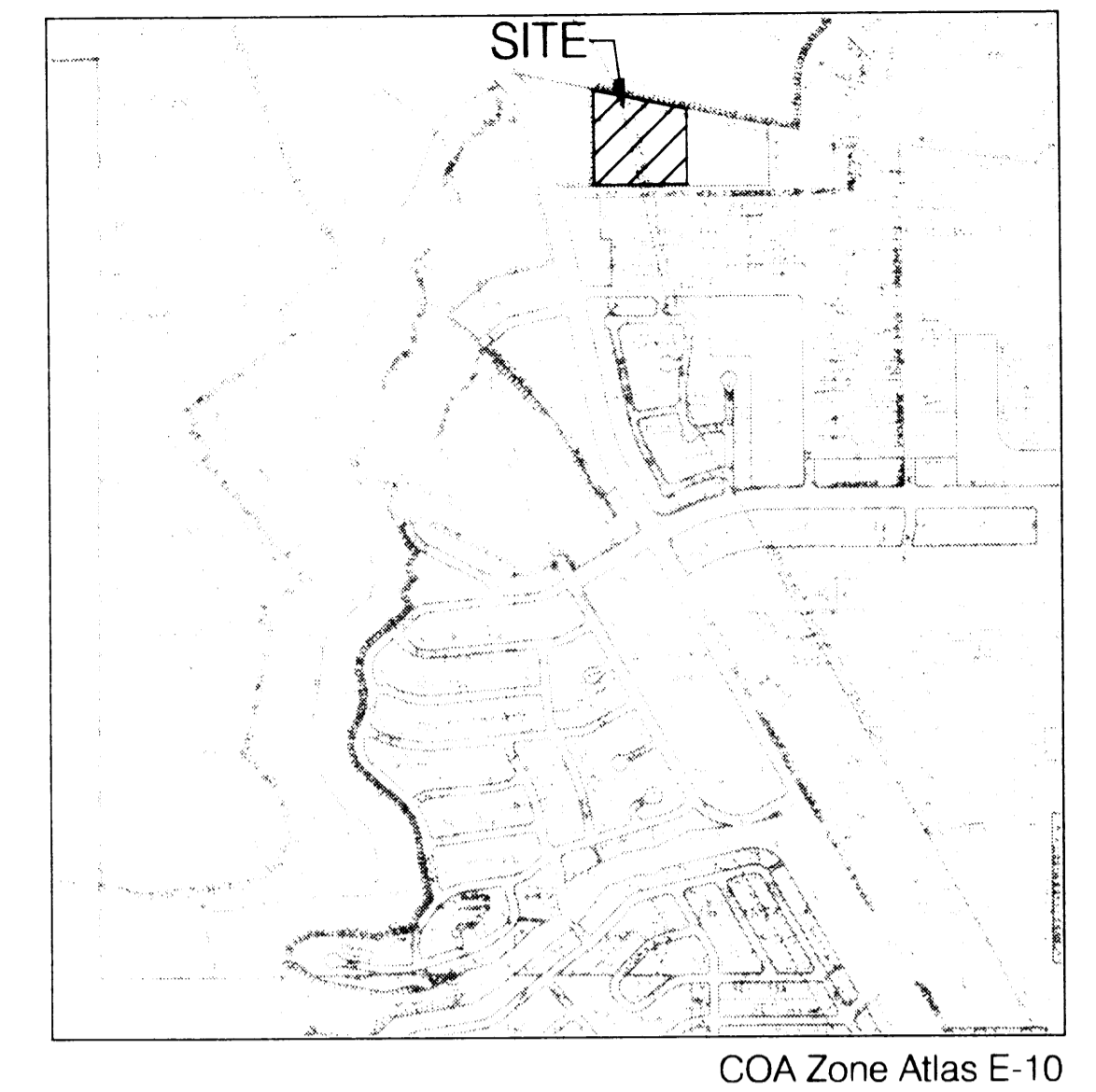
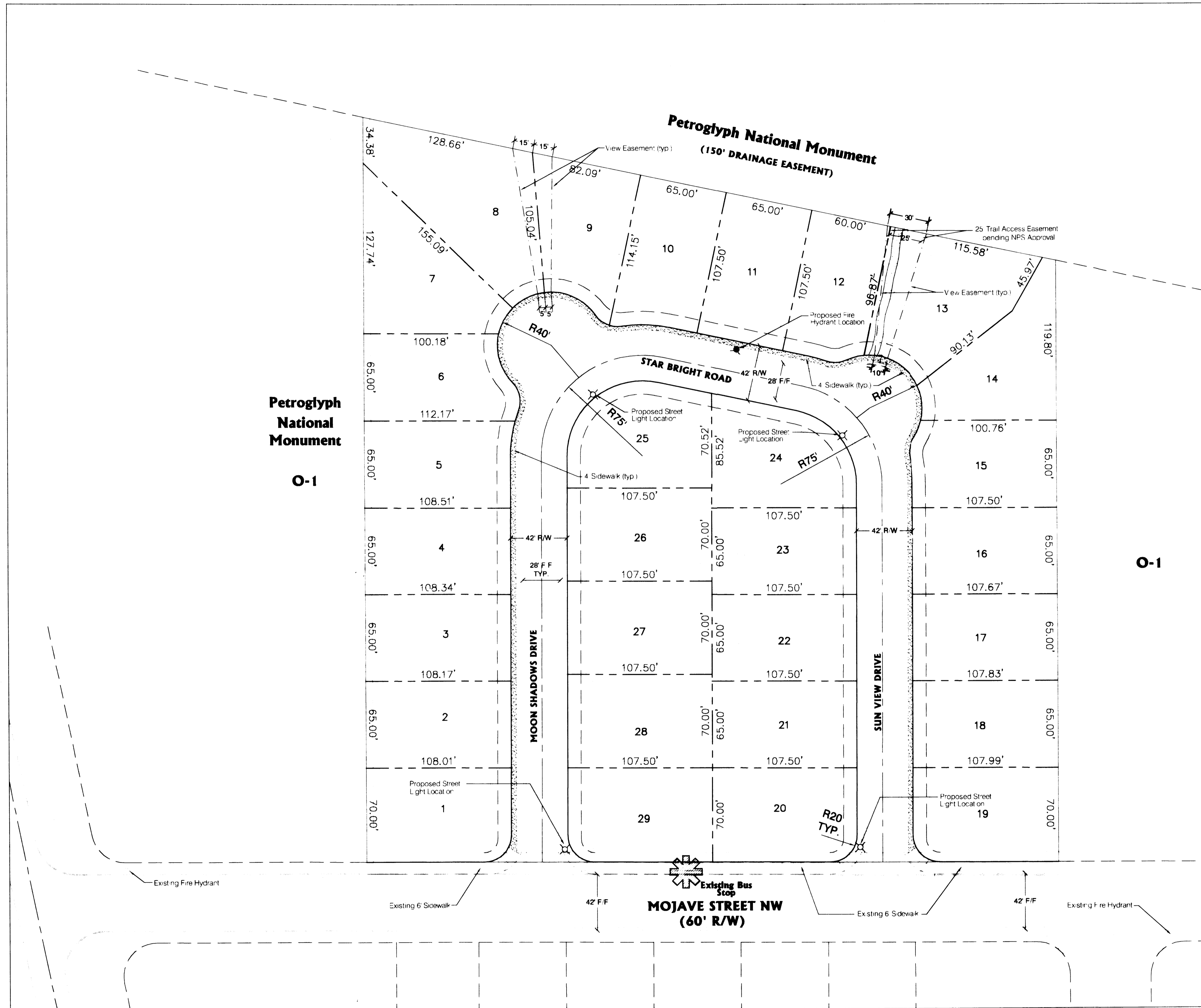


