

LOCATION MAP
NOT TO SCALE
MAP NO: C-20-Z

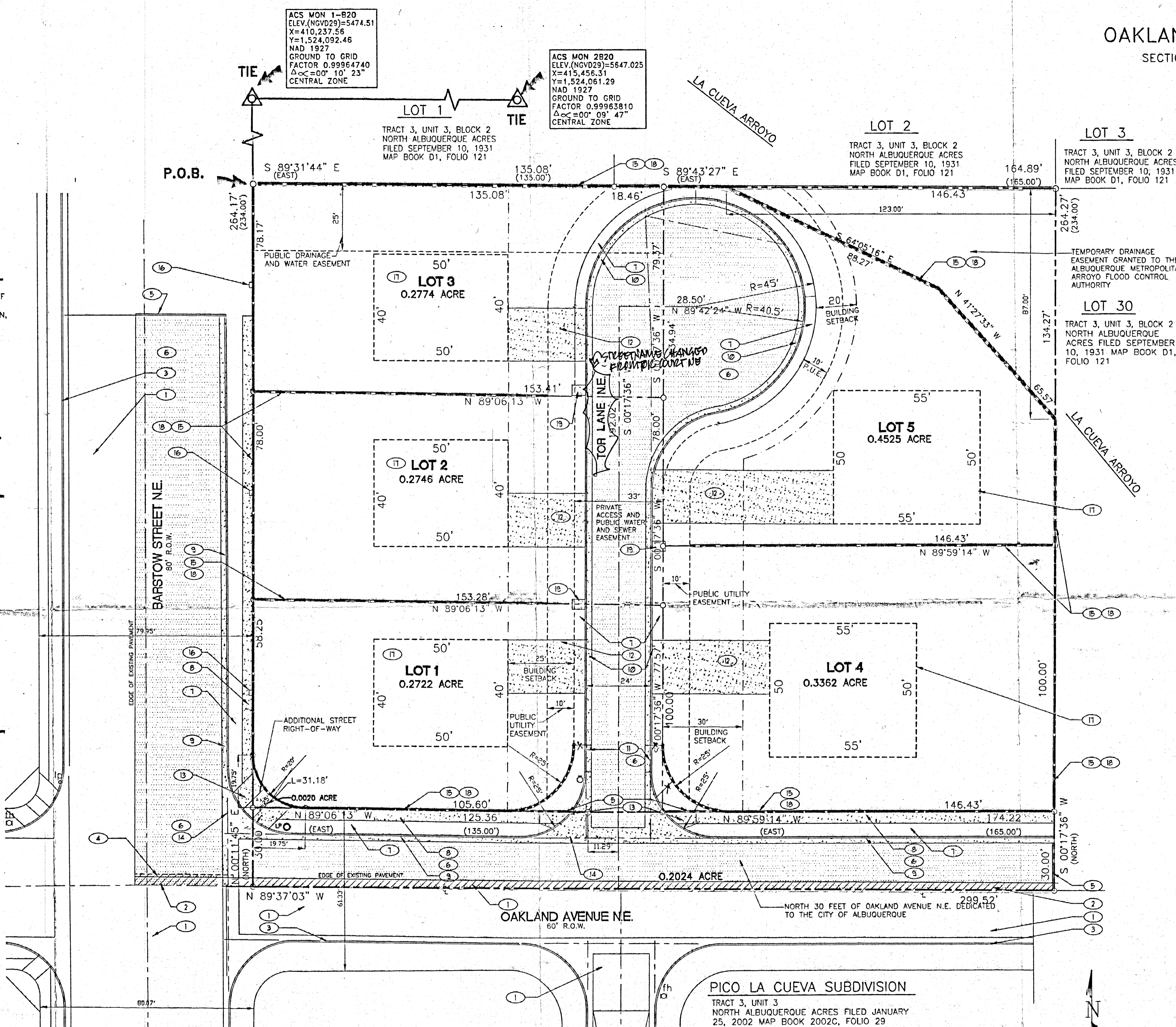
