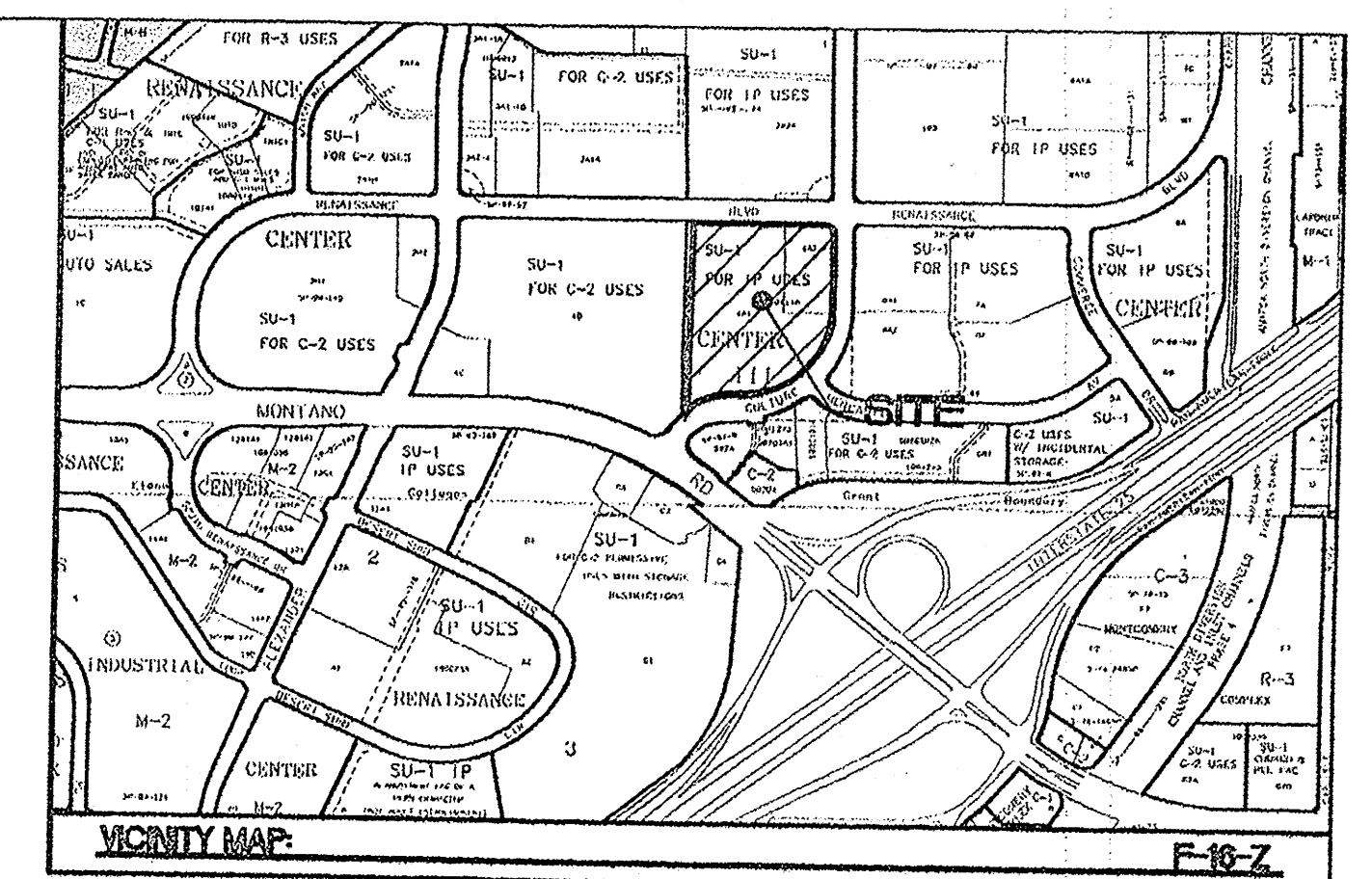
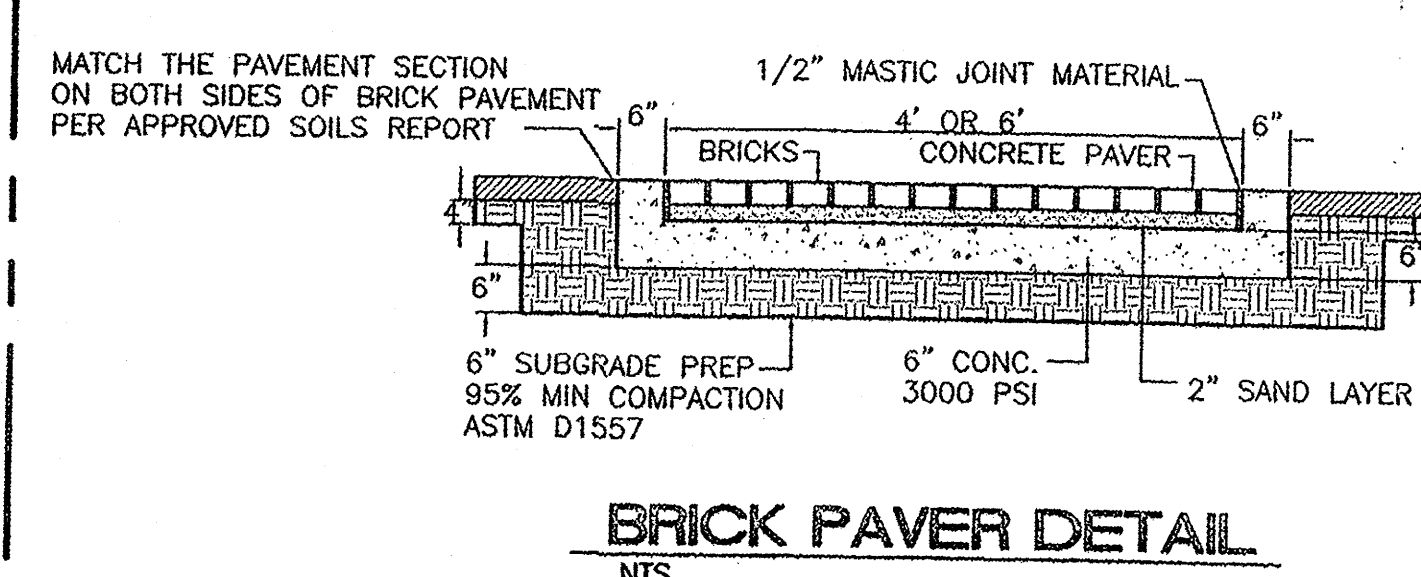
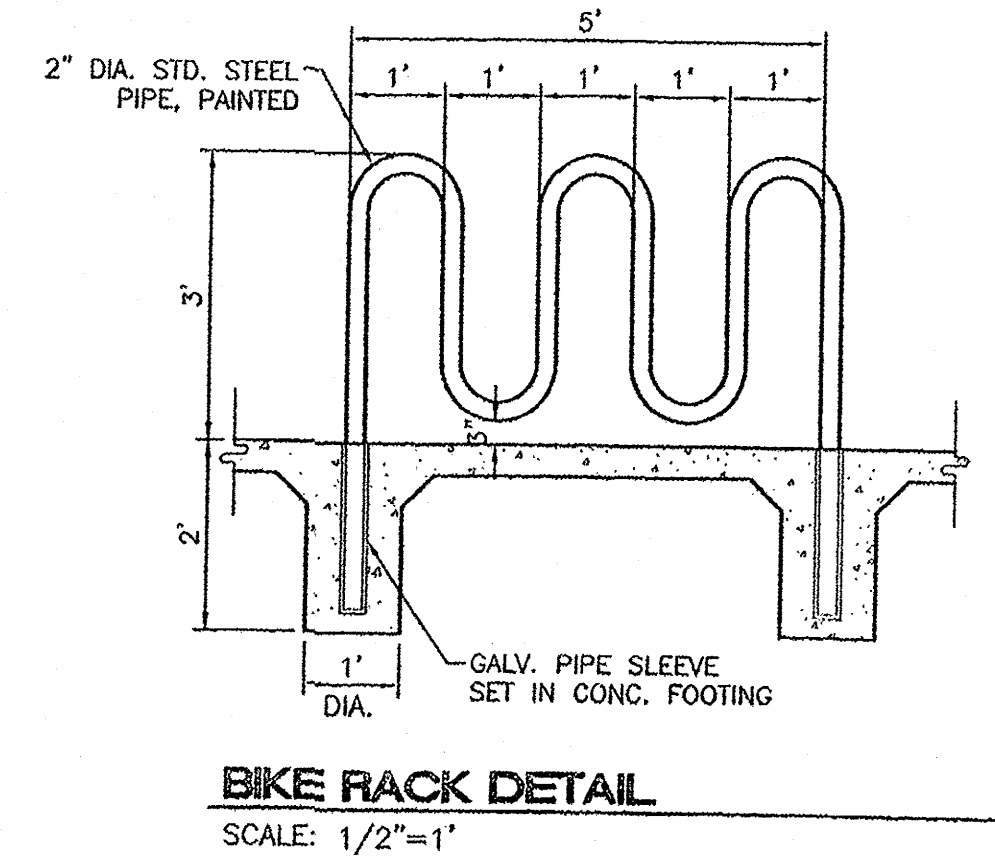
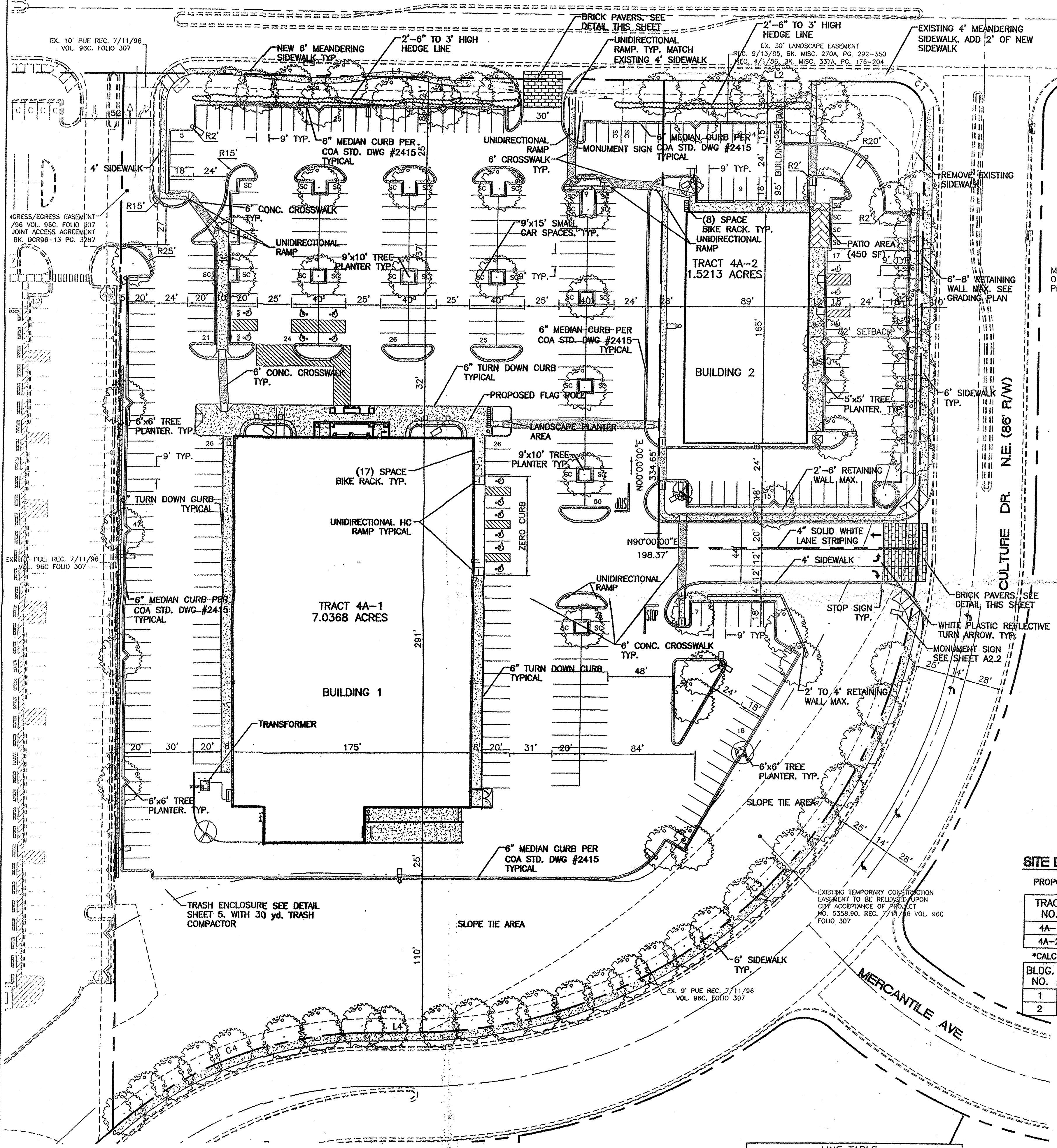


RENAISSANCE BOULEVARD N.E. (86' R/W)



LEGAL DESCRIPTION
TRACT 4A NORTH RENAISSANCE CENTER

- NOTES:**
- COMMON INGRESS/EGRESS, STORM DRAINAGE AND PEDESTRIAN ACCESS ACROSS TRACTS 4A-1, AND 4A-2 IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
 - ANY CHANGES FROM WHAT IS APPROVED ON THE SITE DEVELOPMENT PLAN FOR THE SUBDIVISION PURPOSES WILL REQUIRE AN AMENDMENT TO THE PLAN AND THAT SITE DEVELOPMENT PLAN FOR BUILDING PURPOSES WILL BE REQUIRED FOR THE PROPOSED TRACTS 4A-1, AND 4A-2 THROUGH A PUBLIC HEARING AT THE DEVELOPMENT REVIEW BOARD IN CONJUNCTION WITH REVIEW BY EPC STAFF.
 - APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 - LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
 - COMMON DRY UTILITY AND SANITARY SEWER EASEMENT FOR TRACTS 4A-1, AND 4A-2 IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE PLAT.
 - MONUMENT SIGN MATERIALS/COLORS/SIZE SHALL COMPLY WITH THE RENAISSANCE MASTER PLAN. MATCH BUILDING COLORS AND MATERIAL.
 - AVERAGE LIGHT LEVELS SHALL BE LIMITED TO 2 FOOT CANDLES WITH MAXIMUM LEVELS LIMITED TO 16 FOOT CANDLES AS MEASURED FROM 4 FEET ABOVE THE SURFACE LEVEL OF ANY POINT ON THE SITE. LUMINARIES SHALL HAVE GLARE CUT OFF ANGLES OF MAXIMUM.
 - ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
 - LIGHT POLES SHALL BE A MAXIMUM OF 20' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 20' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. SEE DETAIL SHEET 5.
 - THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANNING ON SIGNAGE.
 - BUILDING SETBACKS ARE PER APPROVED SITE PLAN WITH THE CITY OF ALBUQUERQUE
 - SEE SHEET 5 FOR SCREEN WALL DETAILS.
 - SEE SHEET 5 FOR RAISED CONCRETE CROSSWALK DETAILS.
 - SEE SHEET 5 FOR REFUSE ENCLOSURE.
 - NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approval by the Environmental Planning Commission (EPC) dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Utilities Development	Date
Parks & Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

ADMINISTRATIVE AMENDMENT
File # 03-0205 Project # 100118
Sign _____
APPROVED BY _____ DATE 5/12/07

SITE DATA

PROPOSED USE = SU-1 FOR IP USES

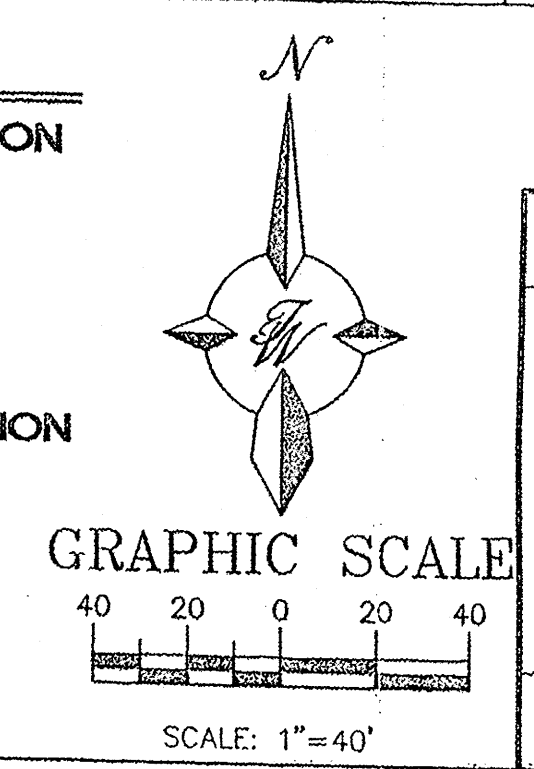
TRACT NO.	FLOOR AREA RATIO
4A-1	0.26
4A-2	0.23

*CALCULATED AT 1 SPACE PER 200 SF OF OFFICE

BLDG. NO.	PROPOSED USAGE	BUILDING AREA (SF)	MAX. BLDG. HEIGHT	PARKING REQUIRED	PARKING PROVIDED	HC PARKING REQUIRED	HC PARKING PROVIDED	BIKE SPACES REQUIRED	BIKE SPACES PROVIDED	LOT ACREAGE
1	RETAIL/WAREHOUSE	48,956 SF	36'	245*	324	12	12	17	17	7.0368
2	RETAIL	14,655 SF	36'	73*	76	4	4	8	8	1.5213

INDEX TO DRAWINGS

- AMENDED SITE PLAN FOR SUBDIVISION AND BUILDING PERMIT
- AMENDED LANDSCAPE PLAN
- AMENDED GRADING PLAN
- AMENDED MASTER UTILITY PLAN
- AMENDED DETAILS
- AMENDED ELEVATIONS
- APPROVED SITE PLAN FOR SUBDIVISION AND BUILDING PERMIT
- APPROVED LANDSCAPE PLAN
- APPROVED GRADING PLAN
- APPROVED MASTER UTILITY PLAN
- APPROVED DETAILS
- A21 APPROVED ELEVATIONS
- A22 APPROVED ELEVATIONS



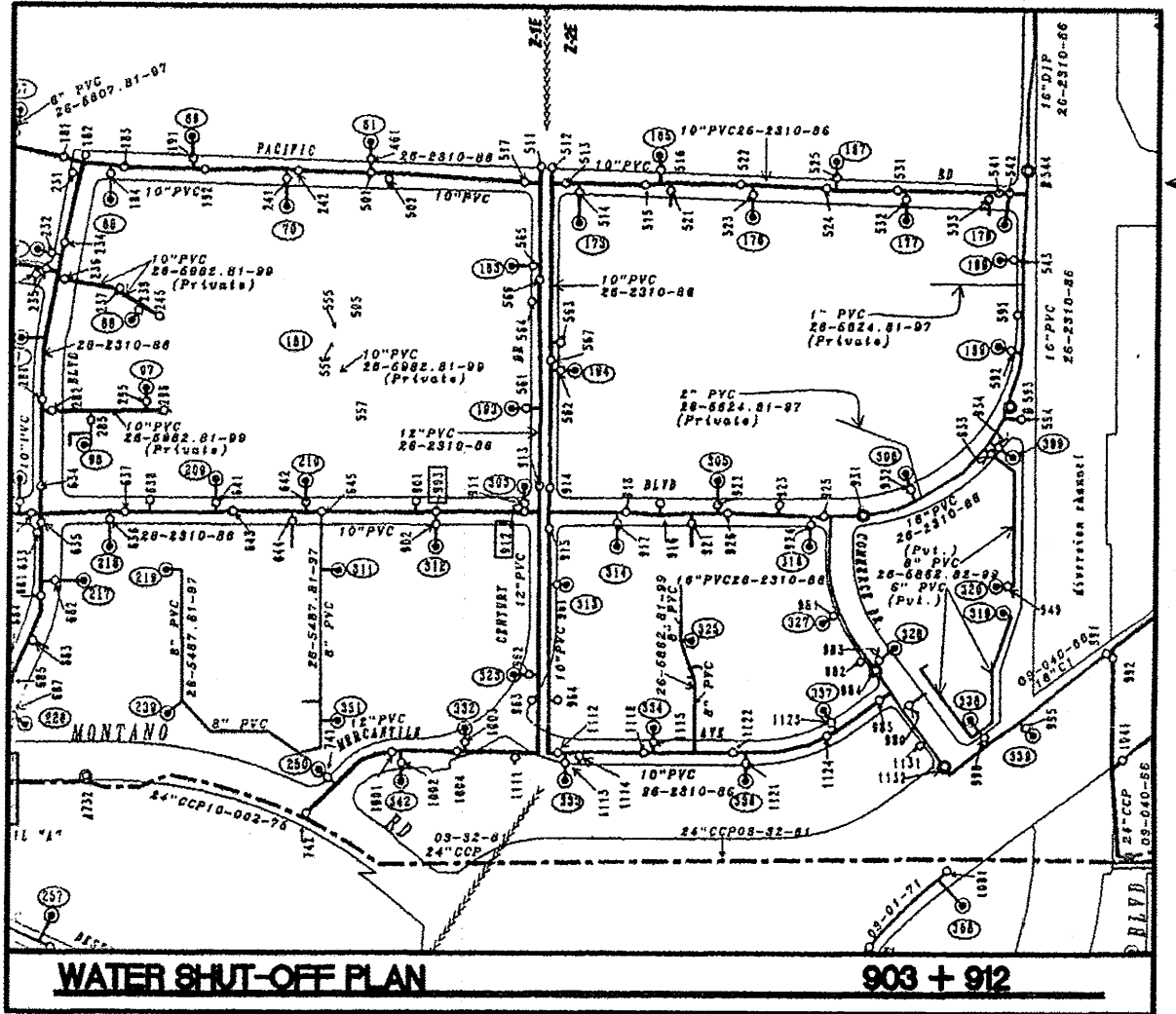
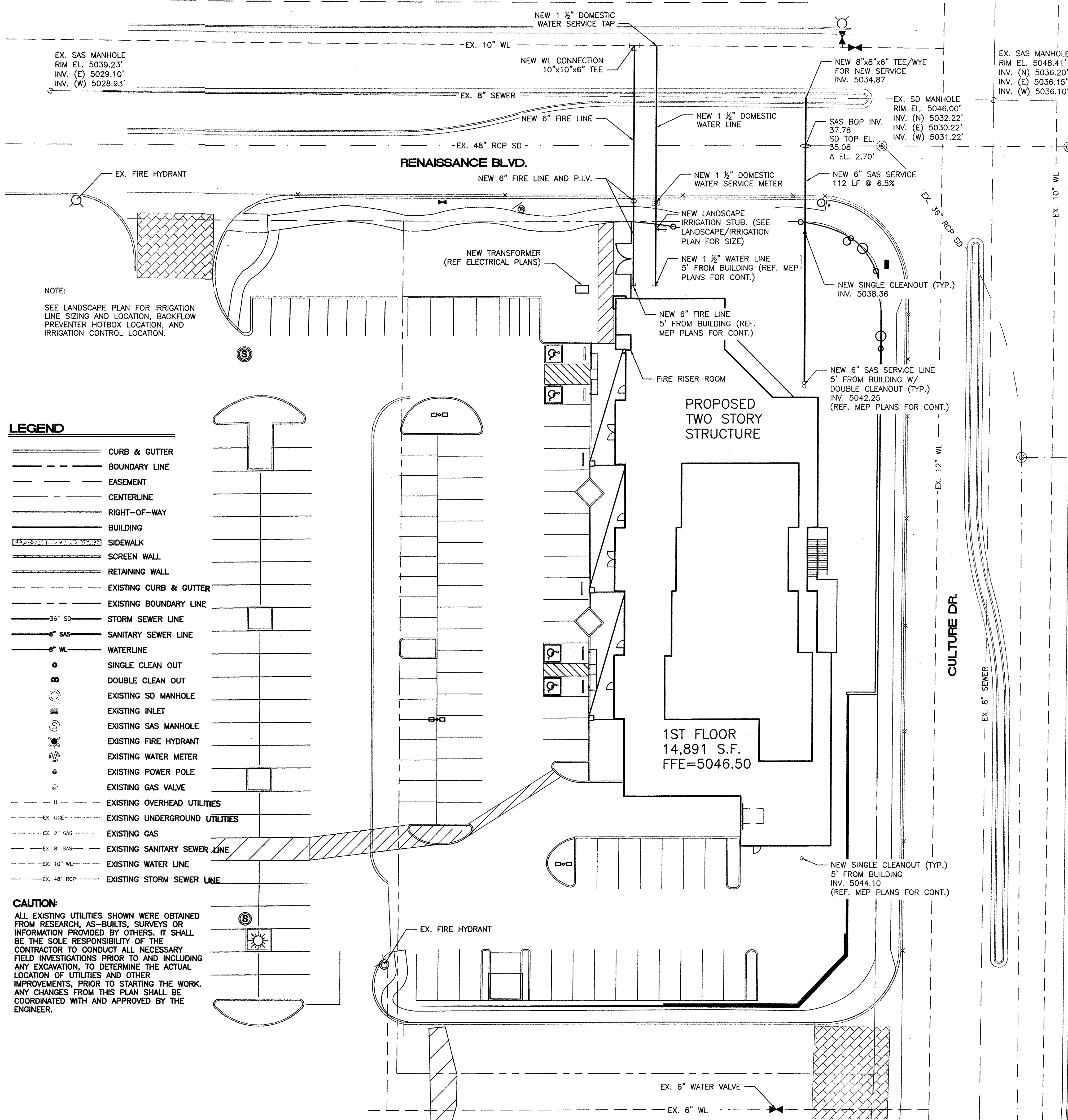
CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA ANGLE	CHORD DIRECTION	CHORD
C1	39.19	25.00	89°49'25"	N44°54'42"W	35.30
C2	13.30	360.30	2°06'52"	N01°01'19"E	13.30
C3	551.69	360.30	87°43'50"	N45°56'40"E	499.35
C4	203.74	291.00	40°06'53"	S70°08'10"W	199.60

LINE TABLE

LINE	LENGTH	BEARING
L1	393.89	S89°49'25"E
L2	162.08	S89°49'25"E
L3	295.83	S00°00'00"W
L4	36.37	S89°32'03"W
L5	751.18	N00°10'35"E

ENGINEER'S SEAL	TRACT 4A NORTH RENAISSANCE CENTER	DRAWN BY BDG
	AMENDED SITE PLAN FOR SUBDIVISION AND BUILDING PERMIT	DATE 11-06-03
		23104SPAA-11-06-03
		SHEET # 1
	TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	JOB # 200042



NOTICE TO CONTRACTORS

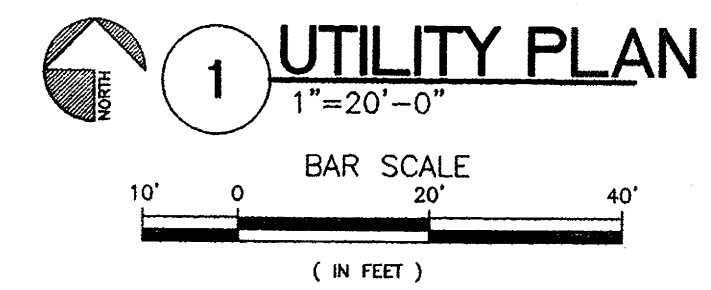
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTION. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

GENERAL NOTES:

1. ALL STUBS AND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
2. SEE ARCHITECTURAL/MEP PLANS FOR LIGHTING CONDUITS AND TELEPHONE LINES.
3. REFER TO LANDSCAPE/IRRIGATION PLANS FOR BACKFLOW PREVENTOR, HOTBOX, IRRIGATION CONTROL LOCATIONS AND DETAILS.

GENERAL UTILITY NOTES:

1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE MEP PLANS FOR WATER LINE RISER LOCATIONS.
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
7. ALL MANHOLES AND CLEANOUTS SHALL HAVE 8" THICK CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
9. PNM HAS NUMEROUS ELECTRIC FACILITIES NEAR THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER'S EXPENSE. IN SOME CASES, RELOCATIONS TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
10. PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
11. SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.



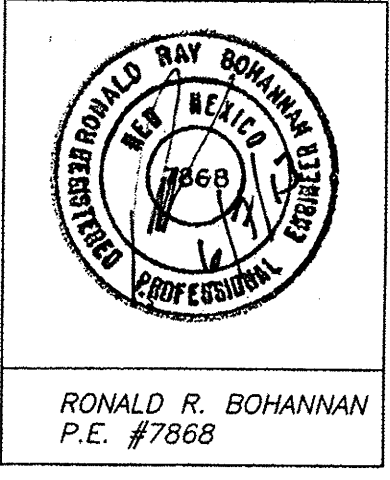
EX. SAS MANHOLE
RIM EL. 5039.23'
INV. (E) 5029.10'
INV. (W) 5028.93'

NOTE:
SEE LANDSCAPE PLAN FOR IRRIGATION LINE SIZING AND LOCATION, BACKFLOW PREVENTER HOTBOX LOCATION, AND IRRIGATION CONTROL LOCATION.

