

**Subdivision Data:**

GROSS SUBDIVISION ACREAGE: 15.8611 ACRES±  
 ZONE ATLAS INDEX NO: M-15-Z  
 NO. OF TRACTS CREATED: 2  
 NO. OF LOTS CREATED: 0  
 MILES OF FULL-WIDTH STREETS CREATED: 0  
 DATE OF SURVEY: NOVEMBER 2008, FIELD VERIFIED DECEMBER 2011

**Disclosure Statement:**

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING TWO TRACTS INTO TWO NEW TRACTS PER COURT ORDER.

**Notes:**

- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1983).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN THE SECTION 33, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.

**Solar Note:**

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF PROPOSED PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT OR SITE DEVELOPMENT PLAN FOR SUBDIVISION.

**Easements**

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

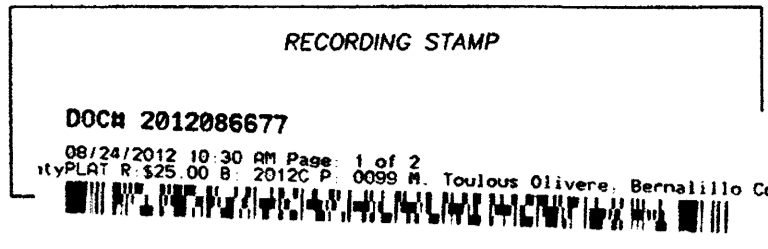
PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PNM (ELECTRIC) FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- QWEST CORPORATION D/B/A CENTURYLINK QC FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM (ELECTRIC AND GAS) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.



**Legal Description**

A CERTAIN TRACT OF LAND BEING AND COMPRISED OF TRACTS 1-A-1 AND 1-A-2 OF LANDS OF PARKING COMPANY OF AMERICA AS FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 22, 2008 IN BOOK 2008C, PAGE 162 AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF DESCRIBED TRACT LYING ON THE EAST RIGHT OF WAY LINE OF UNIVERSITY BOULEVARD, S.E. MARKED BY FOUND NO. 5 REBAR FROM WHENCE A TIE TO ALBUQUERQUE GEODETIC REFERENCE MONUMENT "L\_25\_30" BEARS N 37°28'13" W, A DISTANCE OF 3,947.69 FEET;

THENCE FROM SAID POINT OF BEGINNING, LEAVING SAID EAST RIGHT OF WAY LINE ALONG A NON TANGENT CURVE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 665.52 FEET, AN ARC LENGTH OF 468.17 FEET, A DELTA ANGLE OF 40°18'20", A CHORD BEARING OF N 80°18'36" E, AND A CHORD LENGTH OF 458.57 FEET TO POINT OF TANGENCY MARKED BY A FOUND NO. 5 REBAR;

THENCE S 79°36'07" E, A DISTANCE OF 338.45 FEET TO A POINT OF CURVATURE OF DESCRIBED TRACT MARKED BY A FOUND NO. 5 REBAR;

THENCE ALONG A NON TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 654.26 FEET, AN ARC LENGTH OF 604.24 FEET, A DELTA ANGLE OF 52°54'55", A CHORD BEARING OF N 73°55'26" E, AND A CHORD LENGTH OF 582.99 FEET TO A POINT OF TANGENCY MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 47°27'24" E, A DISTANCE OF 101.10 FEET TO A POINT OF CURVATURE OF DESCRIBED TRACT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE ALONG A TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 1223.56 FEET, AN ARC LENGTH OF 907.95 FEET, A DELTA ANGLE OF 42°31'00", A CHORD BEARING OF N 68°42'54" E, AND A CHORD LENGTH OF 887.26 FEET TO AN ANGLE POINT OF DESCRIBED TRACT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 89°58'24" E, A DISTANCE OF 91.50 FEET TO AN ANGLE POINT OF DESCRIBED TRACT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 00°01'36" W, A DISTANCE OF 25.00 FEET TO AN ANGLE POINT OF DESCRIBED TRACT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE S 89°54'49" E, A DISTANCE OF 141.46 FEET TO THE NORTHEAST CORNER OF DESCRIBED TRACT LYING ON THE WEST RIGHT OF WAY LINE OF YALE BOULEVARD, S.E. MARKED BY A FOUND PK NAIL WITH WASHER "PS 7924";

THENCE ALONG THE SAID WEST RIGHT OF WAY LINE FOR THE NEXT THREE CALLS S 00°02'08" E, A DISTANCE OF 620.04 FEET TO AN ANGLE POINT OF DESCRIBED TRACT MARKED BY A FOUND CHISELED "X";

