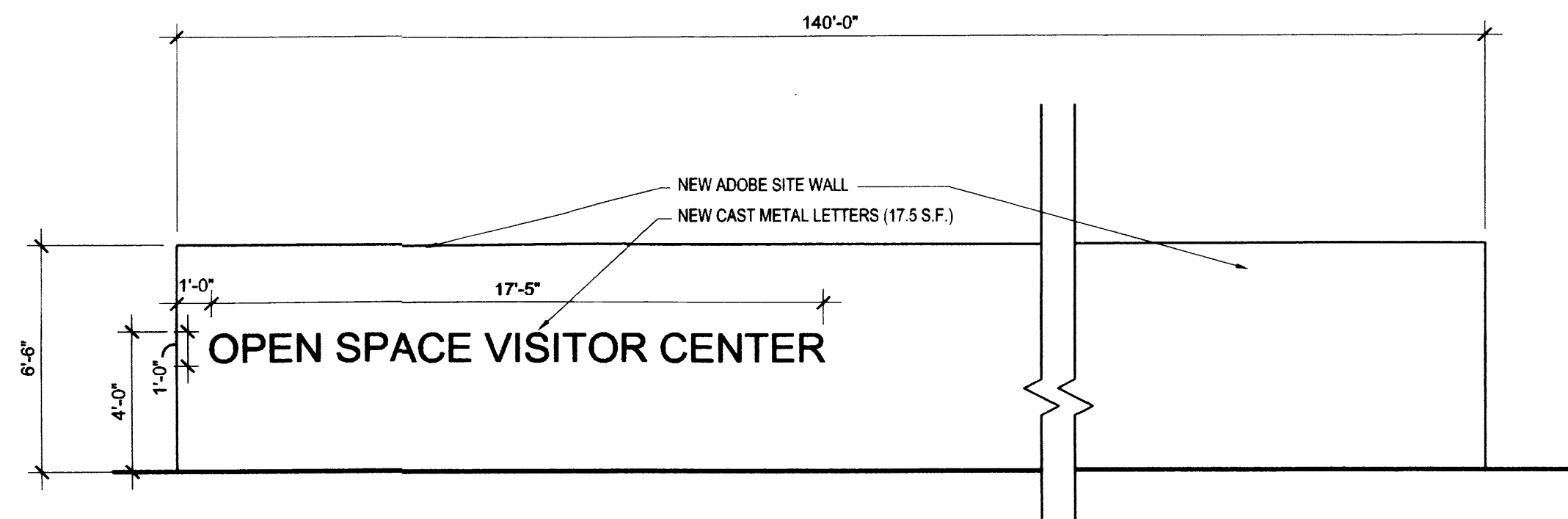
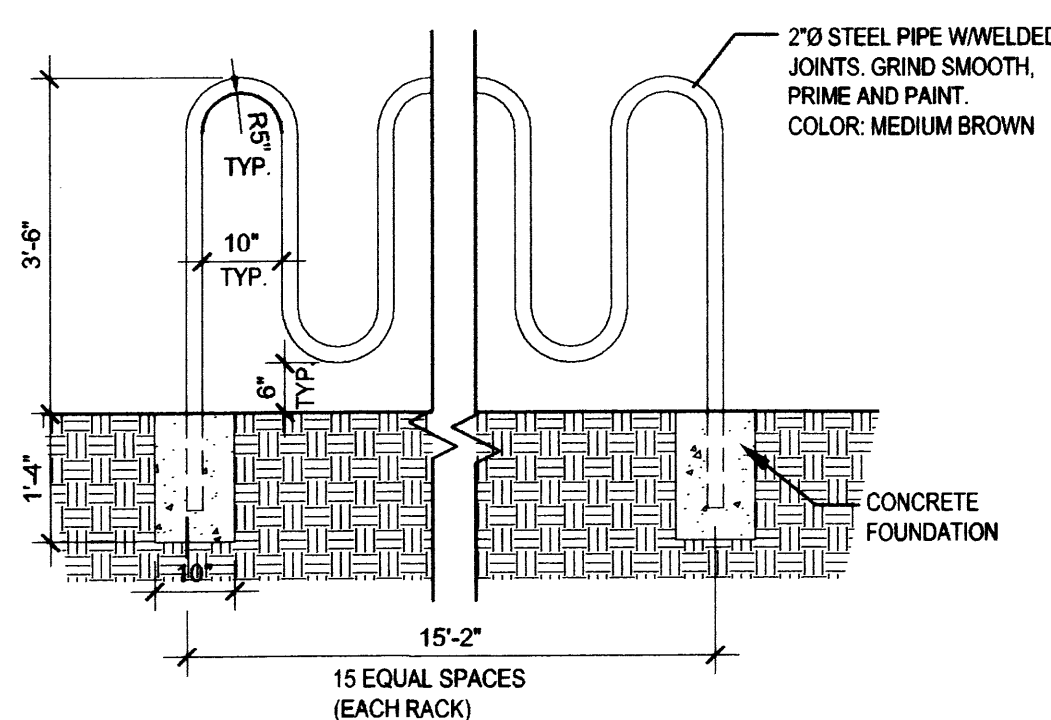


# CITY OF ALBUQUERQUE OPEN SPACE VISITOR CENTER

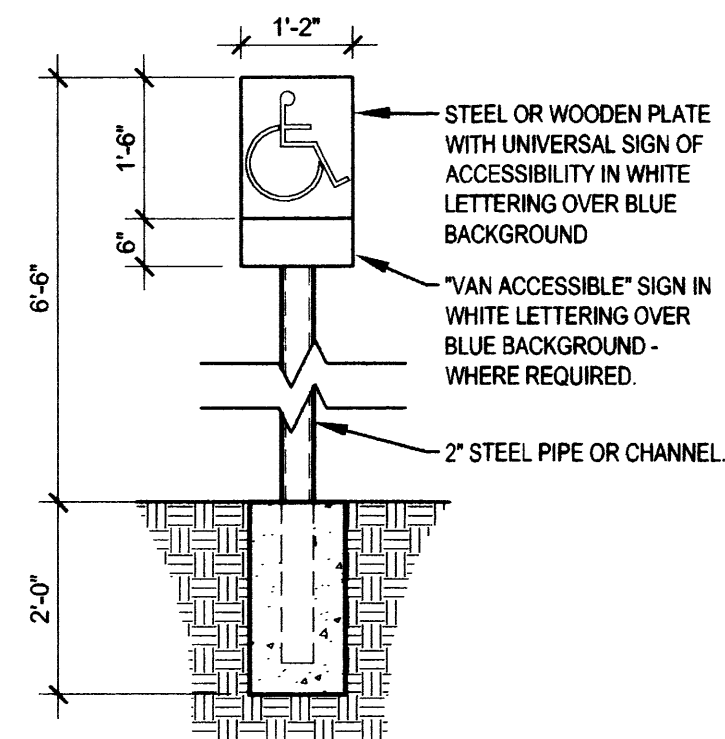
6500 COORS BLVD. NW  
Albuquerque, New Mexico



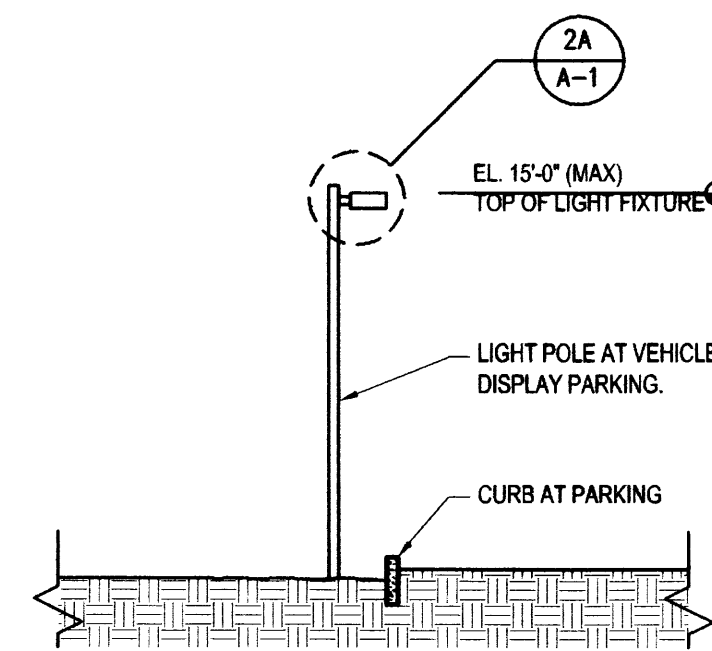
**ENTRY SIGNAGE ELEVATION** 1 1/4" - 1'-0"



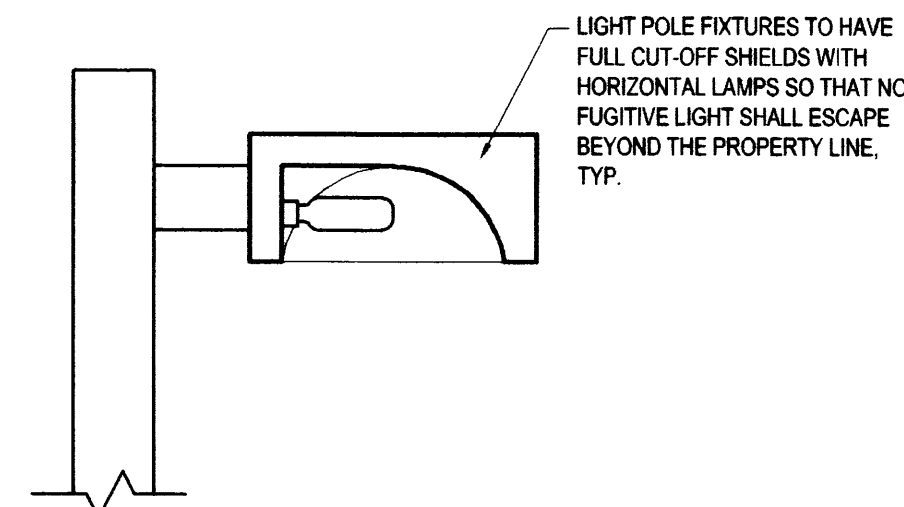
**BIKE RACK** 2 1/2" - 1'-0"  
30 SPACES TOTAL



**HC PARKING SIGN** 3 1/8" - 1'-0"



**LIGHT POLE** 4 1/8" - 1'-0"



**LIGHT DETAIL** 5 1" - 1'-0"

## General Notes

- A. LIGHT FIXTURES SHALL BE A MAXIMUM OF 15 FEET HIGH WITH FULL CUTOFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. SEE DETAILS ON THIS SHEET.
- B. SIGNAGE SHALL CONSIST OF CAST METAL LETTERS MOUNTED TO WALLS.
- C. ALL ROOFTOP EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM NEARBY PROPERTIES. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
- D. NO BACK LIT, PLASTIC OR VINYL AWNINGS OR ILLUMINATED PLASTIC BAND.

