTRACTOR

PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN ARE TO FINISH SURFACES AND ARE PROVIDED FOR THE PURPOSE OF SHOWING FLOW ROUTING.
 CONTRACTOR IS RESPONSIBLE FOR THE ABATEMENT OF SEDIMENT ONTO ADJOINING PUBLIC RIGHTS-OF-WAY DURING CONSTRUCTION AND FOR THE REMOVAL OF ANY SEDIMENT DEPOSITED IN PUBLIC RIGHT-OF-WAY.
 CONTRACTOR SHALL OBTAIN A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO ANY GRADING OR CONSTRUCTION.

I, DAVID GATTERMAN, NEW MEXICO REGISTERED PROFESSIONAL ENGINEER NO. 14920, DO HEREBY CERTIFY THAT I INSPECTED THIS SITE ON NOVEMBER 1, 2002, AND THAT, AS OF THAT DATE, THERE HAD BEEN NO RECENT ALTERATION OF GRADE OR EVIDENCE OF GRADING OPERATIONS ON THIS SITE.

DAVID GATTERMAN, NMPE NO. 14920



VICINITY MAP
 SCALE 1" = 150'

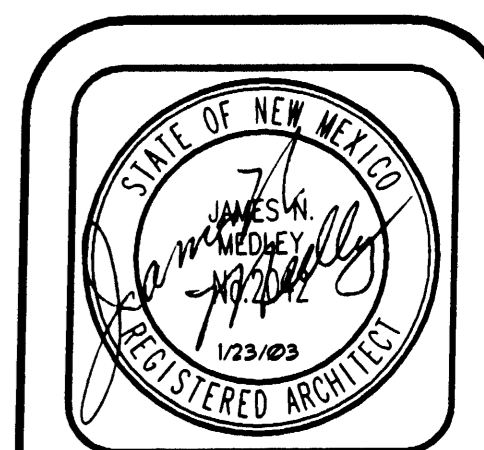
NOTICE TO CONTRACTORS

1. An excavation/barricade permit will be required before beginning any work within the City of Albuquerque Right-of-way. An approved copy of these plans must be submitted at the time of application for these permits.
2. All work detailed on these plans to be done, except as otherwise stated or provided herein, will be constructed in accordance with "City of Albuquerque Interim Standard Specification for Public Works Construction, 1986", latest revision.
3. Two working days prior to any excavation, the contractor must contact Line Locating Service, 260-1990, for location of existing utilities.
4. Prior to construction, the contractor will excavate and verify the horizontal and vertical locations of all construction. Should a conflict exist, the contractor will notify the Construction Engineer so that the conflict can be resolved with a minimum amount of delay.
5. The contractor will be responsible for performing soil density tests as required by the City of Albuquerque.

APPROVALS FOR	NAME	DATE	TITLE OF PROJECT
DESIGN: CITY HYDROLOGY			FOR: AMERICUS HOSPITALITY/ HOLIDAY INN
CONSTRUCTION: CONSTRUCTION ENGINEER			
ACCEPTANCE: CONSTRUCTION INSPECTOR			PROJECT NO. ZONE SHEET 1 OF 2 M-15

DRAINAGE AND GRADING PLAN
 LOTS 1 & 2, BLOCK 4-A
 SUNPORT PARK
 FOR: AMERICUS HOSPITALITY/HOLIDAY INN SHEET C-1

TCC ENGINEERING, INC. (505)266-7256 Fax: (505) 255-2887
 330 LOUISIANA BLVD. NE
 ALBUQUERQUE, NM 87108



JIM MEDLEY, Architect
 3100 Christie N. E. Albuquerque, NM 87111
 Phone: (505) 292-5014 Fax: (505) 394-5593

Plot No. 2002
 Date: January 05
 Drawn by: JEM
 Checked by: JEM

Holiday Inn HOTEL & SUITES
 AMERITUS HOSPITALITY INC.

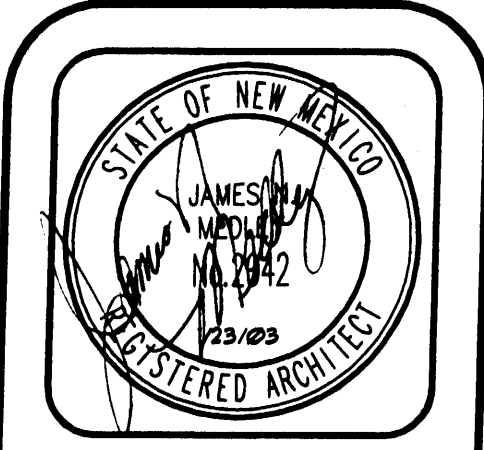
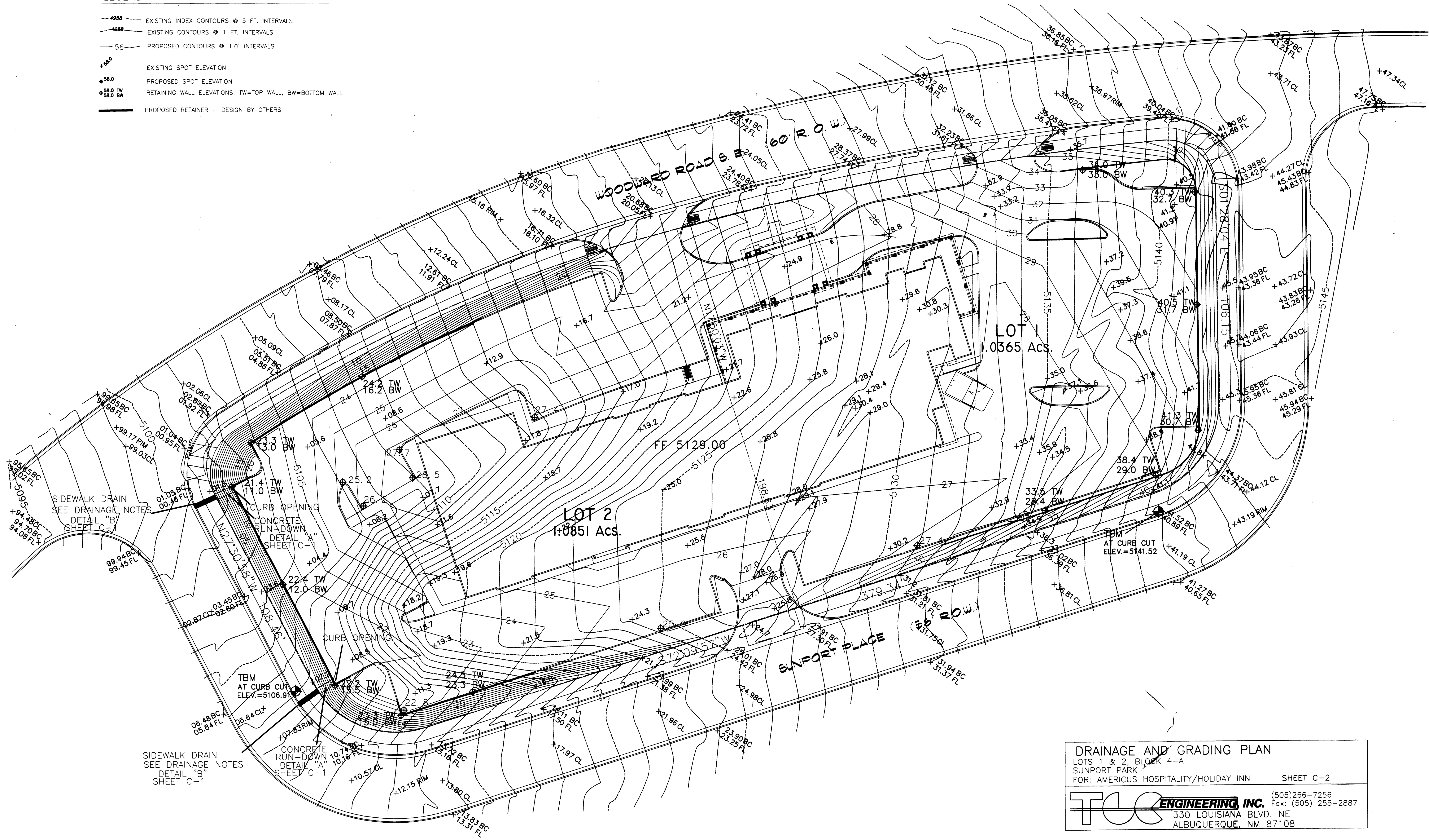
No.	Revision / Issue	Date:

DRAINAGE PLANS

Sheet: **2** of **0**

LEGEND

- 4950 --- EXISTING INDEX CONTOURS @ 5 FT. INTERVALS
- 4958 --- EXISTING CONTOURS @ 1 FT. INTERVALS
- 56 --- PROPOSED CONTOURS @ 1.0' INTERVALS
- 56.0 EXISTING SPOT ELEVATION
- 56.0 TW PROPOSED SPOT ELEVATION
- 56.0 BW RETAINING WALL ELEVATIONS, TW=TOP WALL, BW=BOTTOM WALL
- PROPOSED RETAINER - DESIGN BY OTHERS



JIM MEDLEY, Architect
 Texas License No. 4979
 NJ License No. 35267
 3100 Christine N.E. Albuquerque, NM 87111
 Phone (505) 285-3514 Fax (505) 294-5593

Project: **Holiday Inn HOTEL & SUITES AMERITUS HOSPITALITY INC.**

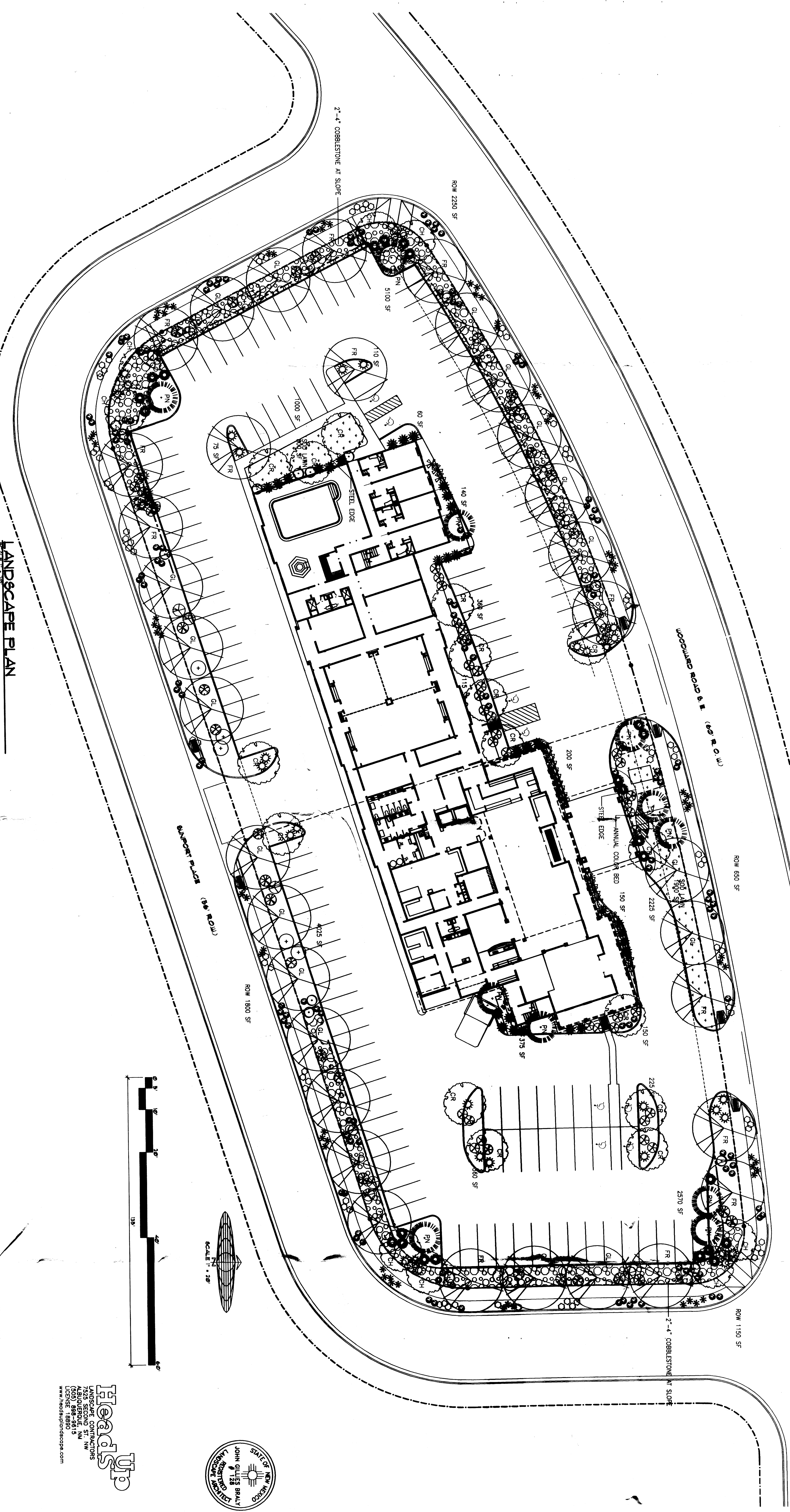
Drawn by: JMT
 Checked by: JMT

No.	Revision / Issue	Date:

Sheet Description: **DRAINAGE PLAN**

Sheet: **3**

C:\working\proj\drainage\plan.dwg, 1/22/2003, 5:18:15 PM, Prepared with AutoCAD 2001 Ver. 13.00, JMT



NOTE
 MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER
 PLANTINGS TO BE WATERED BY AUTO DWP
 IRRIGATION SYSTEM
 LAWN TO BE WATERED BY AUTO SPRAY
 IRRIGATION SYSTEM
 WATER MANAGEMENT IS THE SOLE RESPONSIBILITY
 OF THE PROPERTY OWNER
 THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE
 AND WATER WASTE ORDINANCE
 PLANTING RESTRICTIONS APPROACH
 IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN.
 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS
 AT MAXIMUM
 LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL
 UNLESS AT 2'-9\"/>

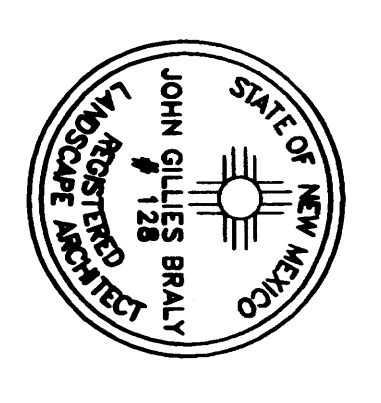
LANDSCAPE PLAN

SITE DATA
 GROSS LOT AREA 91,800 SF
 GROSS BUILDING 22,625 SF
 NET LOT AREA 69,275 SF
 REQUIRED LANDSCAPE 13,885 SF
 20% OF NET LOT AREA 13,855 SF (INCLUDES ROW)
 PERCENT OF NET LOT AREA 31%
 PARKING LOT TREES 13 PROVIDED MIN.
 127 SPACES/10
 REQUIRED STREET TREES PROVIDED AT 30' O.C. SPACING ALONG STREET FRONTAGE
 HIGH WATER USE TURF 4,618 SF
 MAX. 20% OF LANDSCAPE AREA 2,700 SF
 PERCENT OF LANDSCAPE AREA 12%
PLANTING RESTRICTIONS APPROACH
 A MINIMUM OF 80% OF THE PLANTINGS TO BE
 LOW OR MEDIUM WATER USE PLANTS
 A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE
 HIGH WATER USE TURF