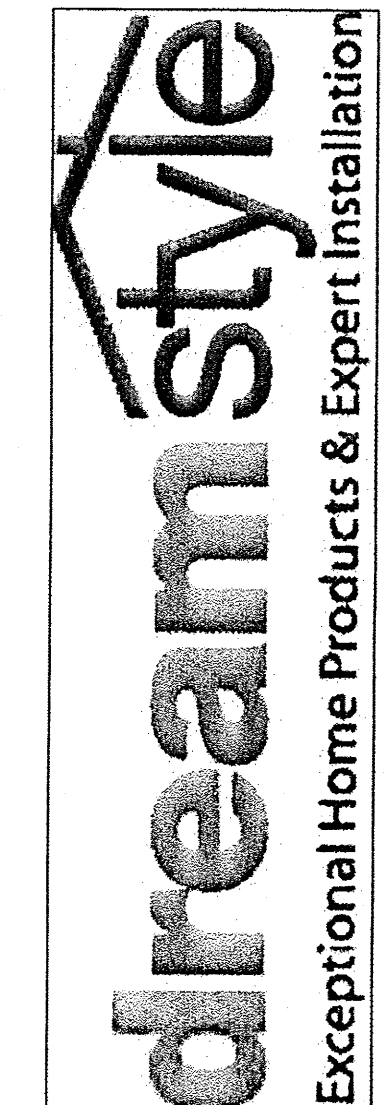
LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- 36" SD — STORM SEWER LINE
- 8" SAS — SANITARY SEWER LINE
- 8" WL — WATERLINE
- SINGLE CLEAN OUT
- ⊗ DOUBLE CLEAN OUT
- ⊙ EXISTING SD MANHOLE
- ⊙ EXISTING INLET
- ⊙ EXISTING SAS MANHOLE
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING WATER METER
- ⊙ EXISTING POWER POLE
- ⊙ EXISTING GAS VALVE
- EX. UGE — EXISTING OVERHEAD UTILITIES
- EX. UGE — EXISTING UNDERGROUND UTILITIES
- EX. 2" GAS — EXISTING GAS
- EX. 8" SAS — EXISTING SANITARY SEWER LINE
- EX. 10" WL — EXISTING WATER LINE
- EX. 48" RCP — EXISTING STORM SEWER LINE

CAUTION:
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS. PRIOR TO STARTING THE WORK, ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

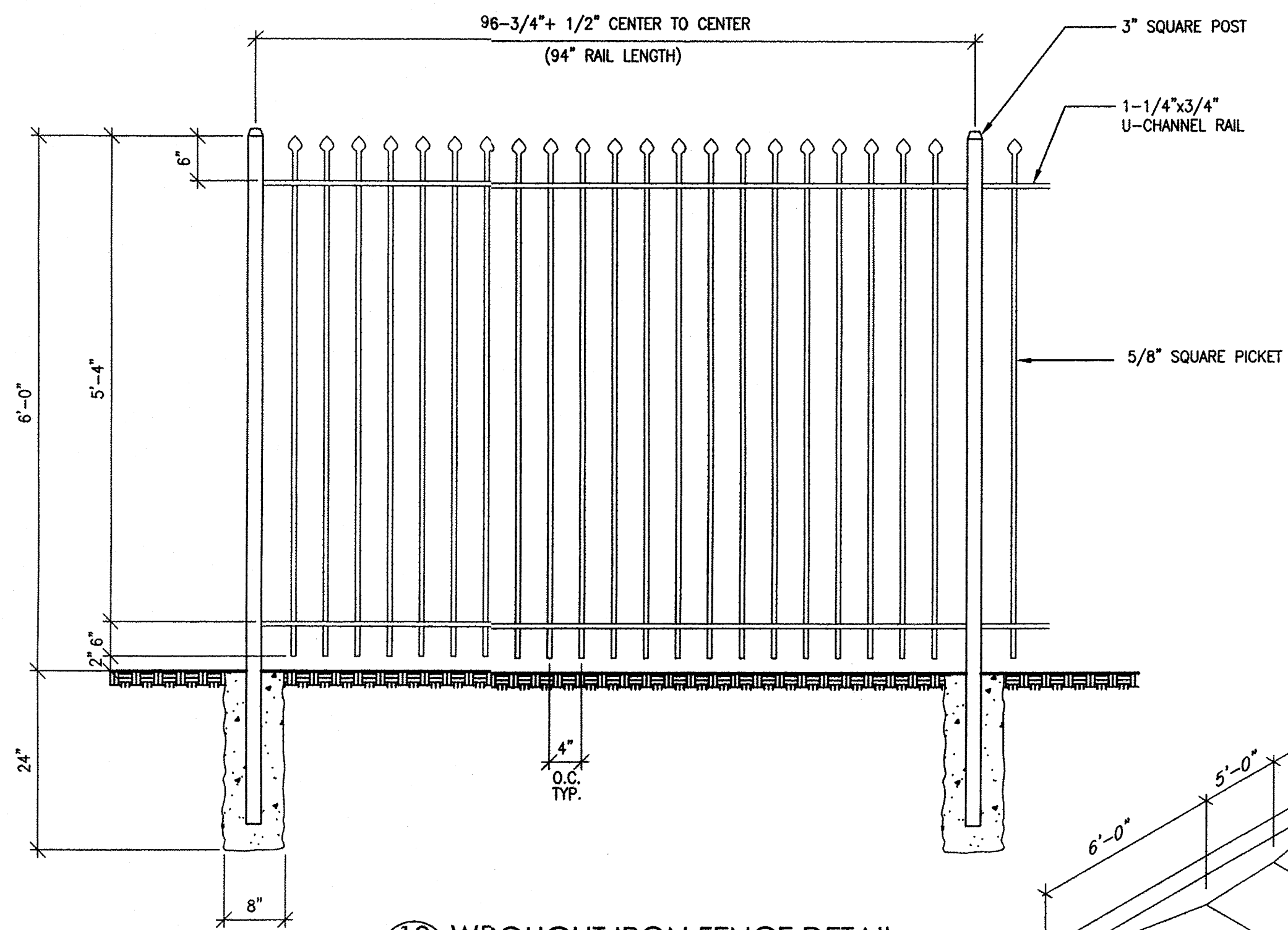


TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505) 858-3100
www.tterwest.com

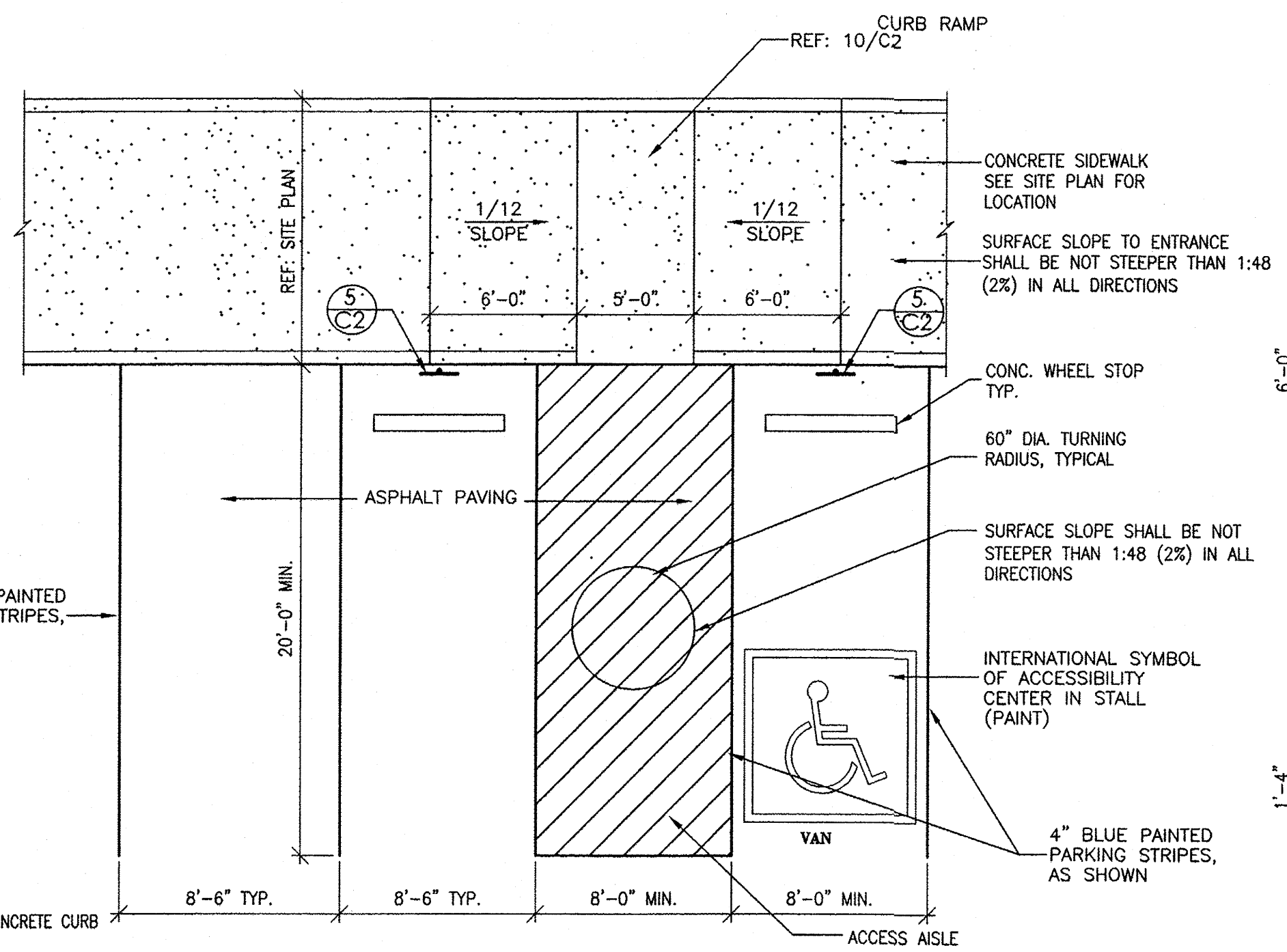


DreamStyle
MASTER UTILITY PLAN
ALBUQUERQUE, NM
PROJECT #1317

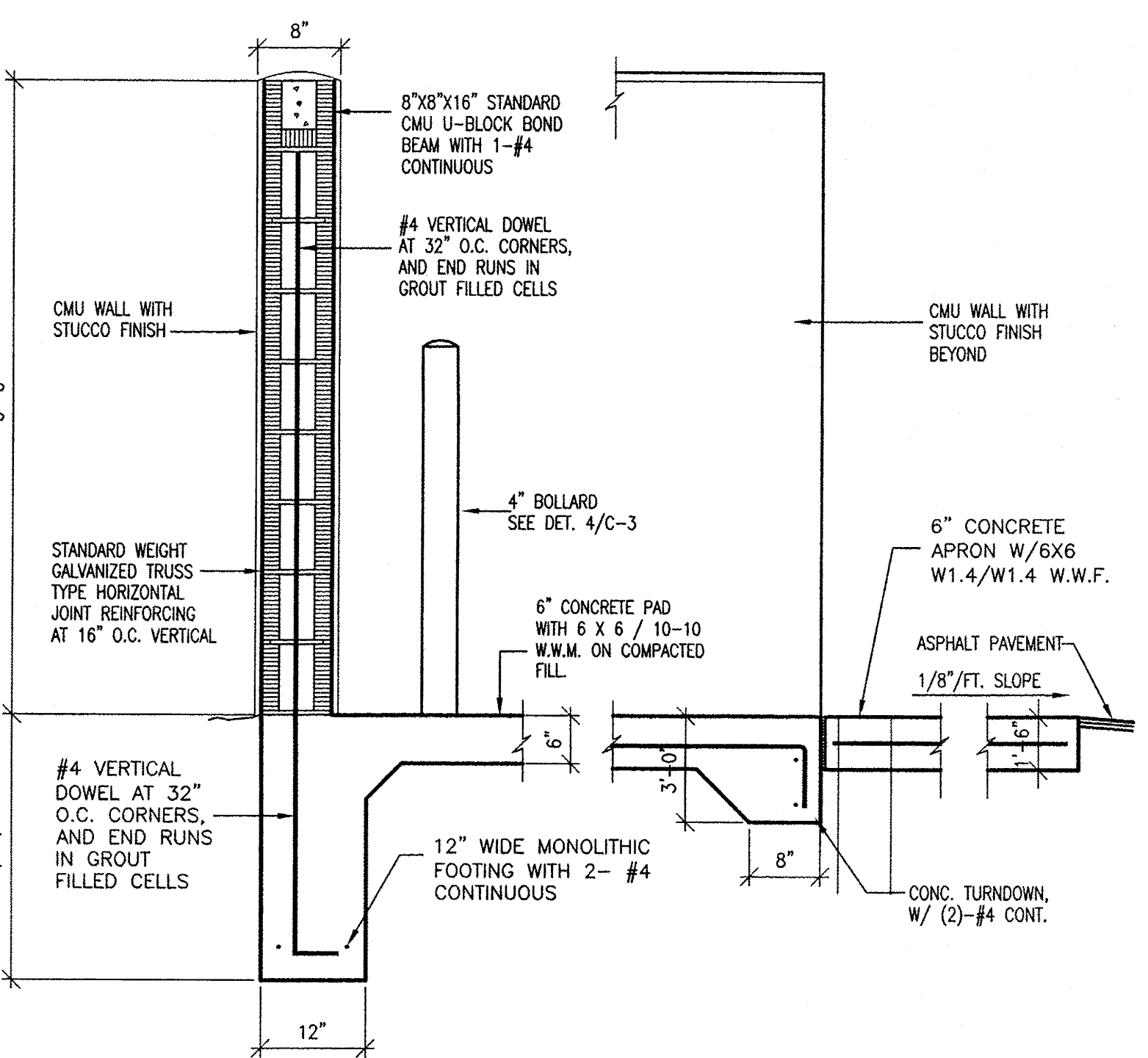
REVISION DATE
DATE 05-07-2013
SHEET NUMBER C-3



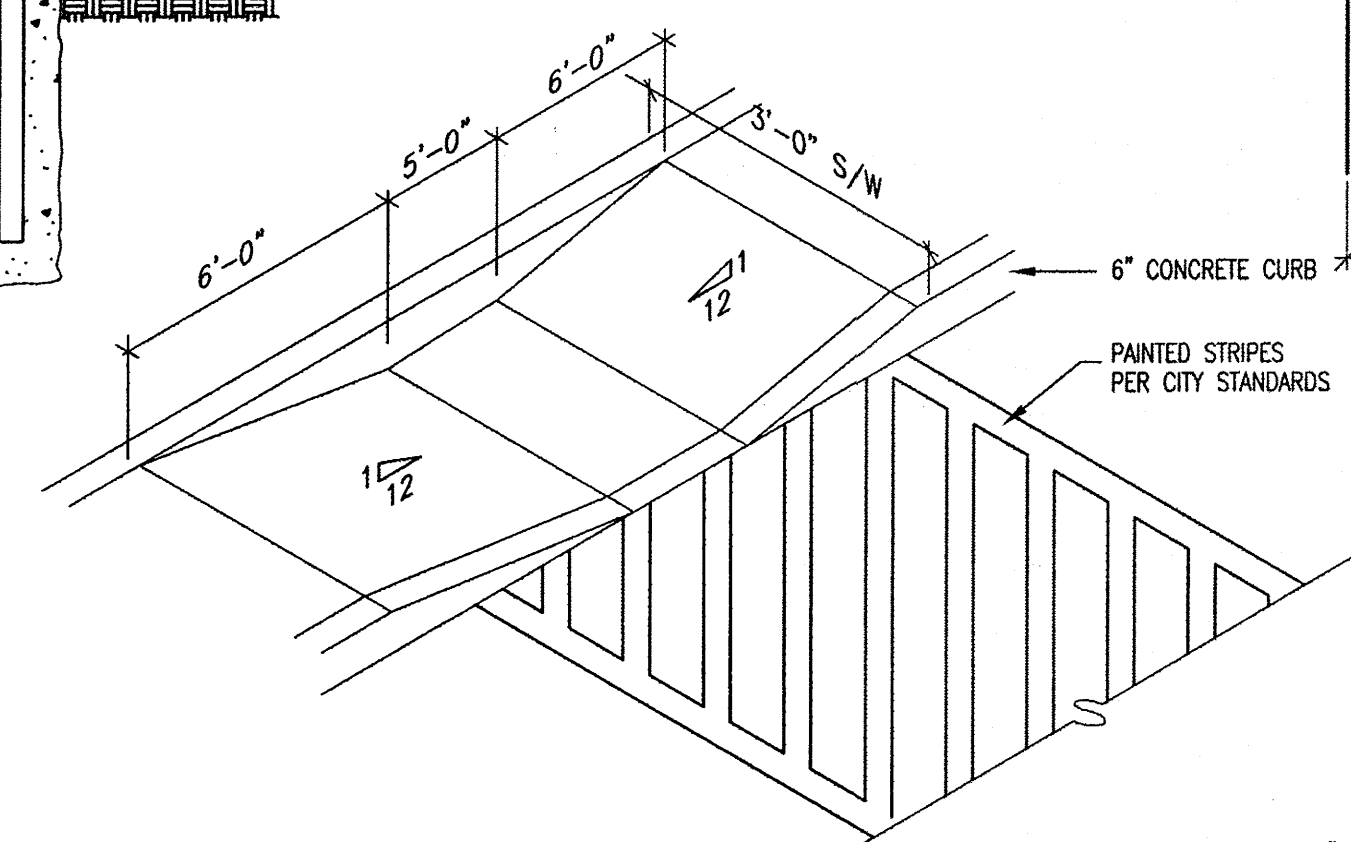
13 WROUGHT IRON FENCE DETAIL
C2 SCALE: 3/4" = 1'-0"



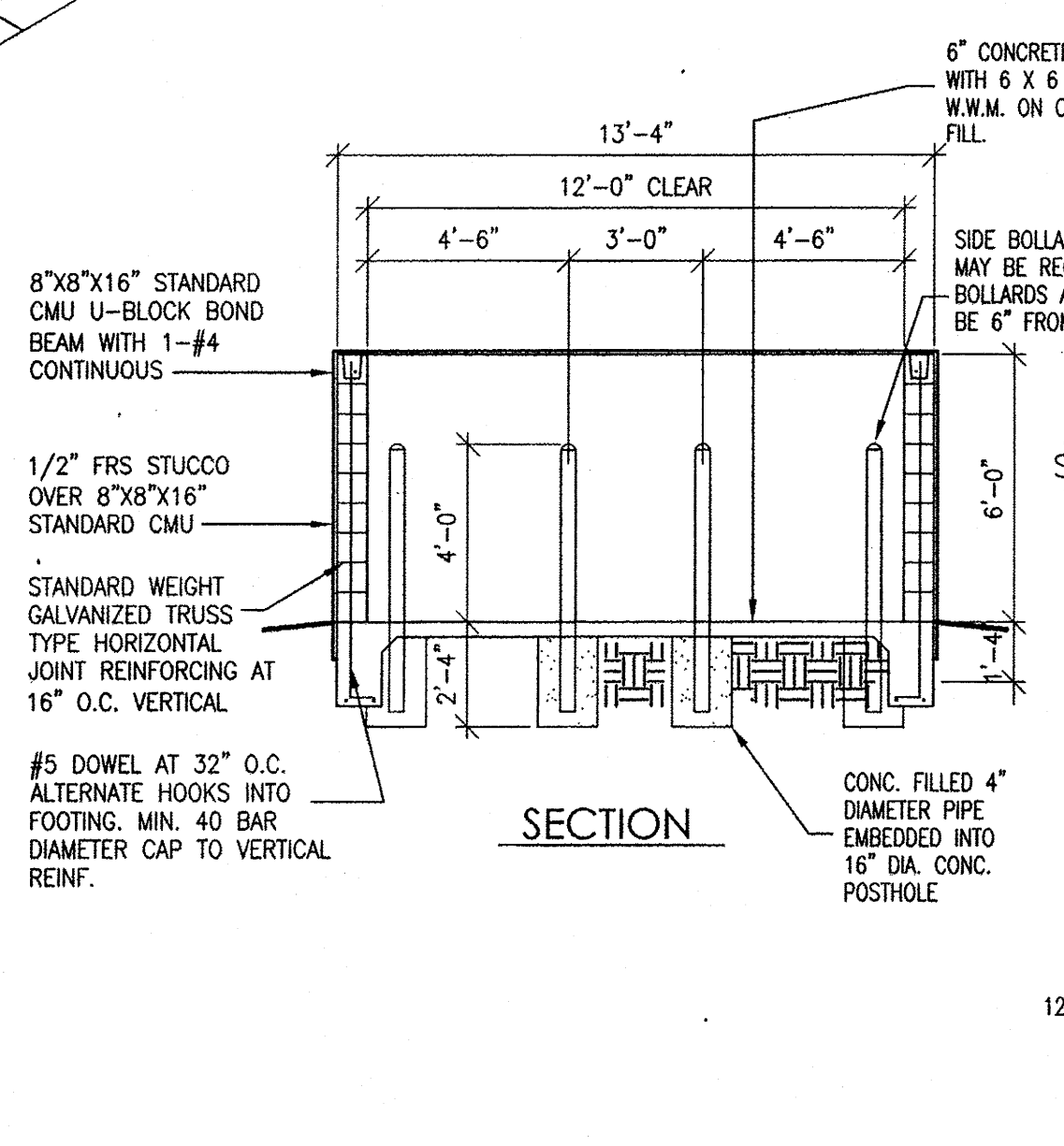
9 H.C. PARKING PLAN TYP.
C2 NOT TO SCALE



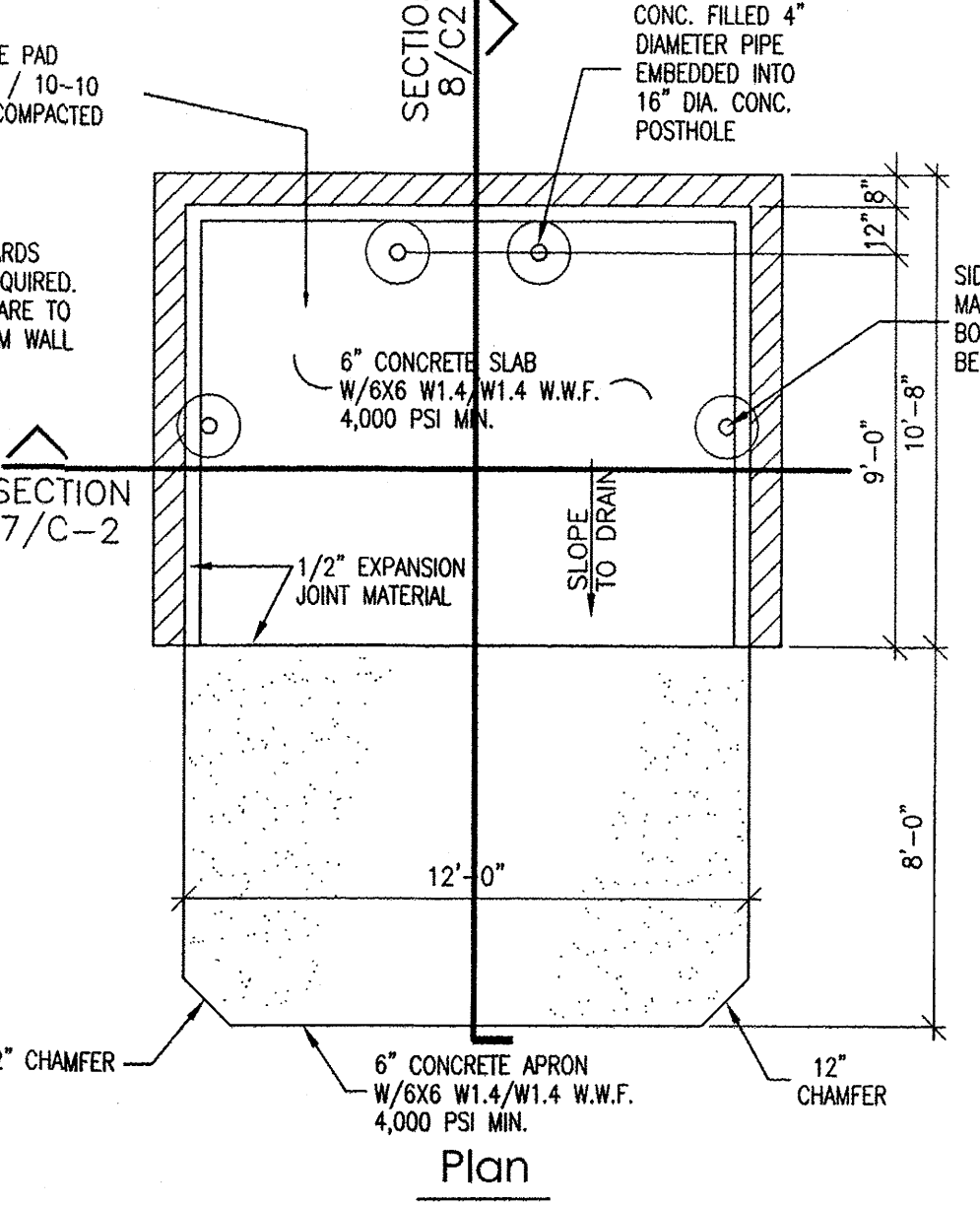
8 CMU WALL DETAIL AT DUMPSTER
C2 SCALE: 3/4" = 1'-0"



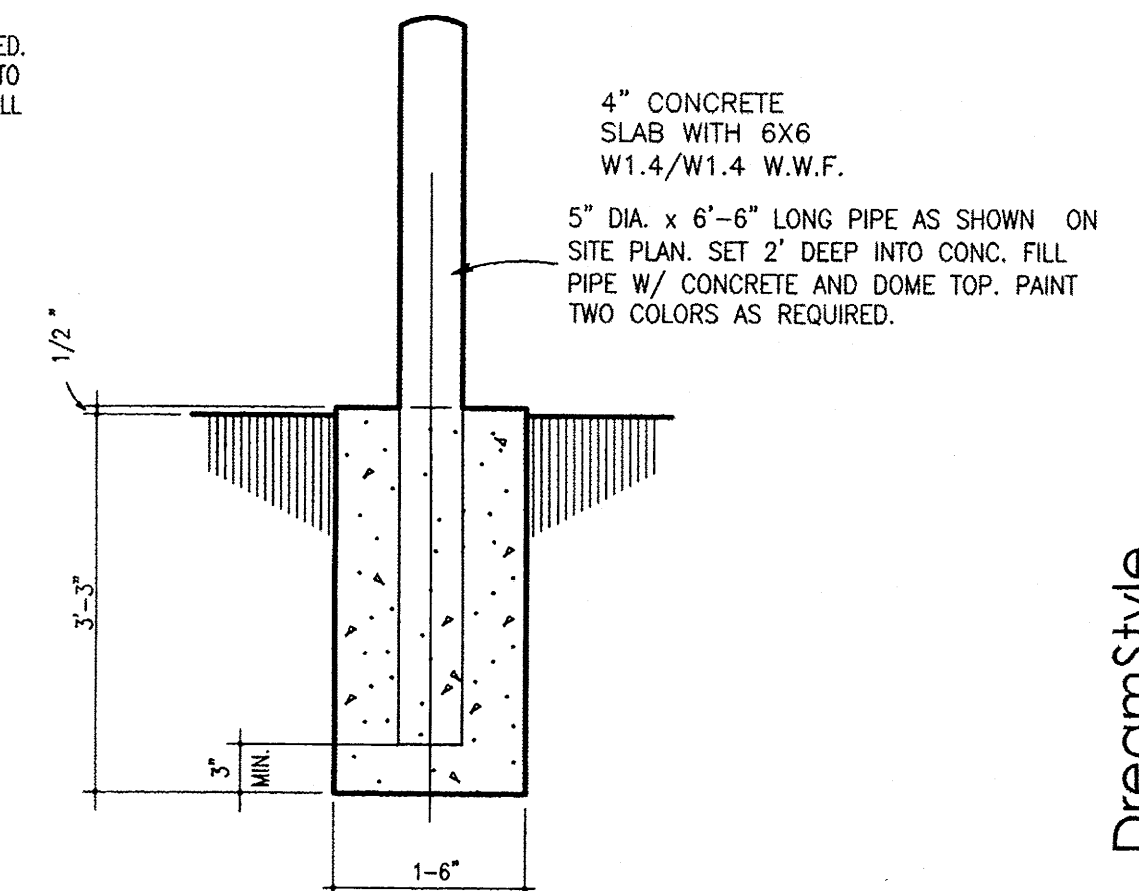
10 H.C. RAMP DETAIL
C2 SCALE: N.T.S.



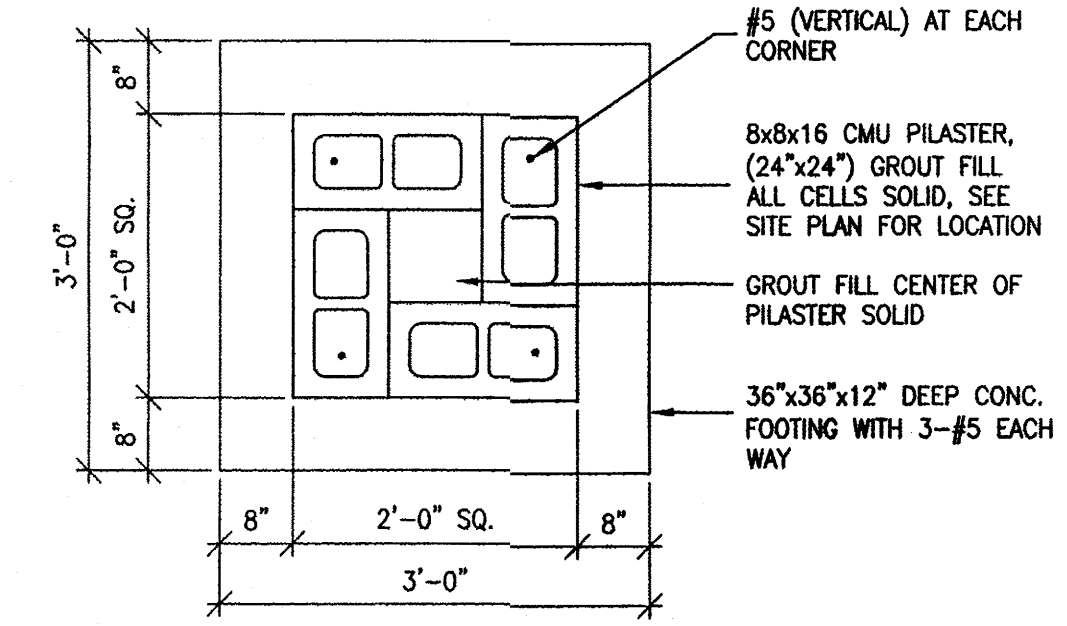
7 DUMPSTER ENCLOSER SECTION
C2 NOT TO SCALE



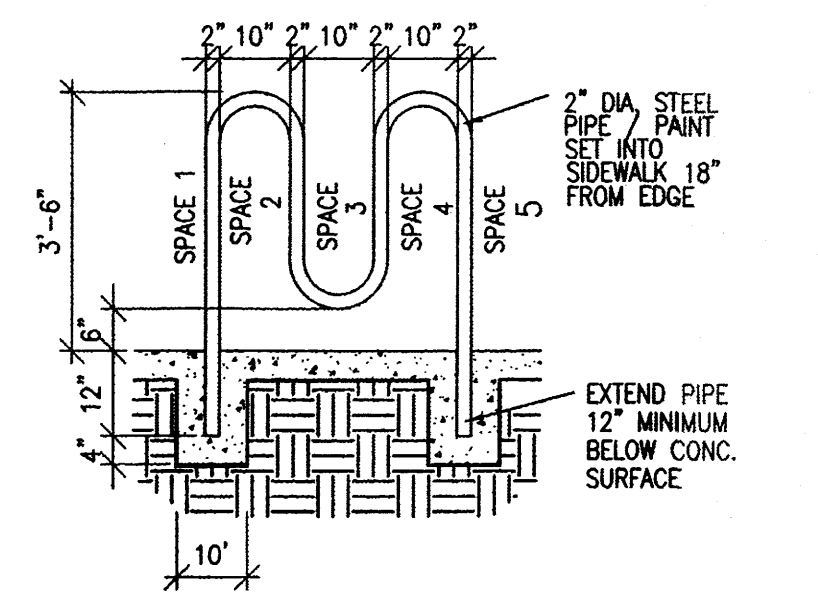
6 DUMPSTER ENCLOSER PLAN
C2 NOT TO SCALE



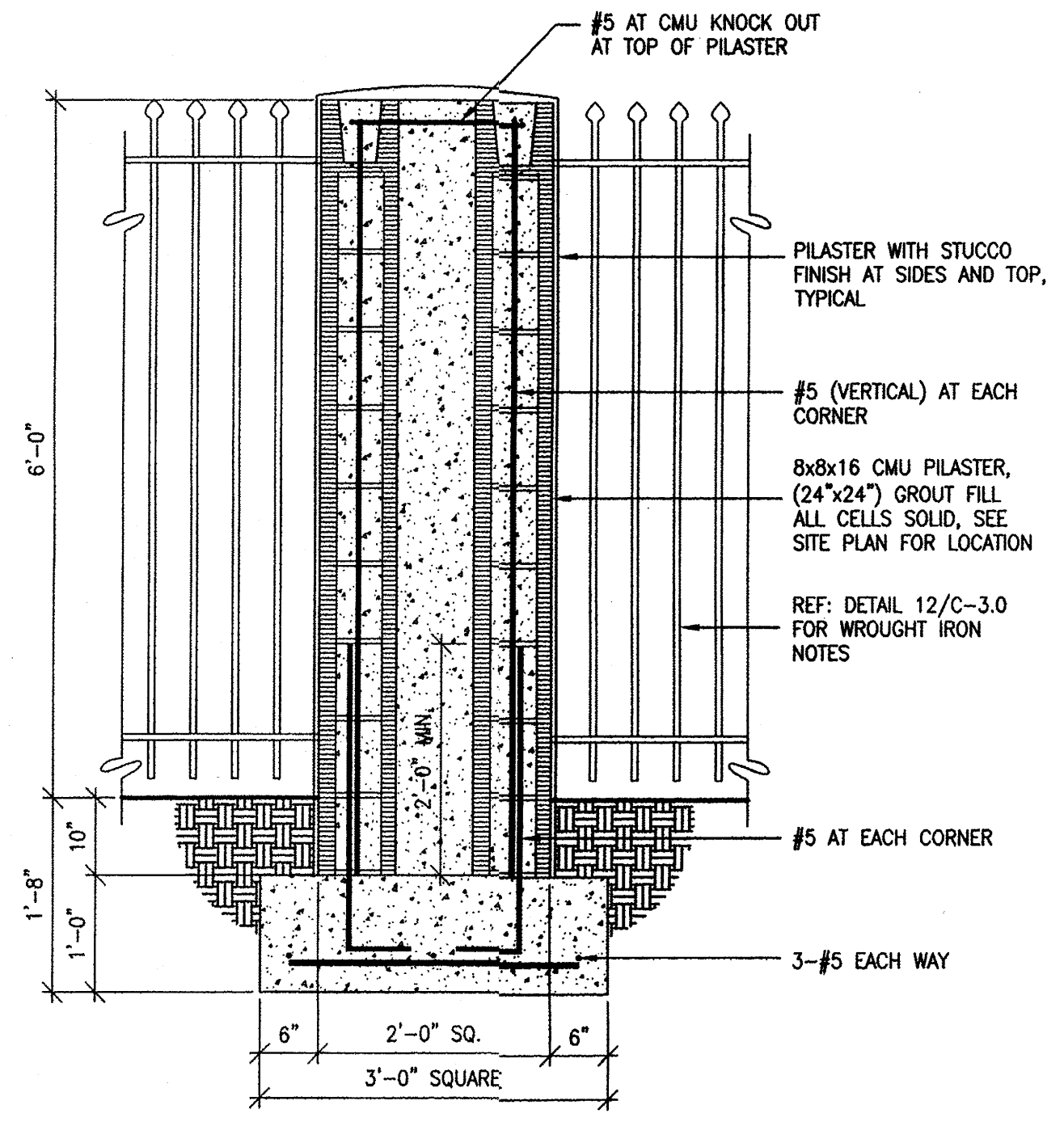
5 TYP. BOLLARD FOOTING
C2 SCALE: 3/4" = 1'-0"



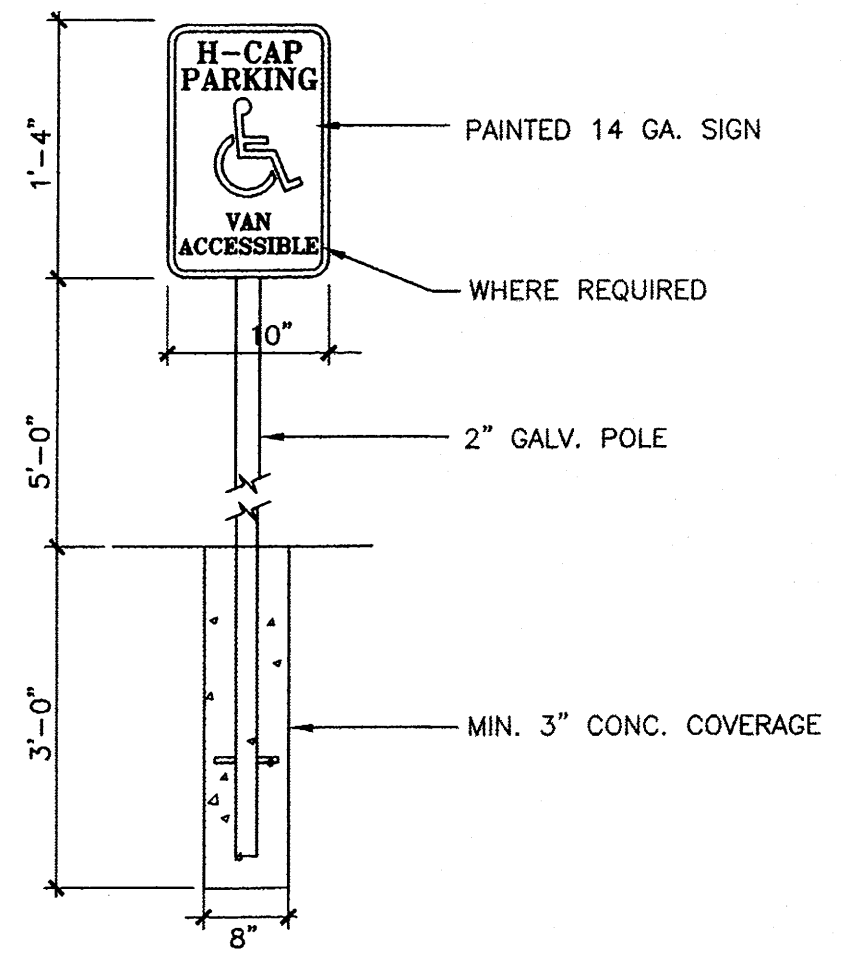
12A FOOTING PLAN VIEW
C2 SCALE: 3/4" = 1'-0"



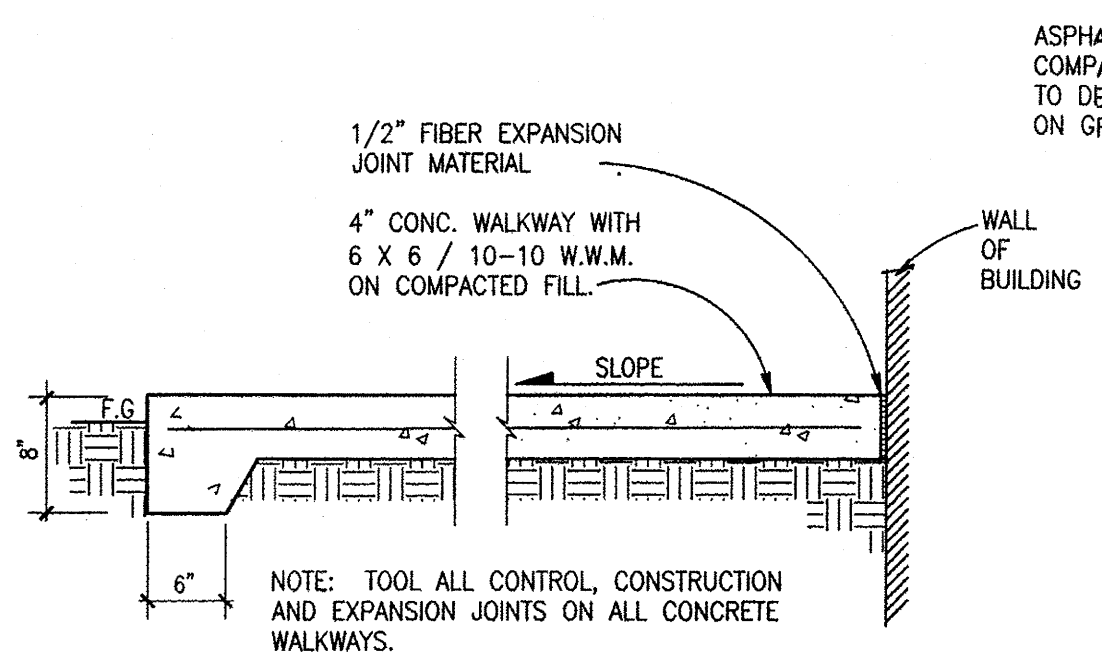
11 BICYCLE RACK
C2 SCALE: N.T.S.