## Site Data

LEGAL DESCRIPTION:  
THE OPEN SPACE VISITOR CENTER PROPERTY COMPRISES 9 SEPARATE PARCELS OF PROPERTY, COMPRISING 55.12 ACRES. THE PARCELS INCLUDE:

**TRACT R1-A	ROBERSON RANCH SUBDIVISION	3.3 ACRES
**TRACT C1	ROBERSON RANCH SUBDIVISION	24.0 ACRES
**TRACT F	MARIAN ROCCO SUBDIVISION	9.76 ACRES
TRACT B	MARIAN ROCCO SUBDIVISION	2.0 ACRES
TRACT A	COTTONWOOD TRAILS SUBDIVISION	7.76 ACRES
PARCEL NO.1	JACK MANLEY LAND DIVISION PLATT	2.3 ACRES
TRACT A	LEE'S BOSQUE SUBDIVISION	1.75 ACRES
TRACT B	LEE'S BOSQUE SUBDIVISION	2.25 ACRES
TRACT 2-B	MANN SUBDIVISION	2.0 ACRES
TOTAL ACRES:		55.12 ACRES

- \* THE OPEN SPACE VISITOR CENTER BUILDING AND SOME OUTDOOR EXHIBITS ARE LOCATED ON TRACT R1-A ROBERSON RANCH SUBDIVISION (3.3 ACRES).
- \*\* SOME OUTDOOR EXHIBITS ARE LOCATED ON TRACT C1 ROBERSON RANCH SUBDIVISION (24.0 ACRES)
- \*\*\* THE GUIDED TRAIL, CONTROLLED ACCESS AREA THRU THE ARCHAEOLOGICAL RUINS IS LOCATED ON PORTIONS OF TRACT F MARIAN ROCCO SUBDIVISION (9.76 ACRES).

ZONING: SU-1 FOR MPOS  
PARKING REQUIREMENTS:

SINCE THERE ARE NO SPECIFIC 'MUSEUM' PARKING REQUIREMENTS, THE PARKING REQUIREMENTS SHALL BE BASED ON AN 'OFFICE' USE OF 1 SPACE PER 200 S.F. OF NET LEASABLE AREA. THIS IS ALSO THE SAME AS 'RETAIL' AND 'SERVICE' USES. THEREFORE THE PARKING REQUIREMENTS ARE AS FOLLOWS:

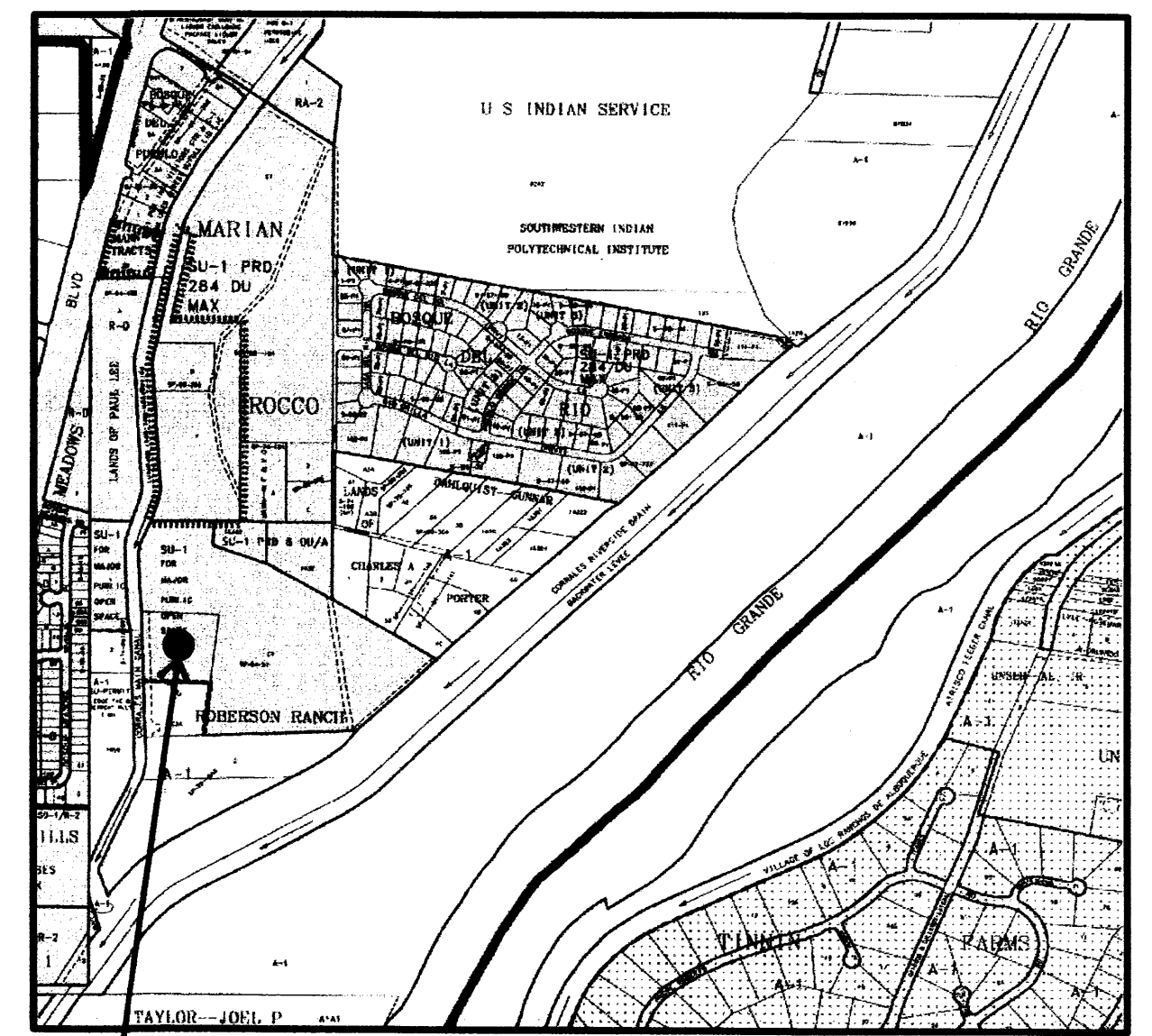
VISITOR CENTER -	4300 S.F. (NET AREA)
OPEN SPACE OFFICE -	400 S.F. (NET AREA)
SUPPORT BUILDING -	1020 S.F. (NET AREA)
TOTAL -	5720 S.F. (TOTAL NET AREA)

5720 S.F. = 28.6 SPACES  
200 S.F.

SUPPLY BUILDING (WAREHOUSE TYPE) 1185 S.F. (NET AREA)  
1185 = 5.925 SPACES  
200

TOTAL SPACES REQUIRED = 29.2 (30)  
TOTAL NO. OF SPACES PROVIDED = 62 (INCLUDES 5 HANDICAP SPACES)  
62 > 30, THEREFORE OK.

BICYCLE PARKING  
NO. SPACES REQUIRED (1 PER EVERY 20 PARKING SPACES) = 3.1  
NO. OF SPACES PROVIDED = 30  
30 > 3.1 THEREFORE OK.



**VISITOR CENTER BUILDING**  
Zone Map Page D-13  
Location Map

Project Number: 1001074  
Case Number: 04EPC00129  
Application Number: 04 DEB - 00564

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), date 18 MARCH 2004 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>offl sig</i> Traffic Engineering, Transportation Division	4.21.04
<i>Roger A. Stearn</i> Utilities Department	4.21.04
<i>Christina Sandoral</i> Parks and Recreation Department	4/21/04
<i>Bradley D. Byham</i> City Engineer	4/21/04
<i>N/A</i> *Environmental Health Department - conditional	
<i>Michael Holton</i> Solid Waste Management	4-13-04
<i>Sheran Matson</i> DRB Chairperson, Planning Department	4/21/04

## Sheet Index:

- COVER SITE DATA, GENERAL NOTES, LOCATION MAP AND DETAILS
- C-1 SITE PLAN: MASTER PLAN
- C-2 SITE PLAN: VISITOR CENTER AND TRAILS
- C-3 SITE PLAN: VISITOR CENTER AND OUTDOOR EXHIBITS
- C-4 MASTER UTILITY PLAN
- C-5 PRELIMINARY GRADING AND DRAINAGE PLAN/C-5.1 Approved G4D PLAN
- L-1 LANDSCAPE CONCEPT PLAN
- L-2 PLANTING PLAN
- A-1 EXTERIOR BUILDING ELEVATIONS
- A-2 EXTERIOR BUILDING / PLAZA ELEVATIONS

## SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

LEE GAMESKY ARCHITECTS P.C.  
2412 MILES ROAD SE  
ALBUQUERQUE, NM 87106  
505.642.8985 FAX 842.1693  
lga@swcp.com

## OPEN SPACE VISITOR CENTER

ALBUQUERQUE, NEW MEXICO  
PROJECT ARCHITECT: LEE GAMESKY, AIA  
Project #: 02-06-AL  
Date: 09 APRIL 2004

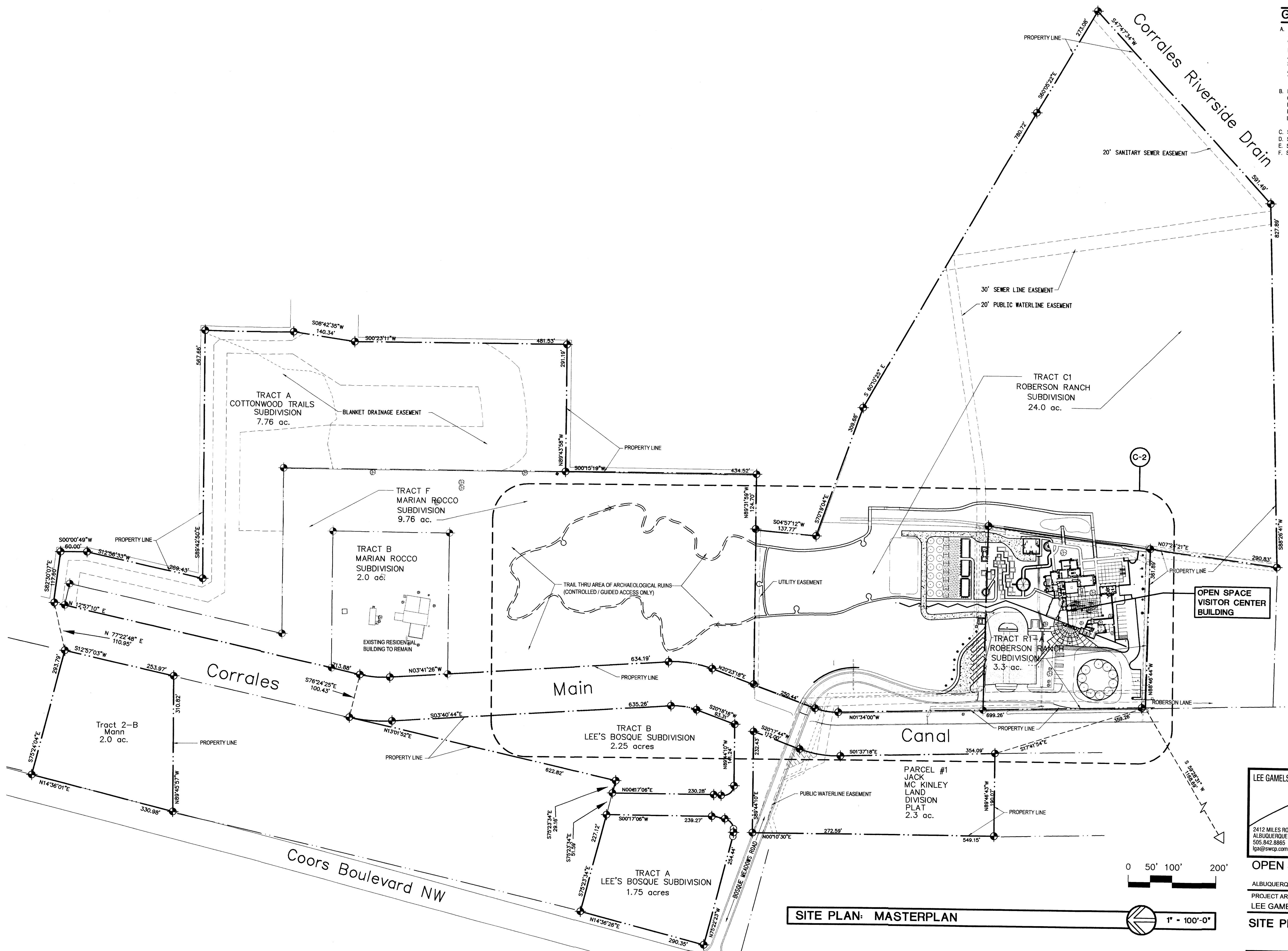
## SITE DATA, GENERAL NOTES, LOCATION MAP AND DETAILS

By: JW/RM  
File:  
Sheet: 1 Of: 10  
**COVER**

1001074

**General Notes**

- A. THE OPEN SPACE VISITOR CENTER PROPERTY INCLUDES 9 SEPARATE PARCELS OF PROPERTY, COMPRISING 55.12 ACRES. THE OPEN SPACE VISITOR CENTER BUILDING IS LOCATED ON PARCEL, TRACT R1-A, ROBERSON RANCH SUBDIVISION (3.3 ACRES). OUTDOOR EXHIBITS ARE ALSO LOCATED ON PORTIONS OF TRACT C1 ROBERSON RANCH SUBDIVISION, (24.0 ACRES). THE GUIDED TRAIL / CONTROLLED ACCESS AREA THRU THE ARCHAEOLOGICAL RUINS IS LOCATED ON PORTIONS OF TRACT F MARIAN ROCCO SUBDIVISION (9.76 ACRES).
- B. PRIMARY ACCESS (PUBLIC ACCESS) TO THE OPEN SPACE VISITOR CENTER BUILDING AND OUTDOOR EXHIBITS IS FROM BOSQUE MEADOWS ROAD N.W., WHICH IS OFF COORS BLVD. N.W. EMERGENCY VEHICLE ACCESS IS ALSO AVAILABLE FROM ROBERSON LANE N.W., WHICH IS OFF COORS BLVD. N.W.
- C. SEE ENLARGED SITE PLAN SHEETS C-2 AND C-3 FOR ADDITIONAL SITE INFORMATION.
- D. SEE SHEET C-4 FOR MASTER UTILITIES PLAN / UTILITY EASEMENTS.
- E. SEE SHEET C-5 FOR PRELIMINARY GRADING AND DRAINAGE PLAN.
- F. SEE SHEET C-3 FOR PHASING.



LEE GAMESKY ARCHITECTS P.C.  
 2412 MILES ROAD SE  
 ALBUQUERQUE, NM 87106  
 505.842.8865 FAX 842.1693  
 lga@ewcp.com

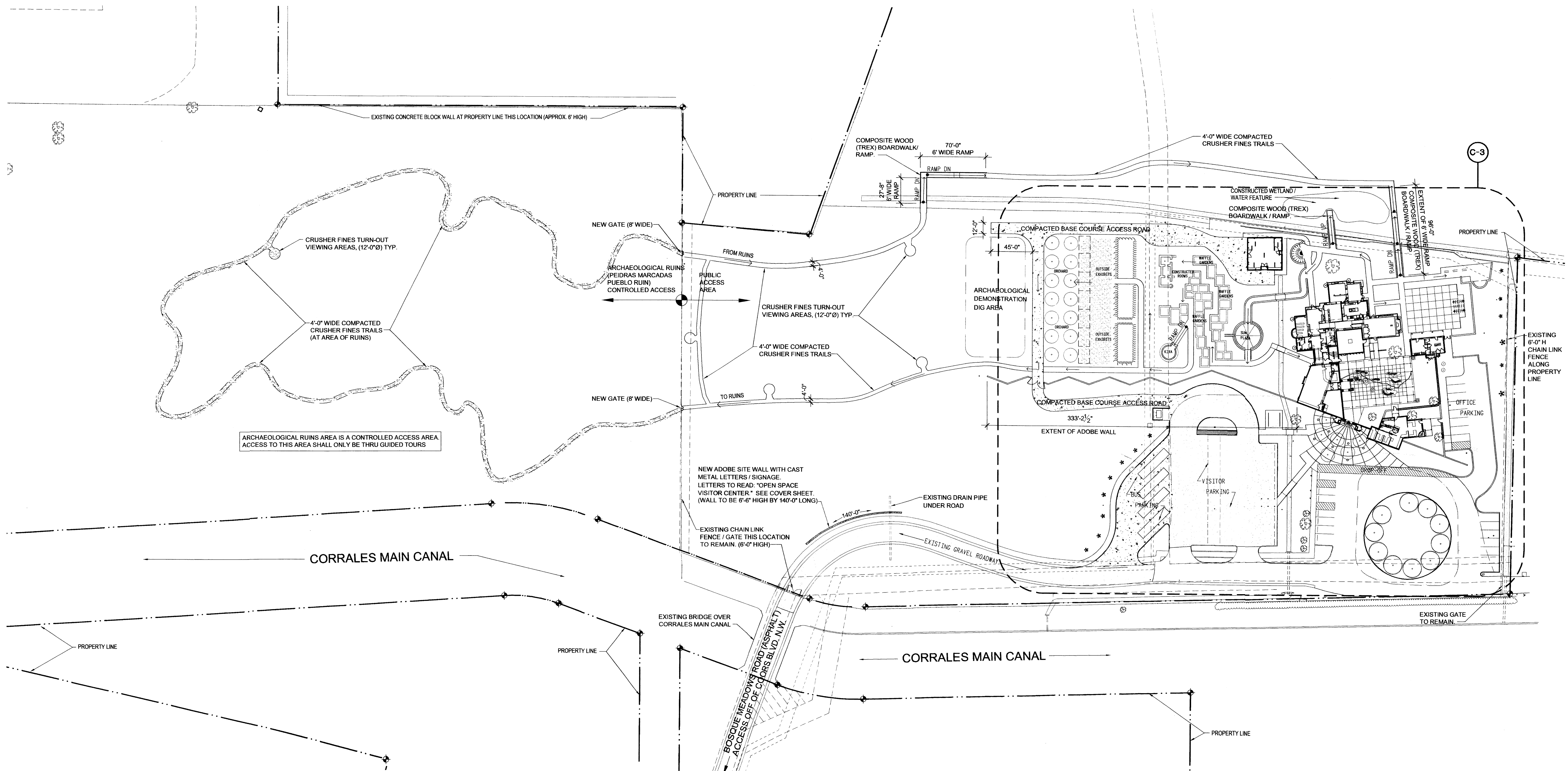
**OPEN SPACE VISITOR CENTER**  
 ALBUQUERQUE, NEW MEXICO  
 PROJECT ARCHITECT:  
 LEE GAMESKY, AIA

Project #:	02-06-AL
Date:	09 APRIL 2004

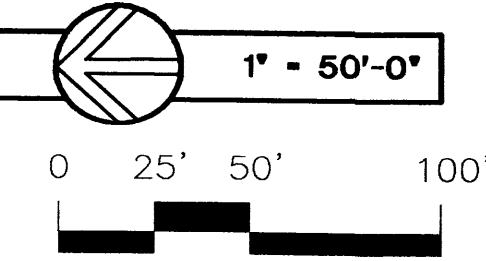
**SITE PLAN: MASTERPLAN**

By: JW/RM	Sheet: 2 Of: 10
File:	C-1





**SITE PLAN: VISITOR CENTER AND TRAILS**



**General Notes**

- A. PHASING:
  - ALL NEW WORK WILL BE PHASED.
  - PHASE I SHALL INCLUDE IMPROVEMENTS TO THE VISITOR CENTER BUILDING AND IMMEDIATE AREAS AROUND THE BUILDING.
  - PHASE II INCLUDES DEVELOPMENT OF OUTDOOR EXHIBITS - PUBLIC ACCESS AREAS
  - PHASE III INCLUDES DEVELOPMENT OF THE NEW TRAIL THRU THE ARCHEOLOGICAL RUINS AREA.
- B. SEE SHEET C-3 FOR SITE PLAN OF AREA AROUND THE VISITOR CENTER BUILDING.