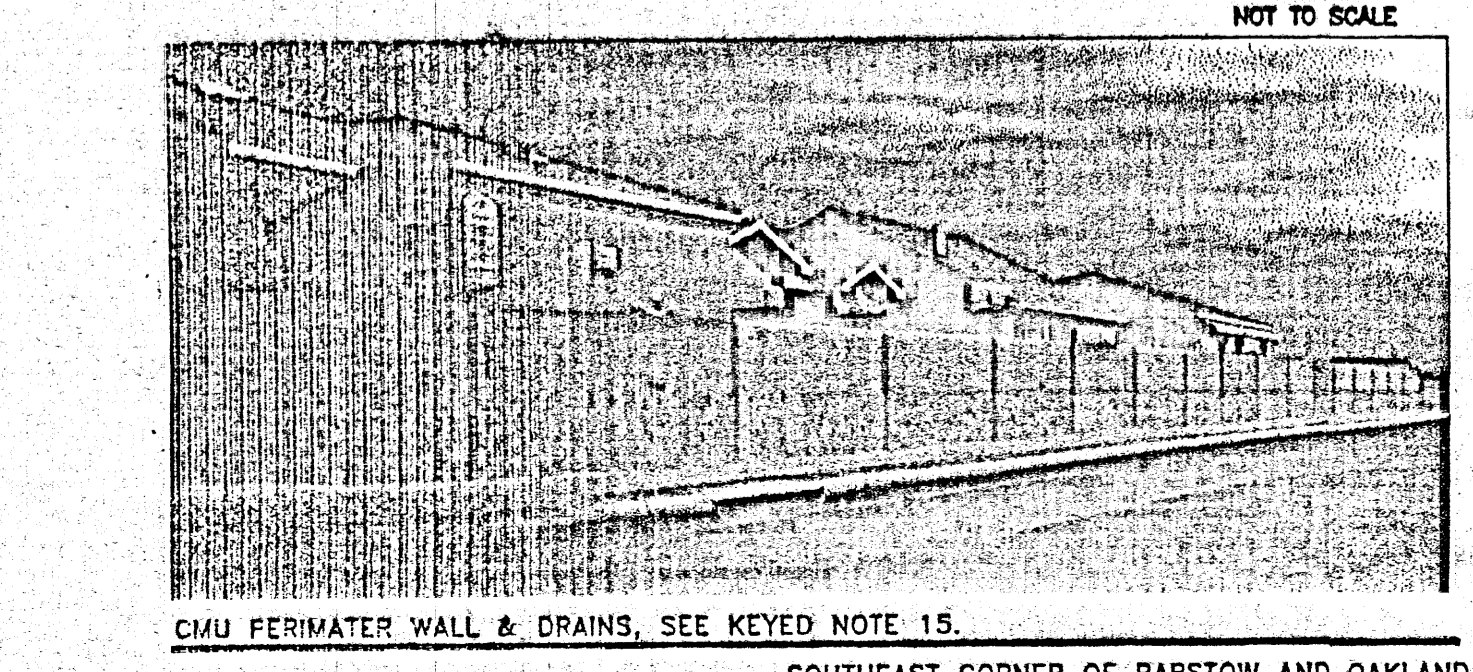
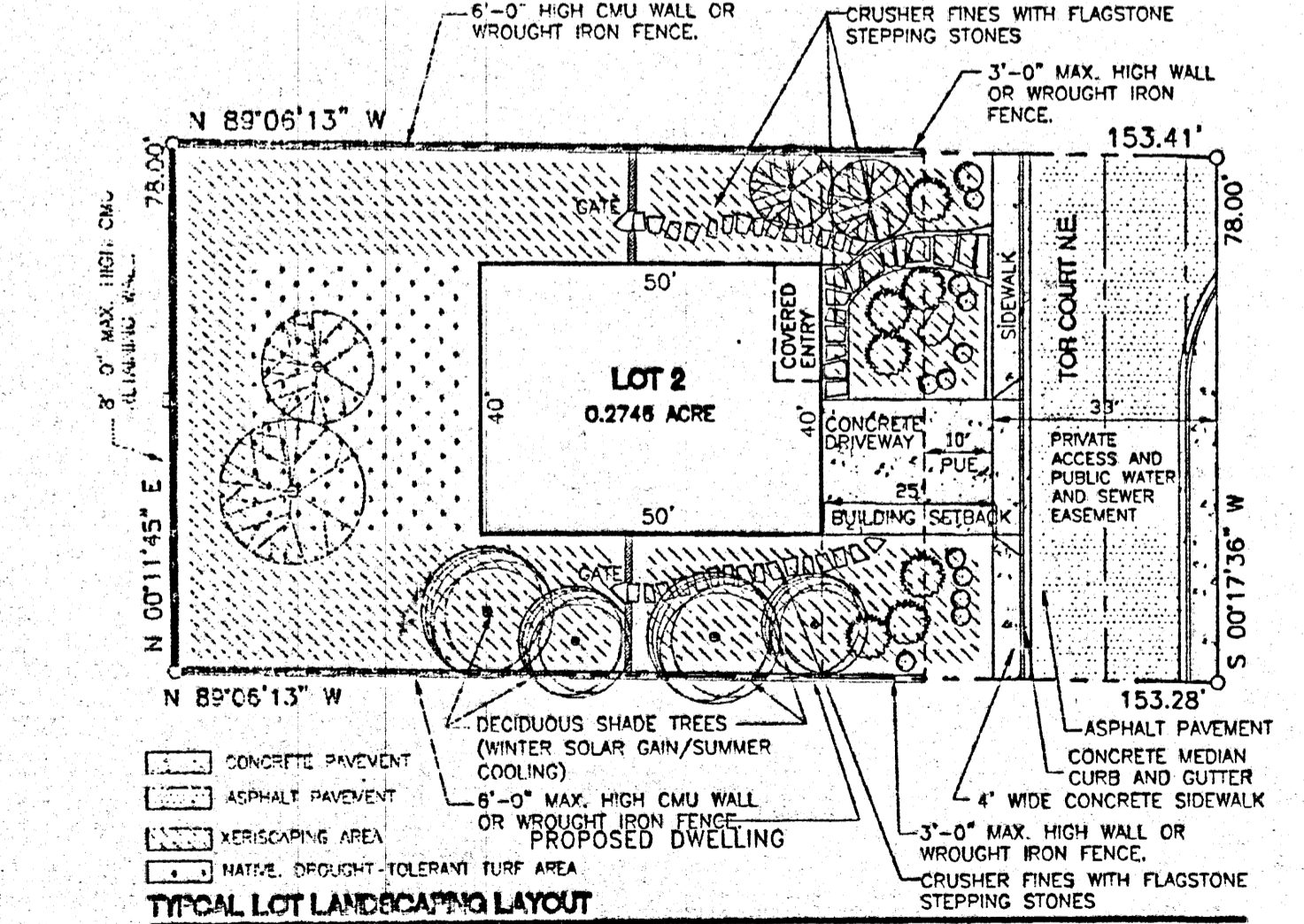
NOTICE TO CONTRACTOR