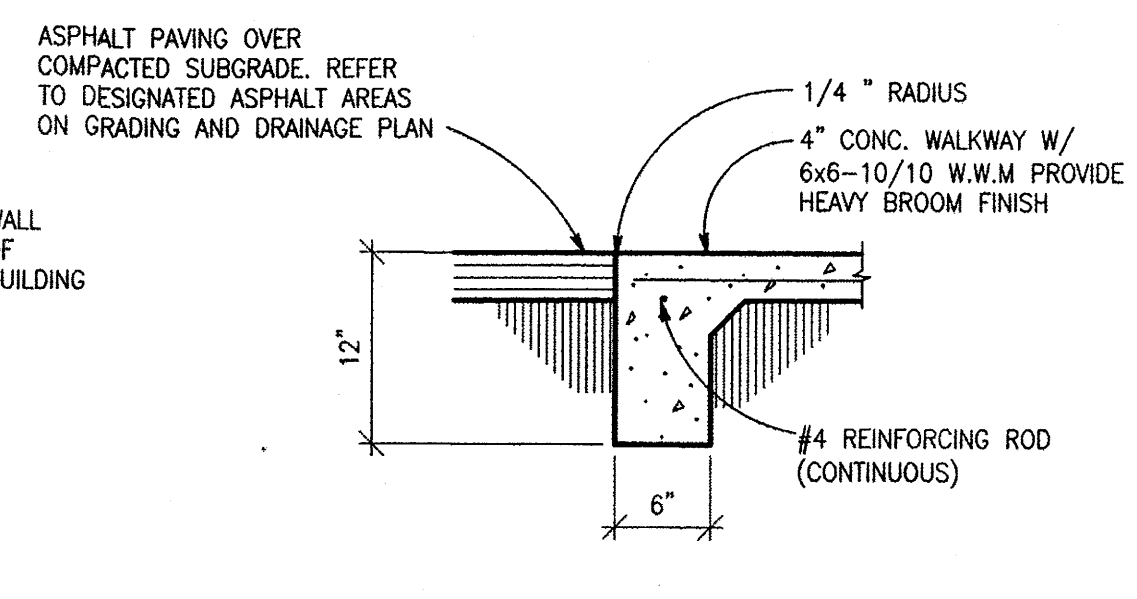
12 CMU PILASTER AT WROUGHT IRON FENCE
C2 SCALE: 3/4" = 1'-0"



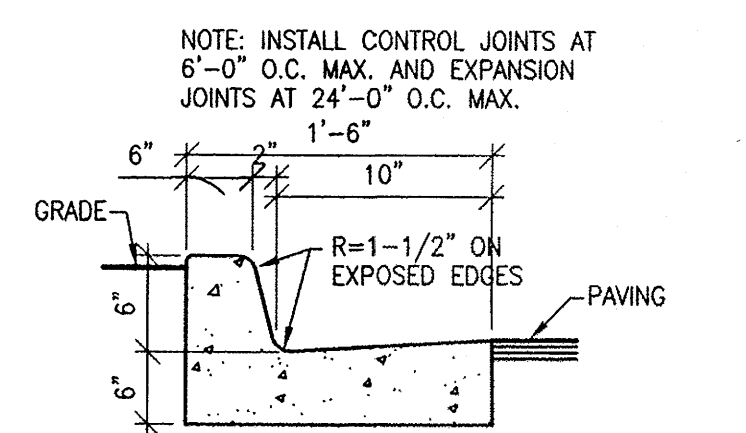
4 TYP. H.C. SIGN DETAIL
C2 SCALE: 1" = 1'-0"



3 TYP. SIDEWALK DETAIL
C2 SCALE: 1" = 1'-0"

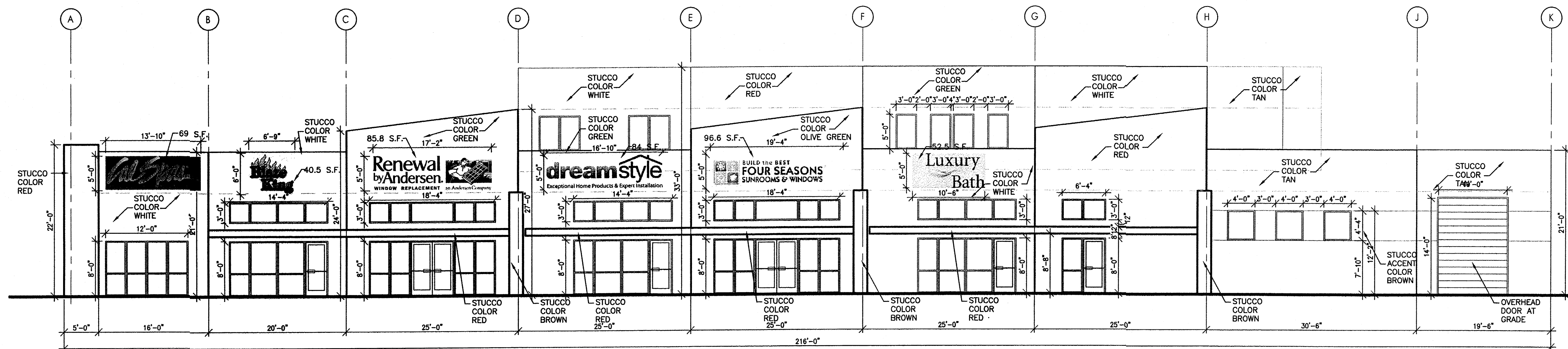


2 TYP. CONC. CURB AND SIDEWALK DETAIL
C2 SCALE: 1" = 1'-0"



1 CONCRETE CURB AND GUTTER
C2 N.T.S.

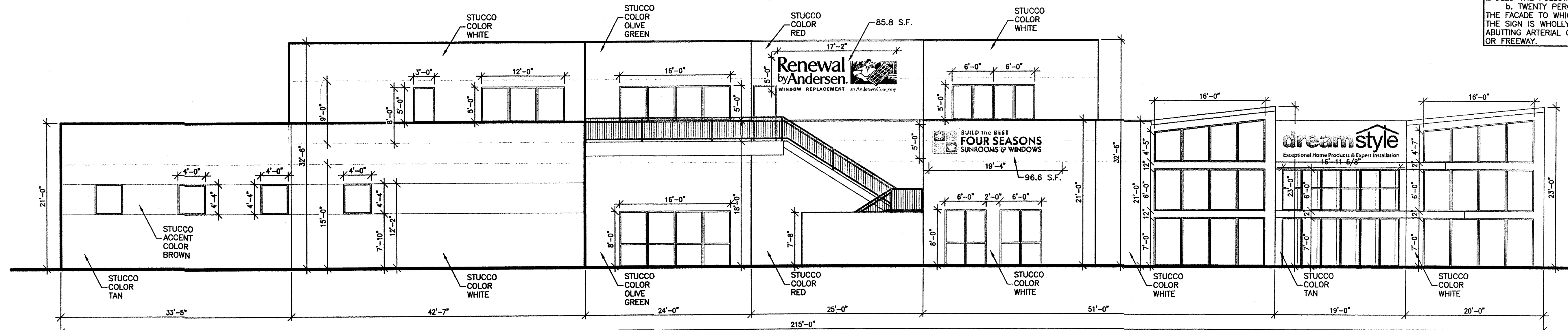
DreamStyle SITE DETAILS ALBUQUERQUE, NM PROJECT #1317
 REVISION DATE
 DATE 05-07-2013
 SHEET NUMBER C-5
 RBA PLANNING DESIGN
 1100 PARK AVE SW, SUITE 100
 ALBUQUERQUE, NM 87102
 WWW.RBAINC.COM



1 WEST BUILDING ELEVATION
1/8"=1'-0"

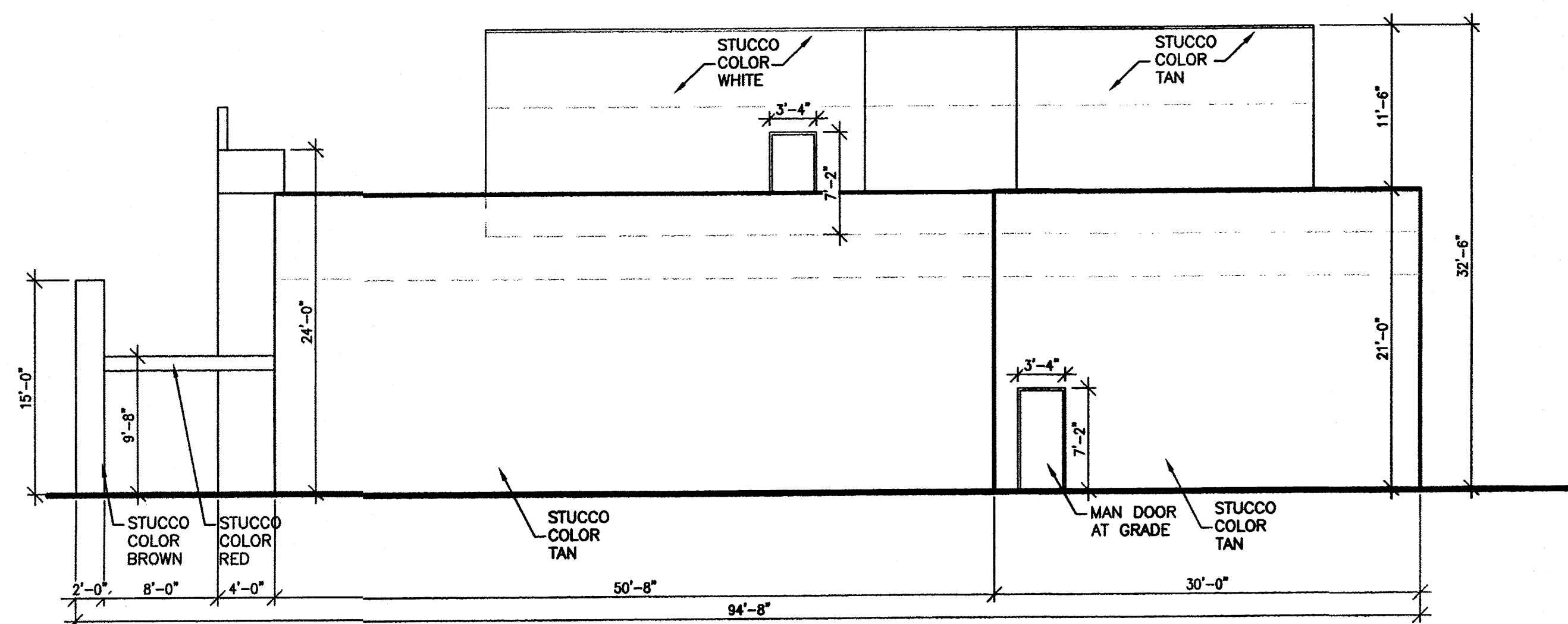
TOTAL BUILDING ELEVATION
SQUARE FOOT = 6,843 S.F.
TOTAL BUILDING SIGNAGE
SQUARE FOOT = 429 S.F.
WALL SIGN COVERAGE IS 6%

SECTION 14-16-2-19
IP INDUSTRIAL PARK ZONE
(25) SIGN, ON-PREMISES AS PROVIDED IN
14-14-3-5 OF THIS ZONING CODE, AND
FURTHER PROVIDED:
(c) SIZE
2. SIZE, BUILDING-MOUNTED SIGNS,
EXCEPT PROJECTING SIGNS, A
BUILDING-MOUNTED SIGN SHALL NOT
EXCEED THE FOLLOWING AREA:
b. TWENTY PERCENT OF THE AREA OF
THE FACADE TO WHICH IT IS APPLIED IF
THE SIGN IS WHOLLY VISIBLE FROM AN
ABUTTING ARTERIAL OR COLLECTOR STREET
OR FREEWAY.

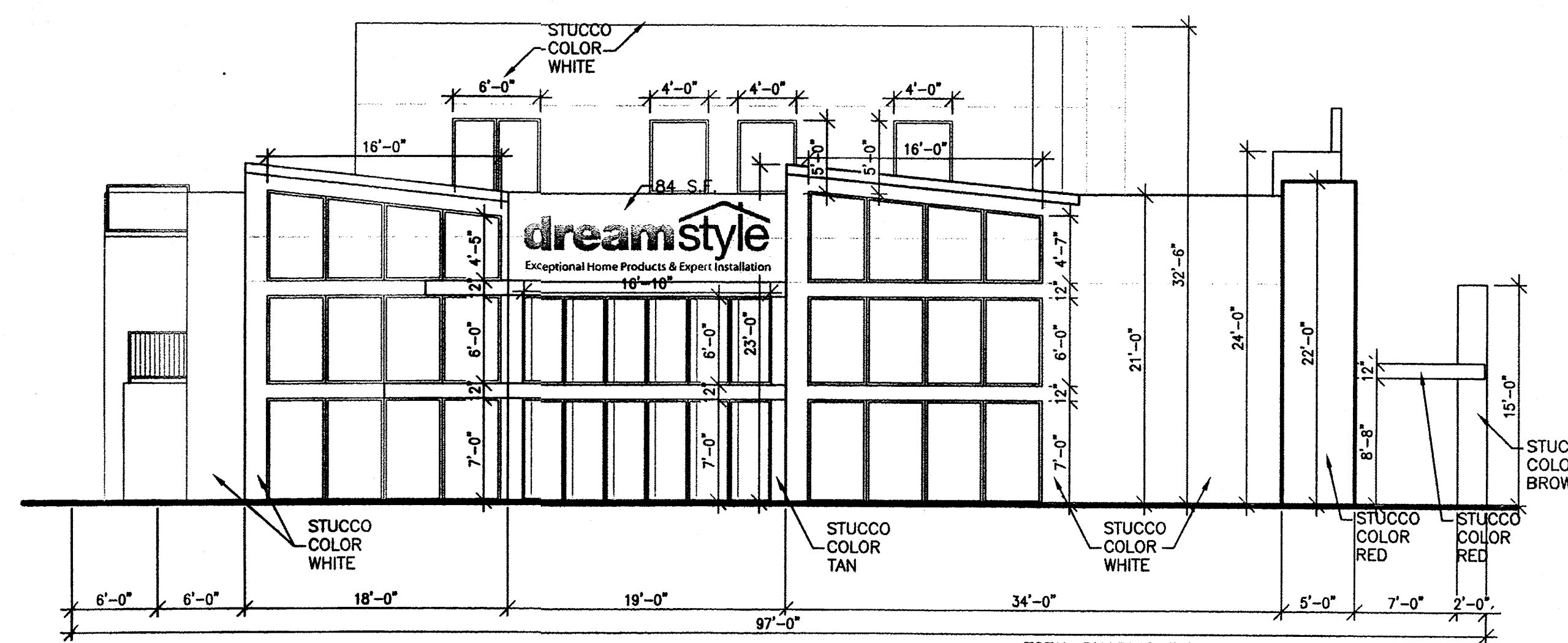


2 EAST BUILDING ELEVATION
1/8"=1'-0"

TOTAL BUILDING ELEVATION
SQUARE FOOT = 4,773 S.F.
TOTAL BUILDING SIGNAGE
SQUARE FOOT = 183 S.F.
WALL SIGN COVERAGE IS 3%



3 SOUTH BUILDING ELEVATION
1/8"=1'-0"

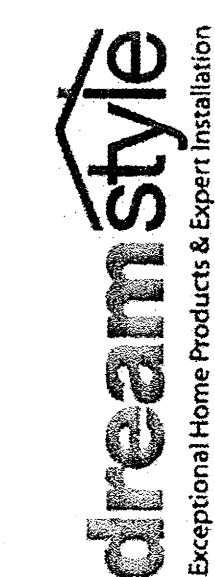


4 NORTH BUILDING ELEVATION
1/8"=1'-0"

TOTAL BUILDING ELEVATION
SQUARE FOOT = 3,060 S.F.
TOTAL BUILDING SIGNAGE
SQUARE FOOT = 84 S.F.
WALL SIGN COVERAGE IS 2%

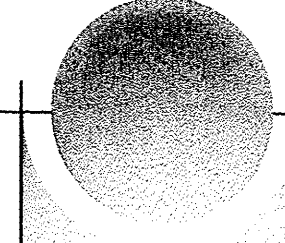


DreamStyle
BUILDING ELEVATIONS
ALBUQUERQUE, NM
PROJECT #1317

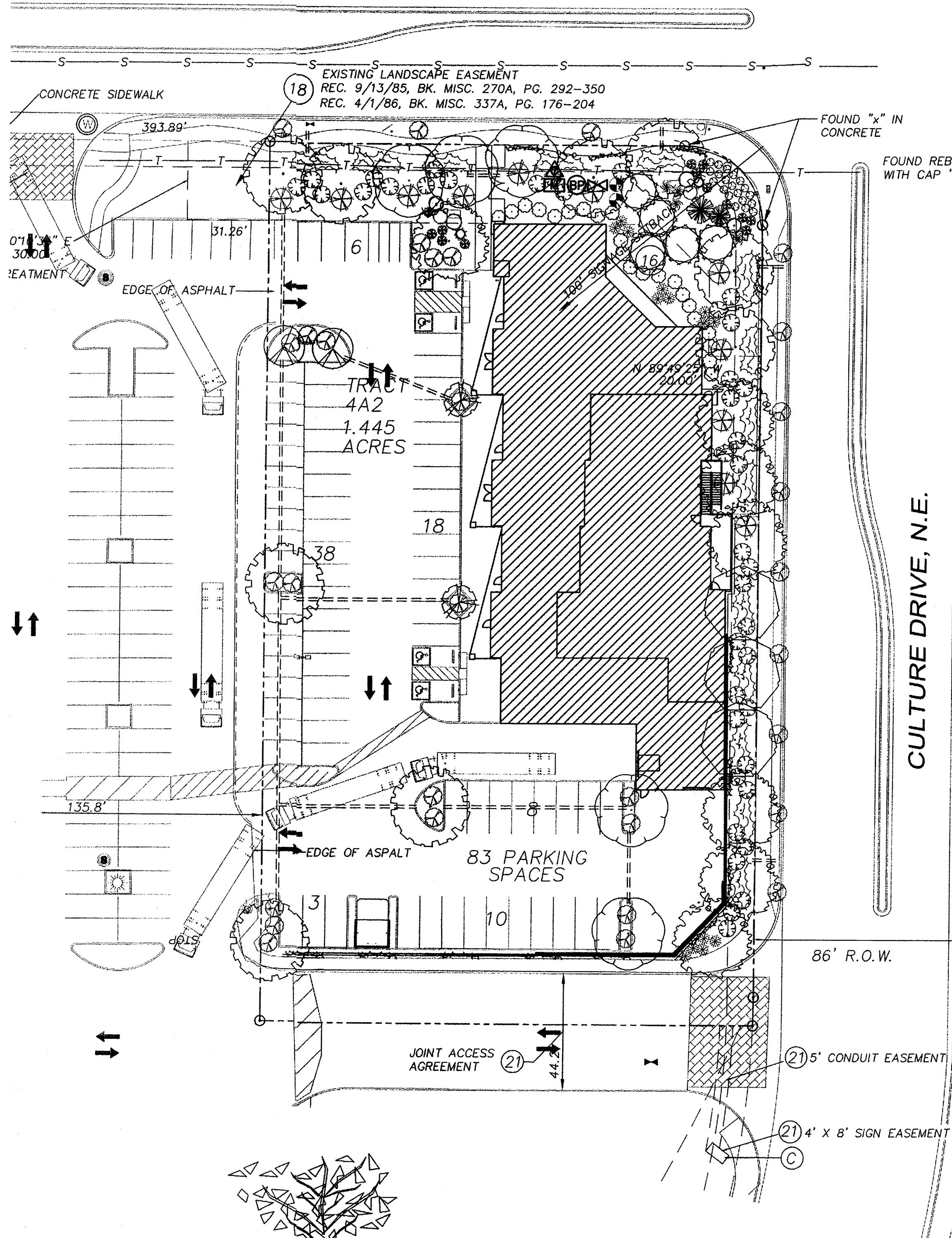


REVISION DATE 05-22-2013 06-06-2013
DATE 05-07-2013
SHEET NUMBER A-7.0

RBA
ARCHITECTURE
PLANNING
DESIGN



1000 Paul Ave SW
Albuquerque, NM 87102
505.833.8888
www.rba.com



PLANT LEGEND

- TREES**
- HONEY LOCUST (M) 7
Gleditsia triacanthos
4" Cal.
 - CHINESE PISTACHE (M) 9
Pistachia chinensis
4" Cal.
 - SHUMARD OAK (M) 3
Quercus shumardii
4" Cal.
 - FLOWERING PEAR (M+) 4
Fyrus calleryana
4" Cal.
 - PURPLE-LEAF PLUM (M) 2
Fruilus spp.
4" Cal.
 - DESERT WILLOW (L) 5
Chilopsis linearis
15 Gal.
- ACCENTS**
- PALM YUCCA (L) 2
- SHRUBS**
- REDTWIN DOGWOOD (M+) 2
Cornus stolonifera
5 Gal. 64sf
 - FORSYTHIA (M) 2
Forsythia intermedia
5 Gal. 100sf
 - RUSSIAN SAGE (M) 2
Perovskia atriplicifolia
5 Gal. 36sf
 - * PARNEY COTONEASTER 11
Cotoneaster laevis
5 Gal. 2'-4" Inst./B' x 12' maturity
Water (M) Ailery (L) 144sf
- COMMON HACKBERRY (M) 5**
Celtis occidentalis
4" Cal.
- DWARF MAHONIA (M) 14**
Mahonia aquifolium 'Compacta'
5 Gal. 36sf
- NANDINA (M) 22**
Nandina domestica
5 Gal. 25sf
- BARBERRY (M) 2**
Berberis spp.
5 Gal. 4sf
- MAIDENRASS (M) 4**
Miscanthus sinensis
5 Gal. 16sf
- CHAMISA (L) 10**
Chrysothamnus nauseosus
5 Gal. 25sf
- HONEYBUCKLE (M) 31**
Lonicera sempervirens
5 Gal. 144sf
Unstaked-groundcover
- REGAL MIST (M) 14**
Muhlenbergia capillaris
5 Gal. 16sf
- WILDFLOWER 20**
1 Gal. 4sf
Does not count toward live ground coverage
- GREYLEAF COTONEASTER (M) 24**
Cotoneaster buxifolius
5 Gal. 81sf
Symbol indicates 2 plants
- VINES**
- TRUMPET VINE (M) 9
Campsis radicans
5 Gal.
- HARDSCAPES**
- SANTA FE BROWN GRAVEL WITH FILTER FABRIC MINIMUM 3" DEPTH

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel to a minimum depth of 3" over Filter Fabric shall be placed in all pervious landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

STREET TREE REQUIREMENTS
Street trees required under the COA Street Tree Ordinance are as follows:

Name of Street Renaissance Blvd
Required # 7 Provided # 7

Name of Street Culture Dr
Required # 11 Provided # 11

PARKING LOT TREE REQUIREMENTS
Shade trees required under the COA Parking Lot Tree Ordinance are as follows:

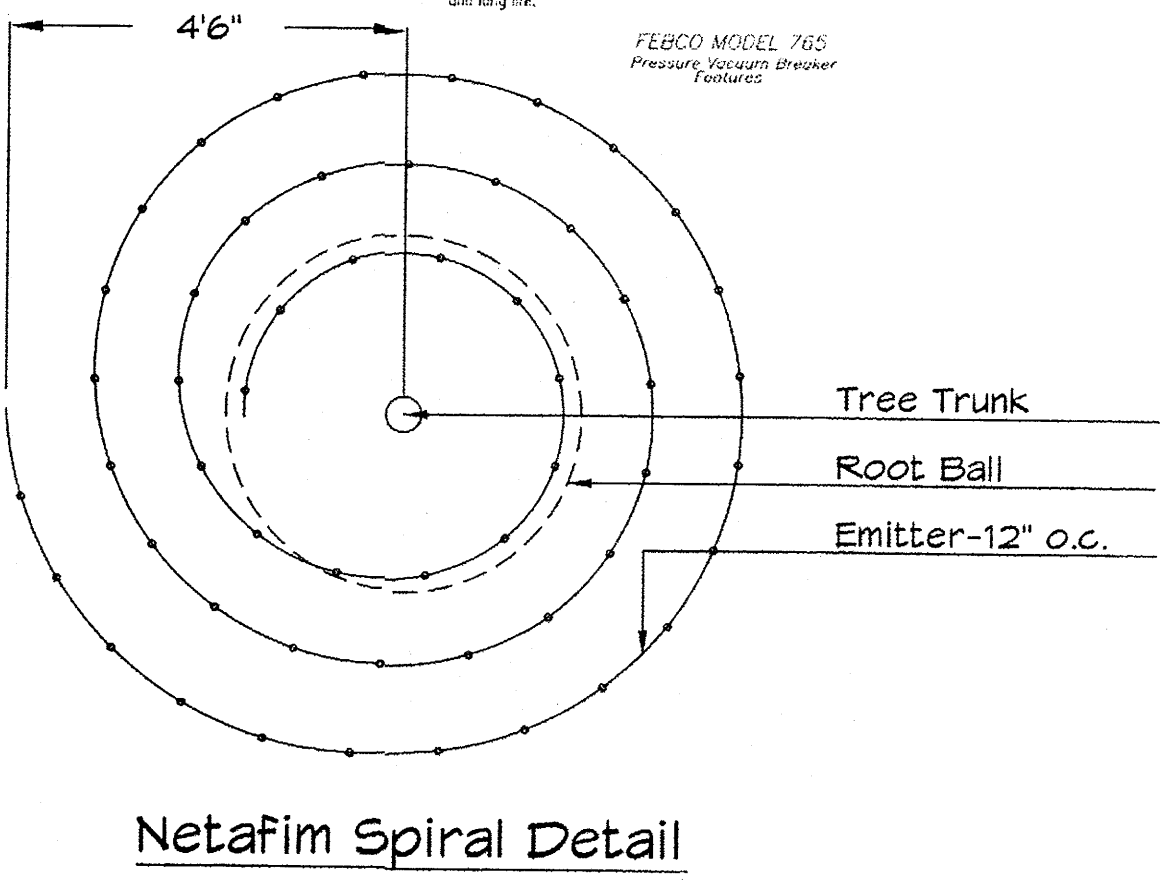
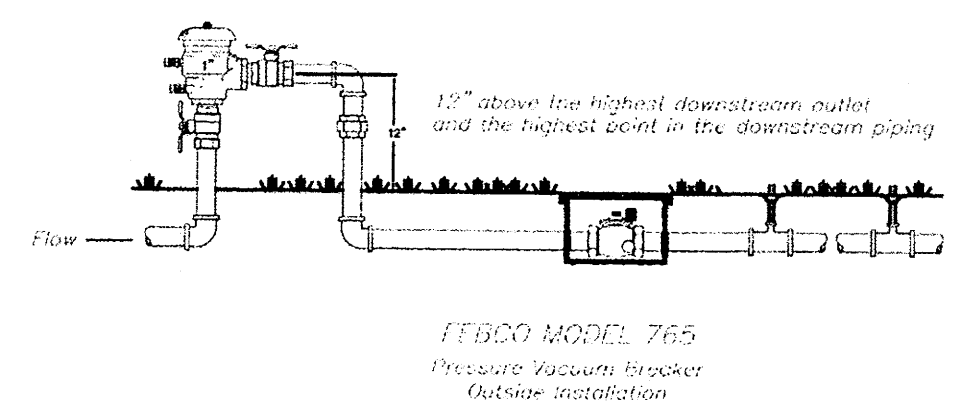
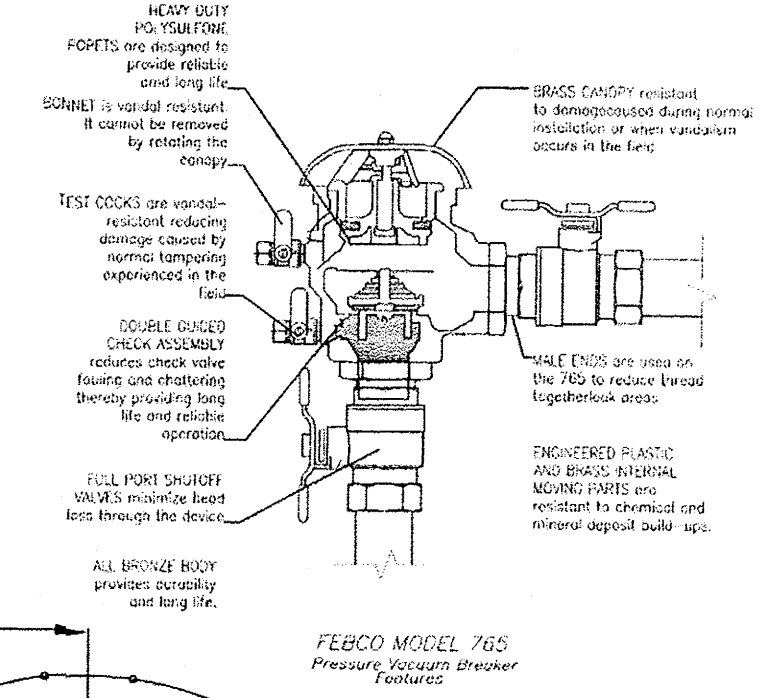
1 Shade tree per 10 spaces
Required # 8 Provided # 8

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	62944	square feet
TOTAL BUILDINGS AREA	15088	square feet
NET LOT AREA	47856	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	7178	square feet
TOTAL BED PROVIDED	13710	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	10321	square feet
TOTAL GROUND COVER PROVIDED	10605 (77%)	square feet
TOTAL SOD AREA (max. 20% of landscape required)	0 (0%)	square feet
TOTAL LANDSCAPE PROVIDED	13710 (28%)	square feet

- IRRIGATION LEGEND**
- BACKFLOW PREVENTOR
 - CONTROLLER
 - MASTER VALVE
 - PSA VALVE
 - WATER METER
 - SLEEVE, 2X PIPE TO BE SLEEVED.

NOTE TO CLIENT:
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.