LEE GAMELSKY ARCHITECTS P.C.  
 2412 MILES ROAD SE  
 ALBUQUERQUE, NM 87106  
 505.842.8865 FAX 842.1693  
 lga@swsp.com

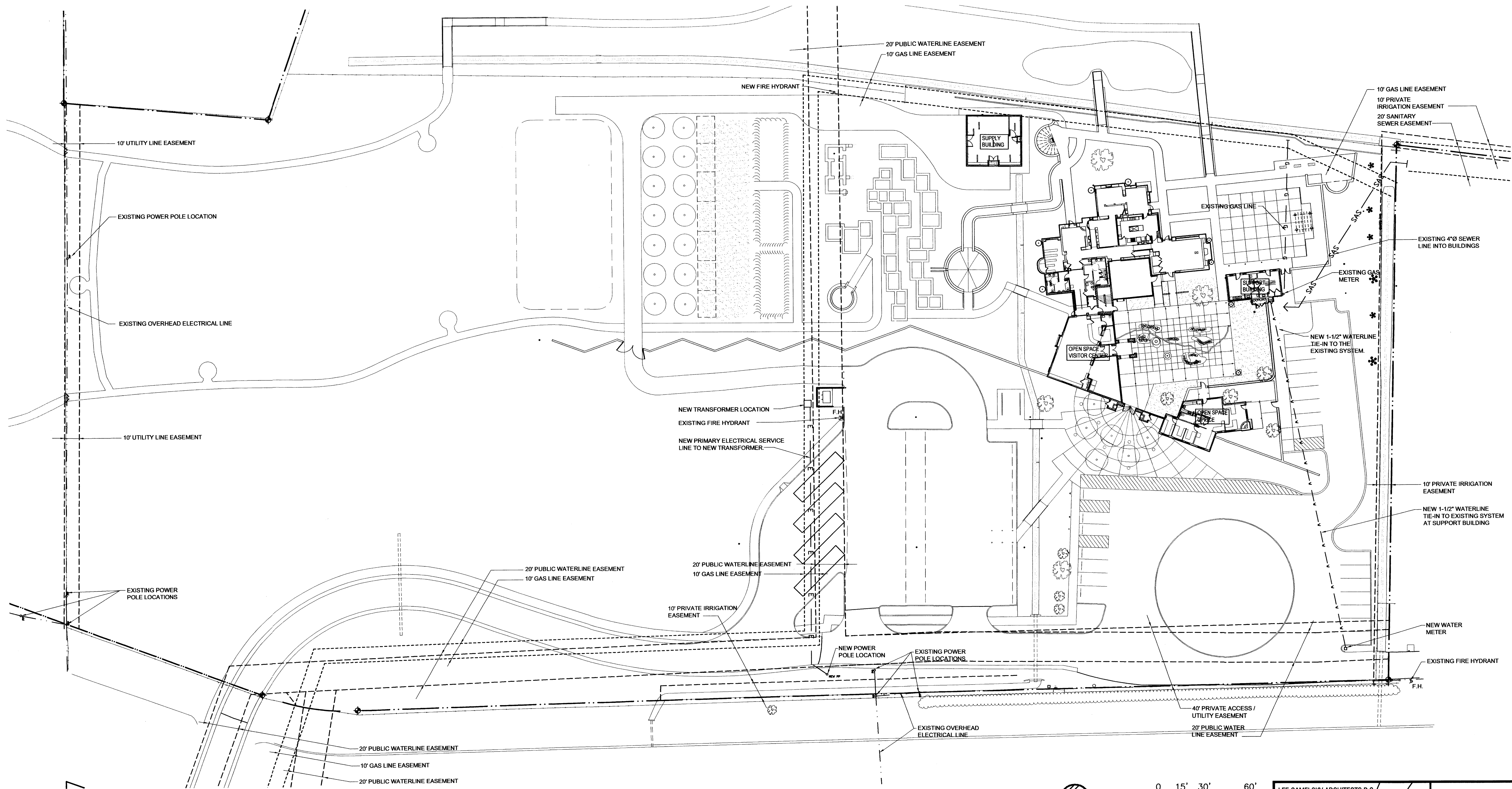
**OPEN SPACE VISITOR CENTER**  
 ALBUQUERQUE, NEW MEXICO  
 PROJECT ARCHITECT:  
 LEE GAMELSKY, AIA

**SITE PLAN: VISITOR CENTER AND TRAILS**  
 By: JW/RM  
 File:  
 Project #: 02-06-AL  
 Date: 09 APRIL 2004  
 Sheet: 3 Of: 10  
**C-2**









**MASTER UTILITY PLAN**

**General Construction Notes**

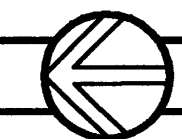
- A. 4'-0" MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
- B. CLEAN CUTS ARE EXISTING.
- C. ALL BLOCKING TO BE INSTALLED PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
- D. ALL PIPE MATERIAL TO BE USED PER UPC.

**Notice to Contractors**

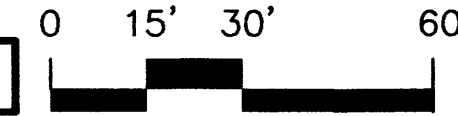
- 1. UTILITIES ARE EXISTING ON SITE. UTILITIES ARE CONNECTED TO THE EXISTING BUILDINGS.
- 2. AN EXCAVATION / CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- 3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERE ON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- 4. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- 5. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- 6. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
- 7. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED (CITY OF ALBUQUERQUE).
- 8. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

**General Notes**

- A. EXTERNAL PROPERTY LINES SHOWN ONLY THIS SHEET. SEE SHEET C-1 FOR ALL PROPERTY LINES / SUBDIVISIONS.



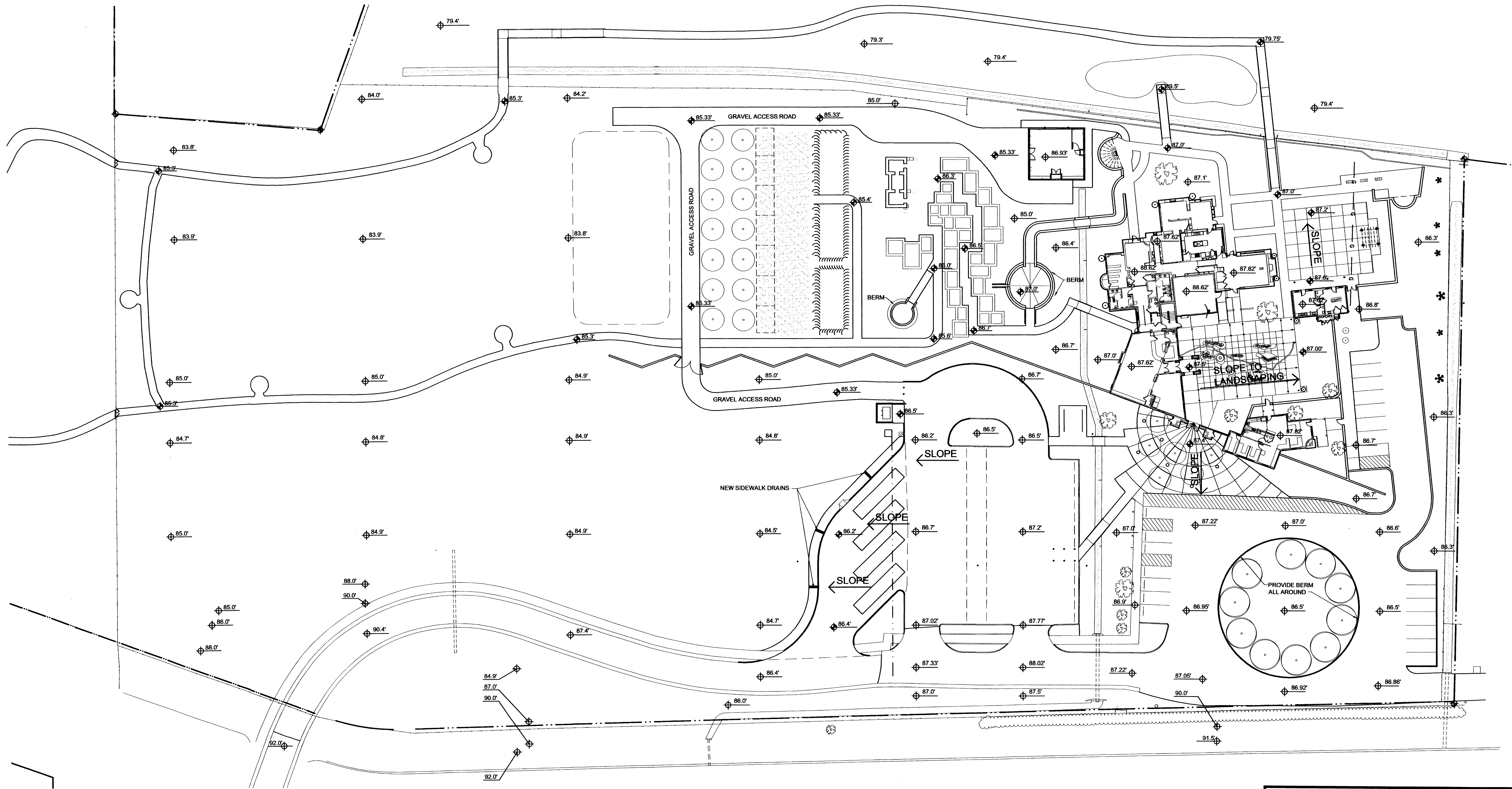
1" = 30'-0"



LEE GAMESKY ARCHITECTS P.C.	
2412 MILES ROAD SE ALBUQUERQUE, NM 87106 505.842.8865 FAX 842.1693 lga@swcp.com	
<b>OPEN SPACE VISITOR CENTER</b>	
ALBUQUERQUE, NEW MEXICO	
PROJECT ARCHITECT: LEE GAMESKY, AIA	Project #: 02-06-AL Date: 09 APRIL 2004

**MASTER UTILITY PLAN**

By: JW/RM	Sheet: 5 Of: 10
File:	<b>C-4</b>



**PRELIMINARY GRADING AND DRAINAGE PLAN**

**Legend**

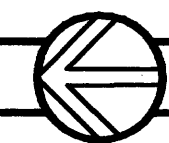
- ⊕ — EXISTING SPOT ELEVATION
- ⊕ — PROPOSED NEW SPOT ELEVATION

**General Notes**

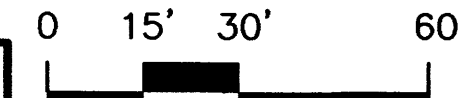
- A. FINISH FLOOR LEVEL OF THE VISITOR CENTER MAIN LEVEL IS 88.62' RELATIVE TO THE SURROUNDING TOPOGRAPHY. SEE THE PRELIMINARY GRADING AND DRAINAGE PLAN FOR OTHER BUILDING FINISH FLOOR LEVELS.
- B. ARROWS SHOWN ON PRELIMINARY GRADING AND DRAINAGE PLAN INDICATE DIRECTION OF WATER RUN-OFF.