THENCE S 00°01'43" E, A DISTANCE OF 30.05 FEET TO AN ANGLE POINT OF DESCRIBED TRACT MARKED BY A FOUND PK NAIL WITH WASHER "PS 7924";

THENCE S 00°02'46" W, A DISTANCE OF 29.84 FEET TO THE SOUTHEAST CORNER OF DESCRIBED TRACT MARKED BY A FOUND PK WITH WASHER "PS 7924";

THENCE LEAVING SAID WEST RIGHT OF WAY LINE N 88°40'28" W, A DISTANCE OF 313.02 FEET TO AN ANGLE POINT OF DESCRIBED TRACT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 01°19'32" E, A DISTANCE OF 29.82 FEET TO AN ANGLE POINT OF DESCRIBED TRACT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 88°40'36" W, A DISTANCE OF 2168.00 FEET TO THE POINT OF BEGINNING, CONTAINING 15.8611 ACRES (690909 SQUARE FEET), MORE OR LESS, NOW COMPRISING TRACT 1-A-2-A, LANDS OF PARKING COMPANY OF AMERICA.

**Free Consent**

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

CHAVEZ PROPERTIES AIRPORT PARKING ALBUQUERQUE LIMITED PARTNERSHIP, A GEORGIA LIMITED PARTNERSHIP

BY: Manuel Chavez  
 OWNER TRACT 1-A-1-A  
**Acknowledgment**

STATE OF OHIO )  
 COUNTY OF HAMILTON ) SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON 5/21 2012, BY Manuel Chavez ITS manager CHAVEZ PROPERTIES AIRPORT PARKING ALBUQUERQUE LIMITED PARTNERSHIP, A GEORGIA LIMITED PARTNERSHIP.

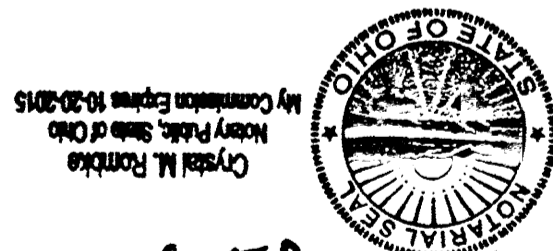
BY: John Lorentzen  
 OWNER TRACT 1-A-2-A  
**Acknowledgment**

STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO ) SS

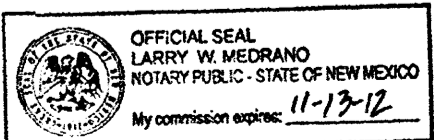
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 23 DAY OF APRIL 2012 BY John Lorentzen

BY: John Lorentzen  
 NOTARY PUBLIC

MY COMMISSION EXPIRES: 11/13/12



John Lorentzen  
 DATE 4/23/12



Plat of  
 Tracts 1-A-1-A and 1-A-2-A  
**Lands of Parking Company of America**  
 Albuquerque, Bernalillo County, New Mexico  
 April 2012

Project No. 1001115

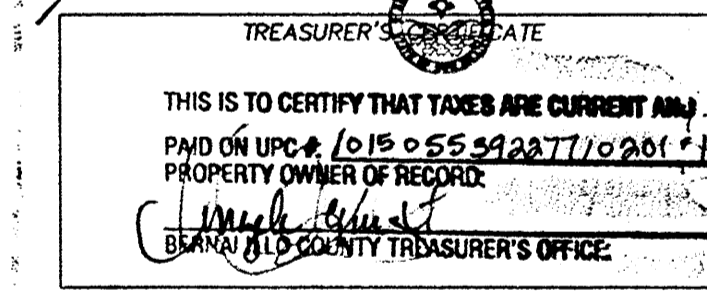
Application No. 12DRB- 70209

**Utility Approvals**

<u>Juan Carlos Vazquez</u>	<u>8-2-12</u>
PNM	DATE
<u>[Signature]</u>	<u>8-2-2012</u>
NEW MEXICO GAS COMPANY	DATE
<u>[Signature]</u>	<u>8-3-12</u>
QWEST CORPORATION D/B/A CENTURYLINK QC	DATE
<u>[Signature]</u>	<u>8-7-12</u>
COMCAST	DATE