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN STREET RIGHT-OF-WAY. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED ON THIS PLAN TO BE PERFORMED, EXCEPT AS OTHERWISE PROVIDED HEREON, IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (785-1234) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMUM DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
- UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON MAPS AND/OR EVIDENCES ON THE GROUND. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATIONS OF ALL UTILITIES, SHOWN OR NOT SHOWN ON THE DRAWING.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING RUNOFF ON SITE DURING CONSTRUCTION AND CLEANING UP SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY AND ADJOINING PROPERTIES AFTER CONSTRUCTION.

OPEN SPACE TABLE OPEN SPACE REQUIREMENT: 2400 SF² PER LOT

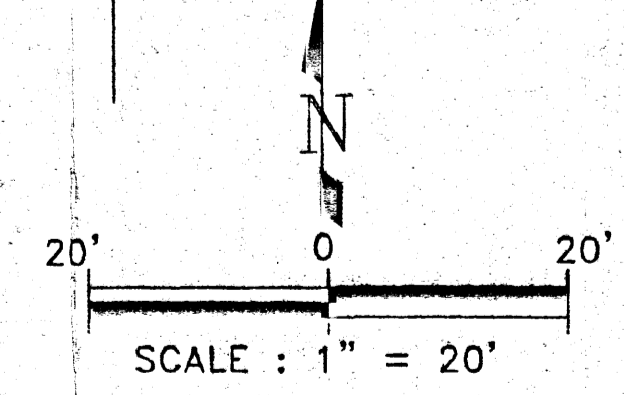
LOT #	GROSS LOT AREA	BUILDING, SIDEWALK AND DRIVEWAY AREAS	AREA OF OPEN SPACE PROVIDED
1	0.2722 AC = 11,857.032 SF	0.1162 AC = 5061.672 SF	0.1560 AC = 6795.360 SF
2	0.2746 AC = 11,961.576 SF	0.1165 AC = 5074.740 SF	0.1560 AC = 6886.836 SF
3	0.2774 AC = 12,033.544 SF	0.1151 AC = 5013.756 SF	0.1623 AC = 7069.788 SF
4	0.3362 AC = 14,644.872 SF	0.0792 AC = 3449.952 SF	0.2570 AC = 11,194.920 SF
5	0.4525 AC = 19,710.900 SF	0.1843 AC = 8028.108 SF	0.2682 AC = 11,682.792 SF

- NOTES:**
- ALL OPEN SPACE REQUIREMENTS ARE MET ON THE LOT WITH THE DWELLING.
 - IF THE DWELLING'S DESIGN VARIES FROM LAYOUT SHOWN BELOW, RESULTING IN NOT ADEQUATE OPEN SPACE AREA, TOTAL REMAINING OPEN SPACE REQUIREMENTS SHALL BE MET VIA A CASH PAYMENT TO THE CITY OF ALBUQUERQUE PER THE PROVISIONS OF SECTION 14-16-3-B-(A) (2).