**Erosion Control Notes**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



1" = 30'-0"



LEE GAMELSKY ARCHITECTS P.C.  
 2412 MILES ROAD SE  
 ALBUQUERQUE, NM 87106  
 505.842.8865 FAX 842.1693  
 lga@wcp.com

**OPEN SPACE VISITOR CENTER**  
 ALBUQUERQUE, NEW MEXICO  
 PROJECT ARCHITECT:  
 LEE GAMELSKY, AIA

Project #: 02-06-AL  
 Date: 09 APRIL 2004

**PRELIMINARY GRADING AND DRAINAGE PLAN**

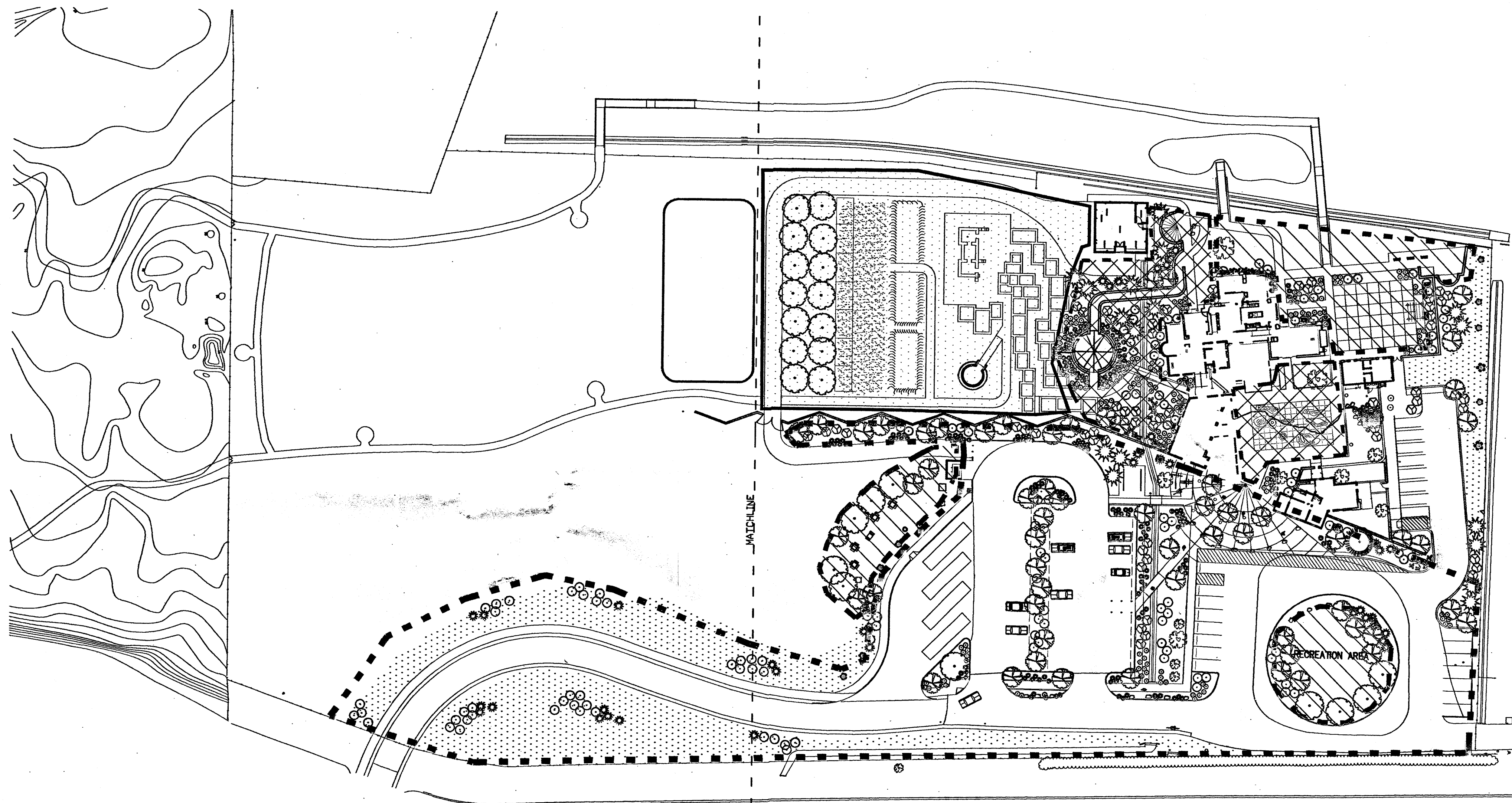
By: JWIRM  
 File:

Sheet: 6 Of: 10  
**C-5**

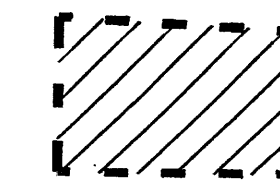






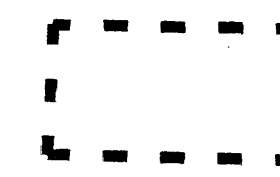


**Landscape Zones**



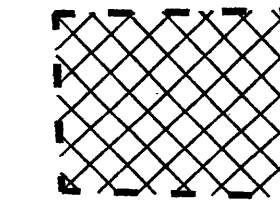
**RECREATION AREAS:**  
THESE AREAS WILL PROVIDE GRASSY OPEN SPACES FOR PICNICING AND RECREATION. THESE AREAS WILL ALLOW THE VISITOR TO RELAX ON THE GRASS AND ENJOY THE WILDLIFE AND SCENERY.

THE PLANT MATERIALS USED IN THESE AREAS WILL CONSIST OF NATIVE TURF GRASSES SUCH AS BUFFALO GRASSES, LARGE SHADE TREES (EXISTING AND PROPOSED) ALONG WITH SOME LOW GROWING SHRUBS THAT WILL PROVIDE HABITAT AND SEASONAL INTEREST.



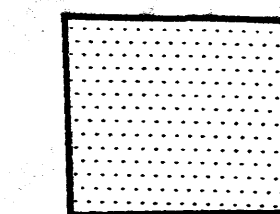
**ENTRANCE EXPERIENCE:**  
THE ENTRANCE EXPERIENCE WILL INCLUDE A NATIVE VALLEY LANDSCAPE PALLETTE. SEEDED NATIVE GRASSES AUGMENTED WITH SOME PLANTED NATIVE SHRUBS WILL PROVIDE INTRIGUING VARIETY ALONG BOTH SIDES OF THE ENTRY DRIVE.

AS THE VISITOR MOVES CLOSER TO THE VISITOR CENTER MASSES OF ORNAMENTAL NATIVE GRASSES WILL WAVE WELCOME UNDER THE SHADE OF MULTI-TRUNK SPECIMEN TREES.



**INTERPRETIVE AREAS:**  
THE INTERPRETIVE AREAS REINFORCE THE LEARNING EXPERIENCE OF THE MUSEUM AND EMPLOY WATER HARVESTING TECHNIQUES IN INNOVATIVE AND CREATIVE WAYS. ONE OF THESE AREAS, THE PUEBLO PLAZA, IS A REPRESENTATION OF ALL THE PUEBLO VILLAGES IN THE STATE OF NEW MEXICO. THE PUEBLO VILLAGES ARE REPRESENTED BY AN ARTISTIC SCORING IN THE CONCRETE SURROUNDED BY BOULDER SEATING AREAS THAT PORTRAY THE MOUNTAINS OF THE STATE.

ANOTHER INTERPRETIVE AREA IS THE LANDSCAPE ASSOCIATED WITH THE WALK THROUGH TIME PATH. THIS AREA WILL CONSIST OF LOW WATER-USE PLANT COMMUNITIES TO PROVIDE HABITAT FOR BUTTERFLIES AND BIRDS. THIS AREA IS LOCATED OUTSIDE OF THE GIFT SHOP AND PROVIDE A LIVELY TRANSITION INTO THE OUTSIDE EXHIBIT AREAS.



**WALK THROUGH TIME GARDENS:**  
THE WALK THROUGH TIME EXPERIENCE OF THE OUTDOOR MUSEUM SHALL FEATURE PLANTS COMMONLY USED DURING SPECIFIED TIME PERIODS. PLANTS USED FOR FOOD, SEASONING, TEXTILES, MEDICINAL AND SPIRITUAL PURPOSES WILL BE DISPLAYED WITH INTERPRETIVE SIGNS THROUGHOUT THE WALK AS WELL AS IN THE TRADITIONAL WAFFLE GARDEN. CROPS FROM BOTH THE PAST AND PRESENT WILL BE PLANTED IN AREAS RECEIVING FLOOD IRRIGATION AS AN ILLUSTRATION OF TRADITIONAL FARMING METHODS. OTHER AREAS OF THIS OUTDOOR MUSEUM WILL BE SEEDDED WITH NATIVE GRASSES.

**Landscape Notes**

IRRIGATION SHALL BE A COMPLETE UNDERGROUND SYSTEM WITH TREES TO RECEIVE (5) 1.0 GPH DRIP EMITTERS AND SHRUBS TO RECEIVE (2) 1.0 GPH DRIP EMITTERS. DRIP AND BUBBLER SYSTEMS TO BE TIED TO 1/2" POLYPIPE WITH FLUSH CAPS AT EACH END.

RUN TIME PER EACH DRIP VALVE WILL BE APPROXIMATELY 15 MINUTES PER DAY, TO BE ADJUSTED ACCORDING TO THE SEASON.

POINT OF CONNECTION OF IRRIGATION SYSTEM IS UNKNOWN AT CURRENT TIME AND WILL BE COORDINATED IN THE FIELD.

IRRIGATION WILL BE OPERATED BY AUTOMATIC CONTROLLER. LOCATION OF CONTROLLER TO BE FILED DETERMINED AND POWER SOURCE FOR CONTROLLER TO BE PROVIDED BY OTHERS.

IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

SOME OF THE OUTDOOR EXHIBITS (WAFFLE GARDENS, RIVER VALLEY, ORCHARDS) AND PARKING AREAS WILL BE IRRIGATED FROM THE EXISTING CONCRETE CHANNEL SYSTEM.