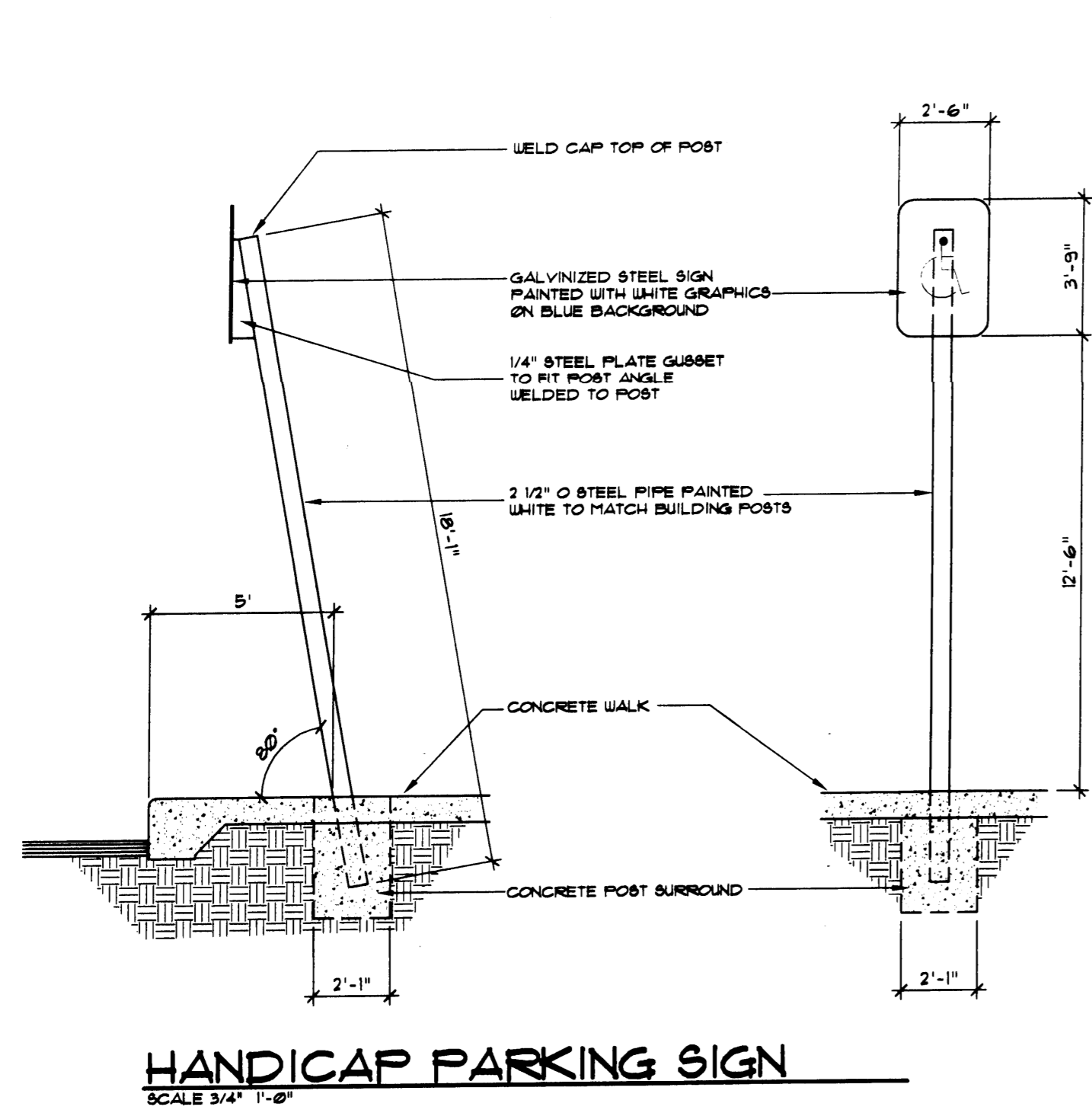
PLANT LEGEND

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
OL	21	OLESTIA	HONEY LOCUST	2' GAL	H
FR	15	FRAXINUS	ASH	2' GAL	H
CR	17	CRATAEGUS	HAWTHORN	15 GAL	M
CH	8	CHILIPIS	DESERT WILLOW	15 GAL	M
PN	11	PINUS NIGRA	AUSTRIAN PINE	5'-6' HT.	M
	17	COTONESTER PARMENI	CLUSTERBERRY	1-5 GAL	M
	42	JUNIPERUS SAHARA	BUFFALO JUNIPER	M	M
	43	RAPHAELIS INDIKA	INDIA HAWTHORN	M	M
	10	CHRISTOPHIANUS NAUSEOSUS	CHAMISA	L	M
	10	PEROVSKIA	RUSSIAN SAGE	M	M
	19	CAROPTERIS X CLAUDIENSIS	BLUE WIST	M	M
	17	ROSMARINUS OFFICINALIS	ROSEMARY	M	M
	22	MISCANTHUS SINENSIS	VADEEN GRASS	M	M
	30	NANINA DOMESTICA	HEAVENLY BAMBOO	M	M
	19	HEMEROCALLIS	DANLIV	1 GAL	M
	126	SALVIA GREGGII	CHERRY SAGE	1 GAL	M
	68	HELIOTRICHON	BLUE AERNA GRASS	1 GAL	M
	75	HIMENOXYS	ANGELITA DASY	1 GAL	L

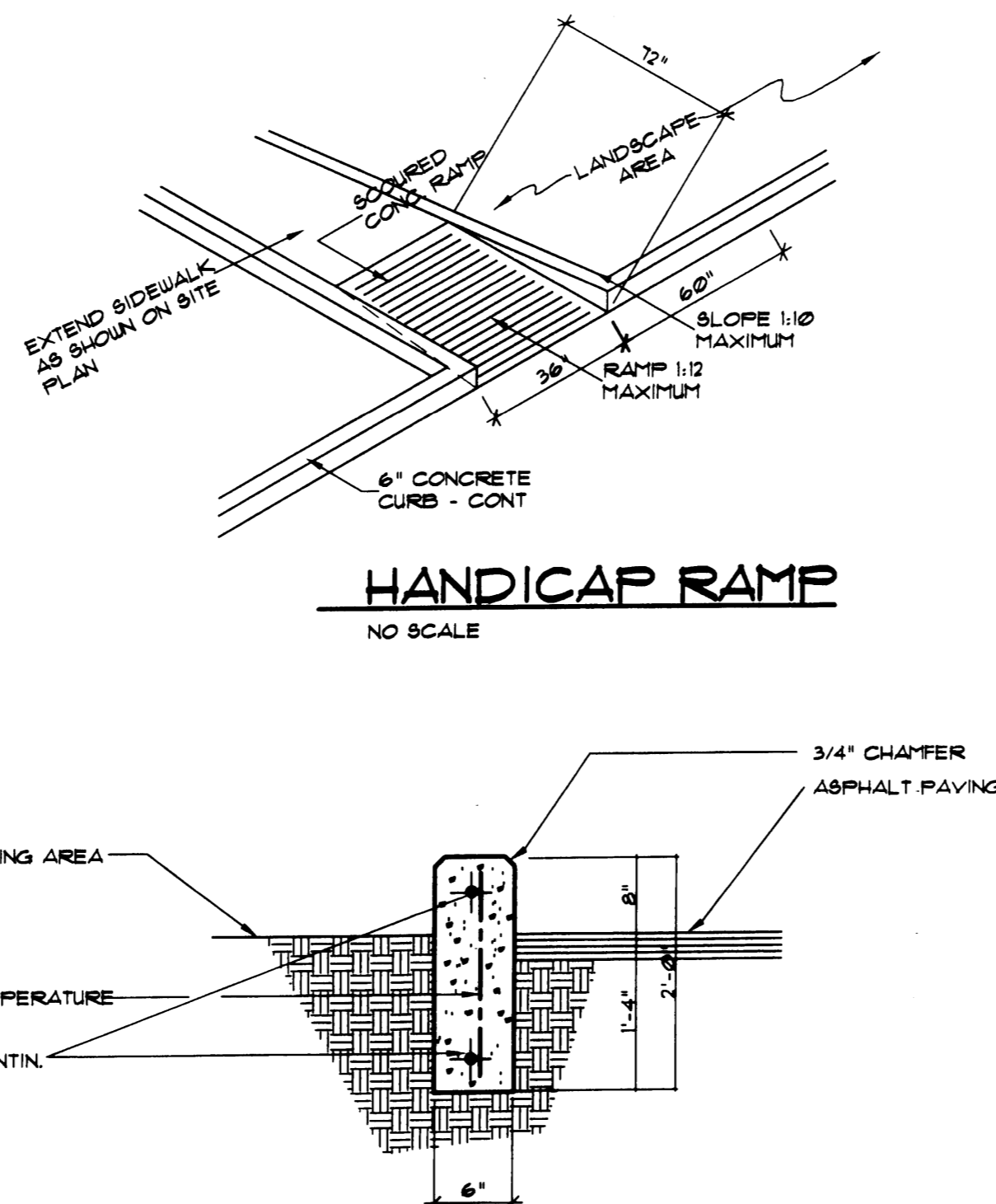
Heed's Up
 LANDSCAPE CONTRACTORS
 1000 BRADDOCK
 ALBUQUERQUE, NM 87102
 www.heedshandscape.com