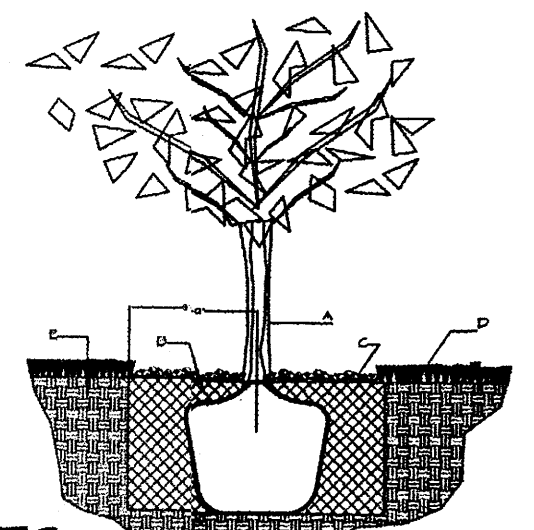
GENERAL NOTES:

- ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
- TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
- PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
- PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL...

CONSTRUCTION NOTES:

- TREE
- BACKFILL WITH EXISTING SOIL.
- 4" DEPTH OF BARK MULCH.
- TURF AT FINISH GRADE.
- UNDISTURBED SOIL.

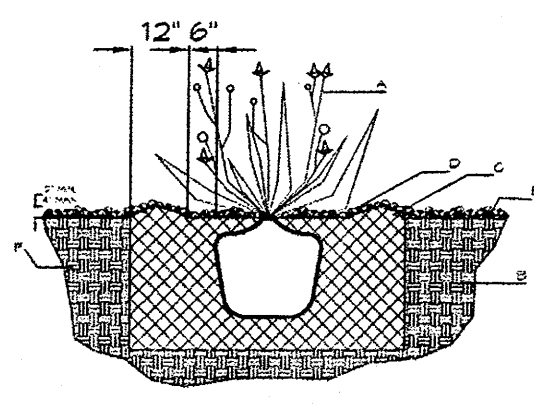
TREE PLANTING DETAIL NTS



GENERAL NOTES:

- THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

SHRUB PLANTING DETAIL NTS

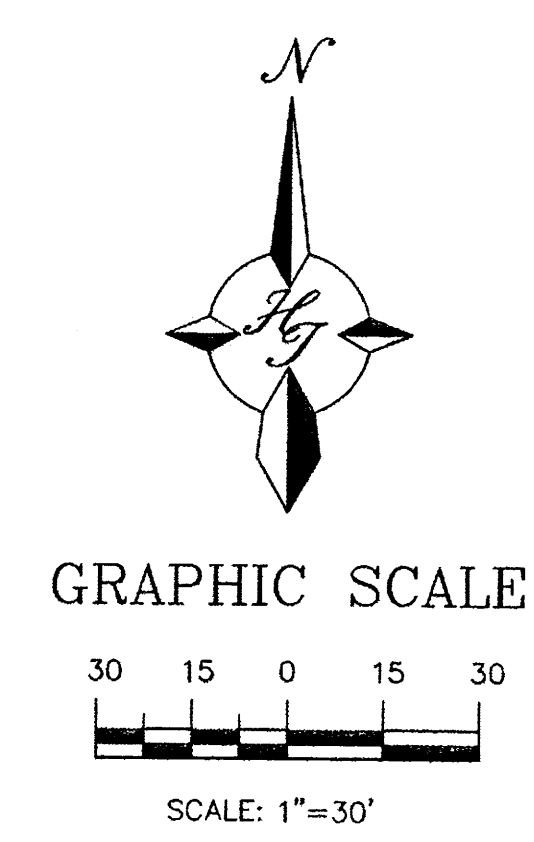


CONSTRUCTION NOTES:

- SHRUB.
- BACKFILL WITH EXISTING SOIL.
- EARTH BERM AROUND WATER RETENTION BASIN.
- 4" DEPTH OF BARK MULCH.
- FINISH GRADE.
- UNDISTURBED SOIL.

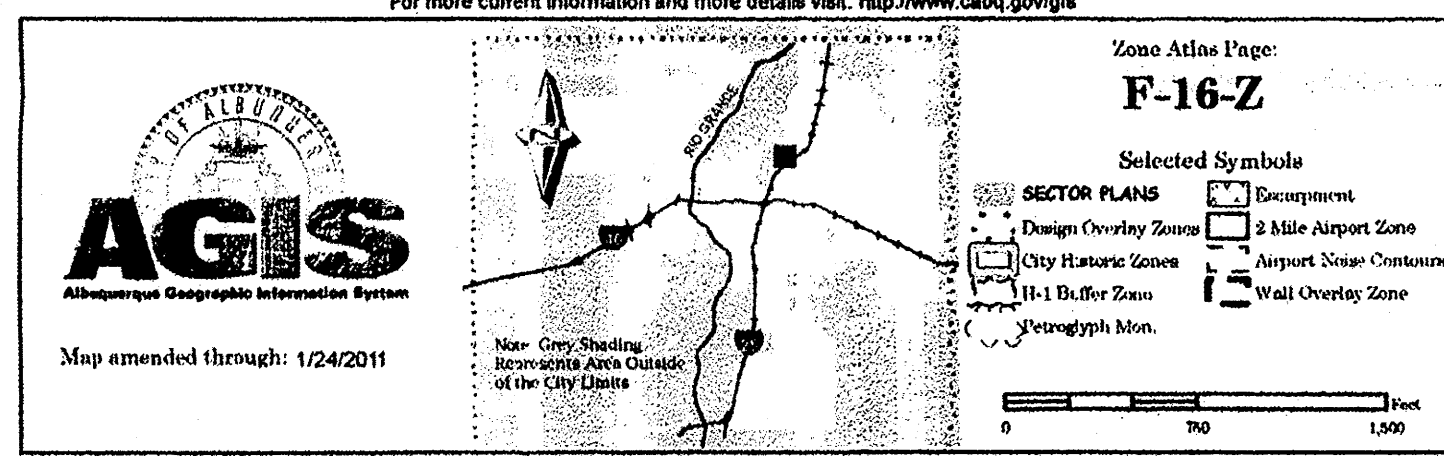
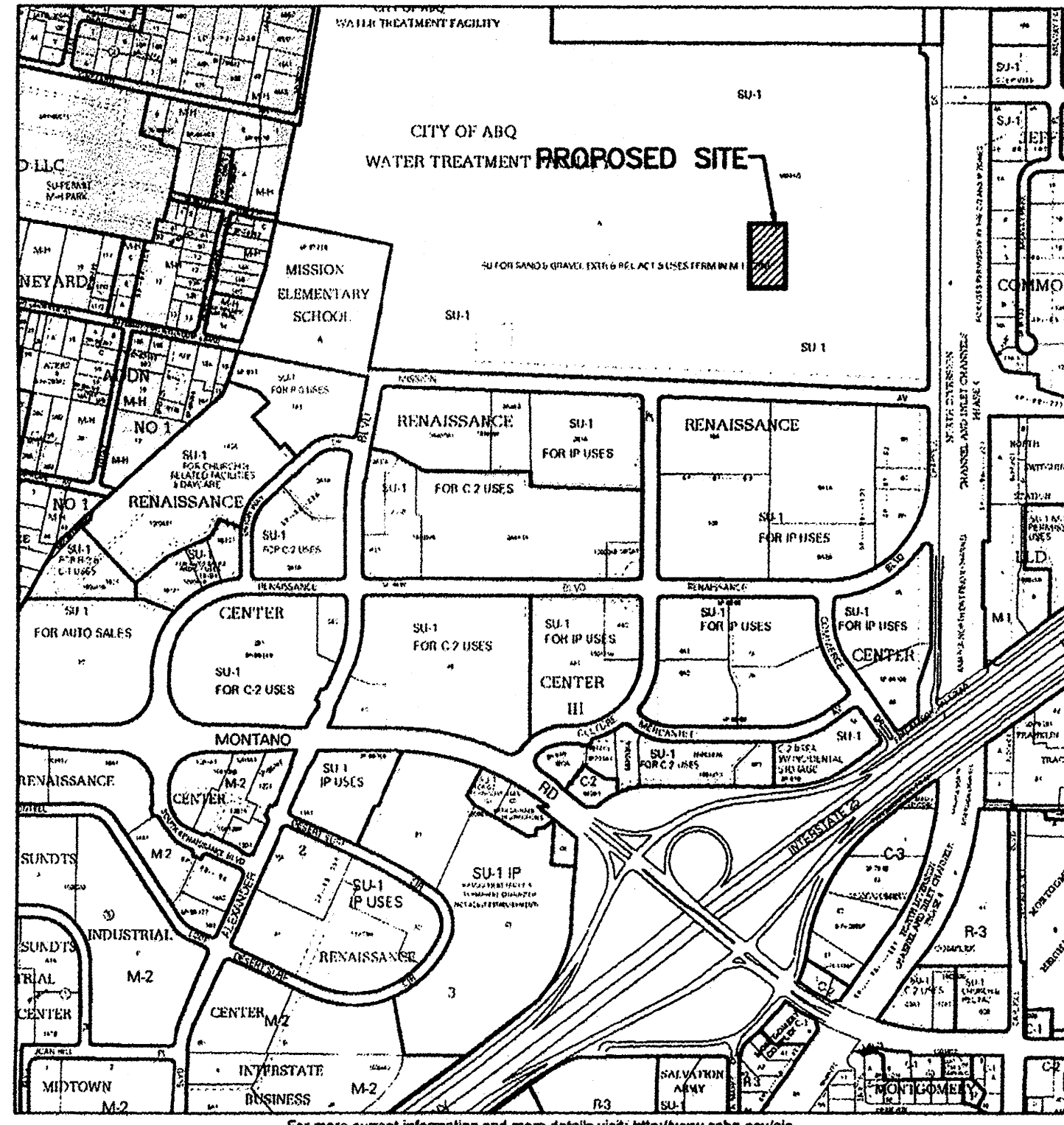
DreamStyle
 LANDSCAPING PLAN
 ALBUQUERQUE, NM
 PROJECT #1317

REVISION DATE	
DATE	05-07-2013
SHEET NUMBER	L-1



The Hilltop
 LANDSCAPE ARCHITECTS & CONTRACTORS
 Cont. Lic. #26458
 7909 Edith N.E.
 Albuquerque, NM 87184
 Ph. (505) 898-9690
 Fax (505) 898-7737
 cmj@hilltoplandscaping.com

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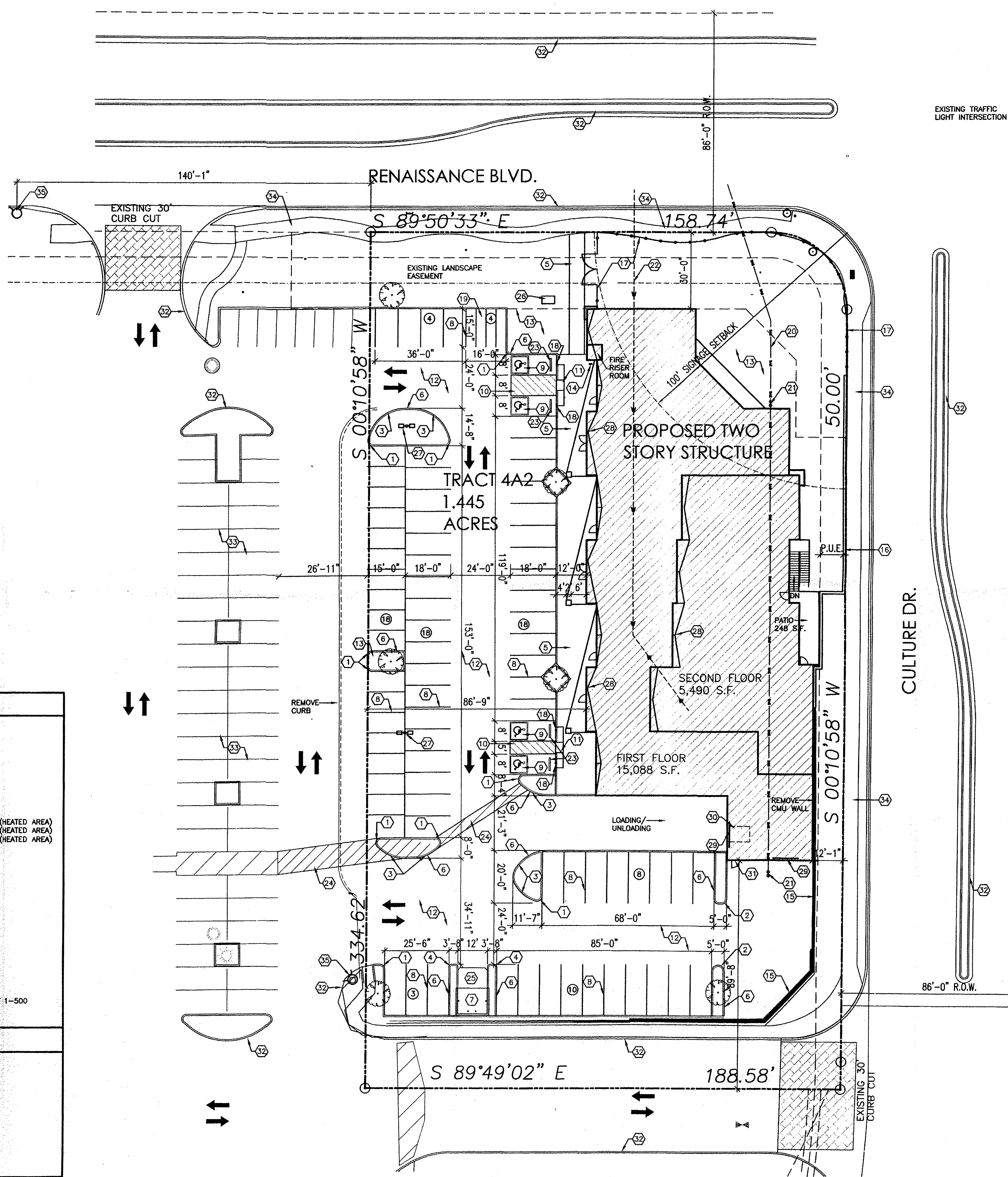


INTERNATIONAL BUILDING CODE 2009

OCCUPANCY AND USE CLASSIFICATION:	B-SHOWROOM, OFFICE S2-STORAGE B-OFFICE FULLY SPRINKLED
TYPE OF CONSTRUCTION (TABLE 503):	2-B
ALLOWABLE HEIGHT AND BUILDING AREA (TABLE 503):	3 STORY, 23,000 S.F. (B GROUP)
SECTION 903 AUTOMATIC SPRINKLER SYSTEM:	NOT REQUIRED FOR B GROUP
SECTION 907 FIRE ALARM AND DETECTION SYSTEM:	NOT REQUIRED FOR B GROUP
ACTUAL BUILDING AREA:	B, SHOWROOM (1ST FLOOR) = 12,119 S.F. (HEATED AREA) S2, WAREHOUSE (1ST FLOOR) = 2,989 S.F. (HEATED AREA) B, OFFICE (2ND FLOOR) = 5,245 S.F. (HEATED AREA) 20,353 SF
FIRE-RESISTANCE RATING REQUIREMENTS (TABLE 601):	TYPE 2-B, NONE REQUIRED
FIRE-RESISTANCE RATING REQUIREMENTS (TABLE 602):	TYPE 2-B, NONE REQUIRED
ROOF LIVE LOAD	= 20 PSF (NON-REDUCABLE)
WIND LOAD	= 90 MPH
EXPOSURE	= C
SEISMIC ZONE	= 2B
TABLE 1004.1.1, FLOOR AREA PER OCCUPANT:	WHOLE SALE AREA (B GROUP): FIRST FLOOR = 12,119 S.F./100 = 122 OCC. WAREHOUSE AREA (S2 GROUP): FIRST FLOOR = 2,989 S.F./500 = 6 OCC. OFFICE AREA (B GROUP): SECOND FLOOR = 5,245 S.F./100 = 53 OCC. TOTAL OCCUPANT LOAD = 181 OCCUPANTS.
SECTION 1021 NUMBER OF EXITS AND CONTINUITY:	PER I.B.C. TABLE 1021.1 OCCUPANT LOAD OF 1-500 (2) EXITS REQUIRED PER STORY (10) EXITS PROVIDED

PARKING REQUIREMENTS

PARKING REQUIRED:	FIRST FLOOR WHOLE SALE AREA: 12,119 S.F./200 = 61 SPACES FIRST FLOOR WAREHOUSE AREA: 2,989 S.F./2000 = 2 SPACES SECOND FLOOR OFFICE AREA: 5,245 S.F./300 = 18 SPACES TOTAL PARKING SPACES: = 81 SPACES
HC. SPACES REQUIRED:	51 TO 100 SPACES = 4 HC. SPACES (1 VAN SPACE)
PARKING PROVIDED:	21- 8'6"x20' PARKING SPACES 36- 8'6"x18' PARKING SPACES 22- 8'0"x15' PARKING SPACES 4- 8'x18' H.C. PARKING SPACES 4- 4'x15' MOTORCYCLE SPACES
TOTAL PARKING PROVIDED:	87 TOTAL PARKING SPACES



PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

KEYED NOTES

- 2'-0" RADIUS.
- 2'-6" RADIUS.
- 15'-0" RADIUS.
- 1'-0" RADIUS.
- CONCRETE SIDEWALK, SLOPE SIDEWALK 1/4"/FT. AWAY FROM BUILDING.
- 6" RAISED CONCRETE CURB PER CITY OF ALBUQUERQUE STANDARDS, REF: SHEET C-3 AND GRADING AND DRAINAGE PLAN.
- DUMPSTER LOCATION, REF: 6/C2 FOR DETAILS.
- 2" WIDE PAINTED PARKING STRIPE PER CITY OF ALBUQUERQUE STANDARDS, REF: C-2 FOR DETAILS.
- HANDICAP SYMBOL PER CITY OF ALBUQUERQUE STANDARDS, REF: C-2 FOR DETAIL.
- HANDICAP ACCESSIBLE AISLE PER CITY OF ALBUQUERQUE STANDARDS, REF: C-2 FOR DETAIL.
- HANDICAP ACCESSIBLE CURB RAMP PER CITY OF ALBUQUERQUE STANDARDS, REF: C-2 FOR DETAIL.
- ASPHALT PAVING.
- LANDSCAPING AREA, REF: LANDSCAPING PLANS.
- BIKE RACK, REF: C-3 FOR DETAIL.
- EXISTING RETAINING WALL W/ WROUGHT IRON FENCE.
- NEW RETAINING WALL W/ WROUGHT IRON FENCE.
- NEW WROUGHT IRON FENCE, REF: SHEET C-2.
- HANDICAP ACCESSIBLE SIGNAGE PER CITY REQUIREMENTS, REF: C-2 FOR DETAILS.
- MOTORCYCLE PARKING SIGNAGE PER CITY REQUIREMENTS.
- TIE SEWER LINE INTO EXISTING SEWER LINE, REF: PLUMBING PLANS.
- DOUBLE CLEANOUT
- TIE WATER LINE INTO EXISTING WATER LINE.
- CONCRETE PARKING BUMPERS, TYP.
- PEDESTRIAN WALK-WAY.
- CONCRETE APRON, FOR DUMPSTER.
- PROPOSED LOCATION FOR ELECTRICAL TRANSFORMER.
- NEW SITE LIGHTS.
- ROOF DRAINS, TYPICAL.
- 10"x14" OVERHEAD DOOR AT GRADE.
- LIFT AT GRADE.
- MAN DOOR AT GRADE.
- EXISTING CURBS.
- EXISTING PARKING.
- EXISTING SIDEWALK.
- EXISTING FIRE HYDRANT.

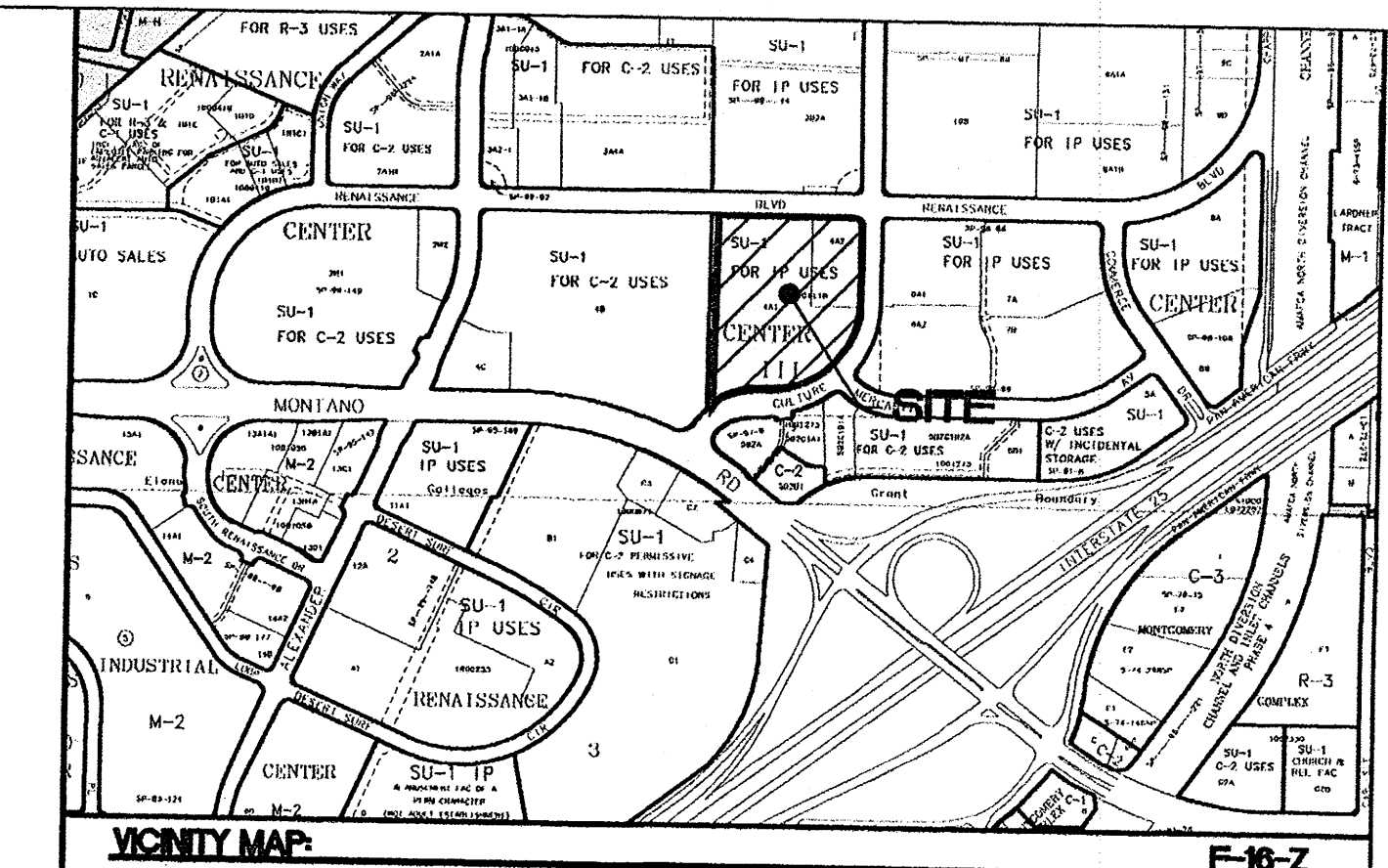
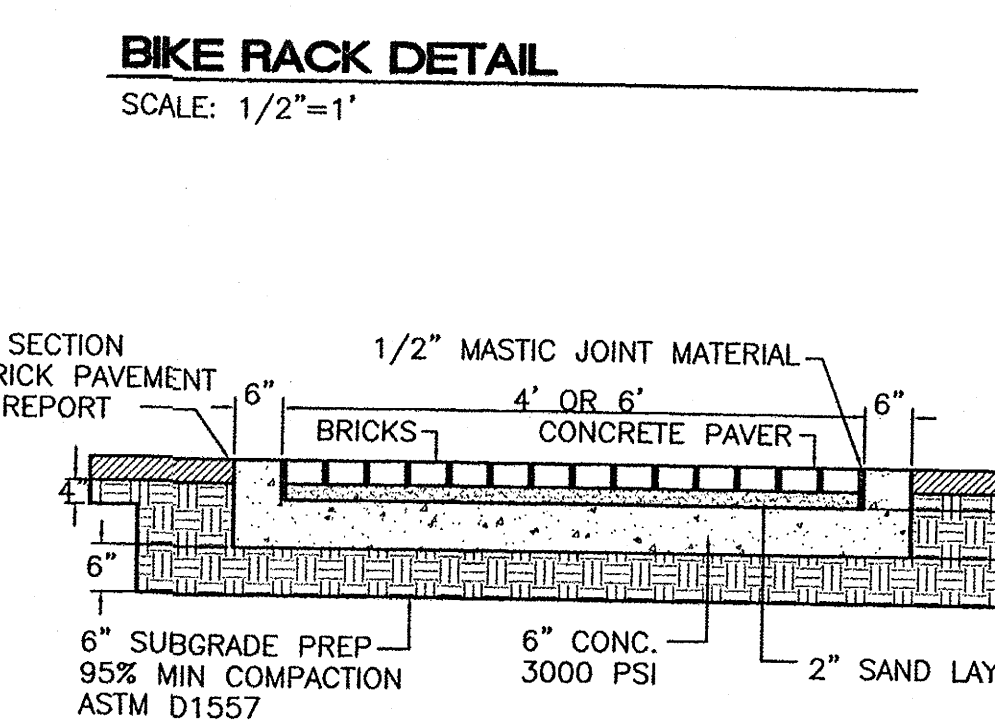
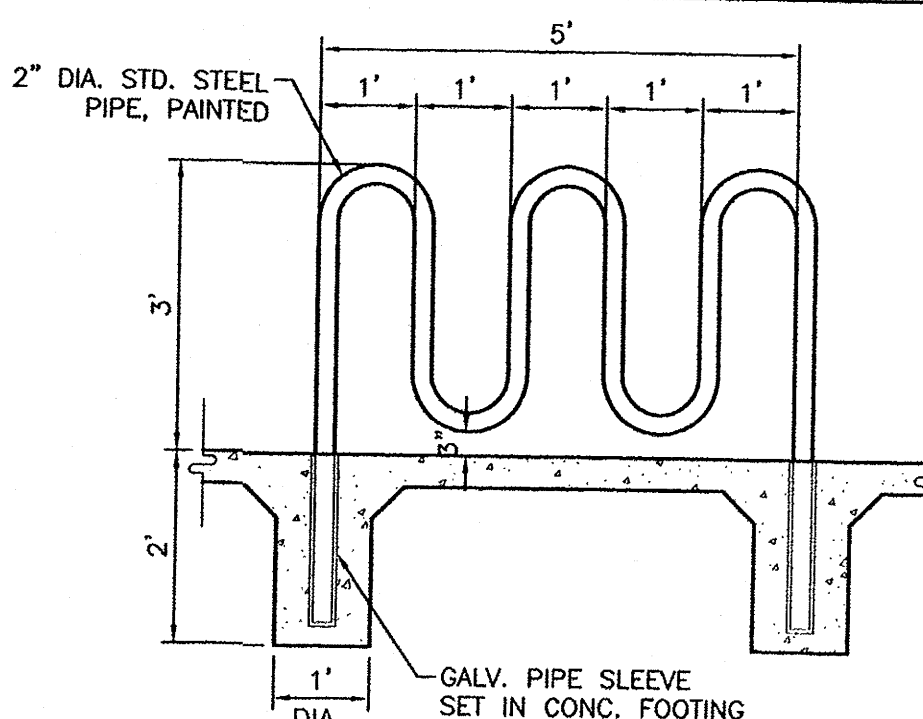
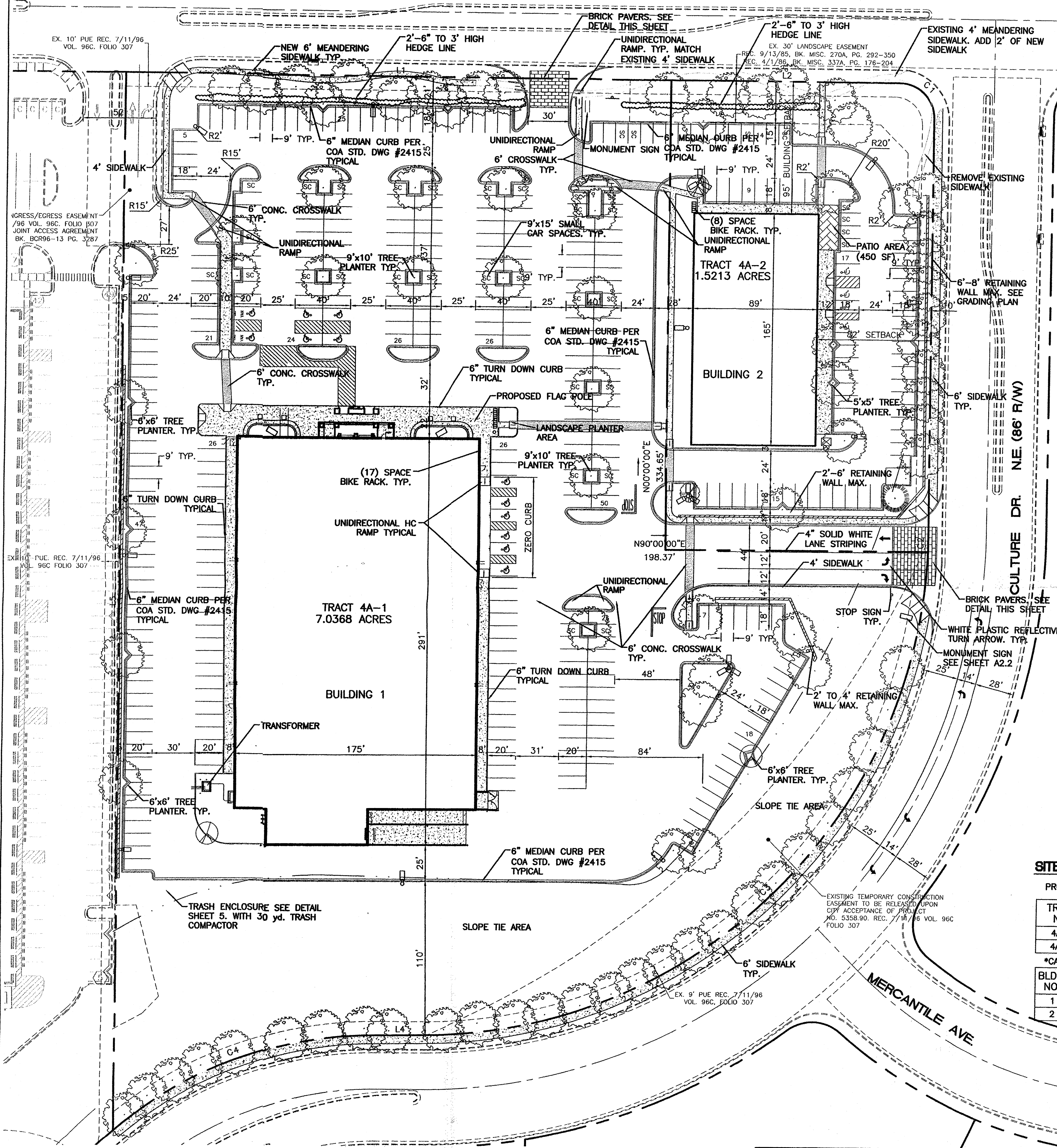
REVISION DATE

DATE	05-07-2013
SHEET NUMBER	C-1

AFD PLANS CHECKING OFFICE
 824-3611
 APPROVED/DISAPPROVED
 HYDRANT(S) ONLY
 Signature & Date

SITE PLAN
 1"=20'-0"
 BAR SCALE
 (IN FEET)

Dreamstyle
 SITE PLAN
 ALBUQUERQUE, NM
 PROJECT #1317



- NOTES:**
- COMMON INGRESS/EGRESS, STORM DRAINAGE AND PEDESTRIAN ACCESS ACROSS TRACTS 4A-1 AND 4A-2 IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
 - ANY CHANGES FROM WHAT IS APPROVED ON THE SITE DEVELOPMENT PLAN FOR THE SUBDIVISION PURPOSES WILL REQUIRE AN AMENDMENT TO THE PLAN AND THAT SITE DEVELOPMENT PLAN FOR BUILDING PURPOSES WILL BE REQUIRED FOR THE PROPOSED TRACTS 4A-1, AND 4A-2 THROUGH A PUBLIC HEARING AT THE DEVELOPMENT REVIEW BOARD IN CONJUNCTION WITH REVIEW BY EPC STAFF.
 - APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 - LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
 - COMMON DRY UTILITY AND SANITARY SEWER EASEMENT FOR TRACTS 4A-1, AND 4A-2 IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE PLAT.
 - MONUMENT SIGN MATERIALS/COLORS/SIZE SHALL COMPLY WITH THE RENAISSANCE MASTER PLAN. MATCH BUILDING COLORS AND MATERIAL.
 - AVERAGE LIGHT LEVELS SHALL BE LIMITED TO 2 FOOT CANDLES WITH MAXIMUM LEVELS LIMITED TO 16 FOOT CANDLES AS MEASURED FROM 4 FEET ABOVE THE SURFACE LEVEL OF ANY POINT ON THE SITE. LUMINARIES SHALL HAVE GLARE CUT OFF ANGLES OF MAXIMUM.
 - ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
 - LIGHT POLES SHALL BE A MAXIMUM OF 20' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 20' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. SEE DETAIL SHEET 5.
 - THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
 - BUILDING SETBACKS ARE PER APPROVED SITE PLAN WITH THE CITY OF ALBUQUERQUE
 - SEE SHEET 5 FOR SCREEN WALL DETAILS.
 - SEE SHEET 5 FOR RAISED CONCRETE CROSSWALK DETAILS.
 - SEE SHEET 5 FOR REFUSE ENCLOSURE.
 - NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTERGRATED INTO THE BUILDING ARCHITECTURE.