**Landscape Notes**

LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER (CITY OF ALBUQUERQUE)

IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE PLANTING RESTRICTION APPROACH.

APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE ZONING CODE, STREET TREE ORDINANCE, POLLEN ORDINANCE, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.

PLANT BEDS SHALL ACHIEVE 75% LIVE GROUND COVER AT MATURITY.

2" THICK GRAVEL OVER FILTER FABRIC SHALL BE PLACED IN ALL LANDSCAPE AREAS WHICH ARE NOT DESIGNATED TO RECEIVE NATIVE SEED.

**Landscape Calculations**

(ONLY INCLUDES TRACT R1-A ROBERSON RANCH SUBDIVISION - 3.3 ACRES)  
NET LANDSCAPE AREA:

TOTAL LOT AREA:	143,748 S.F.
TOTAL BUILDINGS AREA:	11,210 S.F.
OFFSITE AREA:	0 S.F.
NET LOT AREA:	132,538 S.F.
LANDSCAPE REQUIREMENT:	15%
TOTAL LANDSCAPE REQUIREMENT:	19,881 S.F.
TOTAL LANDSCAPE PROVIDED:	40,800 S.F.

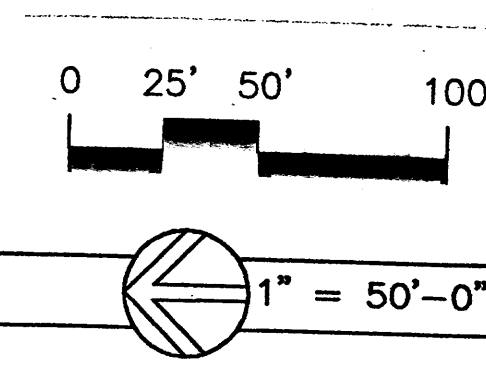
2412 MILES ROAD SE  
ALBUQUERQUE, NM 87106  
505.842.8865 FAX 842.1693  
lga@swepc.com

CITY OF ALBUQUERQUE  
OPEN SPACE DIVISION

TITLE: CITY OF ALBUQUERQUE OPEN SPACE VISITOR CENTER  
LANDSCAPE CONCEPT PLAN

Design Review Committee	City Engineer Approval	NO. DATE	NO. DATE
			01/09/04

City Project No. 6790-01 Zone Map No. Sheet LS-1.0 of 10



AS BUILT INFORMATION		SURVEY INFORMATION		REVISIONS/REMARKS	
CONTRACTOR	DATE	NO.	BY	NO.	DATE
WORK STAKED BY <td>DATE</td> <td></td> <td></td> <td></td> <td></td>	DATE				
INSPECTOR'S APPROVAL <td>DATE</td> <td></td> <td></td> <td></td> <td></td>	DATE				
FIELD VERIFICATION BY <td>DATE</td> <td></td> <td></td> <td></td> <td></td>	DATE				
DRAWING CORRECTED BY <td>DATE</td> <td></td> <td></td> <td></td> <td></td>	DATE				
MICRO-FILM INFORMATION <td>DATE</td> <td></td> <td></td> <td></td> <td></td>	DATE				
RECORDED BY <td>DATE</td> <td></td> <td></td> <td></td> <td></td>	DATE				
NO.					

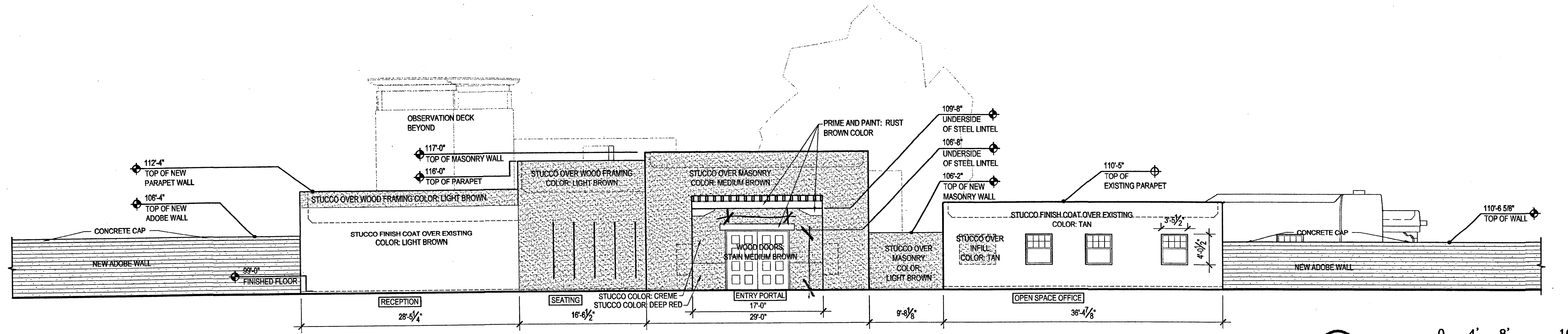






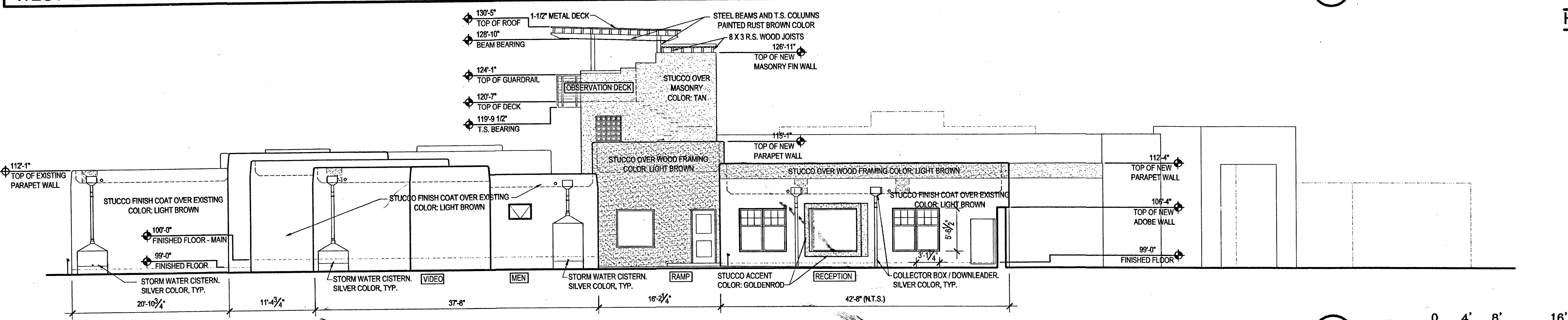
**General Notes**

- A. ELEVATION 100'-0" IS FINISH FLOOR HEIGHT OF MAIN MUSEUM FLOOR LEVEL. ALL ELEVATION TAGS LISTED ARE RELATIVE TO THIS LEVEL. FINISH FLOOR ELEVATION 99'-0" IS LEVEL OF ENTRY TO RECEPTION, AND EXHIBIT ROOMS: 2, 3, 4, 5 AND 6. SEE PRELIMINARY GRADING AND DRAINAGE PLAN FOR FINISH FLOOR ELEVATIONS RELATIVE TO THE SURROUNDING TOPOGRAPHY.
- B. ALL EXISTING EXTERIOR WALLS ARE TO RECEIVE A NEW FINISH COLOR COAT OF STUCCO.
- C. TOP OF PARAPET INDICATES TOP OF PARAPET WALL FRAMING.
- D. PRIME AND PAINT ALL EXTERIOR FERROUS METAL, RUST BROWN COLOR.
- E. ALL WINDOWS ARE TO BE ALUMINUM CLAD WITH ANODIZED BRONZE FINISH.
- F. ALL DOORS SHALL BE HOLLOW METAL UNLESS OTHERWISE NOTED. COLOR: LIGHT BROWN.
- G. ALL EXTERIOR SITE WALLS SHALL BE ADOBE BRICK UNLESS OTHERWISE NOTED.



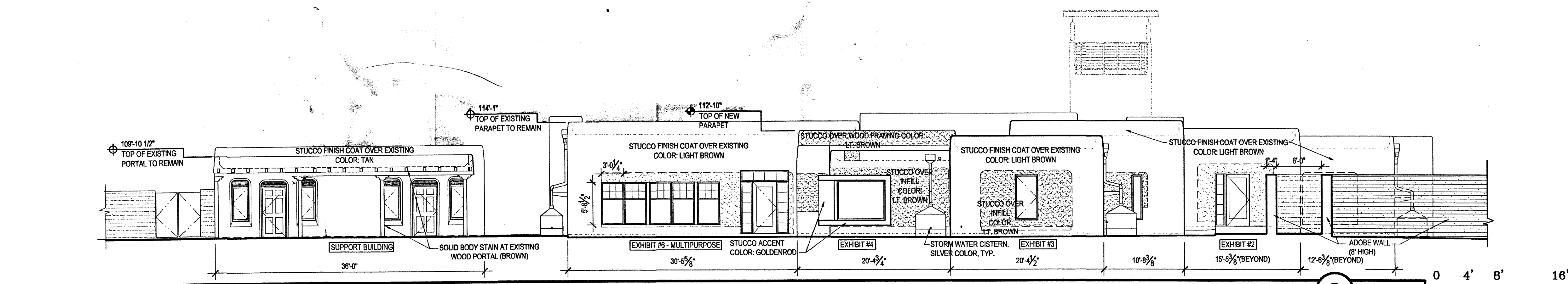
**WEST ENTRY BUILDING ELEVATION**

1 1/8" = 1'-0" 0 4' 8' 16'



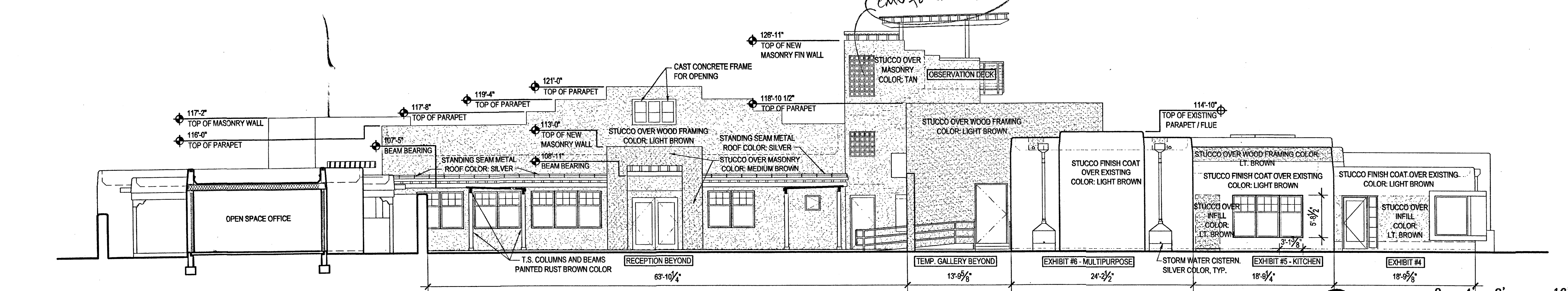
**NORTH BUILDING ELEVATION**

2 1/8" = 1'-0" 0 4' 8' 16'