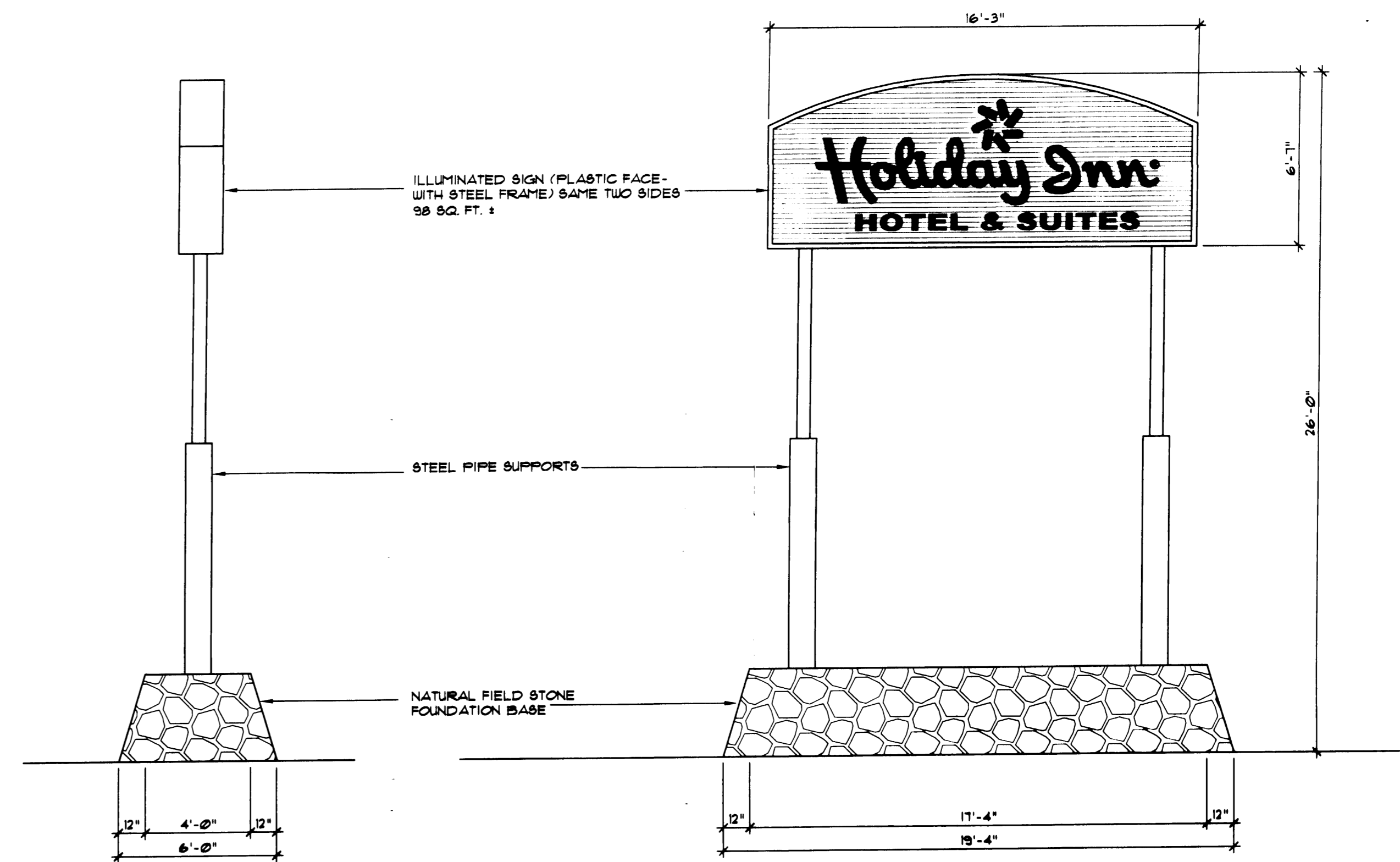
SHEET 4 OF 6	Sheet Description SITE PLAN PRELIMINARY	<table border="1"> <tr> <th>No.</th> <th>Revision / Issue</th> <th>Date:</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	No.	Revision / Issue	Date:				Project: Holiday Inn HOTEL & SUITES AMERITUS HOSPITALITY INC.	Plan No. 0502 Date: April 03 Drawn by: JMM Checked by:	JIM MEDLEY, Architect Phone (505) 292-3514 3100 Christine N.E. Albuquerque, NM 87111 www.jimmedley-architect.com Phone (505) 292-3514 Fax (505) 294-5593	
No.	Revision / Issue	Date:										



HANDICAP PARKING SIGN
SCALE 3/4" = 1'-0"