- KEYED NOTES**
- EXISTING ASPHALT PAVEMENT TO REMAIN
 - PORTION OF EXISTING ASPHALT PAVEMENT TO BE DEMOLISHED AND REINSTALLED PER GRADING PLAN
 - EXISTING CONCRETE CURB AND GUTTER TO REMAIN
 - EXISTING CONCRETE CUT-OFF WALL TO BE REMOVED
 - PROPOSED CONCRETE CUT-OFF WALL
 - PROPOSED ASPHALT PAVEMENT
 - PROPOSED LANDSCAPING AREA (GRAVEL)
 - PROPOSED 4" WIDE CONCRETE SIDEWALK
 - PROPOSED CONCRETE STANDARD CURB AND GUTTER, PER CITY OF ALBUQUERQUE STANDARD DETAIL # 2415.
 - PROPOSED CONCRETE MOUNTABLE CURB AND GUTTER, PER CITY OF ALBUQUERQUE STANDARD DETAIL # 2415.
 - PROPOSED 10 FEET TRANSITION AREA TO MOUNTABLE CURB AND GUTTER
 - PROPOSED CONCRETE DRIVEPAD
 - PROPOSED WHEELCHAIR CURB ACCESS RAMP, PER CITY OF ALBUQUERQUE STANDARD DETAIL # 2441.
 - PROPOSED CONCRETE VALLEY GUTTER, PER CITY OF ALBUQUERQUE STANDARD DETAIL # 2420.
 - PROPOSED RETAINING, SCOUR OR GARDEN WALL, SPLIT FACE AND STANDARD INTEGRAL COLOR "GALLUP GOLD" CMU BLOCK, AS MANUFACTURED BY "RINKER" OR APPROVED EQUAL. MATCH APPEARANCE WITH EXISTING WALLS @ SOUTHEAST CORNER OF INTERSECTION, SEE PHOTO THIS SHEET. WALL WILL EXTEND AT LEAST 1'-4" ABOVE FINISH GRADE AT HIGHER SIDE, UNLESS NOTED OTHERWISE.
 - PROPOSED DRAINAGE WALL OUTLET, MATCH APPEARANCE WITH EXISTING OUTLETS @ SOUTHEAST CORNER OF THE INTERSECTION. SEE PHOTO AT SITE PLAN SHEET.
 - PROPOSED LOCATION OF BUILDING PAD. SEE GRADING AND DRAINAGE PLAN FOR TOP OF PAD ELEVATION.
 - PROPOSED WROUGHT IRON FENCE, HEIGHT VARIES. VERIFY WITH OWNER. EXTENDED CMU WALL OPTIONAL, SEE SECTION.
 - 6" CONCRETE PAD AT WATER METER PER COA STANDARD DETAIL DRAWINGS # 2361 & 2362.

PICO LA CUEVA SUBDIVISION
TRACT 3, UNIT 3
NORTH ALBUQUERQUE ACRES FILED JANUARY 25, 2002 MAP BOOK 2002C, FOLIO 29



ENGINEERS CERTIFICATION
I HEREBY CERTIFY THAT I HAVE PERSONALLY INSPECTED THE SITE AND THAT NO GRADING, FILLING OR EXCAVATION HAS OCCURRED SINCE THE DATE OF THE TOPOGRAPHIC SURVEY.