**EAST BUILDING ELEVATION**

3 1/8" = 1'-0" 0 4' 8' 16'



**SOUTH BUILDING ELEVATION (WALL IN FOREGROUND NOT SHOWN)**

4 1/8" = 1'-0" 0 4' 8' 16'

**Hatch Legend**

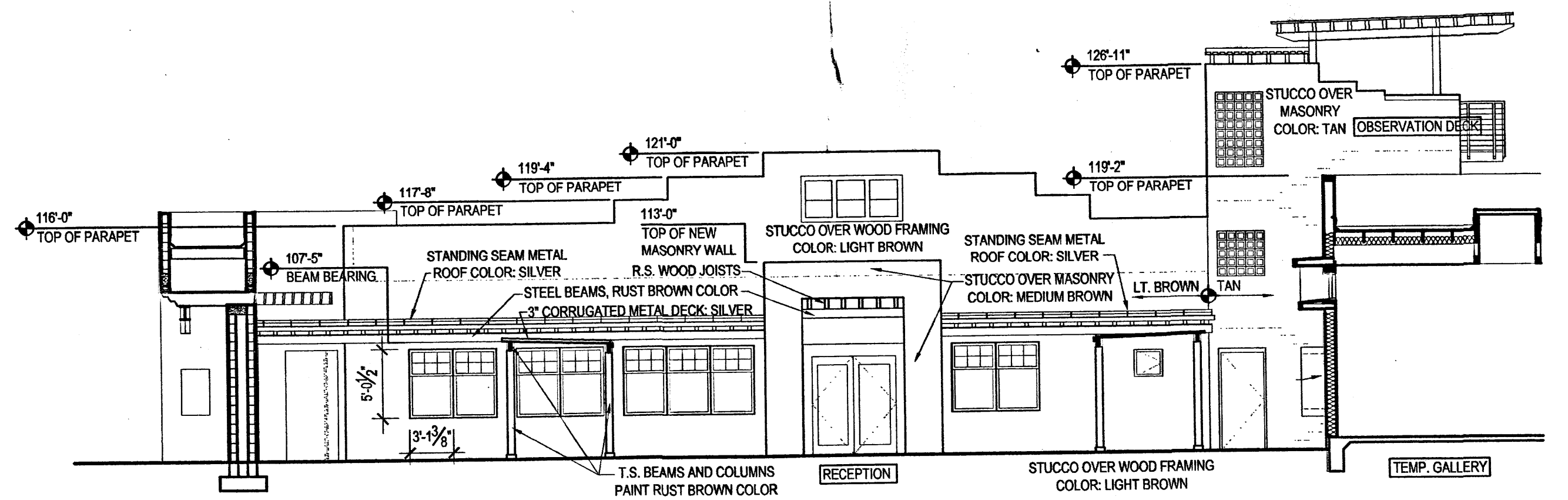
- NEW STUCCO SYSTEM AT AREA OF NEW CONSTRUCTION / INFILL FRAMING.
- NEW ADOBE SITE WALL CONSTRUCTION THIS LOCATION.
- EXISTING BUILDING TO RECEIVE NEW STUCCO FINISH COAT. SEE EXTERIOR ELEVATIONS FOR STUCCO COLOR.

LEE GAMESKY ARCHITECTS P.C.  
 2412 MILES ROAD SE  
 ALBUQUERQUE, NM 87106  
 505.842.8865 FAX 842.1693  
 lga@swcp.com

**OPEN SPACE VISITOR CENTER**  
 ALBUQUERQUE, NEW MEXICO  
 PROJECT ARCHITECT:  
 LEE GAMESKY, AIA  
 Project #: 02-06-AL  
 Date: 23 JANUARY 2004

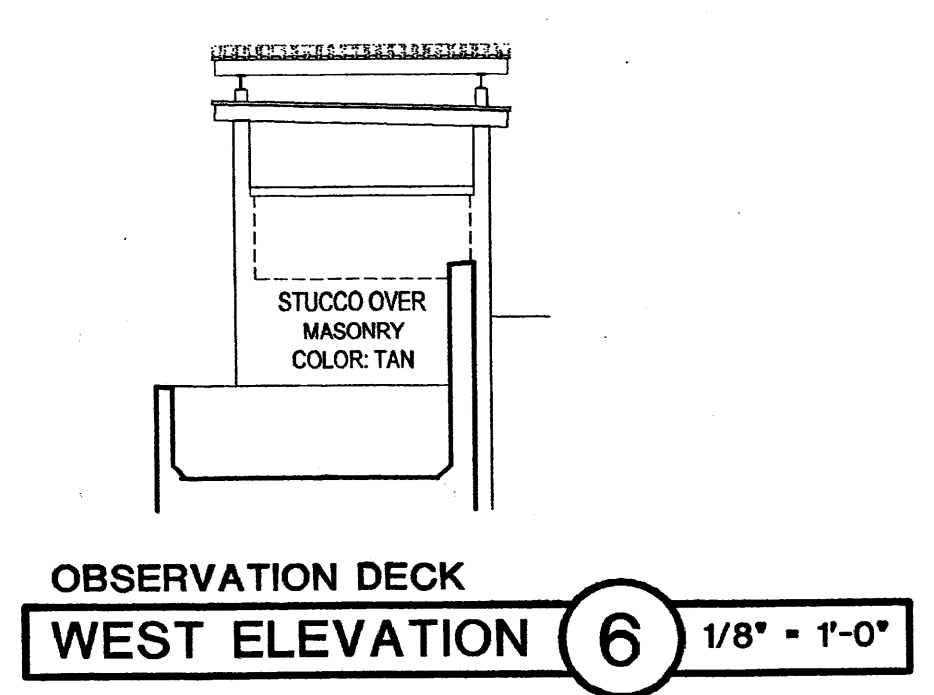
**EXTERIOR BUILDING ELEVATIONS**  
 By: JW  
 File:  
 Sheet 9 Of 10  
**A-1**