**City Approvals**

<u>[Signature]</u>	<u>6-19-12</u>
CITY SURVEYOR	DATE
<u>[Signature]</u>	<u>08-17-12</u>
TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	DATE
<u>[Signature]</u>	<u>07/25/12</u>
A.B.C.W.U.A.	DATE
<u>[Signature]</u>	<u>7-25-12</u>
PARKS AND RECREATION DEPARTMENT	DATE
<u>[Signature]</u>	<u>8-24-12</u>
AMAFCA	DATE
<u>[Signature]</u>	<u>7/25/12</u>
CITY ENGINEER	DATE
<u>[Signature]</u>	<u>8-24-12</u>
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



**Surveyor's Certificate**

I, LARRY W. MEDRANO, A REGISTERED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF THE MINIMUM STANDARDS FOR LAND SURVEYS AS ADOPTED BY THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

BY: [Signature] 4/17/12  
 LARRY W. MEDRANO  
 N.M.S. No. 11993  
 DATE



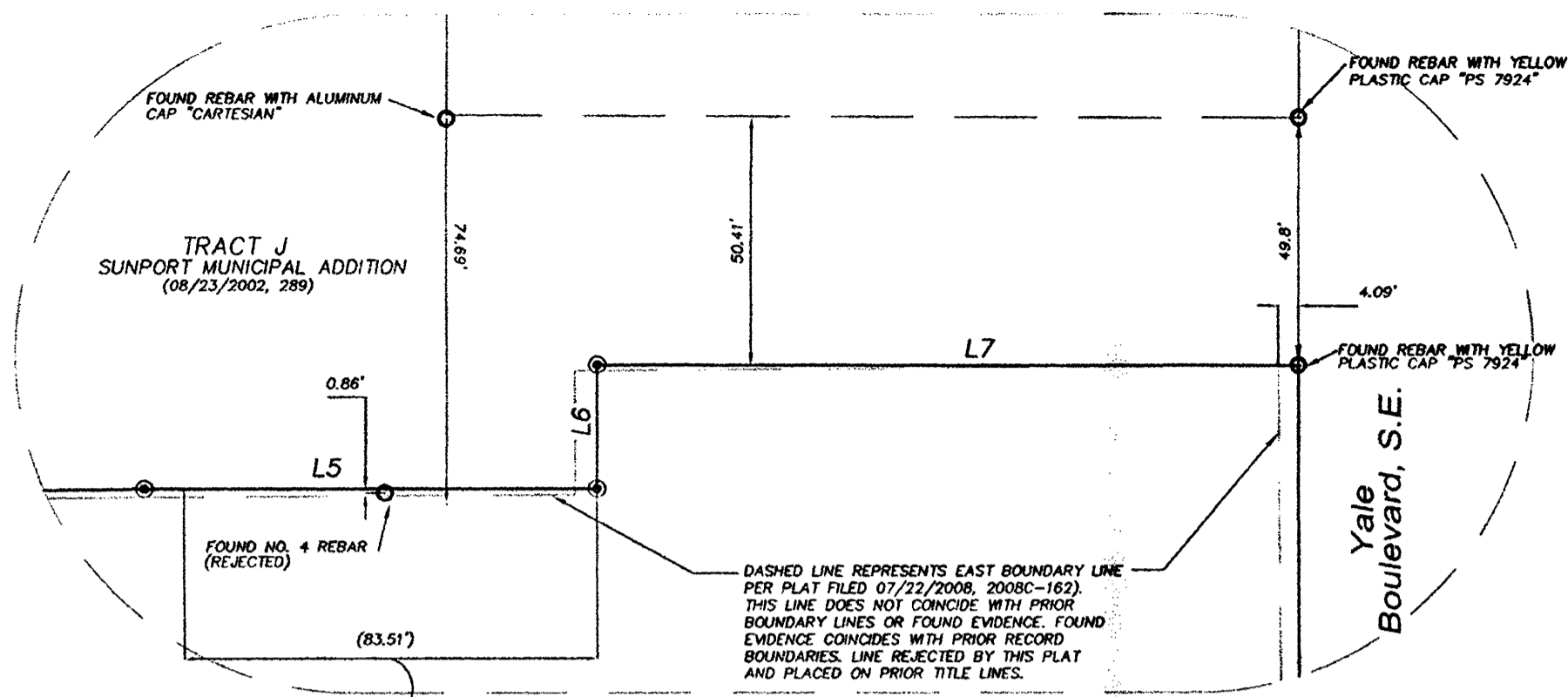
**PRECISION SURVEYS, INC.**

OFFICE LOCATION:  
 5571 Midway Park Place, NE  
 Albuquerque, NM 87109  
 MAILING ADDRESS:  
 PO Box 90636  
 Albuquerque, NM 87199