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Utilities Development	Date
Parks & Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

ADMINISTRATIVE AMENDMENT
File # 03-0205 Project # 100118
Sign
APPROVED BY: *Ron Bohannan* DATE: 5/12/04

SITE DATA

PROPOSED USE = SU-1 FOR IP USES

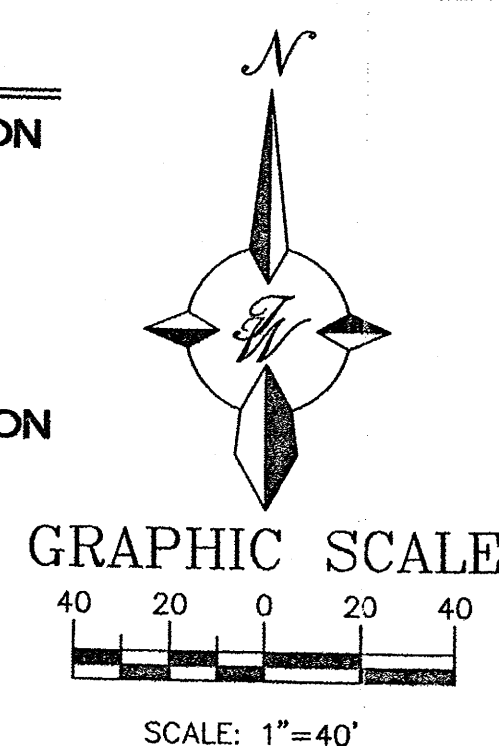
TRACT NO.	FLOOR AREA RATIO
4A-1	0.26
4A-2	0.23

*CALCULATED AT 1 SPACE PER 200 SF OF OFFICE

BLDG. NO.	PROPOSED USAGE	BUILDING AREA (SF)	MAX. BLDG. HEIGHT	PARKING REQUIRED	PARKING PROVIDED	HC PARKING REQUIRED	HC PARKING PROVIDED	BIKE SPACES REQUIRED	BIKE SPACES PROVIDED	LOT ACREAGE
1	RETAIL/WAREHOUSE	48,956 SF	36'	245*	324	12	12	17	17	7.0368
2	RETAIL	14,655 SF	36'	73*	76	4	4	8	8	1.5213

INDEX TO DRAWINGS

- AMENDED SITE PLAN FOR SUBDIVISION AND BUILDING PERMIT
- AMENDED LANDSCAPE PLAN
- AMENDED GRADING PLAN
- AMENDED MASTER UTILITY PLAN
- AMENDED DETAILS
- AMENDED ELEVATIONS
- APPROVED SITE PLAN FOR SUBDIVISION AND BUILDING PERMIT
- APPROVED LANDSCAPE PLAN
- APPROVED GRADING PLAN
- APPROVED MASTER UTILITY PLAN
- APPROVED DETAILS
- A2.1 APPROVED ELEVATIONS
- A2.2 APPROVED ELEVATIONS



CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA ANGLE	CHORD DIRECTION	CHORD
C1	39.19	25.00	89°49'25"	N44°54'42"W	35.30
C2	13.30	360.30	2°06'52"	N01°01'19"E	13.30
C3	551.69	360.30	87°43'50"	N45°56'40"E	499.35
C4	203.74	291.00	40°06'53"	S70°08'10"W	199.60

LINE TABLE

LINE	LENGTH	BEARING
L1	393.89	S89°49'25"E
L2	162.08	S89°49'25"E
L3	295.83	S00°00'00"W
L4	36.37	S89°32'03"W
L5	751.18	N00°10'35"E

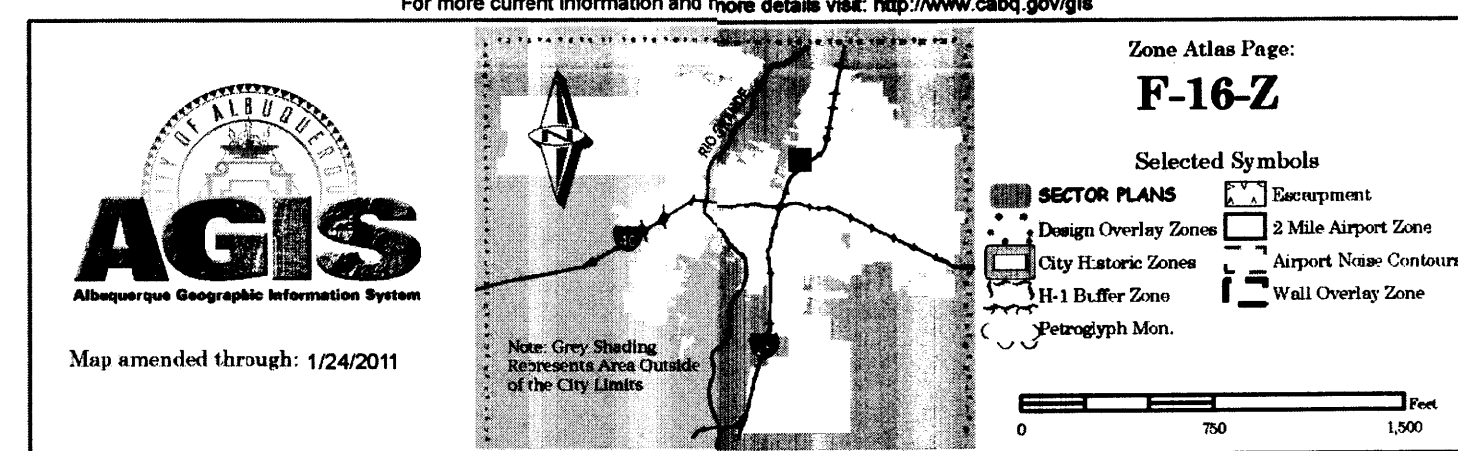
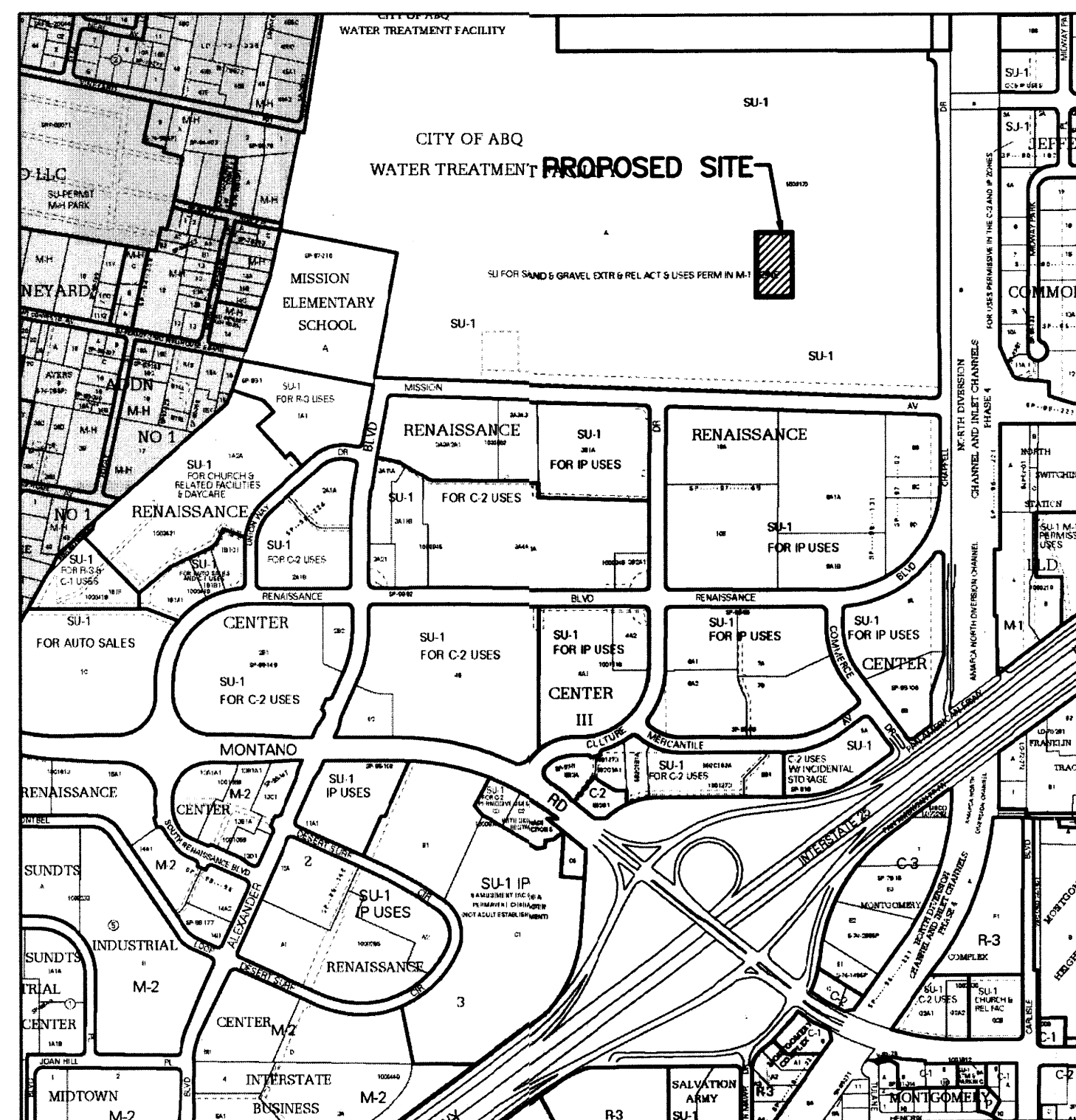
TRACT 4A NORTH RENAISSANCE CENTER

AMENDED SITE PLAN FOR SUBDIVISION AND BUILDING PERMIT

TERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

ENGINEER'S SEAL: RONALD R. BOHANNAN P.E. #7868

DRAWN BY: BDG
DATE: 11-06-03
23104SPAA-11-05-3X
SHEET # 1
JOB # 200042

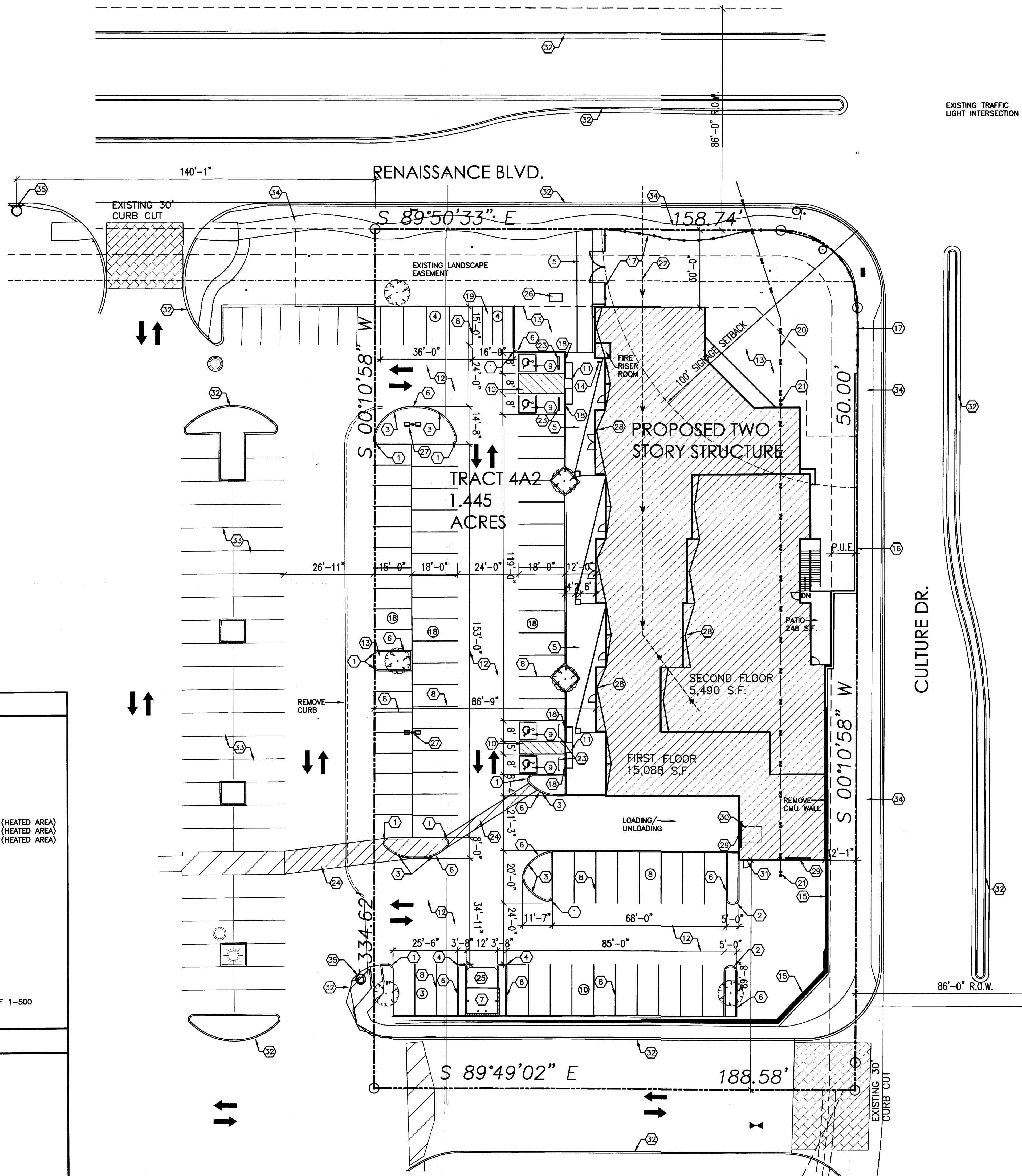


INTERNATIONAL BUILDING CODE 2009

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FIRE-RESISTANCE RATING REQUIREMENTS (TABLE 601):	TYPE 2-B, NONE REQUIRED
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SEISMIC ZONE	= 2B
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TOTAL PARKING PROVIDED:	87 TOTAL PARKING SPACES



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DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	05-10-13 Date
DRB Chairperson, Planning Department	Date

- KEYED NOTES**
- 2'-0" RADIUS.
 - 2'-6" RADIUS.
 - 15'-0" RADIUS.
 - 1'-0" RADIUS.
 - CONCRETE SIDEWALK, SLOPE SIDEWALK 1/4"/FT. AWAY FROM BUILDING.
 - 6" RAISED CONCRETE CURB PER CITY OF ALBUQUERQUE STANDARDS, REF: SHEET C-3 AND GRADING AND DRAINAGE PLAN.
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 - 2" WIDE PAINTED PARKING STRIPE PER CITY OF ALBUQUERQUE STANDARDS, REF: C-2 FOR DETAILS.
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 - ASPHALT PAVING.
 - LANDSCAPING AREA, REF: LANDSCAPING PLANS.
 - BIKE RACK, REF: C-3 FOR DETAIL.
 - EXISTING RETAINING WALL W/ WROUGHT IRON FENCE.
 - NEW RETAINING WALL W/ WROUGHT IRON FENCE.
 - NEW WROUGHT IRON FENCE, REF: SHEET C-2.
 - HANDICAP ACCESSIBLE SIGNAGE PER CITY REQUIREMENTS, REF: C-2 FOR DETAILS.
 - MOTORCYCLE PARKING SIGNAGE PER CITY REQUIREMENTS.
 - TIE SEWER LINE INTO EXISTING SEWER LINE, REF: PLUMBING PLANS.
 - DOUBLE CLEANOUT.
 - TIE WATER LINE INTO EXISTING WATER LINE.
 - CONCRETE PARKING BUMPERS, TYP.
 - PEDESTRIAN WALK-WAY.
 - CONCRETE APRON, FOR DUMPSTER.
 - PROPOSED LOCATION FOR ELECTRICAL TRANSFORMER.
 - NEW SITE LIGHTS.
 - ROOF DRAINS, TYPICAL.
 - 10'x14' OVERHEAD DOOR AT GRADE.
 - LIFT AT GRADE.
 - MAN DOOR AT GRADE.
 - EXISTING CURBS.
 - EXISTING PARKING.
 - EXISTING SIDEWALK.
 - EXISTING FIRE HYDRANT.

AFD PLANS CHECKING OFFICE
 924-3611
APPROVED/DISAPPROVED
 HYDRANT(S) ONLY
Carla Naveas
 SIGNATURE & DATE

1 SITE PLAN
 1"=20'-0"
 BAR SCALE
 10' 0 20' 40'
 (IN FEET)

dreamstyle
 Exceptional Home Products & Expert Installation

DreamStyle
 SITE PLAN
 ALBUQUERQUE, NM
 PROJECT #1317

REVISION DATE

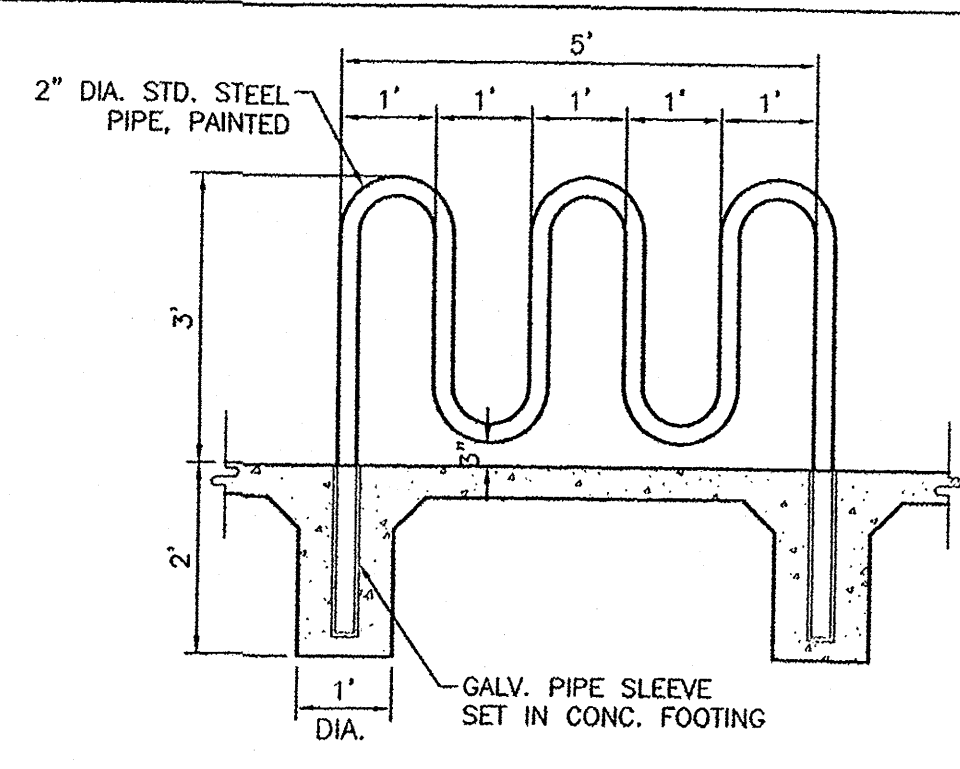
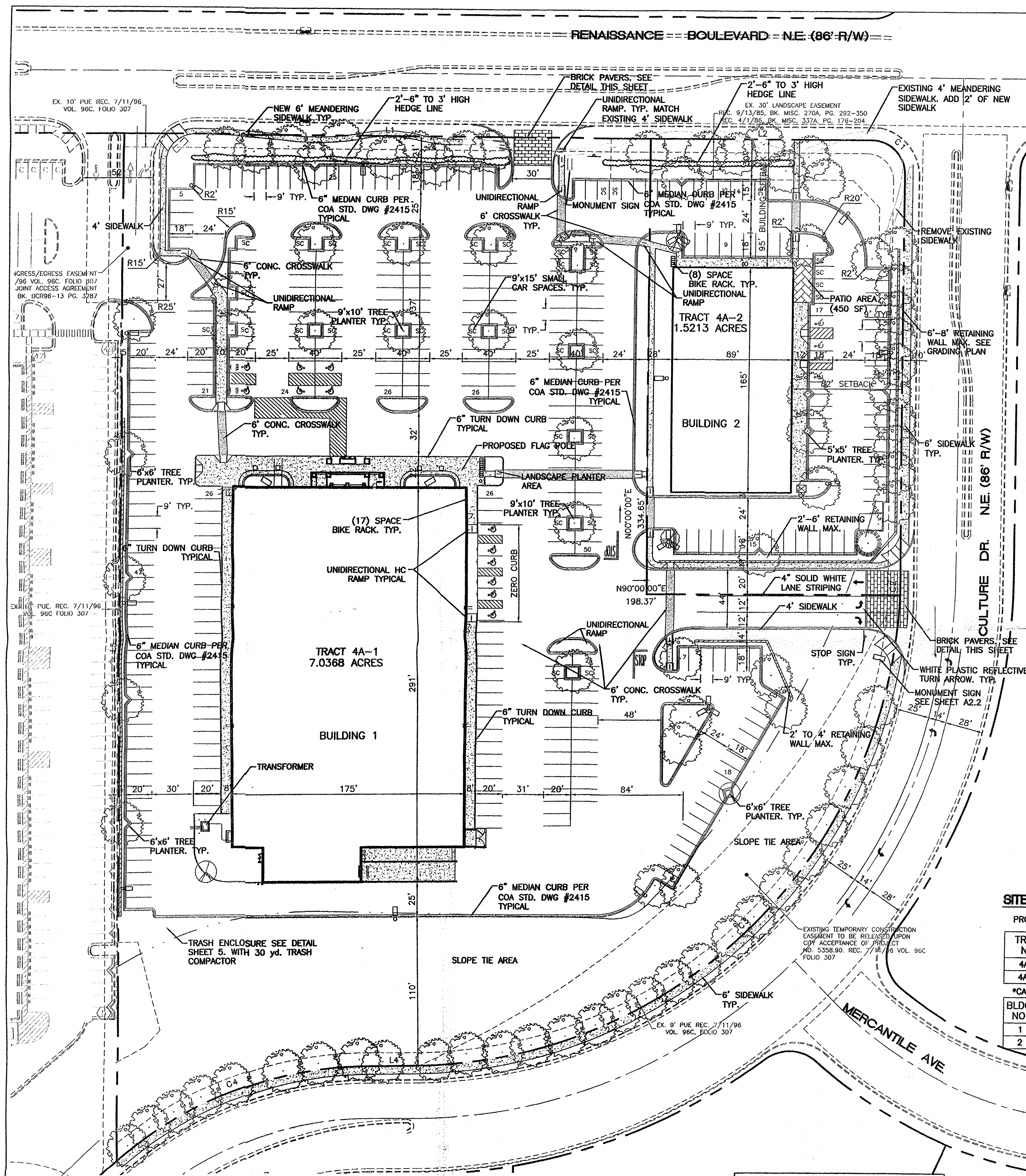
STATE OF NEW MEXICO
 RICHARD P. BENNETT
 REGISTERED ARCHITECT
 No. 2640

RBA
 REGISTERED ARCHITECTURE
 PLANNING
 DESIGN
 1124 First Ave. SW
 Albuquerque, NM 87102
 www.rba.com

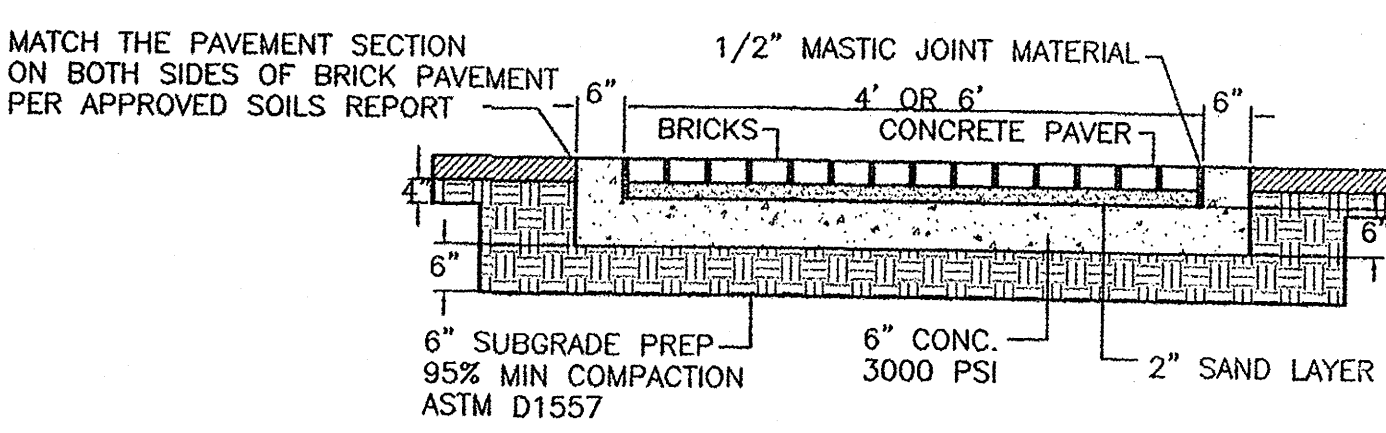
DATE
 05-07-2013

SHEET NUMBER
 C-1

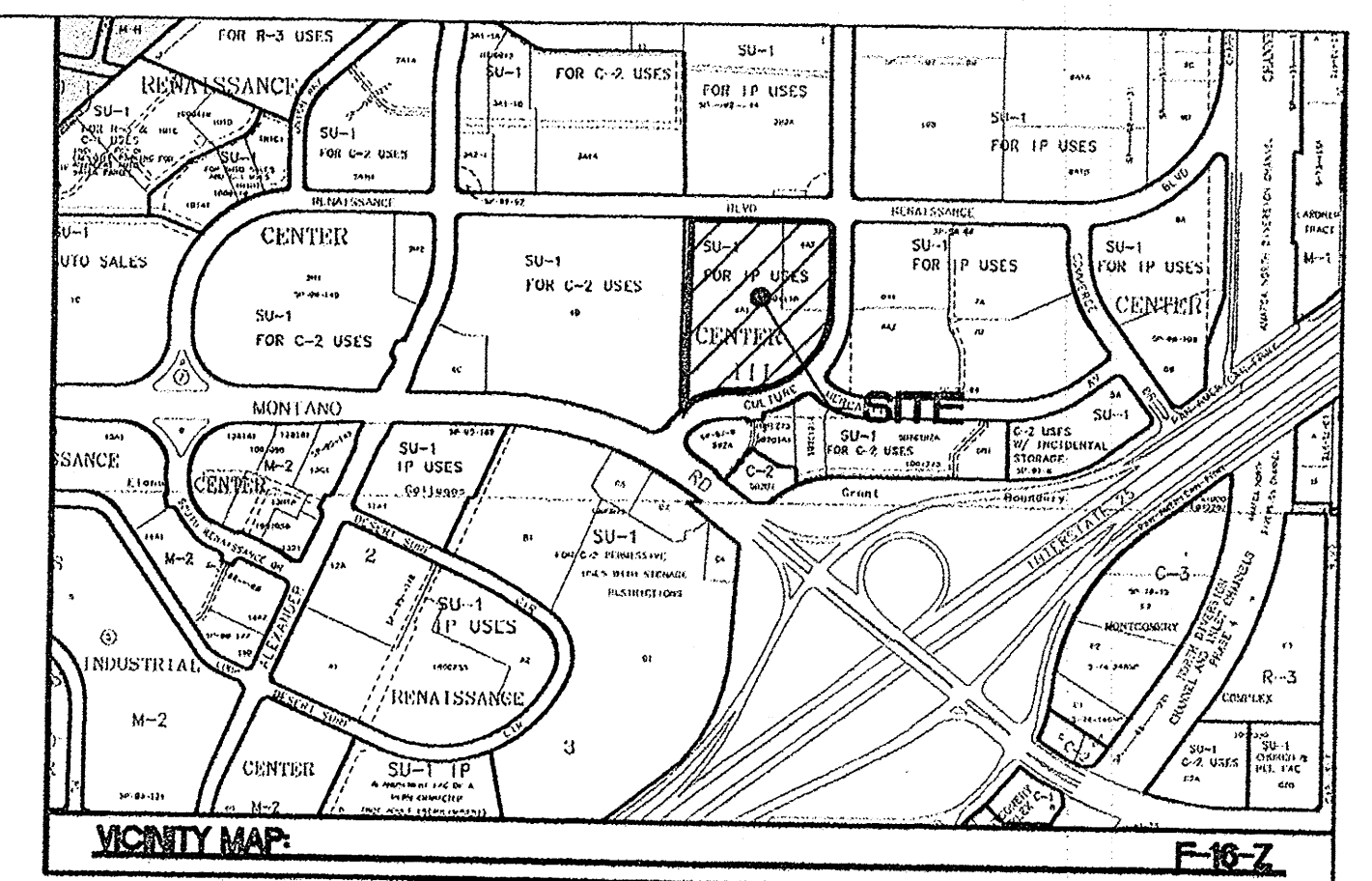
RENAISSANCE BOULEVARD - NE. (86' R/W)



BIKE RACK DETAIL
SCALE: 1/2"=1'



BRICK PAVER DETAIL
NTS



LEGAL DESCRIPTION
TRACT 4A NORTH RENAISSANCE CENTER

- NOTES:**
- COMMON INGRESS/EGRESS, STORM DRAINAGE AND PEDESTRIAN ACCESS ACROSS TRACTS 4A-1 AND 4A-2 IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
 - ANY CHANGES FROM WHAT IS APPROVED ON THE SITE DEVELOPMENT PLAN FOR THE SUBDIVISION PURPOSES WILL REQUIRE AN AMENDMENT TO THE PLAN AND THAT SITE DEVELOPMENT PLAN FOR BUILDING PURPOSES WILL BE REQUIRED FOR THE PROPOSED TRACTS 4A-1, AND 4A-2 THROUGH A PUBLIC HEARING AT THE DEVELOPMENT REVIEW BOARD IN CONJUNCTION WITH REVIEW BY EPC STAFF.
 - APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 - LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
 - COMMON DRY UTILITY AND SANITARY SEWER EASEMENT FOR TRACTS 4A-1, AND 4A-2 IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE PLAT.
 - MONUMENT SIGN MATERIALS/COLORS/SIZE SHALL COMPLY WITH THE RENAISSANCE MASTER PLAN. MATCH BUILDING COLORS AND MATERIAL.
 - AVERAGE LIGHT LEVELS SHALL BE LIMITED TO 2 FOOT CANDLES WITH MAXIMUM LEVELS LIMITED TO 16 FOOT CANDLES AS MEASURED FROM 4 FEET ABOVE THE SURFACE LEVEL OF ANY POINT ON THE SITE. LUMINARIES SHALL HAVE GLARE CUT OFF ANGLES OF MAXIMUM.
 - ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
 - LIGHT POLES SHALL BE A MAXIMUM OF 20' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 20' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. SEE DETAIL SHEET 5.
 - THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
 - BUILDING SETBACKS ARE PER APPROVED SITE PLAN WITH THE CITY OF ALBUQUERQUE
 - SEE SHEET 5 FOR SCREEN WALL DETAILS.
 - SEE SHEET 5 FOR RAISED CONCRETE CROSSWALK DETAILS.
 - SEE SHEET 5 FOR REFUSE ENCLOSURE.
 - NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTERGRATED INTO THE BUILDING ARCHITECTURE.