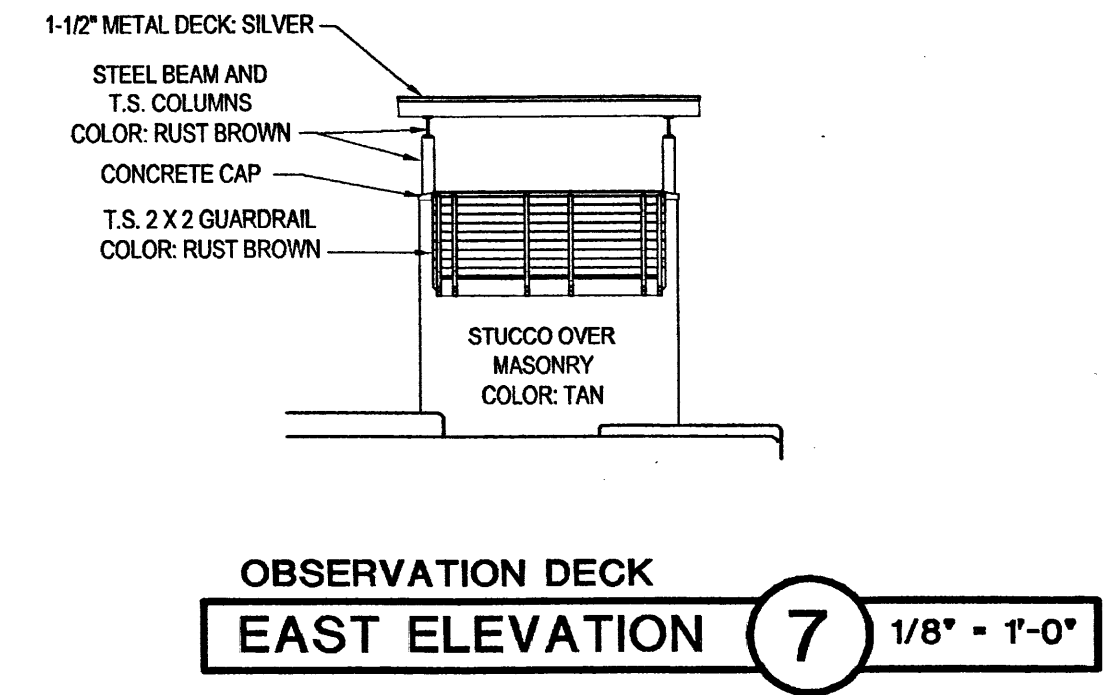
**SOUTH BUILDING COURTYARD ELEVATION**

**5** 1/8" = 1'-0"



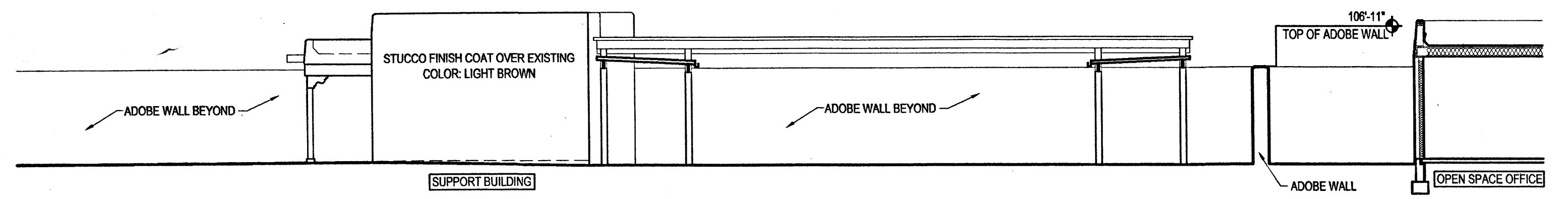
**OBSERVATION DECK WEST ELEVATION**

**6** 1/8" = 1'-0"



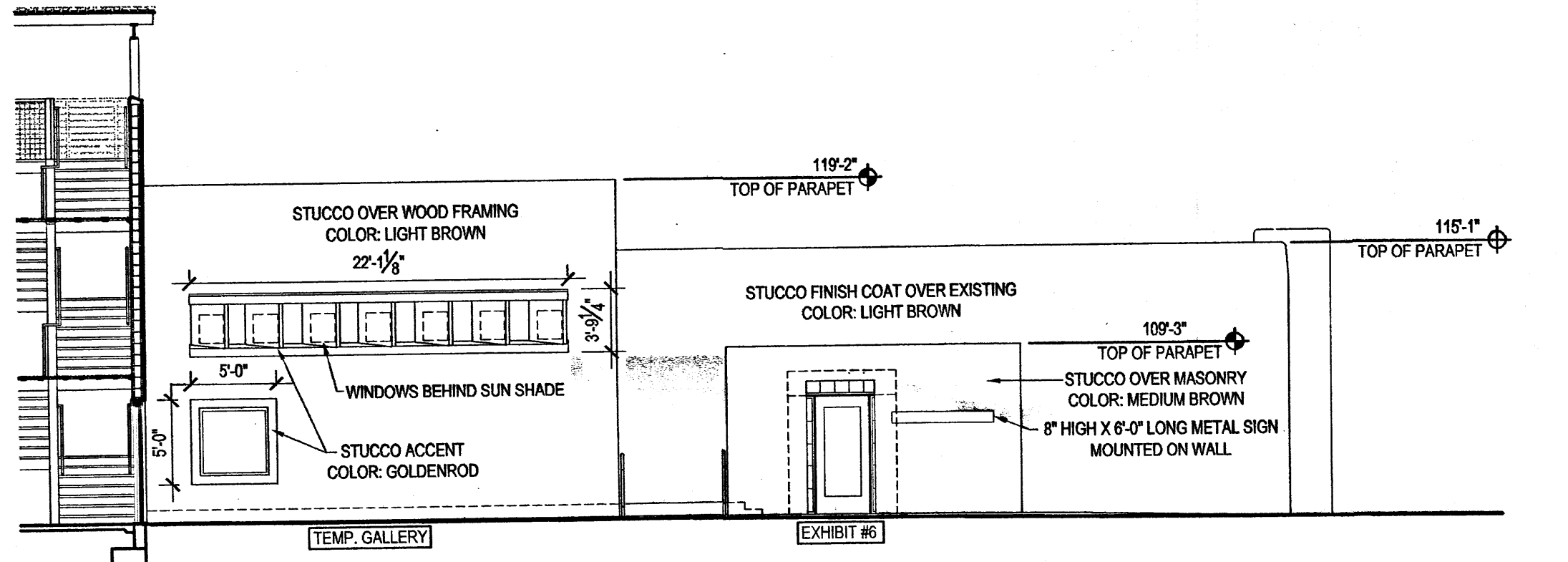
**OBSERVATION DECK EAST ELEVATION**

**7** 1/8" = 1'-0"



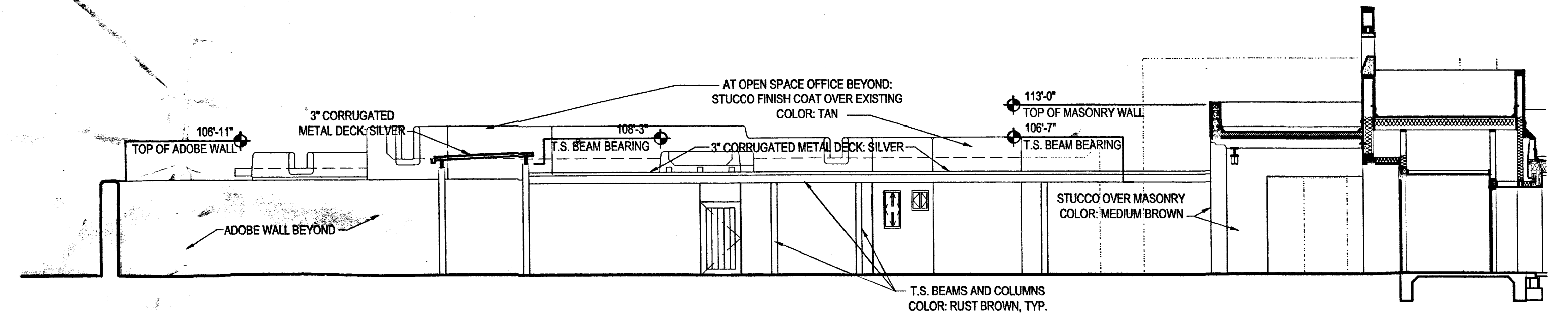
**NORTH COURTYARD ELEVATION**

**10** 1/8" = 1'-0"



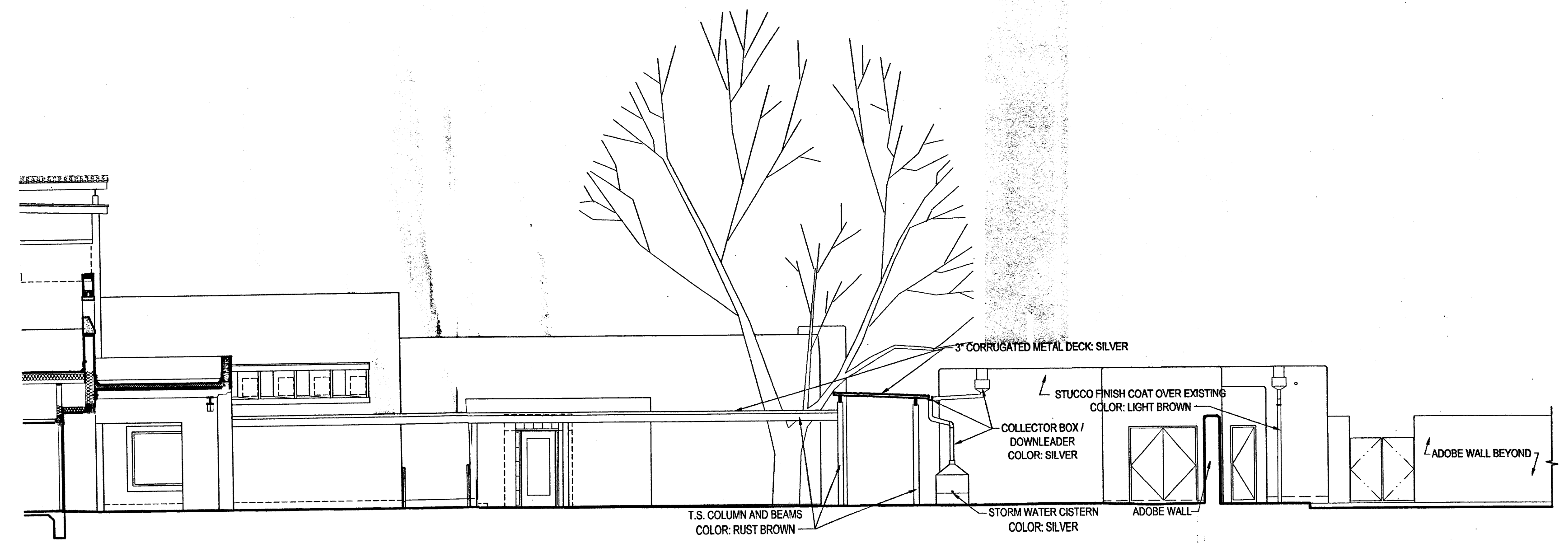
**WEST BUILDING ELEVATION**

**8** 1/8" = 1'-0"



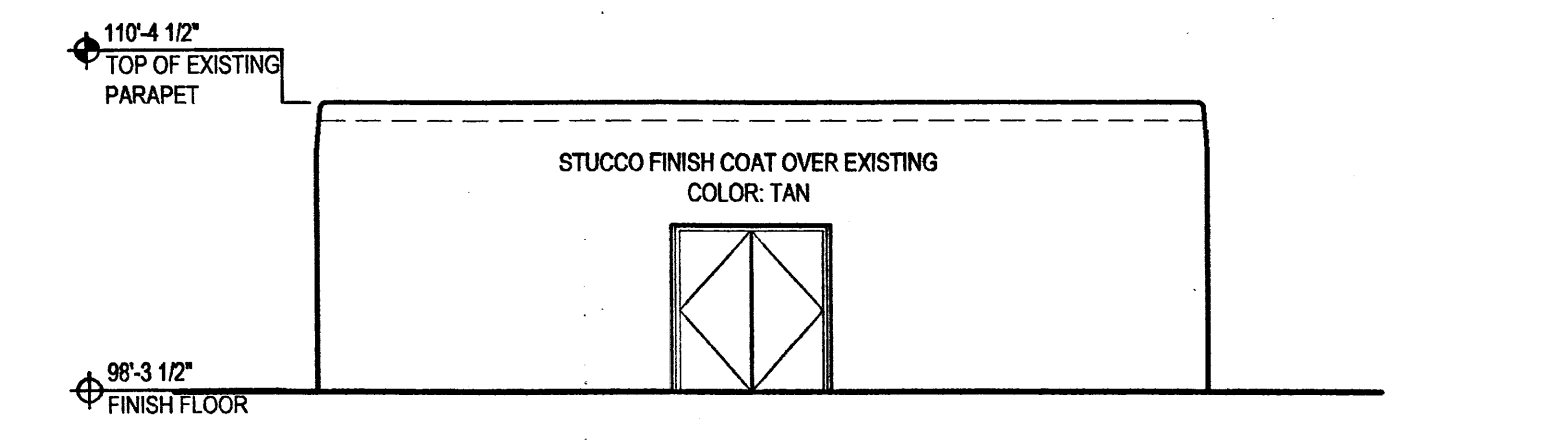
**EAST COURTYARD ELEVATION**

**11** 1/8" = 1'-0"



**WEST COURTYARD ELEVATION**

**9** 1/8" = 1'-0"



**WEST ELEVATION**

**12** 1/8" = 1'-0"

LEE GAMELSKY ARCHITECTS P.C.  
 2412 MILES ROAD SE  
 ALBUQUERQUE, NM 87106  
 505.842.8865 FAX 842.1693  
 lga@swcp.com

**OPEN SPACE VISITOR CENTER**

ALBUQUERQUE, NEW MEXICO  
 PROJECT ARCHITECT:  
 LEE GAMELSKY, AIA

Project #: 02-06-AL  
 Date: 23 JANUARY 2004

**EXTERIOR BUILDING AND PLAZA ELEVATIONS**

By: JW  
 File:  
 Sheet: 10 Of: 10  
**A-2**