866.442.8011 TOLL FREE  
 505.856.5700 PHONE  
 505.856.7900 FAX

Plat of  
 Tracts 1-A-1-A and 1-A-2-A  
**Lands of Parking Company of America**  
 Albuquerque, Bernalillo County, New Mexico  
 April 2012

RECORDING STAMP  
 DOC# 2012086677  
 06/24/2012 10:30 AM Page: 2 of 2  
 City/PLAT R 125.00 B: 2012C P: 0099 N. Toulouse Olivere, Bernalillo Cou



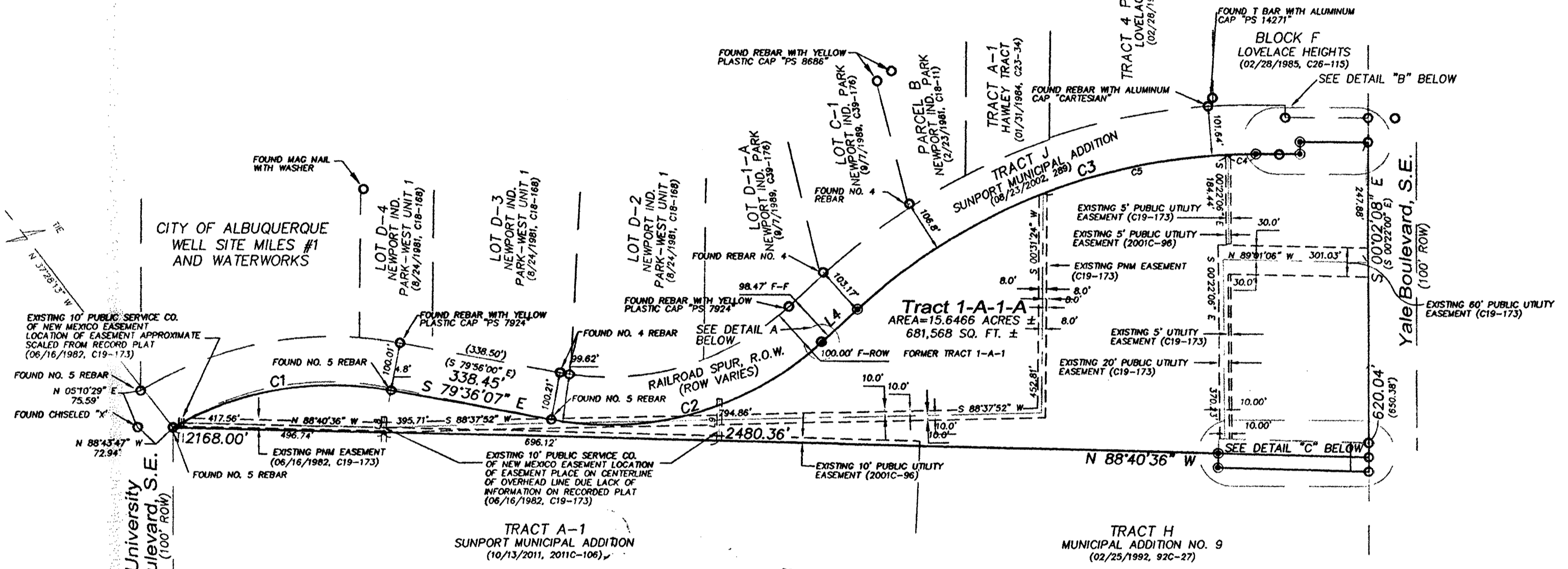
**Legend**  
 N 90°00'00" E MEASURED BEARING AND DISTANCES  
 (N 90°00'00" E) RECORD BEARINGS AND DISTANCES  
 ○ FOUND AND USED MONUMENT AS DESIGNATED  
 ⊙ DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY  
 △ FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED

PLAT FILED (06/23/2002-289) SHOWS THE LENGTH OF THIS TANGENT AS 83.51 FEET. ALL PRIOR PLATS SHOW THIS LENGTH AS 91.50 FEET (06/15/1948, DOC. NO. 88905, 06/16/1982, C19-173, & 07/22/2008). RECORD TANGENT DISTANCE OF 91.50 FEET HELD BY THIS PLAT.