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approval by the Environmental Planning Commission (EPC) dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Utilities Development	Date
Parks & Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

ADMINISTRATIVE AMENDMENT
 File # 03-0205 Project # 100118
 Sign _____
 APPROVED BY _____ DATE 5/12/04

SITE DATA

PROPOSED USE = SU-1 FOR 10 USES

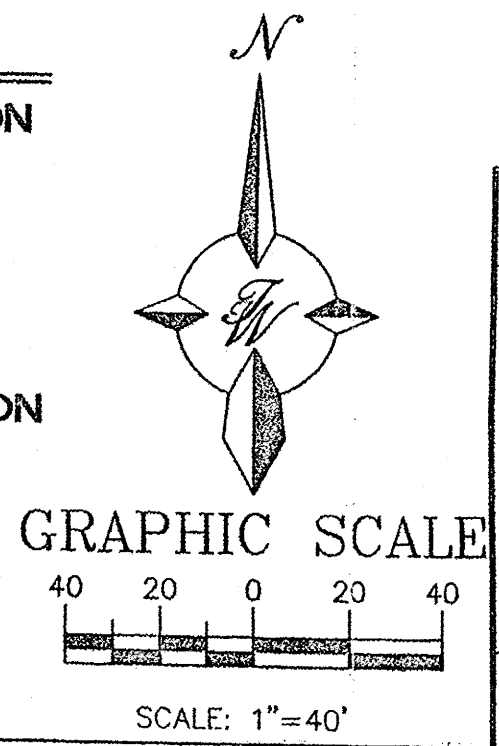
TRACT NO.	FLOOR AREA RATIO
4A-1	0.26
4A-2	0.23

*CALCULATED AT 1 SPACE PER 200 SF OF OFFICE

BLDG. NO.	PROPOSED USAGE	BUILDING AREA (SF)	MAX. BLDG. HEIGHT	PARKING REQUIRED	PARKING PROVIDED	HC PARKING REQUIRED	HC PARKING PROVIDED	BIKE SPACES REQUIRED	BIKE SPACES PROVIDED	LOT ACREAGE
1	RETAIL/WAREHOUSE	48,956 SF	36'	245*	324	12	12	17	17	7.0368
2	RETAIL	14,655 SF	36'	73*	76	4	4	8	8	1.5213

INDEX TO DRAWINGS

- AMENDED SITE PLAN FOR SUBDIVISION AND BUILDING PERMIT
- AMENDED LANDSCAPE PLAN
- AMENDED GRADING PLAN
- AMENDED MASTER UTILITY PLAN
- AMENDED DETAILS
- AMENDED ELEVATIONS
- APPROVED SITE PLAN FOR SUBDIVISION AND BUILDING PERMIT
- APPROVED LANDSCAPE PLAN
- APPROVED GRADING PLAN
- APPROVED MASTER UTILITY PLAN
- APPROVED DETAILS
- A2.1 APPROVED ELEVATIONS
- A2.2 APPROVED ELEVATIONS



CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA ANGLE	CHORD DIRECTION	CHORD
C1	39.19	25.00	89°49'25"	N44°54'42"W	35.30
C2	13.30	360.30	2°06'52"	N01°01'19"E	13.30
C3	551.69	360.30	87°43'50"	N45°56'40"E	499.35
C4	203.74	291.00	40°06'53"	S70°08'10"W	199.60

LINE TABLE

LINE	LENGTH	BEARING
L1	393.89	S89°49'25"E
L2	162.08	S89°49'25"E
L3	295.83	S00°00'00"W
L4	36.37	S89°32'03"W
L5	751.18	N00°10'35"E

ENGINEER'S SEAL

TRACT 4A NORTH RENAISSANCE CENTER

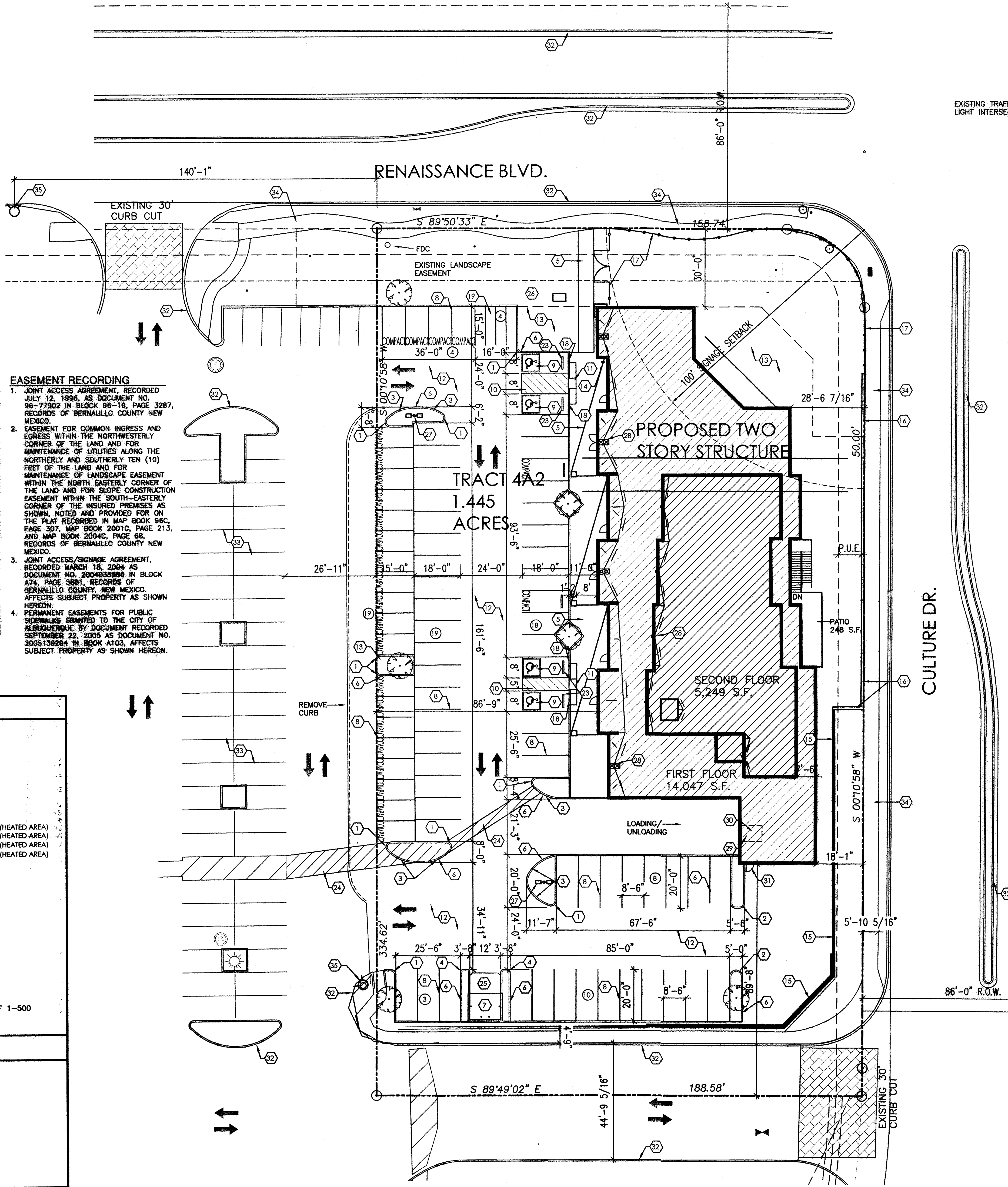
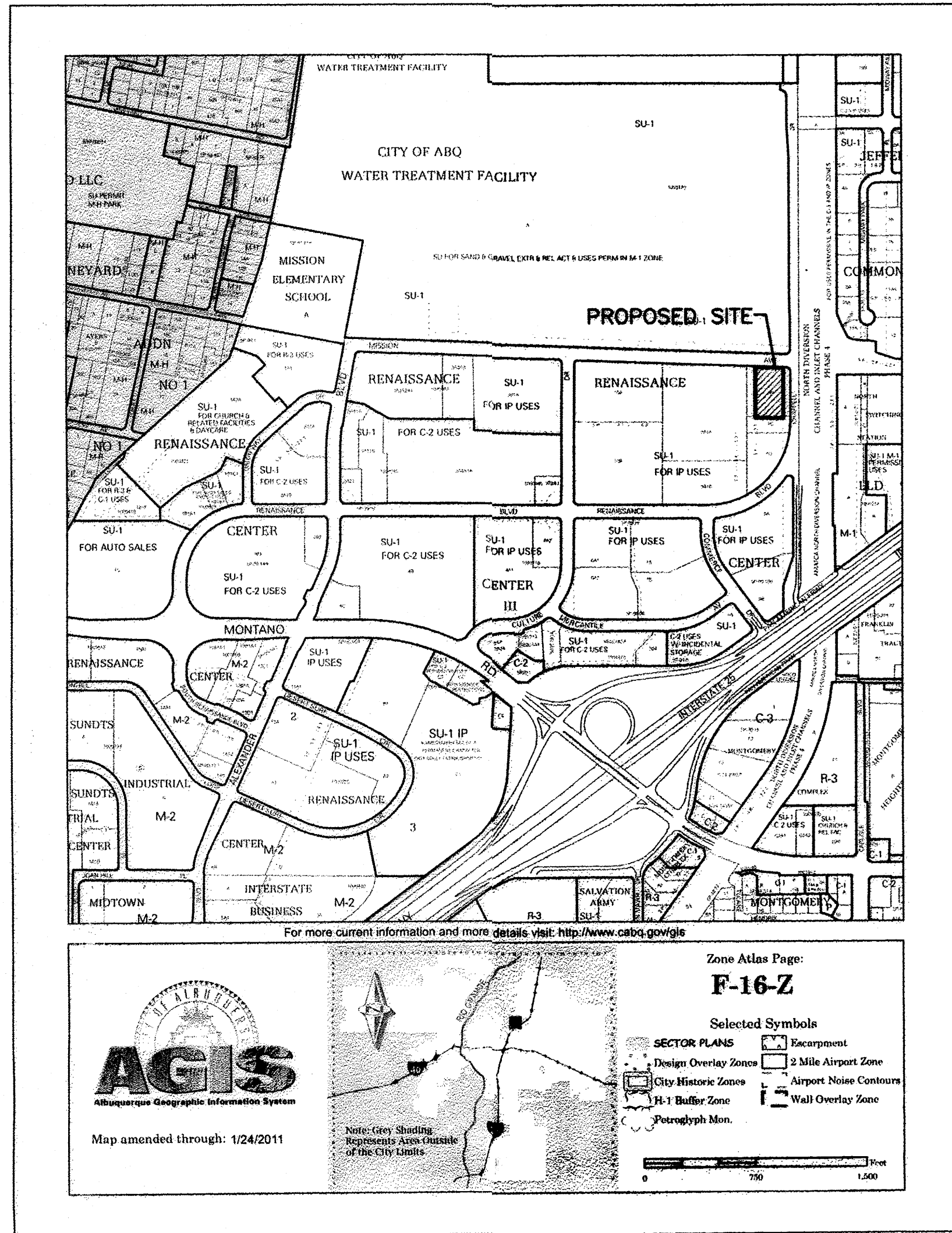
AMENDED SITE PLAN FOR SUBDIVISION AND BUILDING PERMIT

23104SPA-11-05-3X

TERRA WEST, LLC
 8509 JEFFERSON NE
 ALBUQUERQUE, NEW MEXICO 87113
 (505)858-3100

RONALD R. BOHANNAN
 P.E. #7868

DRAWN BY: BDC
 DATE: 11-06-03
 SHEET # 1
 JOB # 200042



EASEMENT RECORDING

1. JOINT ACCESS AGREEMENT, RECORDED JULY 12, 1996, AS DOCUMENT NO. 96-77902 IN BLOCK 96-19, PAGE 3287, RECORDS OF BERNALILLO COUNTY NEW MEXICO.
2. EASEMENT FOR COMMON INGRESS AND EGRESS WITHIN THE NORTHWESTERLY CORNER OF THE LAND AND FOR MAINTENANCE OF UTILITIES ALONG THE NORTHERLY AND SOUTHERLY TEN (10) FEET OF THE LAND AND FOR MAINTENANCE OF LANDSCAPE EASEMENT WITHIN THE SOUTH-EASTERLY CORNER OF THE INSURED PREMISES AS SHOWN, NOTED AND PROVIDED FOR ON THE PLAT RECORDED IN MAP BOOK 96C, PAGE 307, MAP BOOK 2001C, PAGE 213, AND MAP BOOK 2004C, PAGE 65, RECORDS OF BERNALILLO COUNTY NEW MEXICO.
3. JOINT ACCESS/SIGNAGE AGREEMENT, RECORDED MARCH 18, 2004 AS DOCUMENT NO. 2004035996 IN BLOCK A74, PAGE 5881, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. AFFECTS SUBJECT PROPERTY AS SHOWN HEREON.
4. PERMANENT EASEMENTS FOR PUBLIC SIDEWALKS GRANTED TO THE CITY OF ALBUQUERQUE BY DOCUMENT RECORDED SEPTEMBER 22, 2005 AS DOCUMENT NO. 2005139294 IN BOOK A103, AFFECTS SUBJECT PROPERTY AS SHOWN HEREON.

INTERNATIONAL BUILDING CODE 2009	
OCCUPANCY AND USE CLASSIFICATION:	B-SHOWROOM, OFFICE S2-STORAGE B-OFFICE FULLY SPRINKLED
TYPE OF CONSTRUCTION (TABLE 503):	2-B
ALLOWABLE HEIGHT AND BUILDING AREA (TABLE 503):	3 STORY, 23,000 S.F. (B GROUP)
SECTION 903 AUTOMATIC SPRINKLER SYSTEM:	NOT REQUIRED FOR B GROUP
SECTION 907 FIRE ALARM AND DETECTION SYSTEM:	NOT REQUIRED FOR B GROUP
ACTUAL BUILDING AREA:	B, SHOWROOM (1ST FLOOR) = 11,299 S.F. (HEATED AREA) S2, WAREHOUSE (1ST FLOOR) = 2,748 S.F. (HEATED AREA) B, OFFICE (2ND FLOOR) = 5,249 S.F. (HEATED AREA) TOTAL BUILDING S.F. = 19,296 S.F. (HEATED AREA)
FIRE-RESISTANCE RATING REQUIREMENTS (TABLE 601):	TYPE 2-B, NONE REQUIRED
FIRE-RESISTANCE RATING REQUIREMENTS (TABLE 602):	TYPE 2-B, NONE REQUIRED
ROOF LIVE LOAD	= 20 PSF (NON-REDUCABLE)
WIND LOAD	= 90 MPH
EXPOSURE	= C
SEISMIC ZONE	= 2B
TABLE 1004.1.1, FLOOR AREA PER OCCUPANT:	11,299 S.F./100 = 113 OCC. 2,748 S.F./2000 = 6 OCC. 5,249 S.F./100 = 53 OCC. TOTAL OCCUPANT LOAD = 172 OCCUPANTS.
SECTION 1021 NUMBER OF EXITS AND CONTINUITY:	PER I.B.C. TABLE 1021.1 OCCUPANT LOAD OF 1-500 (2) EXITS REQUIRED PER STORY (10) EXITS PROVIDED
PARKING REQUIREMENTS	
PARKING REQUIRED:	FIRST FLOOR WHOLE SALE AREA: 11,299 S.F./200 = 57 SPACES FIRST FLOOR WAREHOUSE AREA: 2,748 S.F./2000 = 2 SPACES SECOND FLOOR OFFICE AREA: 5,249 S.F./200 = 26 SPACES TOTAL PARKING SPACES = 85 SPACES
HC, SPACES REQUIRED:	51 TO 100 SPACES = 4 HC, SPACES (1 VAN SPACE)
PARKING PROVIDED:	21- 8'6"x20' PARKING SPACES 31- 8'6"x18' PARKING SPACES 25- 8'0"x15' PARKING SPACES 4- 8'x18' H.C. PARKING SPACES 4- 4'x15' MOTORCYCLE SPACES
TOTAL PARKING PROVIDED:	85

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an infrastructure list required? () Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

- KEYED NOTES**
1. 2'-0" RADIUS.
 2. 2'-6" RADIUS.
 3. 15'-0" RADIUS.
 4. 1'-0" RADIUS.
 5. CONCRETE SIDEWALK, SLOPE SIDEWALK 1/4"/FT. AWAY FROM BUILDING.
 6. 6" RAISED CONCRETE CURB PER CITY OF ALBUQUERQUE STANDARDS, REF: SHEET C-3 AND GRADING AND DRAINAGE PLAN.
 7. DUMPSTER LOCATION, REF: 6/C2 FOR DETAILS.
 8. 2" WIDE PAINTED PARKING STRIPE PER CITY OF ALBUQUERQUE STANDARDS, REF: C-2 FOR DETAILS.
 9. HANDICAP SYMBOL PER CITY OF ALBUQUERQUE STANDARDS, REF: C-2 FOR DETAILS.
 10. HANDICAP ACCESSIBLE AISLE PER CITY OF ALBUQUERQUE STANDARDS, REF: C-2 FOR DETAIL.
 11. HANDICAP ACCESSIBLE CURB RAMP PER CITY OF ALBUQUERQUE STANDARDS, REF: C-2 FOR DETAIL.
 12. ASPHALT PAVING.
 13. LANDSCAPING AREA, REF: LANDSCAPING PLANS.
 14. BIKE RACK, REF: C-3 FOR DETAIL.
 15. EXISTING RETAINING WALL W/ WROUGHT IRON FENCE TO REMAIN.
 16. NEW RETAINING WALL W/ WROUGHT IRON FENCE.
 17. NEW WROUGHT IRON FENCE, REF: SHEET C-2.
 18. HANDICAP ACCESSIBLE SIGNAGE PER CITY REQUIREMENTS, REF: C-2 FOR DETAILS.
 19. MOTORCYCLE PARKING SIGNAGE PER CITY REQUIREMENTS.
 20. NOT USED.
 21. NOT USED.
 22. NOT USED.
 23. CONCRETE PARKING BUMPERS, TYP.
 24. PEDESTRIAN WALK-WAY.
 25. CONCRETE APRON, FOR ELECTRICAL TRANSFORMER.
 26. PROPOSED LOCATION FOR DUMPSTER.
 27. NEW SITE LIGHTS.
 28. ROOF DRAINS, TYPICAL.
 29. 10'x14' OVERHEAD DOOR AT GRADE.
 30. LIFT AT GRADE.
 31. MAN DOOR AT GRADE.
 32. EXISTING CURBS.
 33. EXISTING PARKING.
 34. EXISTING SIDEWALK.
 35. EXISTING FIRE HYDRANT.

AFD PLANS CHECKING OFFICE
 APPROVED: 05-22-2013
 06-04-2013

REVISION DATE
 05-22-2013
 06-04-2013

DATE
 05-07-2013

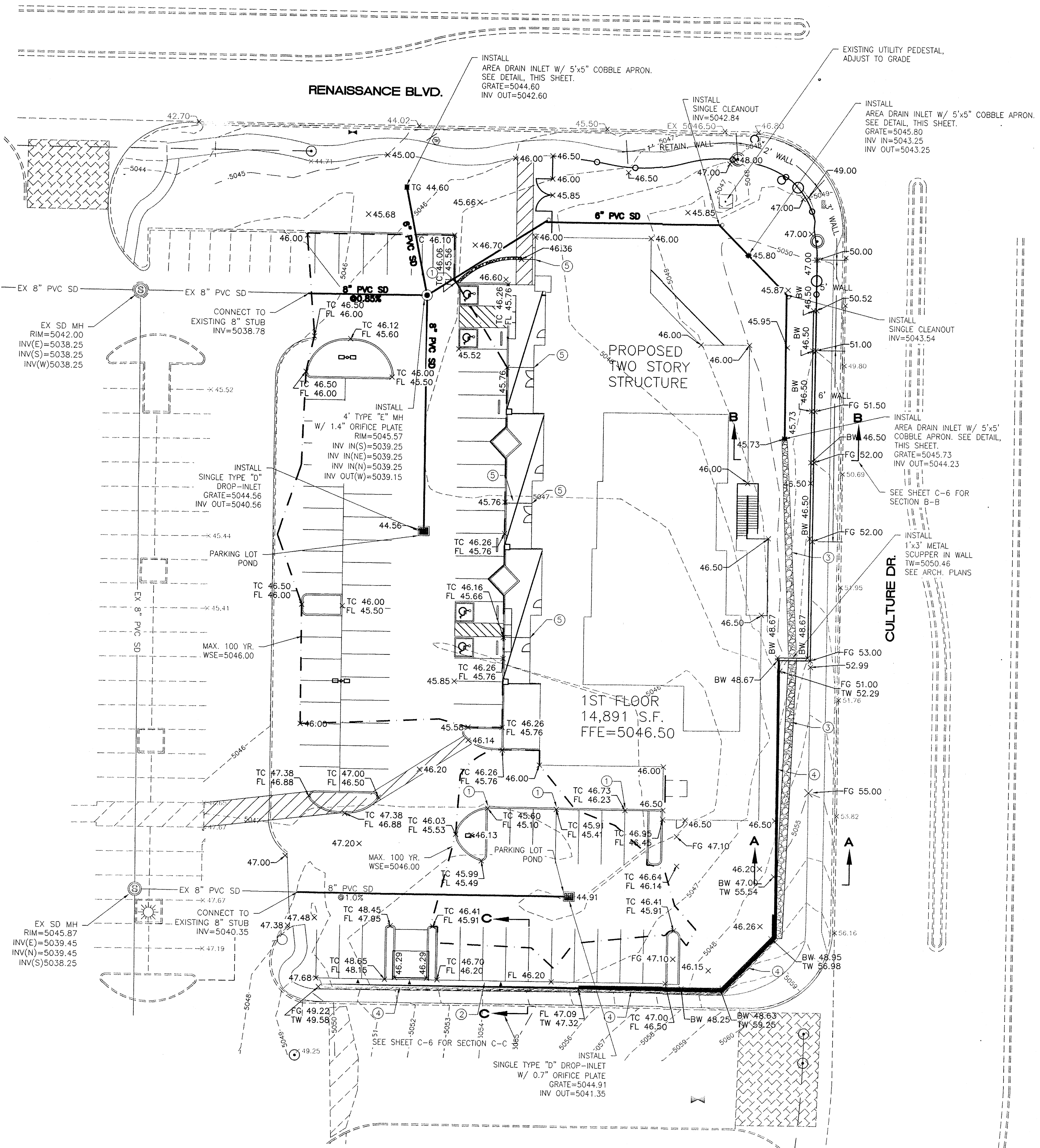
SHEET NUMBER
 C-1

1 SITE PLAN
 1"=20'-0"

BAR SCALE
 0 20' 40'
 (IN FEET)

dreamstyle
 Exceptional Home Products & Expert Installation

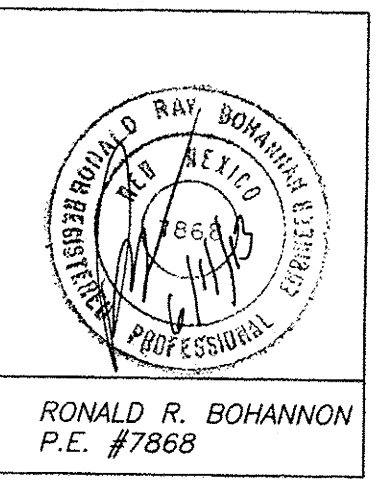
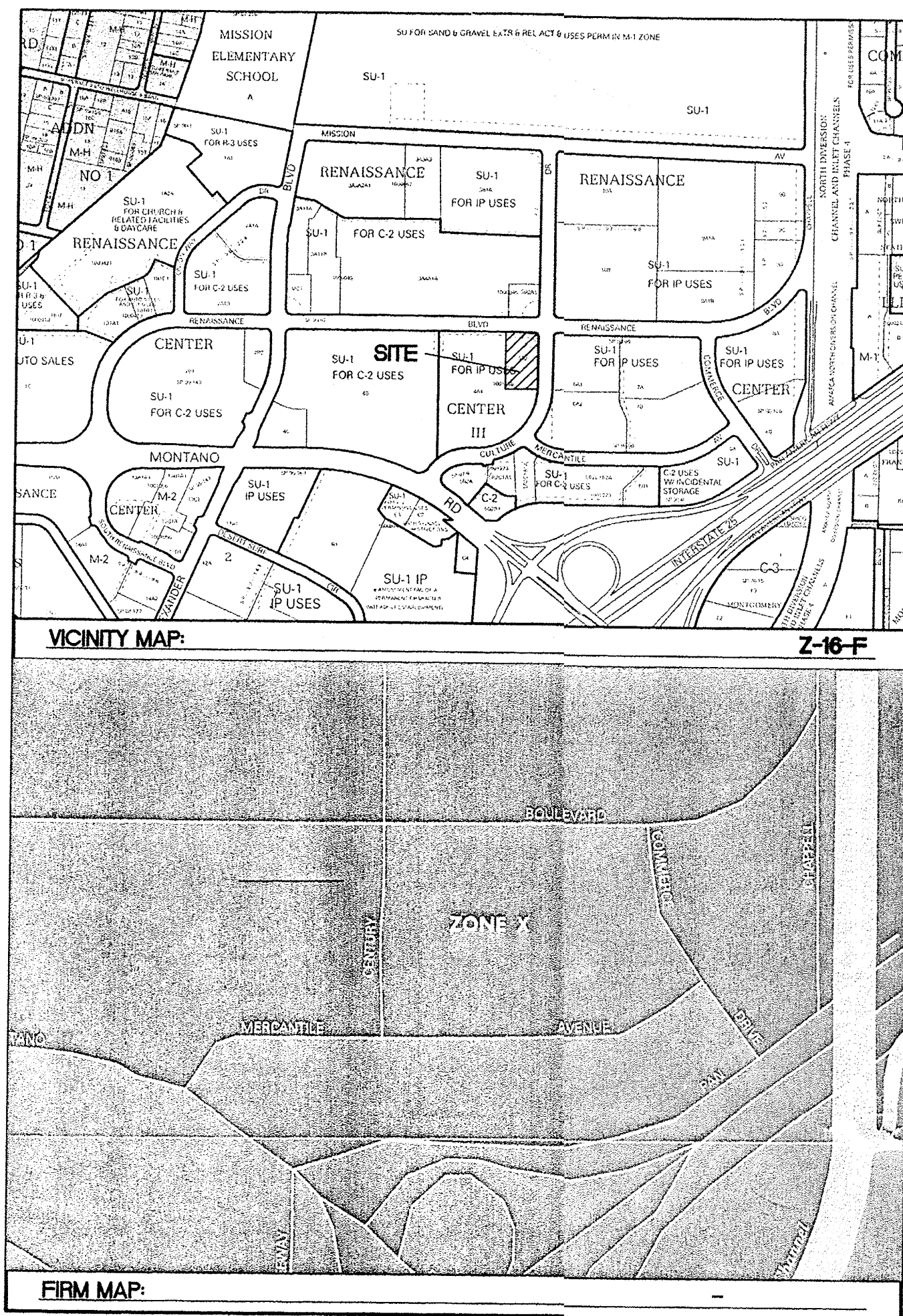
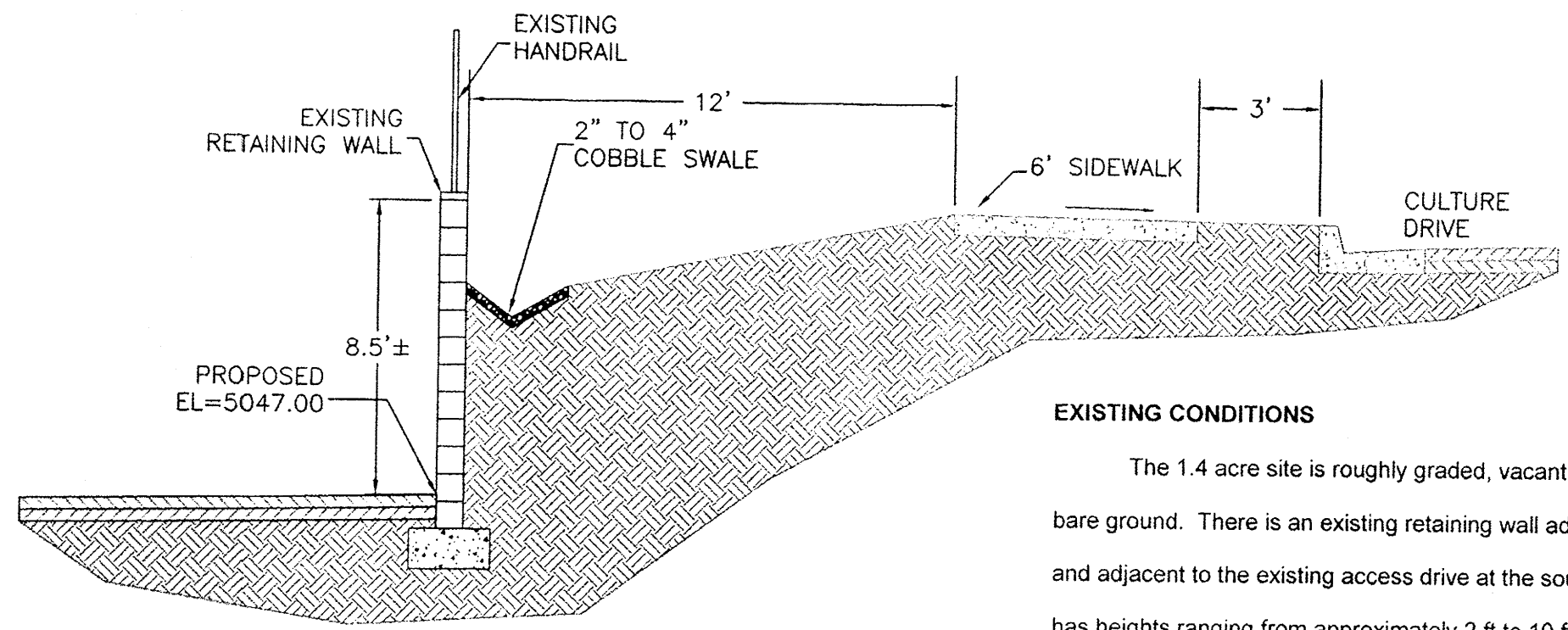
DreamStyle
 SITE PLAN
 ALBUQUERQUE, NM
 PROJECT #1317



LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	SCREEN WALL
	RETAINING WALL
	CONTOUR MAJOR
	CONTOUR MINOR
	SPOT ELEVATION
	FLOW ARROW
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EXISTING CONTOUR MAJOR
	EXISTING CONTOUR MINOR
	EXISTING SPOT ELEVATION
	FLOW LINE
	TOP OF CURB
	FINISHED GRADE
	FLOW LINE CURB CUT
	BOTTOM OF WALL
	TOP OF WALL

- ① 1' CURB CUT OPENING, SEE DETAIL, SHEET C-6.
- ② STABILIZED SLOPE, 25:1 MIN., 3:1 MAX.
- ③ COBBLE DRAINAGE SWALE, SEE DETAIL, SHEET C-6.
- ④ EXISTING 2' TO 10' RETAINING WALL.
- ⑤ ROOF DRAIN PIPE SEE ARCHITECTURAL PLANS.



TERRA WEST, LLC
 5571 MIDWAY PARK PLACE NE
 ALBUQUERQUE, NM 87109
 (505) 858-3100
 www.tierowest.com

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 Exceptional Home Products & Expert Installation

DreamStyle
 GRADING PLAN
 ALBUQUERQUE, NM
 PROJECT #1817

EXISTING CONDITIONS

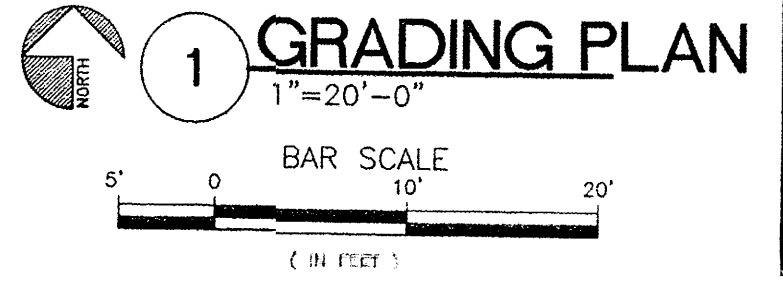
The 1.4 acre site is roughly graded, vacant, and undeveloped, with little vegetation and bare ground. There is an existing retaining wall adjacent to a portion of the east property line and adjacent to the existing access drive at the south end of the site. The existing retaining wall has heights ranging from approximately 2 ft to 10 ft. A portion of the north end of the site drains directly to Renaissance Blvd with a majority of the site draining to the existing shallow pond at the southeast corner of the lot. Finally, a portion of the site which makes up half of the access drive off of Culture Drive drains into the main parking area of Sportsman's Warehouse which is then conveyed to parking lot grated inlets with orifice plates and ultimately to the existing 54' storm drain in Renaissance Boulevard which conveys storm water to the Renaissance Detention Pond (west of Bob Turner Ford).

PROPOSED CONDITIONS

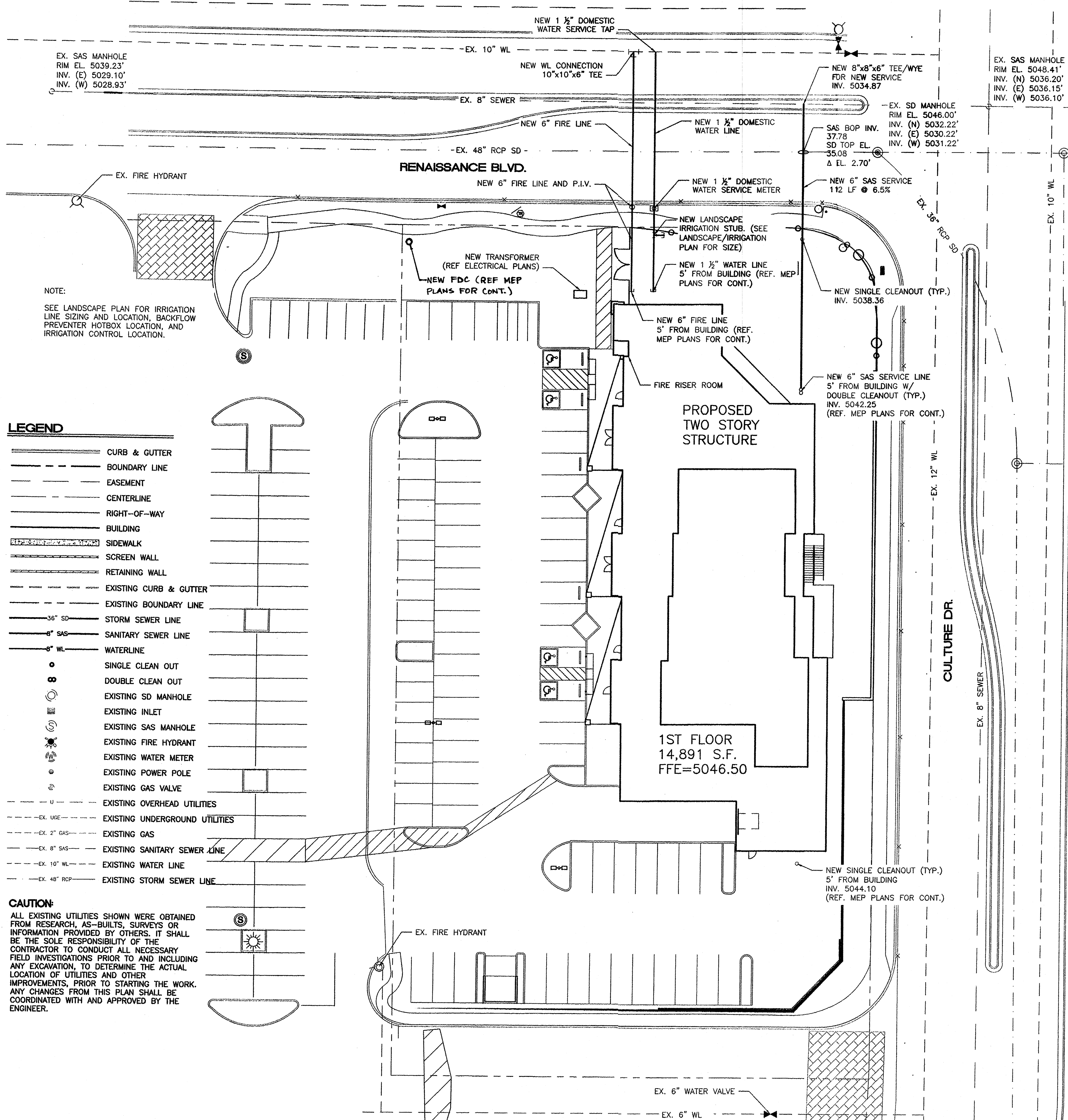
A two-story building with associated parking is proposed for this tract. Proposed grading will adhere to the overall design for the site within the original drainage Report for Sportsman's Warehouse and direct surface flows to onsite grated inlets with restricted discharge via orifice plates. New landscaping will be installed in the parking lot islands and around the building. A hydrology map and calculations for the proposed conditions are included in Appendix A of the complete report. The existing retaining wall will remain with an extension to the north end per the plans.