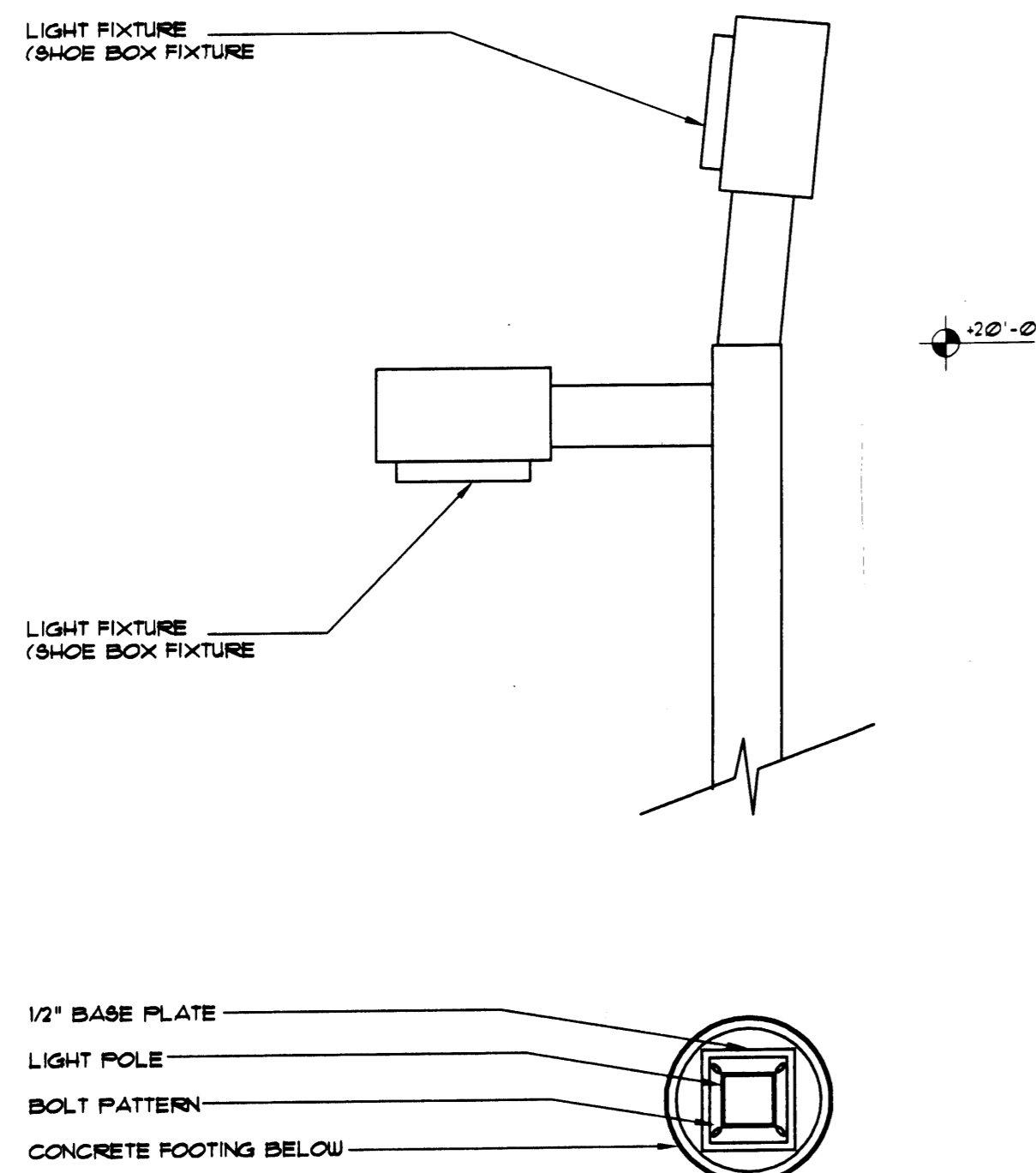


STAND-UP CURB DETAIL
SCALE 1/2" = 1'-0"