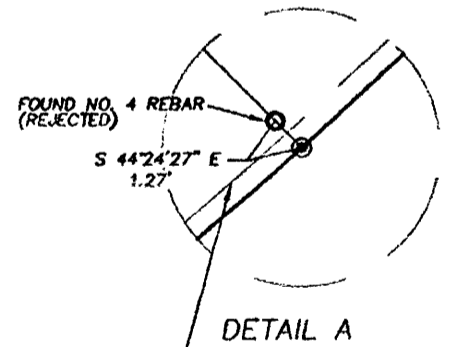
DETAIL B

A.G.R.S. MONUMENT "L\_25\_30"  
 STANDARD A.G.R.S. BRASS TABLE  
 (FOUND IN PLACE)  
 NEW MEXICO STATE PLANE COORDINATES  
 (CENTRAL ZONE-N.A.D. 1983)  
 N=1,477,335.008  
 E=1,524,161.952  
 PUBLISHED EL=5041.300 (NAVD 1988)  
 GROUND TO GRID FACTOR=0.999678244  
 DELTA ALPHA ANGLE=-073°33.37"

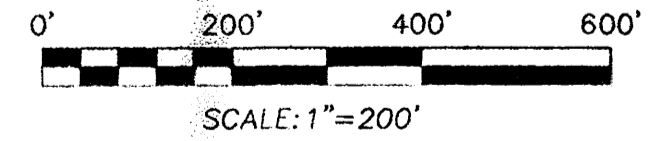
A.G.R.S. MONUMENT "S\_114"  
 STANDARD A.G.R.S. BRASS TABLE  
 (FOUND IN PLACE)  
 NEW MEXICO STATE PLANE COORDINATES  
 (CENTRAL ZONE-N.A.D. 1983)  
 N=1,476,329.790  
 E=1,521,790.762  
 PUBLISHED EL=4940.240 (NAVD 1988)  
 GROUND TO GRID FACTOR=0.999683708  
 DELTA ALPHA ANGLE=-073°39.43"



A PRIVATE CROSS LOT DRAINAGE EASEMENT FOR THE BENEFIT OF TRACTS 1-A-1-A AND 1-A-2-A, TO BE MAINTAINED BY THE OWNER OF EACH TRACT, GRANTED BY THIS PLAT



DASHED LINE REPRESENTS EAST BOUNDARY LINE PER PLAT FILED 07/22/2008, 2008C-162). THIS LINE DOES NOT COINCIDE WITH PRIOR BOUNDARY LINES OR FOUND EVIDENCE. FOUND EVIDENCE COINCIDES WITH PRIOR RECORD BOUNDARIES. LINE REJECTED BY THIS PLAT AND PLACED ON PRIOR TITLE LINES.



Line Table

LINE	BEARING	DISTANCE
L1	S 00°01'43" E	30.05'
L2	S 00°02'46" W	29.84'
L3	N 01°19'32" E	29.82'
L4	N 47°27'24" E (N 47°07'00" E)	101.10' (101.10')
L5	N 89°58'24" E (N 89°38'00" E)	91.50' (91.50')
L6	N 00°01'36" W (N 00°22'00" W)	25.00' (25.00')
L7	S 89°54'49" E (S 89°38'00" W)	141.46' (142.00')
L8	N 01°19'24" E	32.00'
L9	N 00°55'07" E	73.67'

Curve Table

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	TANGENT	CHORD BEARING	CHORD LENGTH
C1	665.52' (666.74')	468.17' (468.16')	40°18'20" (40°13'51")	244.24' (T=244.20')	N 80°18'36" E (N 80°17'29" E)	458.57' (458.60')
C2	654.26' (653.79')	604.24' (604.20')	52°54'55" (52°57'00")	325.60' (325.61')	N 73°55'26" E (N 73°55'54" E)	582.99' (582.93')
C3	1223.56' (1223.58')	907.95' (907.96')	42°31'00" (42°31'00")	476.02' (476.02')	N 68°42'54" E (S 68°42'54" W)	887.26' (887.26')
C4	1223.56'	57.47'	182°27'13"	241.27'	S 88°37'40" W	57.46'
C5	1223.56'	394.08'	198.76'	18°27'13"	S 78°03'20" W	392.38'

**Landfill Note**

THE SUBJECT PROPERTY IS LOCATED NEAR AND A PORTION IS ON A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR/ON A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE INTERIM GUIDELINES FOR DEVELOPMENT WITHIN CITY DESIGNATED LANDFILL BUFFER ZONES) SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE.

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