The buildings' finish floor elevation was set at 5046.50 (NAVD 88) which exceeds the height of the adjacent 100-year water elevation of the proposed parking lot ponds for the West Parking Lot Pond (Emergency Overflow = 5046.00) and South Parking Lot Pond (Emergency Overflow = 5045.98) and is also above the maximum water surface elevation for any of the onsite ponds for Sportsman's Warehouse (Pond 5 WSE = 5046.17). (Note: Elevations for the 2003 drainage report have been adjusted for the datum difference of +2.67 ft.)

- NOTES:**
- AS-BUILT ELEVATIONS OBTAINED FROM AS-BUILT SURVEY FOR TRACT 4A, NORTH RENAISSANCE CENTER (SPORTSMAN'S WAREHOUSE) CERTIFIED GRADING PLAN (CERT. DATED 9/16/04) AND ADJUSTED +2.67 FEET, BASED ON NEW DATUM.
 - REFER TO GEOTECHNICAL REPORT FOR SUBGRADE AND PAVING RECOMMENDATIONS AND ADDITIONAL DETAILS.



REVISION DATE	
DATE	05-07-2013
SHEET NUMBER	C-2

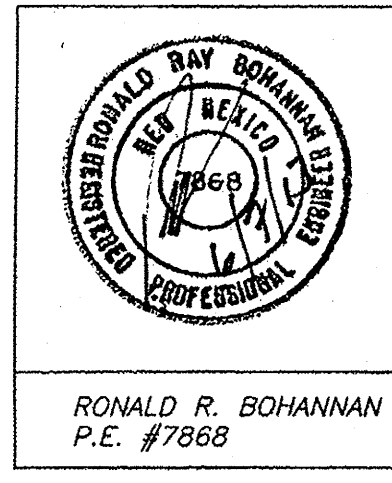
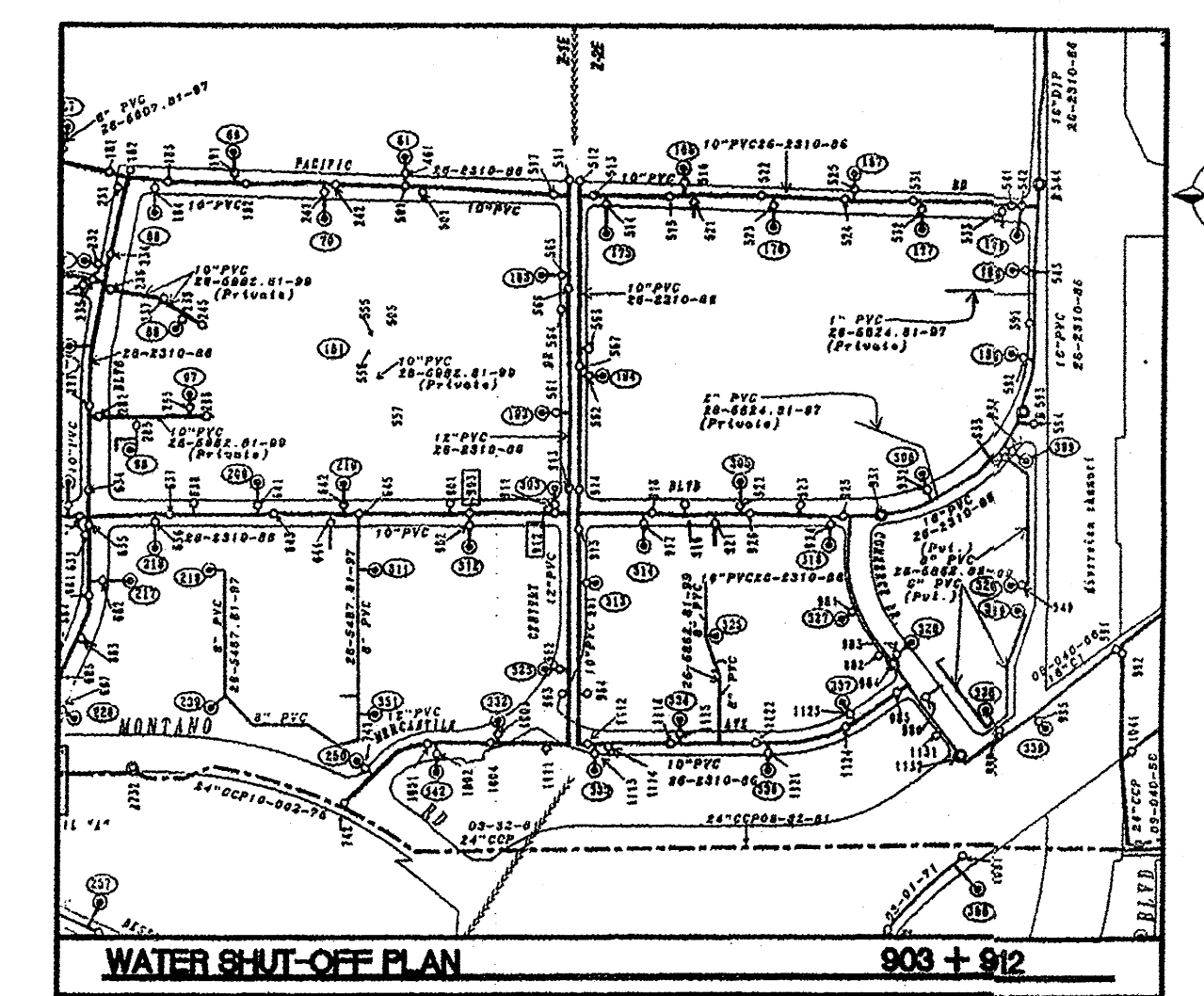


NOTE:
SEE LANDSCAPE PLAN FOR IRRIGATION LINE SIZING AND LOCATION, BACKFLOW PREVENTER HOTBOX LOCATION, AND IRRIGATION CONTROL LOCATION.

LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	SCREEN WALL
	RETAINING WALL
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	36" SD STORM SEWER LINE
	8" SAS SANITARY SEWER LINE
	6" WL WATERLINE
	SINGLE CLEAN OUT
	DOUBLE CLEAN OUT
	EXISTING SD MANHOLE
	EXISTING INLET
	EXISTING SAS MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER METER
	EXISTING POWER POLE
	EXISTING GAS VALVE
	EXISTING OVERHEAD UTILITIES
	EXISTING UNDERGROUND UTILITIES
	EXISTING 2" GAS
	EXISTING 8" SAS SANITARY SEWER LINE
	EXISTING 10" WL WATERLINE
	EXISTING 48" RCP STORM SEWER LINE

CAUTION:
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS. PRIOR TO STARTING THE WORK, ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



TERRA WEST LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505) 858-3100
www.terrawestllc.com

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTION. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

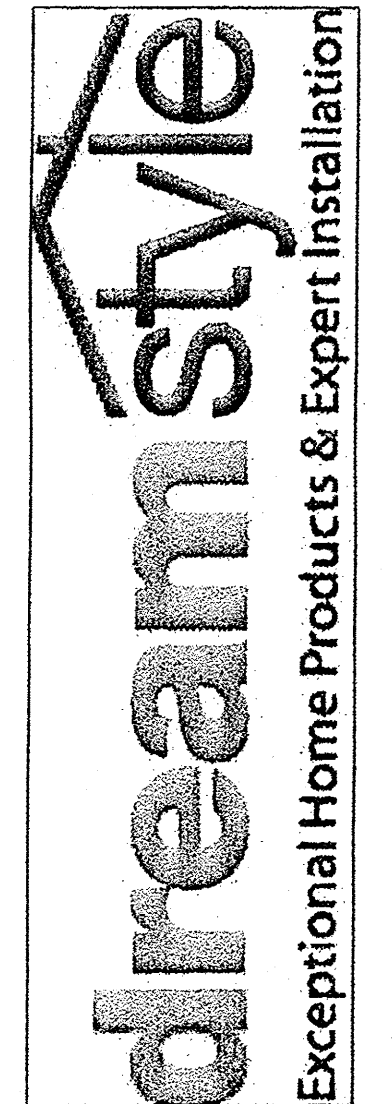
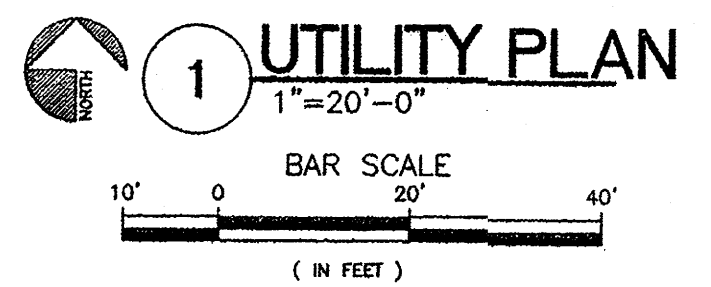
GENERAL NOTES:

1. ALL STUBS AND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
2. SEE ARCHITECTURAL/MEP PLANS FOR LIGHTING CONDUITS AND TELEPHONE LINES.
3. REFER TO LANDSCAPE/IRRIGATION PLANS FOR BACKFLOW PREVENTOR, HOTBOX, IRRIGATION CONTROL LOCATIONS AND DETAILS.

GENERAL UTILITY NOTES:

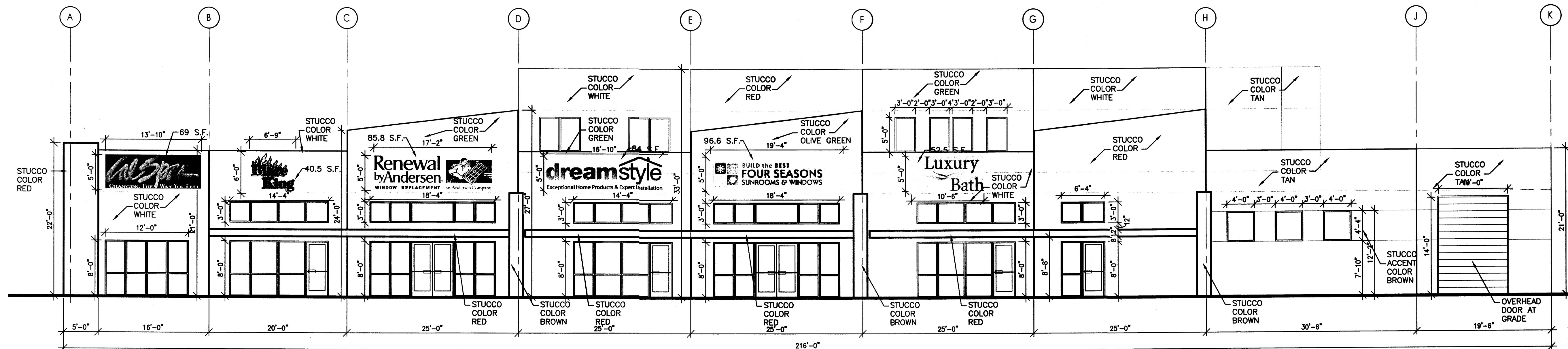
1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE MEP PLANS FOR WATER LINE RISER LOCATIONS.
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
7. ALL MANHOLES AND CLEANOUTS SHALL HAVE 8" THICK CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
9. PNM HAS NUMEROUS ELECTRIC FACILITIES NEAR THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER'S EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
10. PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
11. SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

- NOTES:**
1. ONLY ABCWUA WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
 2. THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT: [HTTP://ABCWUA.ORG/CONTENT/VIEW/463/729/](http://abcwua.org/content/view/full/463/729/).
 3. APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
 4. SHUTOFF THE VALVES INDICATED IN THE ABOVE PLAN.
 5. IF REQUIRED, CONTRACTOR SHALL PREPARE AND SUBMIT A DETOUR PLAN FOR APPROVAL PRIOR TO BEGINNING WORK.



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MASTER UTILITY PLAN
ALBUQUERQUE, NM
PROJECT #1817

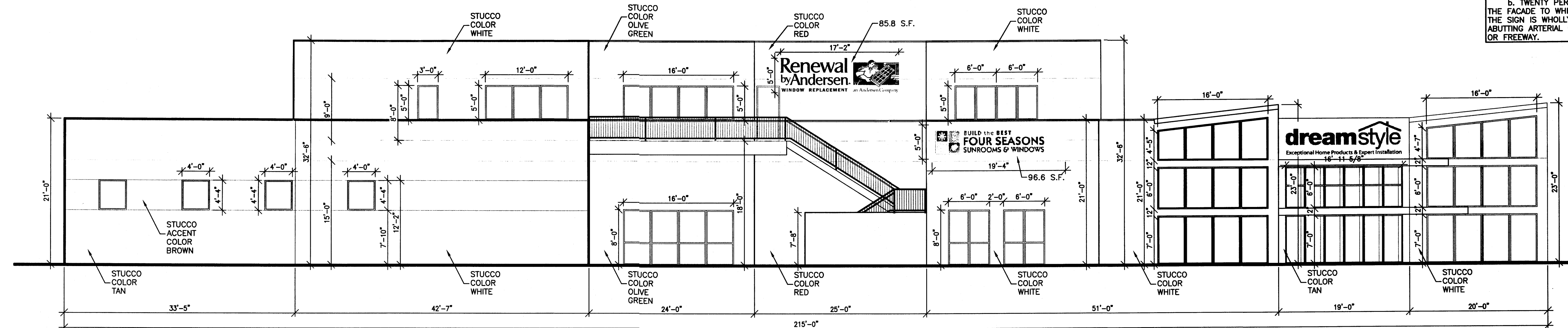
REVISION DATE	
DATE	05-07-2013
SHEET NUMBER	C-3



1 WEST BUILDING ELEVATION
1/8"=1'-0"

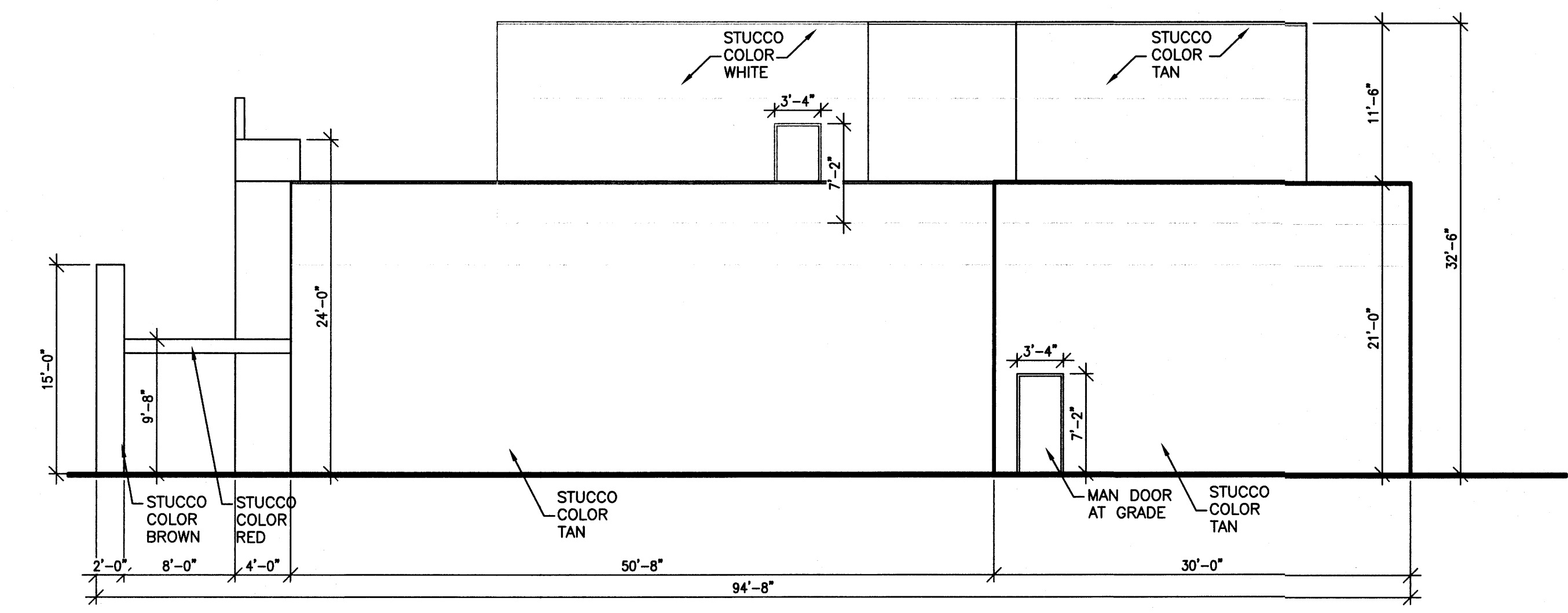
TOTAL BUILDING ELEVATION
SQUARE FOOT = 6,843 S.F.
TOTAL BUILDING SIGNAGE
SQUARE FOOT = 429 S.F.
WALL SIGN COVERAGE IS 6%

SECTION 14-16-2-19
IP INDUSTRIAL PARK ZONE
(25) SIGN, ON-PREMISES AS PROVIDED IN
14-14-3-5 OF THIS ZONING CODE, AND
FURTHER PROVIDED:
(c) SIZE
2. SIZE, BUILDING-MOUNTED SIGNS,
EXCEPT PROJECTING SIGNS, A
BUILDING-MOUNTED SIGN SHALL NOT
EXCEED THE FOLLOWING AREA:
b. TWENTY PERCENT OF THE AREA OF
THE FACADE TO WHICH IT IS APPLIED IF
THE SIGN IS WHOLLY VISIBLE FROM AN
ABUTTING ARTERIAL OR COLLECTOR STREET
OR FREEWAY.

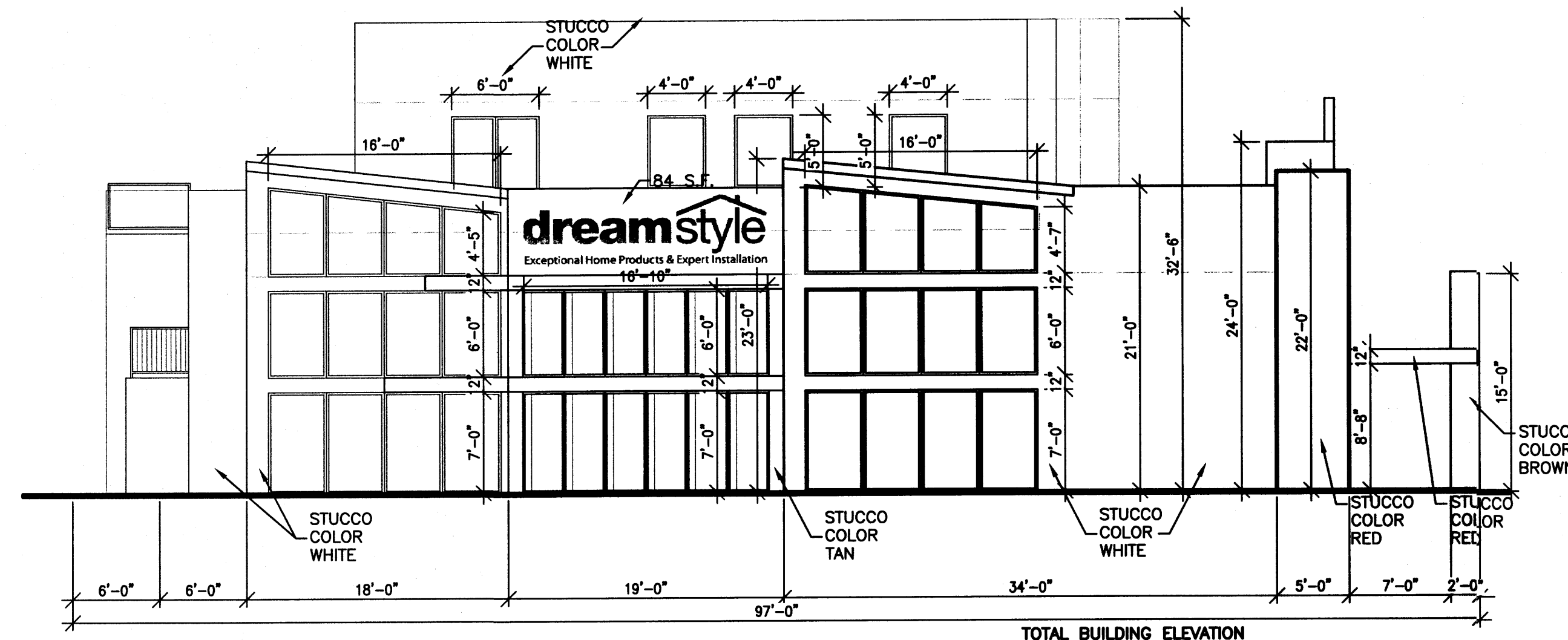


2 EAST BUILDING ELEVATION
1/8"=1'-0"

TOTAL BUILDING ELEVATION
SQUARE FOOT = 4,773 S.F.
TOTAL BUILDING SIGNAGE
SQUARE FOOT = 183 S.F.
WALL SIGN COVERAGE IS 3%

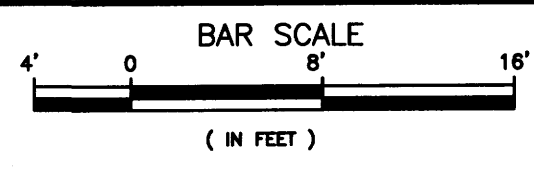


3 SOUTH BUILDING ELEVATION
1/8"=1'-0"



4 NORTH BUILDING ELEVATION
1/8"=1'-0"

TOTAL BUILDING ELEVATION
SQUARE FOOT = 3,060 S.F.
TOTAL BUILDING SIGNAGE
SQUARE FOOT = 84 S.F.
WALL SIGN COVERAGE IS 2%



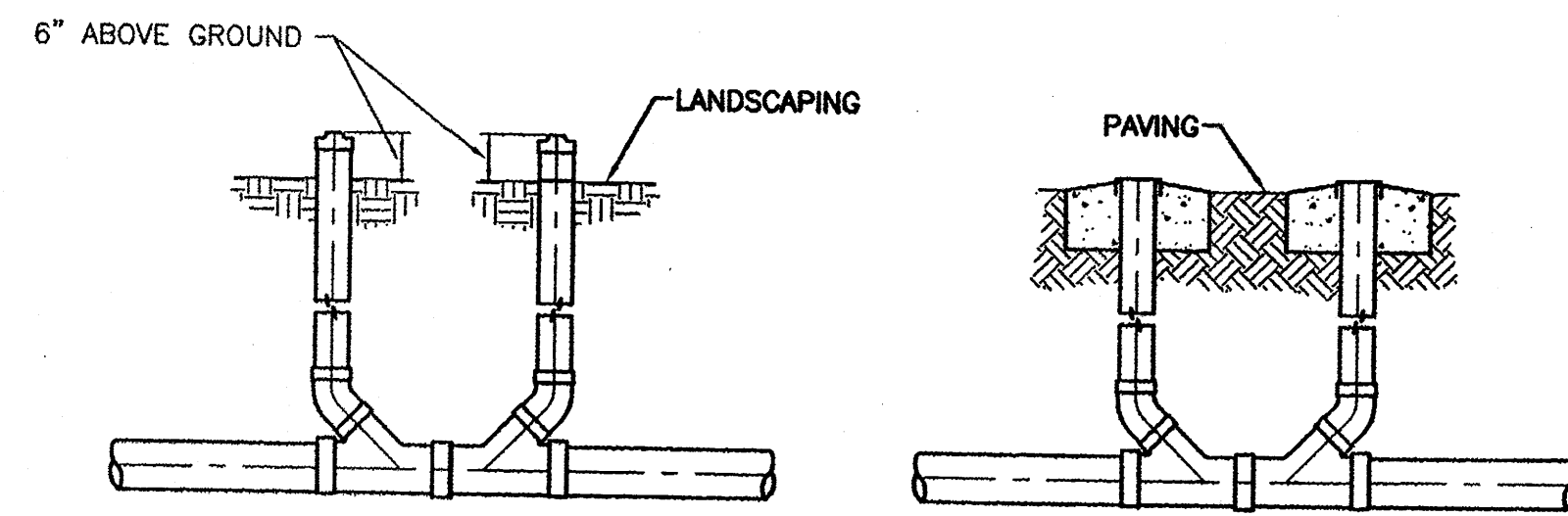
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 BUILDING ELEVATIONS
 ALBUQUERQUE, NM
 PROJECT #1317
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REVISION DATE
05-22-2013
06-06-2013

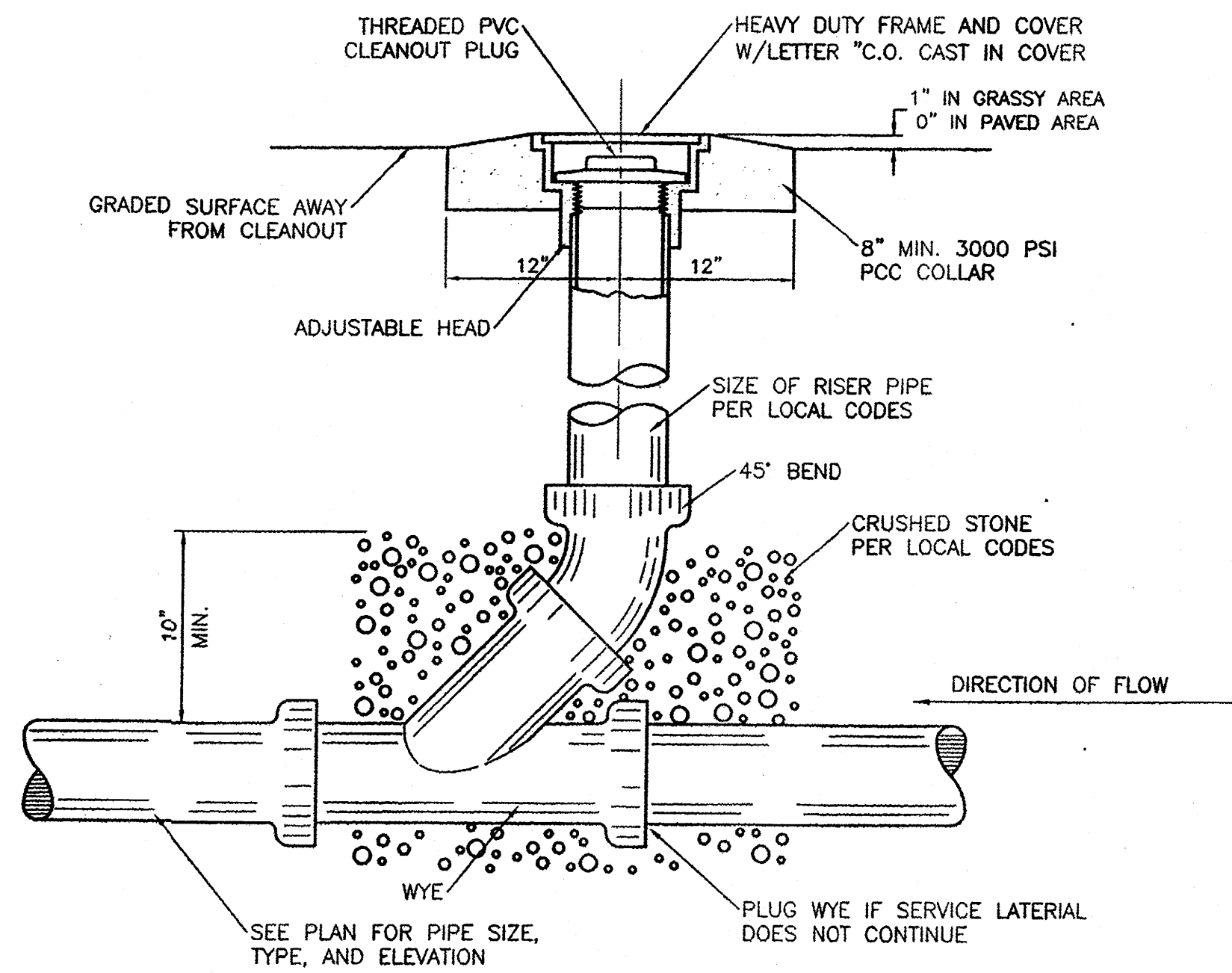
DATE
05-07-2013

SHEET NUMBER
A-7.0

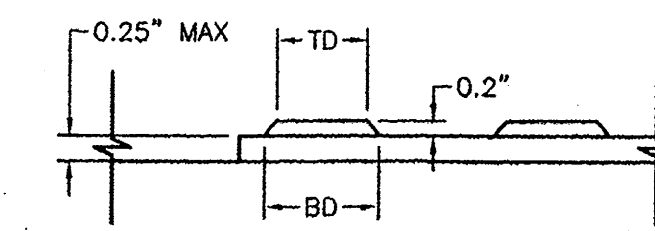
RBA
ARCHITECTURE
DESIGN
1301 PASEO AVE. SW
ALBUQUERQUE, NM 87102
www.rba.com



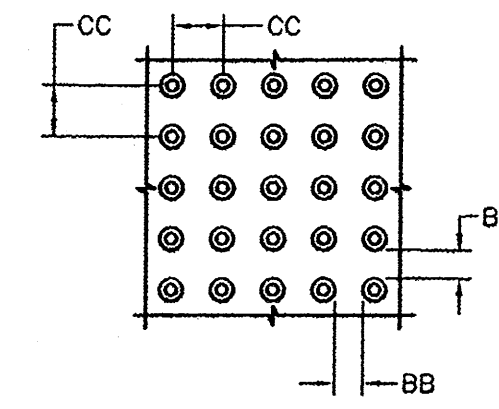
1 **SANITARY SEWER DOUBLE CLEAN-OUTS**
NTS



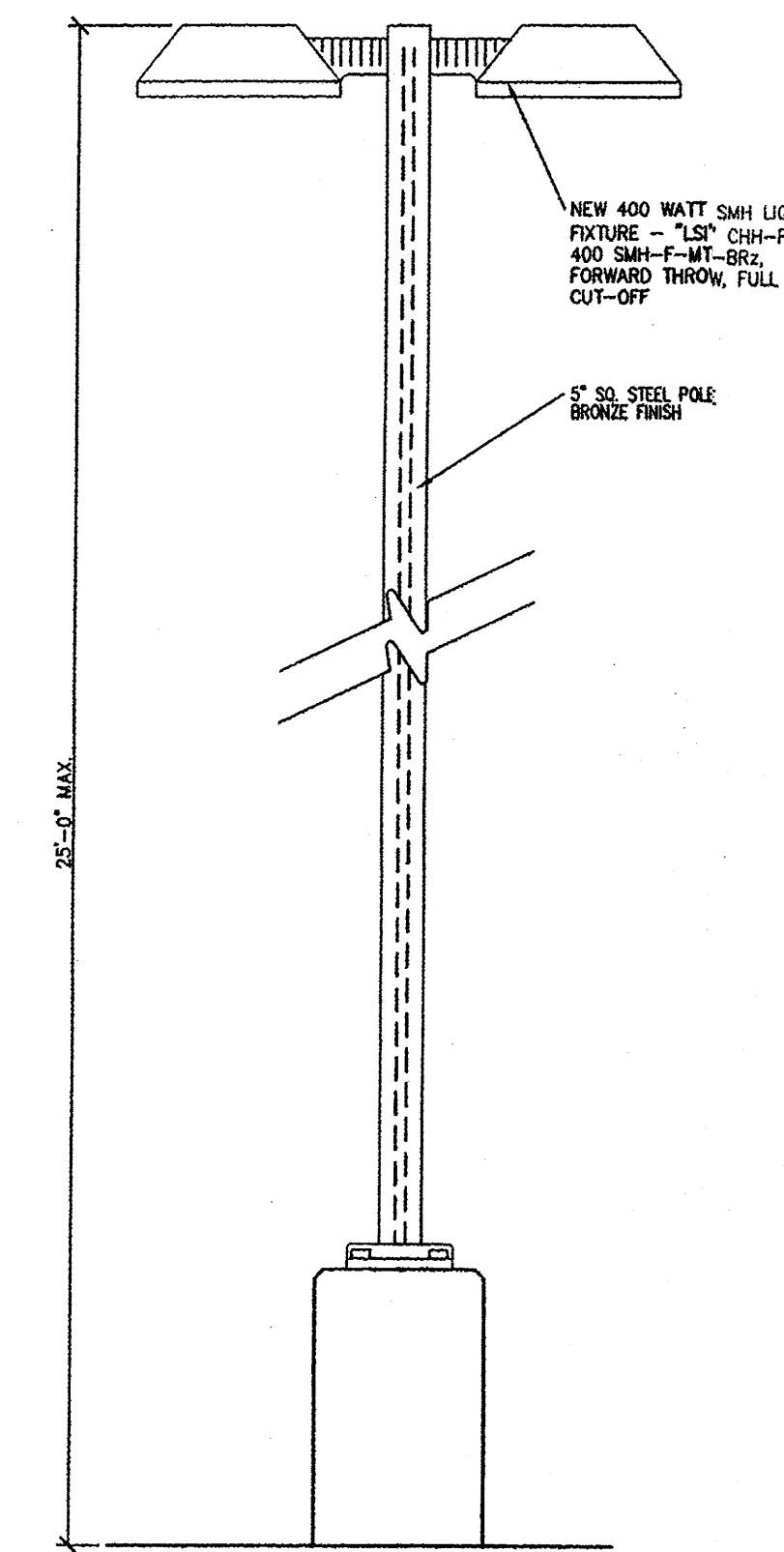
2 **SANITARY SEWER CLEAN-OUT**
NTS



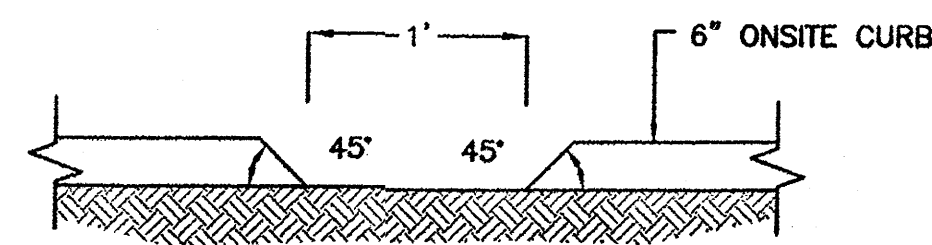
DOME SECTION
BD - BASE DIAMETER 0.9" MIN
TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX



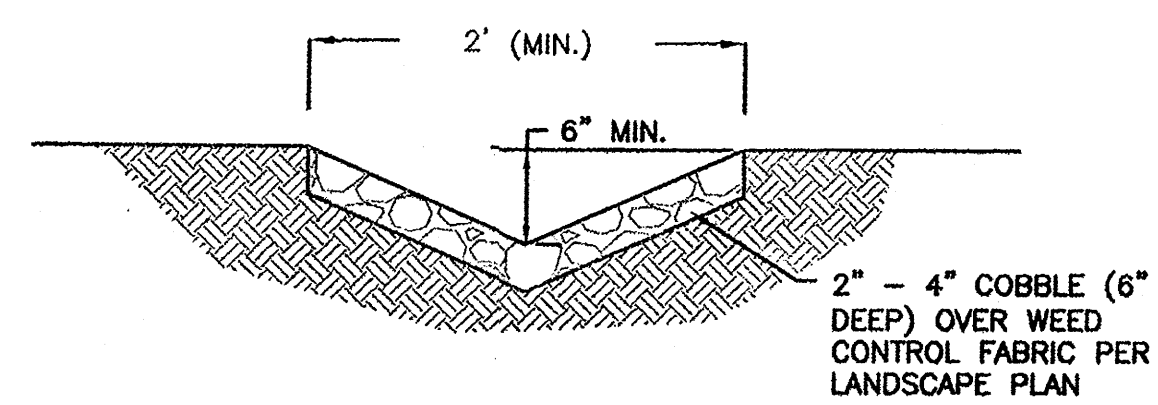
DOME SPACING
CC - CENTER TO CENTER SPACING 2.35"
BB - BASE TO BASE SPACING 1.48" MIN



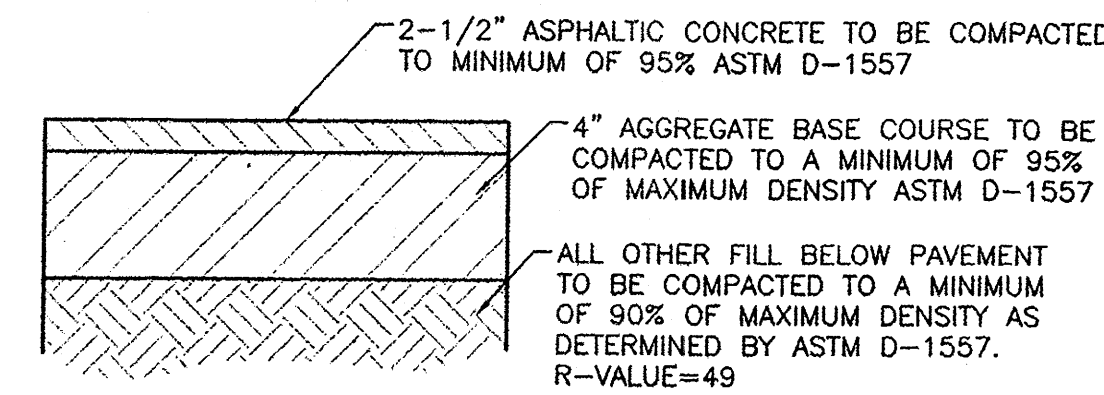
AREA LIGHT ELEVATION
NTS



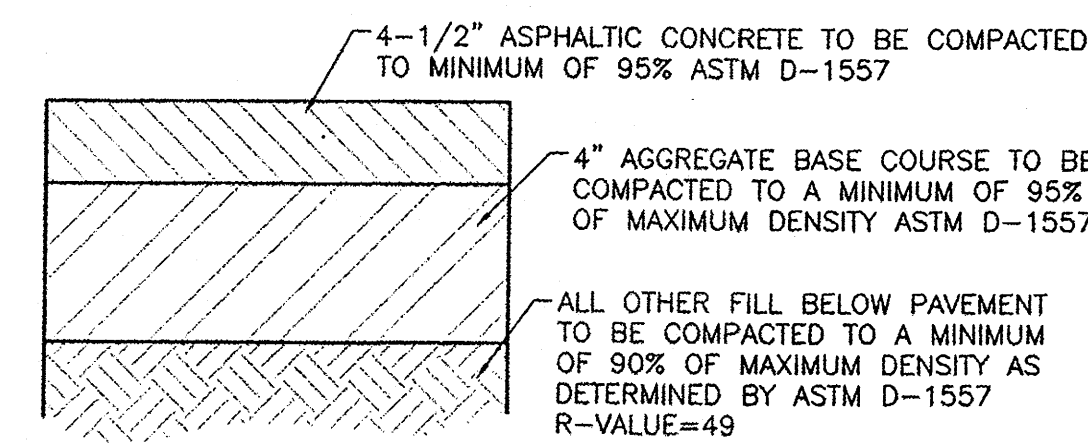
CURB CUT OPENING DETAIL
NTS



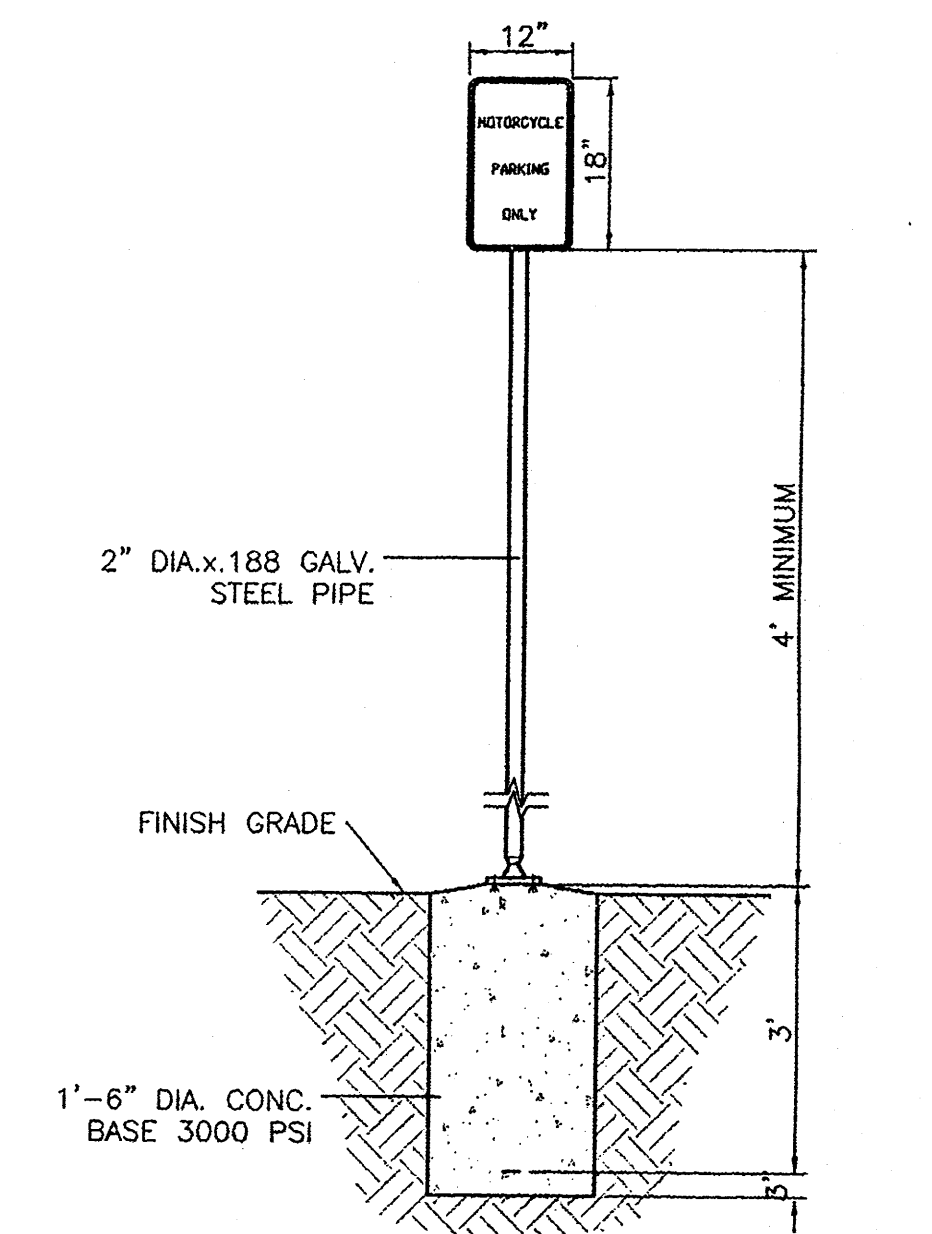
COBBLE DRAINAGE SWALE DETAIL
NTS



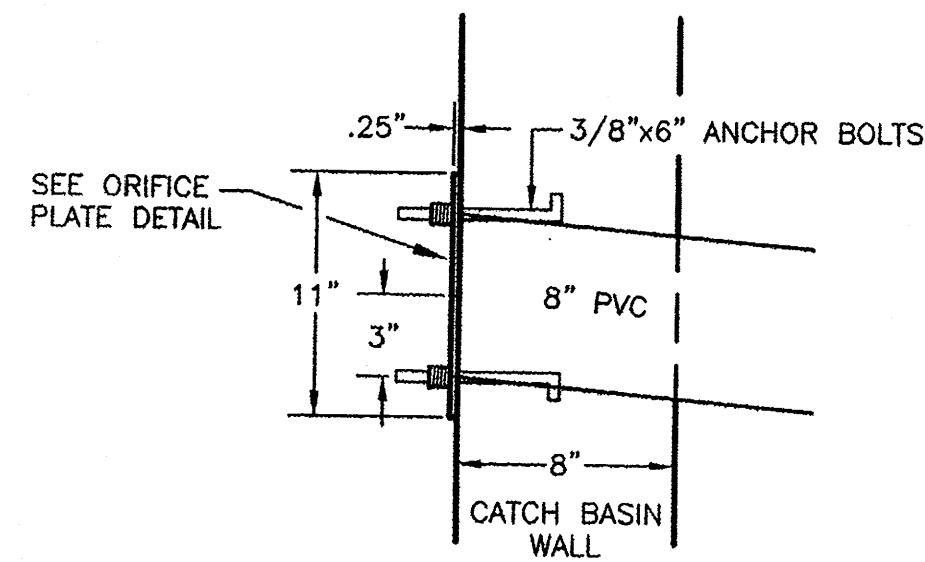
AUTOMOBILE PARKING TYPICAL PAVING SECTION
1" = 1"



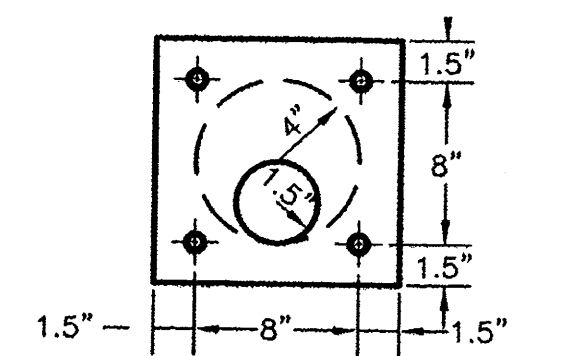
AUTOMOBILE DRIVEWAYS AND AREAS SUBJECT TO SEMI-TRUCKS TYPICAL PAVING SECTION
1" = 1"



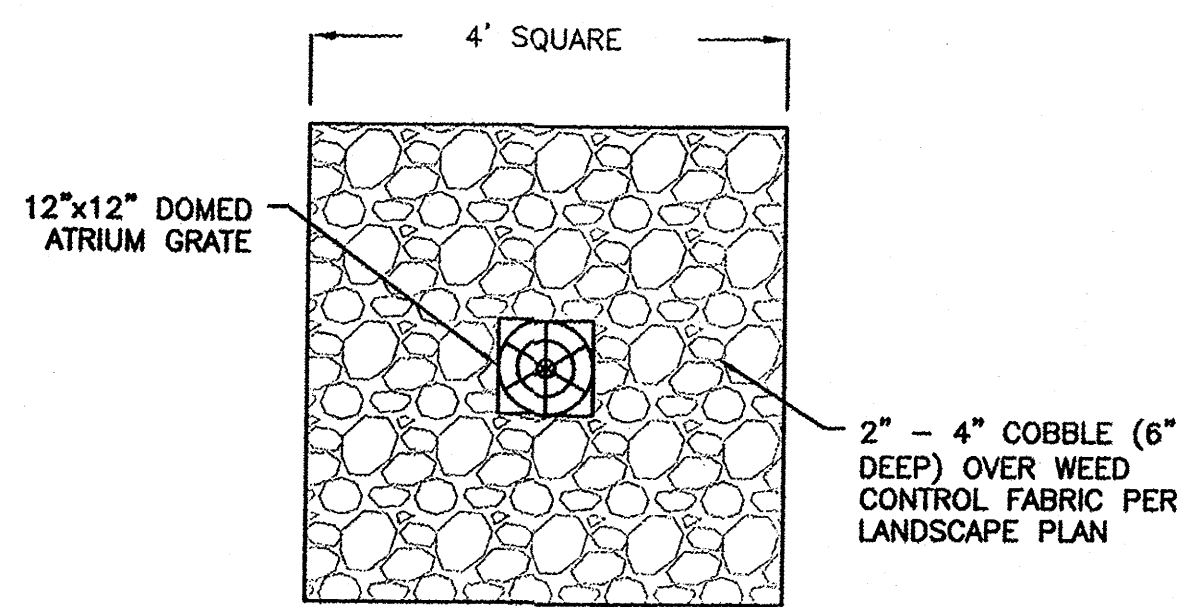
MOTORCYCLE PARKING SIGN
NTS



TO BE INSTALLED @ THE OUTFLOW OF ALL CATCH BASINS (SEE PLAN FOR SIZES)

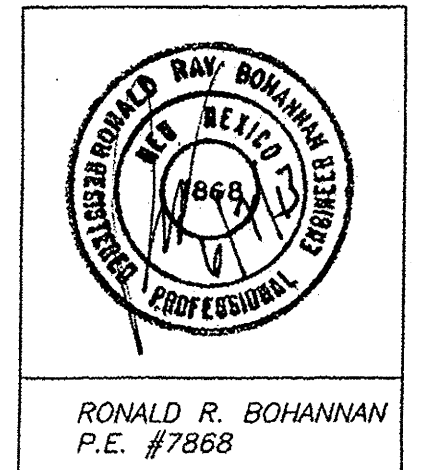


TYP. ORIFICE PLATE DETAIL
NTS



DOMED ATRIUM GRATE DETAIL
NTS

NOTE: REFER TO GEOTECHNICAL REPORTS FOR SPECIFICATIONS.

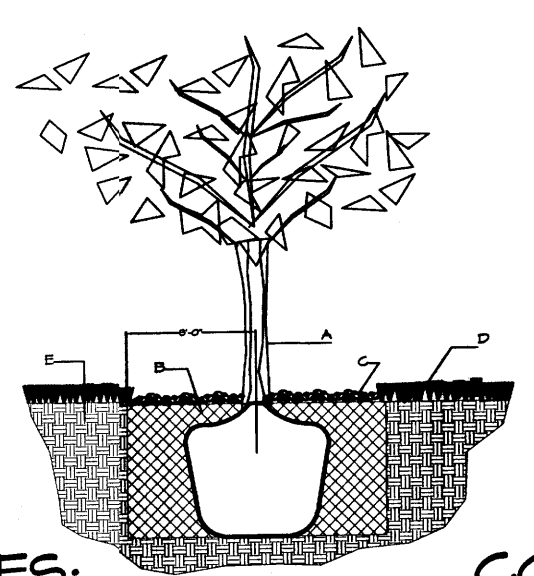
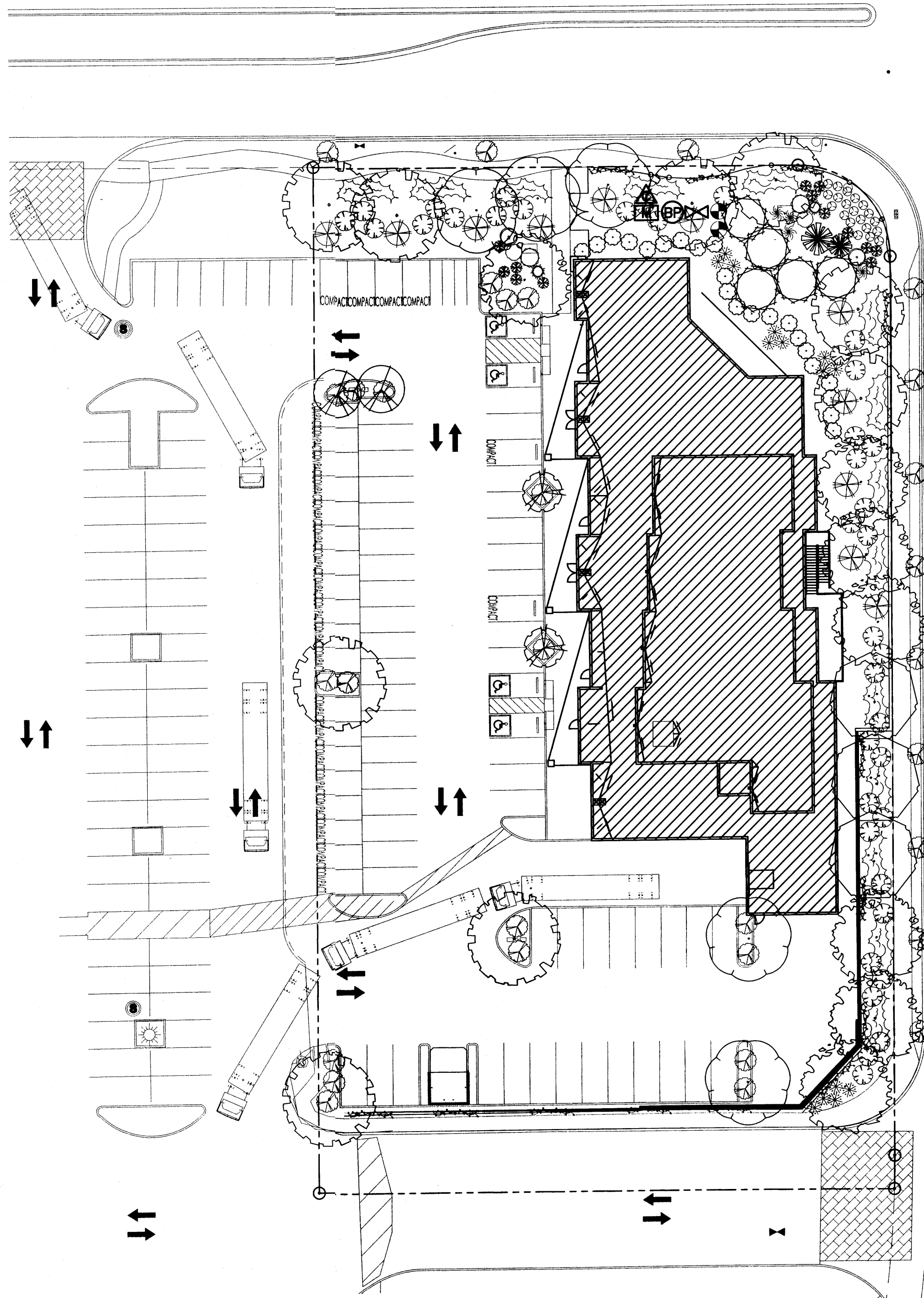


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5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
505-885-1000
www.terrawestllc.com

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DETAILS
ALBUQUERQUE, NM
PROJECT #1317

REVISION DATE
DATE 05-07-2013
SHEET NUMBER C-6



GENERAL NOTES:

1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING FIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

CONSTRUCTION NOTES:

- A. TREE
- B. BACKFILL WITH EXISTING SOIL.
- C. 4" DEPTH OF BARK MULCH.
- D. TURF AT FINISH GRADE.
- E. UNDISTURBED SOIL.

TREE PLANTING DETAIL NTS

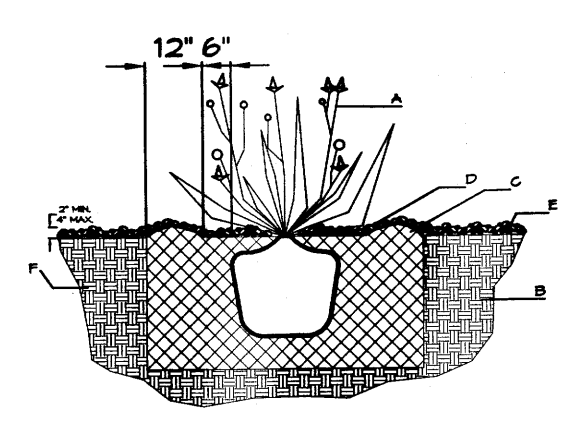
GENERAL NOTES:

1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING FIT.

SHRUB PLANTING DETAIL NTS

CONSTRUCTION NOTES:

- A. SHRUB.
- B. BACKFILL WITH EXISTING SOIL.
- C. EARTH BERM AROUND WATER RETENTION BASIN.
- D. 4" DEPTH OF BARK MULCH.
- E. FINISH GRADE.
- F. UNDISTURBED SOIL.



PLANT LEGEND

TREES	
HONEY LOCUST (M) 7 <i>Gleditsia triacanthos</i> 4" Cal.	COMMON HACKBERRY (M) 5 <i>Celtis occidentalis</i> 4" Cal.
CHINESE PISTACHE (M) 4 <i>Pistachia chinensis</i> 4" Cal.	DWARF MAHONIA (M) 14 <i>Mahonia aquifolium 'Compacta'</i> 5 Gal. 36sf
SHUMARD OAK (M) 3 <i>Quercus shumardii</i> 4" Cal.	NANDINA (M) 22 <i>Nandina domestica</i> 5 Gal. 25sf
FLOWERING PEAR (M+) 4 <i>Pyrus calleryana</i> 4" Cal.	BARBERRY (M) 2 <i>Berberis</i> spp. 5 Gal. 4sf
PURPLE-LEAF PLUM (M) 2 <i>Prunus</i> spp. 4" Cal.	MAIDENGRASS (M) 4 <i>Miscanthus sinensis</i> 5 Gal. 16sf
DESERT WILLOW (L) 5 <i>Chilopsis linearis</i> 15 Gal.	CHAMISA (L) 10 <i>Chrysothamnus nauseosus</i> 5 Gal. 25sf
ACCENTS	HONEYSUCKLE (M) 31 <i>Lonicera sempervirens</i> 5 Gal. 144sf Unstaked-Groundcover
PALM YUCCA (L) 2	REGAL MIST (M) 14 <i>Muhlenbergia capillaris</i> 5 Gal. 16sf
SHRUBS	WILDFLOWER 20 1 Gal. 4sf Does not count toward live ground coverage
REDTING DOGWOOD (M+) 2 <i>Cornus stolonifera</i> 5 Gal. 64sf	GREYLEAF COTONEASTER (M) 24 <i>Cotoneaster buxifolius</i> 5 Gal. 81sf Symbol indicates 2 plants
FORSYTHIA (M) 2 <i>Forsythia intermedia</i> 5 Gal. 100sf	VINES
RUSSIAN SAGE (M) 2 <i>Ferovskia atriplicifolia</i> 5 Gal. 36sf	TRUMPET VINE (M) 4 <i>Campsis radicans</i> 5 Gal.
* PARNEY COTONEASTER 11 <i>Cotoneaster lacteus</i> 5 Gal., 2-4" Inst./8' x 12' maturity	HARDSCAPES
Water (M) Alergy (L) 144sf	SANTA FE BROWN GRAVEL WITH FILTER FABRIC MINIMUM 3" DEPTH

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	62944	square feet
TOTAL BUILDINGS AREA	15088	square feet
NET LOT AREA	47856	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	7178	square feet
TOTAL BED PROVIDED	13710	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	10327	square feet
TOTAL GROUNDCOVER PROVIDED	10605 (11%)	square feet
TOTAL SOD AREA (max. 20% of landscape required)	0 (0%)	square feet
TOTAL LANDSCAPE PROVIDED	13710 (28%)	square feet

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Follen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel to a minimum depth of 3" over Filter Fabric shall be placed in all pervious landscape areas which are not designated to receive native seed.

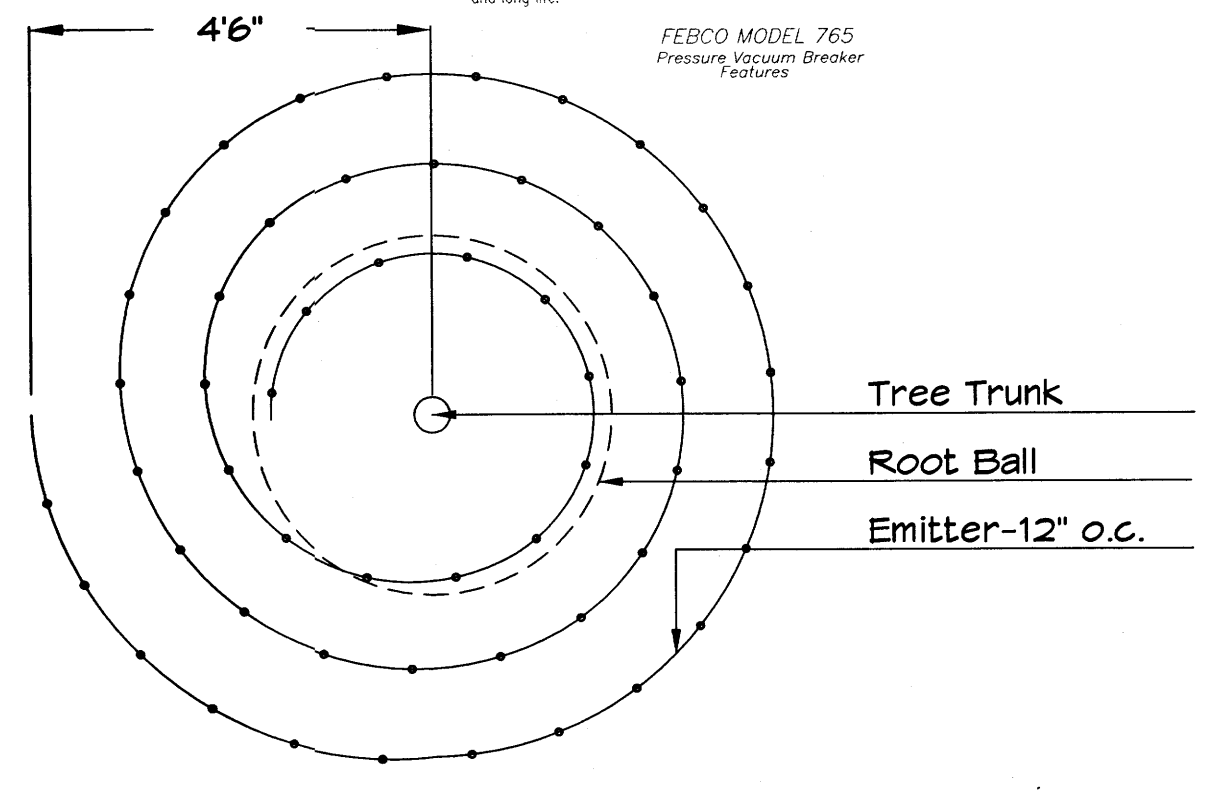
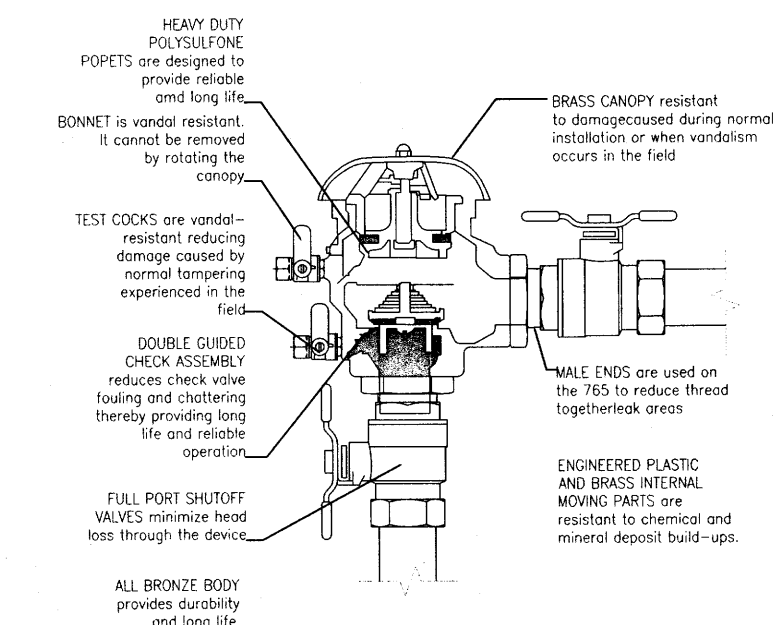
STREET TREE REQUIREMENTS

Street trees required under the COA Street Tree Ordinance are as follows:

Name of Street	Renaissance Blvd	Required # 7	Provided # 7
Name of Street	Culture Dr	Required # 11	Provided # 11

IRRIGATION LEGEND

- ⊕ BACKFLOW PREVENTOR
- ⊠ CONTROLLER
- ⊡ MASTER VALVE
- ⊙ P6A VALVE
- ⊞ WATER METER
- SLEEVE, 2X PIPE TO BE SLEEVED.



Netafim Spiral Detail

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

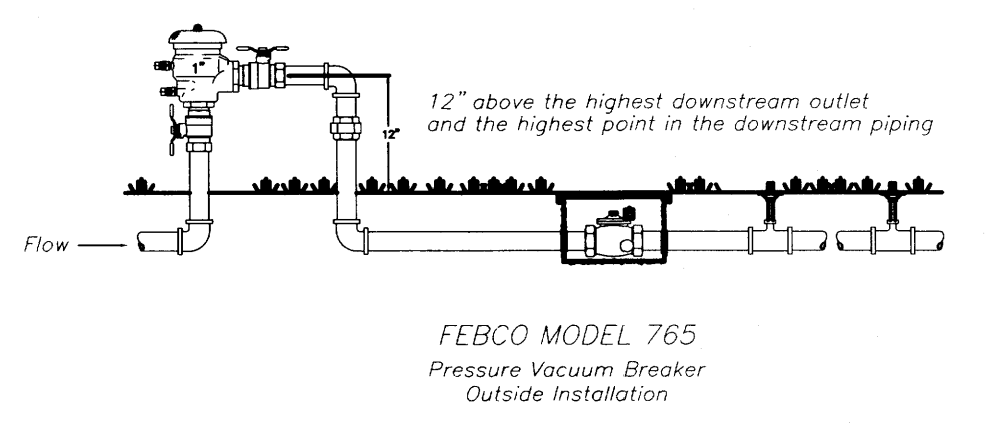
Water and Power source shall be the responsibility of the Developer/Builder.

PARKING LOT TREE REQUIREMENTS

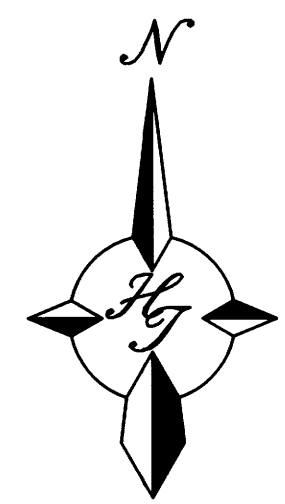
Shade trees required under the COA Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces	Required # 8	Provided # 8
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NOTE TO CLIENT:
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.



FEBCO MODEL 765 Pressure Vacuum Breaker Outside Installation



GRAPHIC SCALE



SCALE: 1"=30'



The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmj@hilltoplandscaping.com
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DreamStyle
LANDSCAPING PLAN
ALBUQUERQUE, NM
PROJECT #1317

REVISION DATE
1/6-7-13



DATE
05-07-2013

SHEET NUMBER
L-1