Celia S. Tomlinson 4/8/03
CELIA S. TOMLINSON, PE

RHOMBUS P.A., INC.
FACILITIES ENGINEERS/ENVIRONMENTAL CONSULTANTS
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REGISTERED PROFESSIONAL ENGINEER STATE OF NEW MEXICO NO. 4393

DATE: 4/4/2003

OAKLAND MEADOWS SUBDIVISION
SECTION 17, RANGE 4 EAST, TOWNSHIP 11 NORTH
TRACT 3, UNIT 3, BLOCK 2
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JANUARY 2003

Project Number: T001104
Application Number: 03DRB 00289 00289

SITE DEVELOPMENT PLAN APPROVAL:

- Solid Waste Management
Rubal D. Danks 4/16/03
Engineer, Transportation Division
- Utilities Department
Roger A. Ahearn 4/16/03
City Engineer
- Parks and Recreation Department
Christina Sandoval 4/16/03
City Engineer
- City Engineer
Bruce L. Biglum 4/16/03
- APPROVAL AND CONDITIONAL ACCEPTANCE:
as specified by the Development Process Manual.
Sheran Matson 4/16/03
City Planner, Planning Department

SITE NOTES

- A. VIEWS**
- THE DEVELOPER WILL ENSURE THAT THE PROPOSED SUBDIVISION LAYOUT AND DESIGN OF THE INDIVIDUAL CUSTOM RESIDENCES RESPECT THE VIEWS OF THE SANDIA MOUNTAINS TO THE EAST AND THE MESA TO THE WEST, PRESERVING TO THE GREATEST POSSIBLE EXTENT VIEWS FROM AND FROM OUT THE SITE.
- B. ALL UTILITIES WILL BE PLACED UNDERGROUND.**
- B. ARCHITECTURAL APPEARANCE**
- THE DEVELOPER WILL ENSURE THAT THE PROPOSED DESIGN OF THE INDIVIDUAL CUSTOM RESIDENCES SHALL COMPLY WITH "LA CUEVA SECTOR DEVELOPMENT PLAN" DESIGN REQUIREMENTS AND RESTRICTIONS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
 - REINFORCEMENT OF THE ARCHITECTURAL CHARACTER OF PROPOSED SUBDIVISION WHICH IS COMPLEMENTARY AND IN HARMONY WITH THE EXISTING SURROUNDING ESTABLISHED NEIGHBORHOODS.
 - INCORPORATION OF THE "CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN" PRINCIPLES INTO NEW HOUSES DESIGN.
 - ORIENTATION OF THE PORCHES, DOORS AND WINDOWS TO THE STREETS WHILE DE-EMPHASIZING GARAGES.
 - USE OF THE HIGH QUALITY BUILDING MATERIALS SUCH AS TINTED/TEXTURED STUCCO OR CONCRETE BLOCK. SMOOTH FACED CONCRETE BLOCK, TILT-UP CONCRETE PANELS OR STEEL PANELS SHALL NOT BE USED.
 - USE OF LOW REFLECTING, SUBTLE, NEUTRAL OR EARTH TONE COLORS FOR FACADES, TRIMS AND ROOFING MATERIAL. HIGH INTENSITY, METALLIC, BLACK AND FLUORESCENT COLORS SHALL NOT BE USED.
 - DESIGN OF THE CANOPIES AND OUTBUILDINGS AS A INTEGRAL PORTION OF THE PROPOSED RESIDENCE. PLASTICS, VINYL OR BACK-LIT PANELS AT FASCIAS AND CANOPIES SHALL NOT BE USED.
 - ALL ROOFS SHALL BE PUEBLO STYLE FLAT ROOFS OR PITCHED ROOFS WITH ROOF TILES.
 - ALL PERIMETER WALLS SHALL BE DESIGNED TO COMPLEMENT THE ARCHITECTURAL CHARACTER OF THE SUBDIVISION, BY INCORPORATING THE ARCHITECTURAL FEATURES, MATERIALS AND MOTIFS USED ON ADJACENT HOMES OR BUILDINGS. MATERIALS SUCH AS STUCCO OVER CMU, TEXTURED FACE CMU, STABILIZED ADOBE, BRICK, TUBULAR WROUGHT IRON, SEE-CRAGH UNITS, LANDSCAPING MATERIALS OR COMBINATION OF THOSE MATERIALS SHALL BE USED. WOOD, CHAIN LINK FENCE OR CONCERTINA SHALL NOT BE USED FOR THE PERIMETER WALLS.

LEGEND

- CMU SCOUR WALL
- CMU RETAINING WALL
- CMU GARDEN WALL
- BOUNDARY LINE
- LOT PROPERTY LINE
- NEW ASPHALT PAVEMENT
- NEW CONCRETE PAVEMENT
- STREET SIGN
- EXISTING FIRE HYDRANT LOCATION
- NEW LIGHT POLE

REVISION	DATE	DESCRIPTION

PROJECT TITLE: **OAKLAND MEADOWS**

SHEET TITLE: **SITE PLAN FOR SUBDIVISION**

MAP NO: C-20-Z
RHOMBUS JOB NO: 02-C2-187
SHEET 1 OF 1

PROJECT 1001104