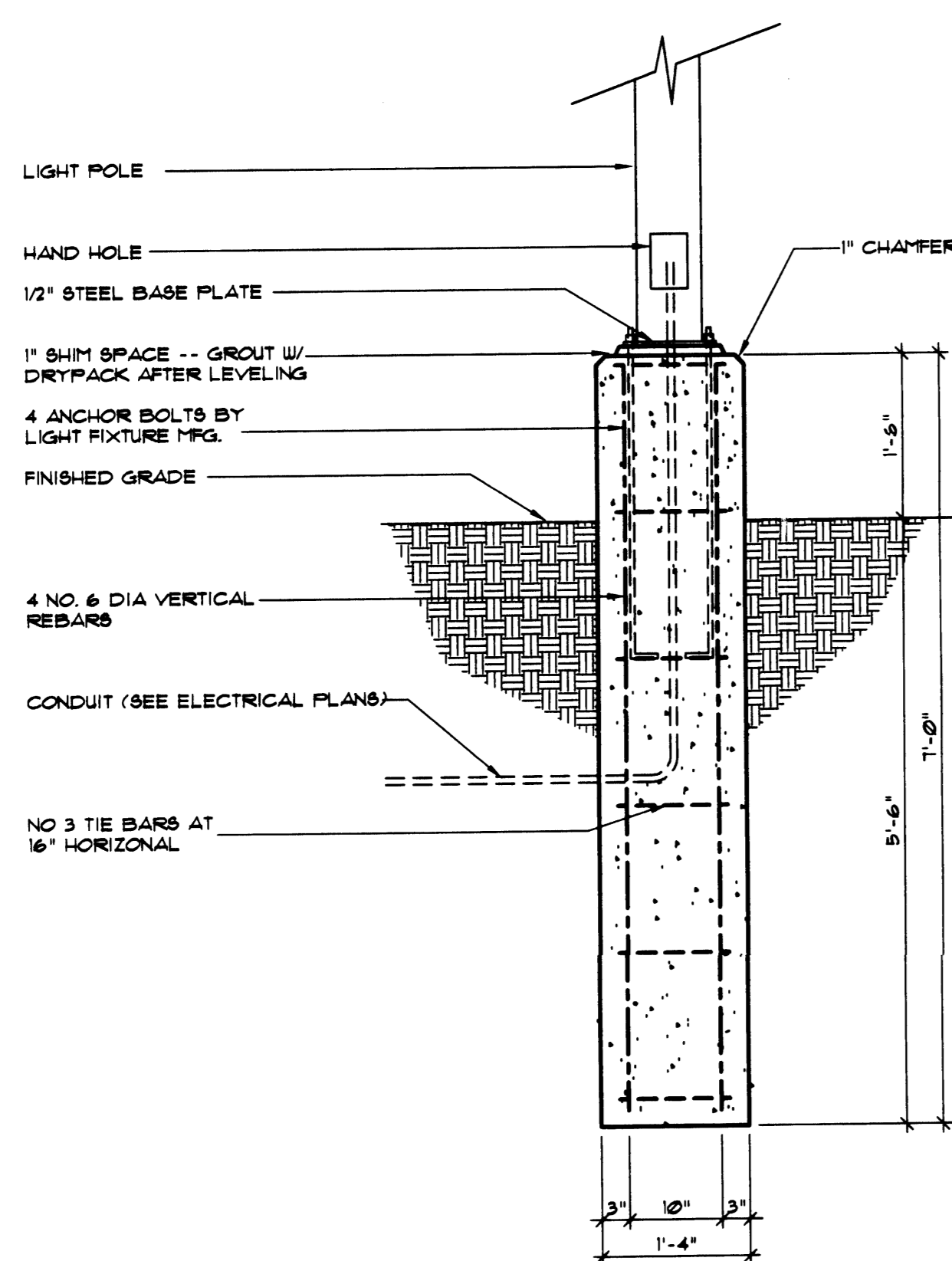


END ELEVATION FRONT AND BACK ELEVATIONS

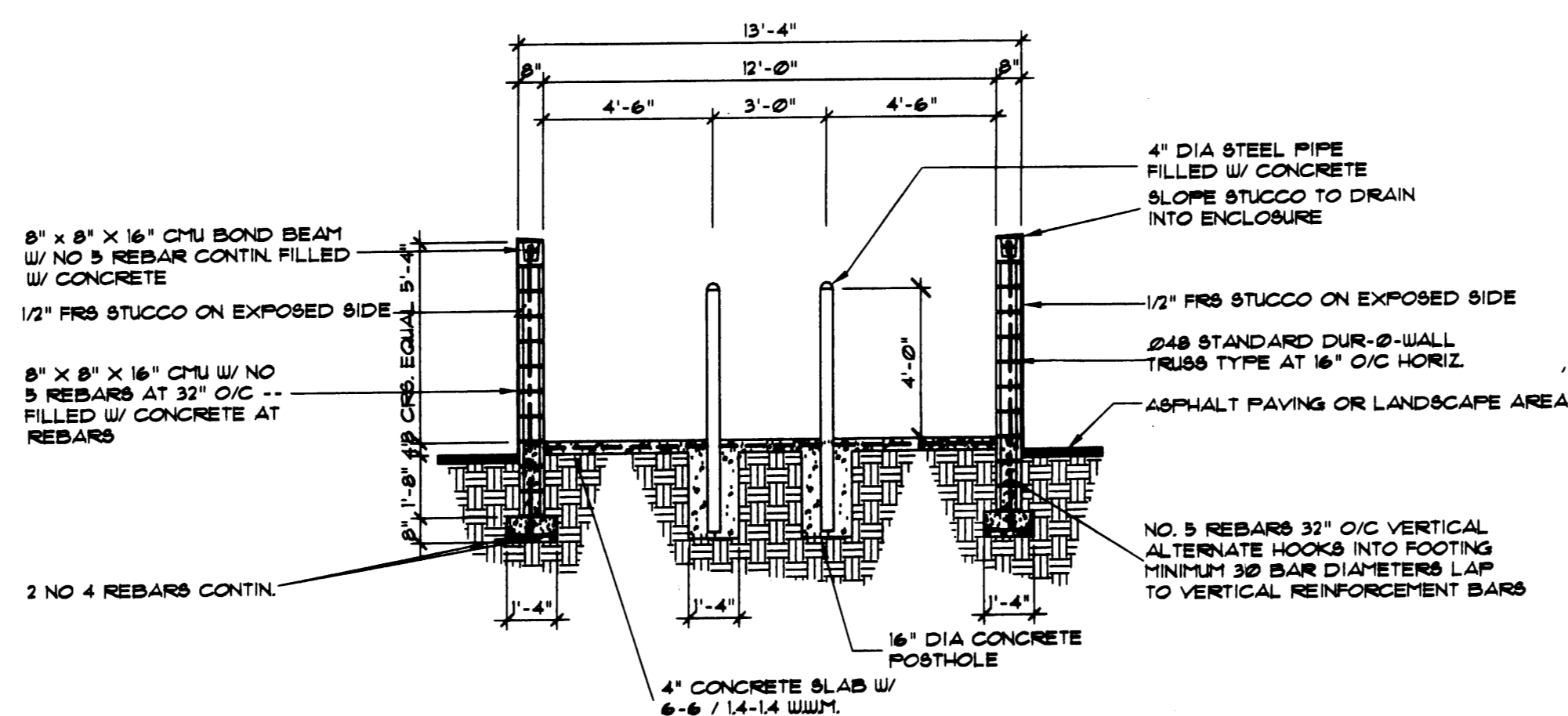
SITE SIGN ELEVATIONS (2 REQUIRED)
SCALE 1/4" = 1'-0"



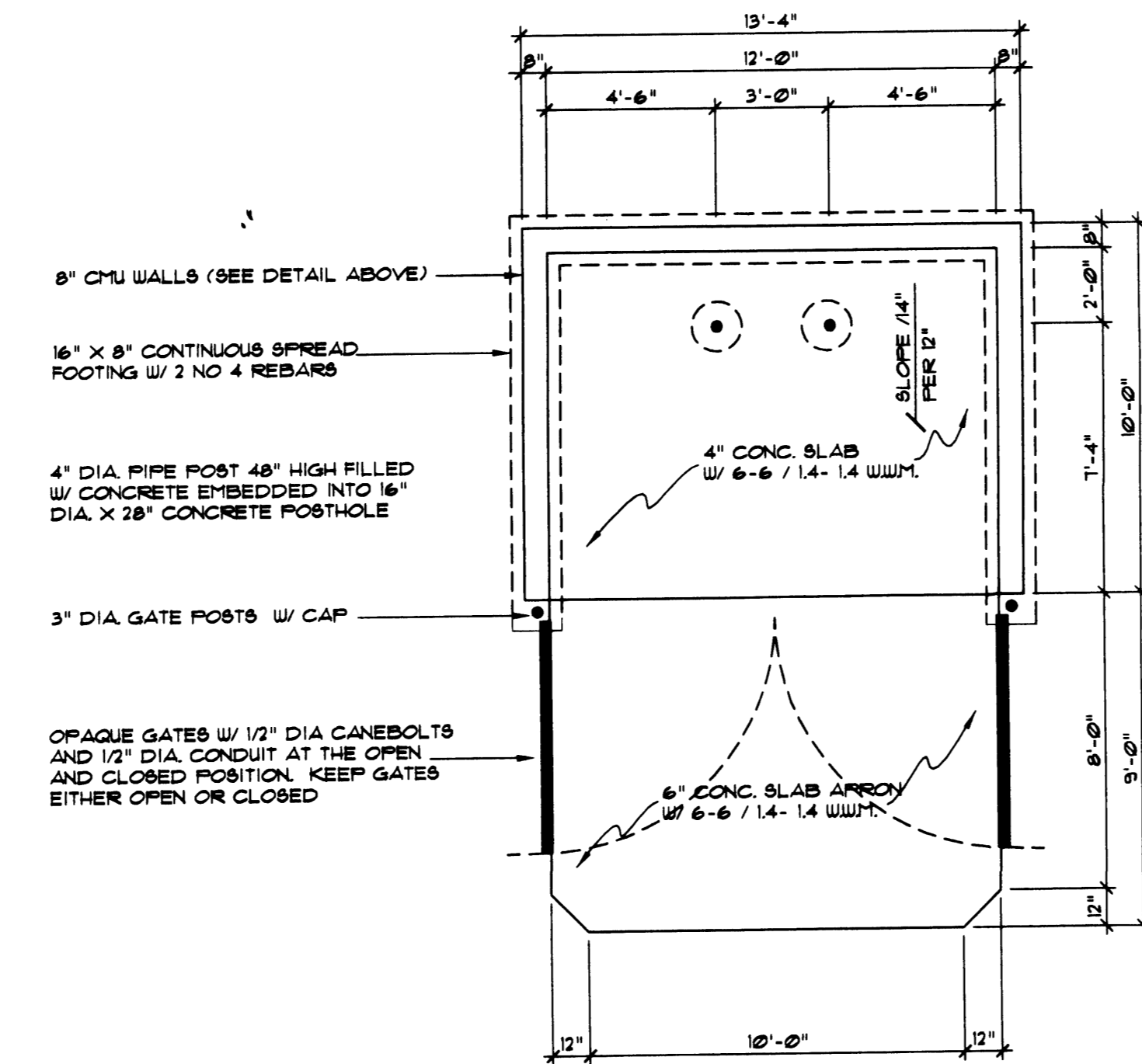
PLAN



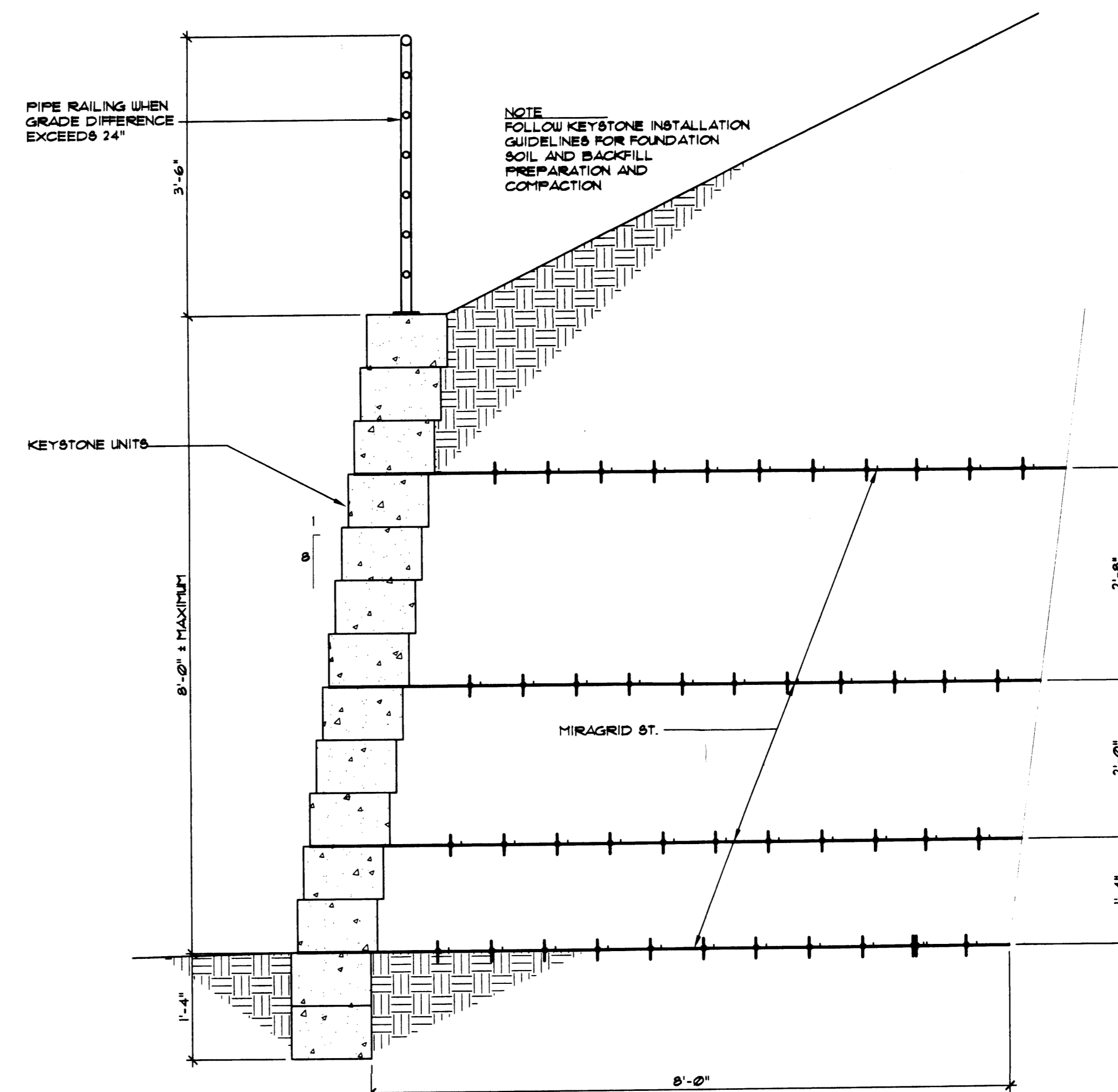
LIGHT FIXTURE COLUMN
SCALE 1/4" = 1'-0"



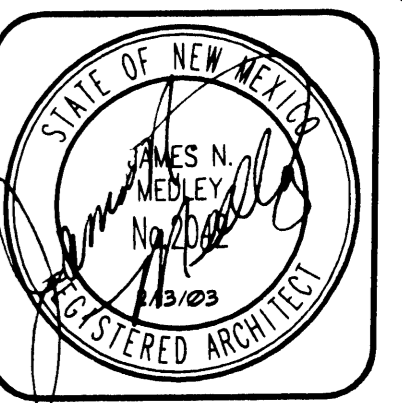
REFUSE ENCLOSURE SECTION
SCALE 1/4" = 1'-0"



REFUSE ENCLOSURE PLAN
SCALE 1/4" = 1'-0"



KEYSTONE / MIRAGRID RETAINING WALL
SCALE 1/4" = 1'-0"



JIM MEDLEY, Architect
James Lawrence M. Medley, AIA
3100 Christie N.E., Albuquerque, NM 87111
Phone: (505) 252-3314 Fax: (505) 254-5593

Plot No. 0205
Date: February 03
Drawn by: JMM
Checked by: JMM

Holiday Inn HOTEL & SUITES
AMERITUS HOSPITALITY INC.

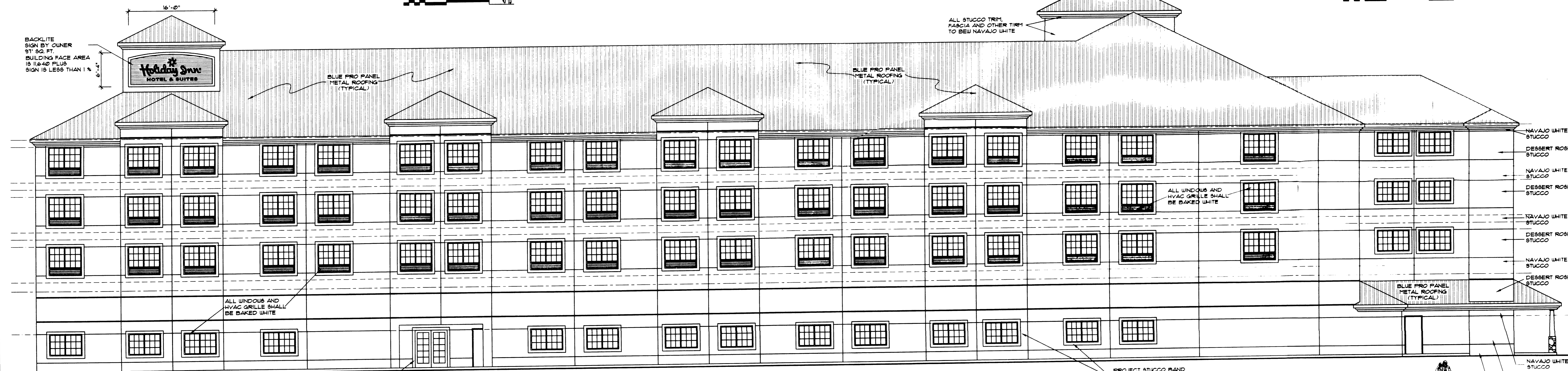
No.	Revision / Issue	Date:

Sheet Description
SITE ELEMENT DETAILS

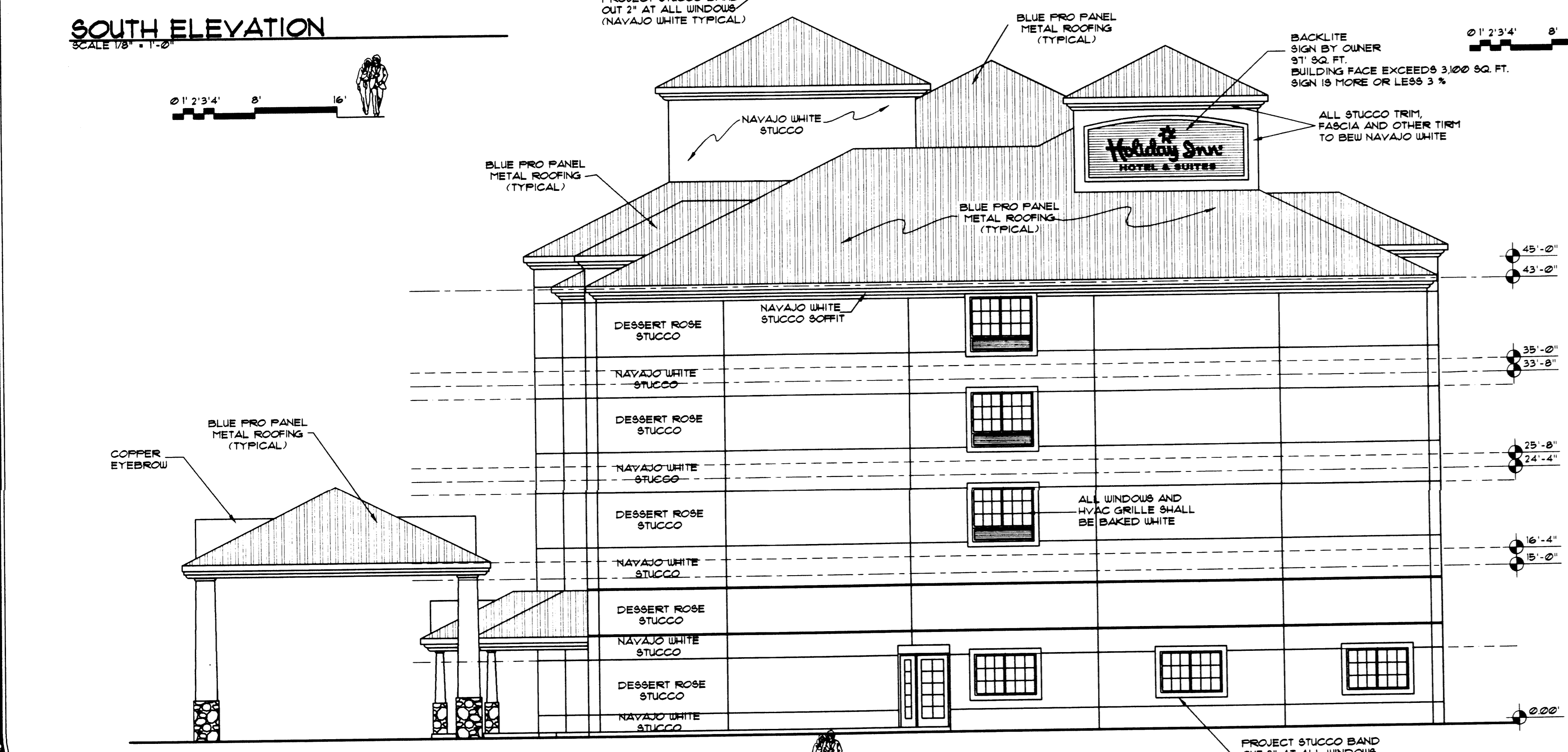
Sheet:
5
of
6



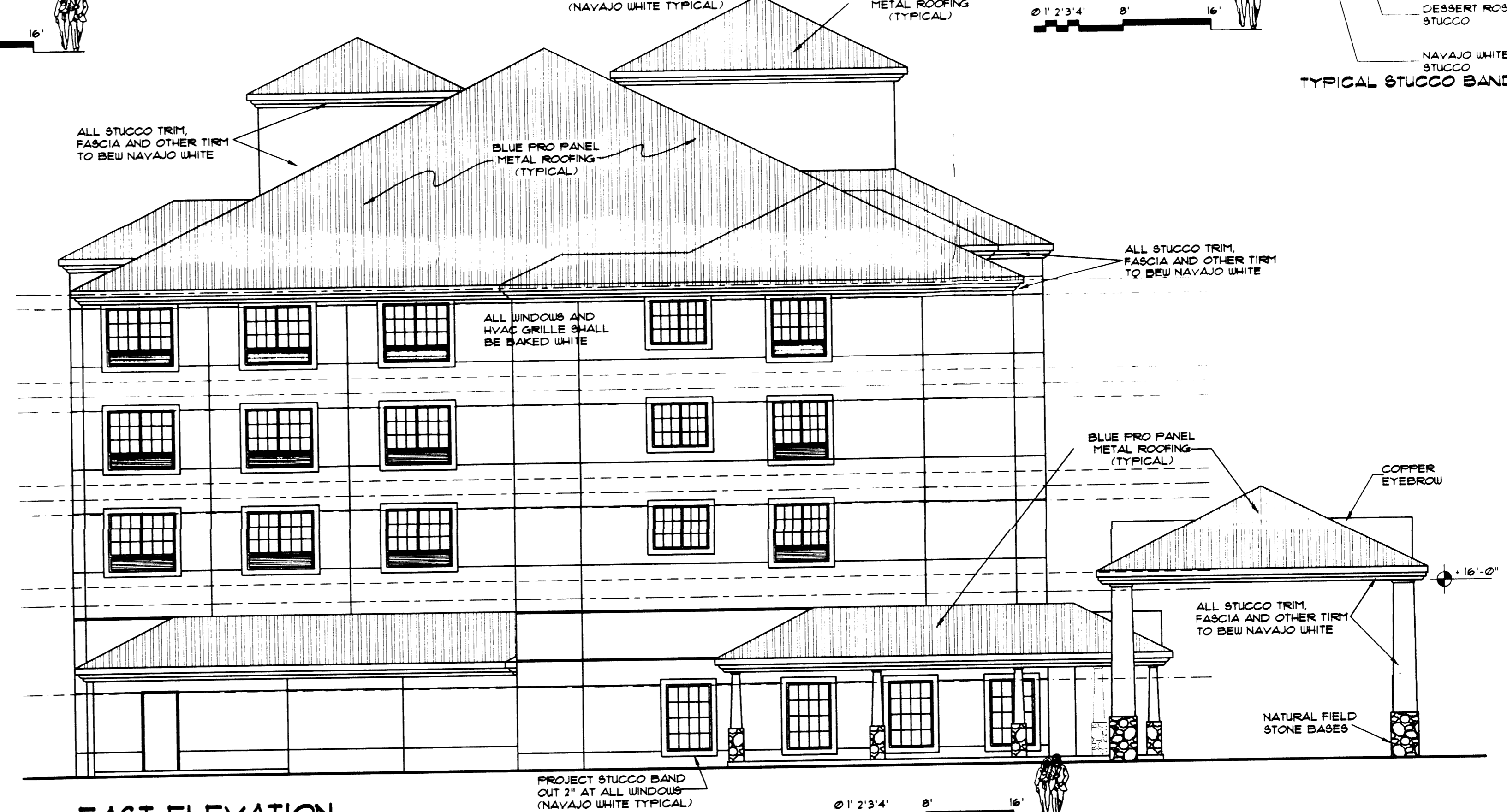
NORTH ELEVATION
SCALE 1/8" = 1'-0"



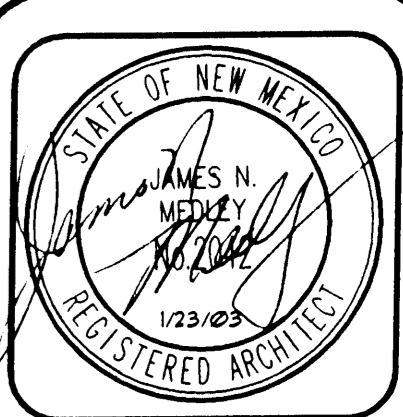
SOUTH ELEVATION
SCALE 1/8" = 1'-0"



WEST ELEVATION
SCALE 1/8" = 1'-0"



EAST ELEVATION
SCALE 1/8" = 1'-0"



JIM MEDLEY, Architect
 License No. 12345
 State of New Mexico
 3100 Christine N.E., Albuquerque, NM 87111
 Phone: (505) 224-5593
 Fax: (505) 224-5593

DATE	DESCRIPTION
12/3/05	ISSUED FOR PERMIT

**Holiday Inn
HOTEL & SUITES**
 AMERITUS HOSPITALITY INC.

Revision / Issue	Date

EXTERIOR ELEVATIONS
 PRELIMINARIES

Sheet: **6**
 of **6**

© 2005, Integrated Architecture, Inc. Prepared using computer with AutoCAD 2004. Rev. 2.3.05, NMA