VICINITY MAP



PR02 1001147



Site Data

Parcel Size: 6.1 acres
 Existing Zoning: SU-1 for RL
 Proposed Use: 29 Single Family Homes

APPROVALS Project #: 1001147

EPC #: 01128 00000 00917 / 01128 00000 00918
 DRB #: 01450 00000 01451 / 01450 00000 01452

<i>Janet S...</i> Planning Director	10/23/01	Date
<i>Richard D...</i> Transportation Development	10-17-01	Date
<i>Bradley B...</i> City Engineer/AMAFCA	10/17/01	Date
<i>Roger A...</i> Utility Development	10-17-01	Date
<i>Adrienne E. C...</i> Parks and Recreation Department	10/17/01	Date
<i>Shirley...</i> Solid Waste Department	10-17-01	Date

Petroglyph Shadows

SITE PLAN FOR SUBDIVISION AND BUILDING PERMIT

Prepared for:
Phil Ward
Garth Maxam

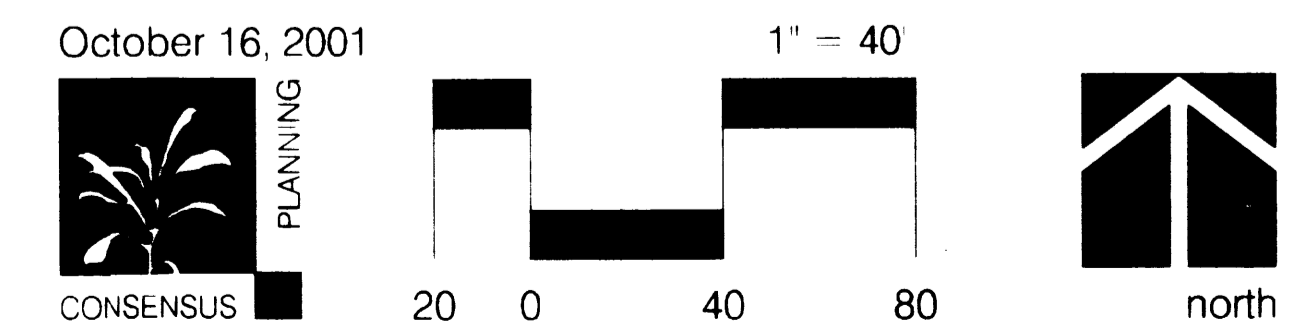
Prepared by:
Consensus Planning, Inc.
924 Park Avenue SW
Albuquerque, NM 87102

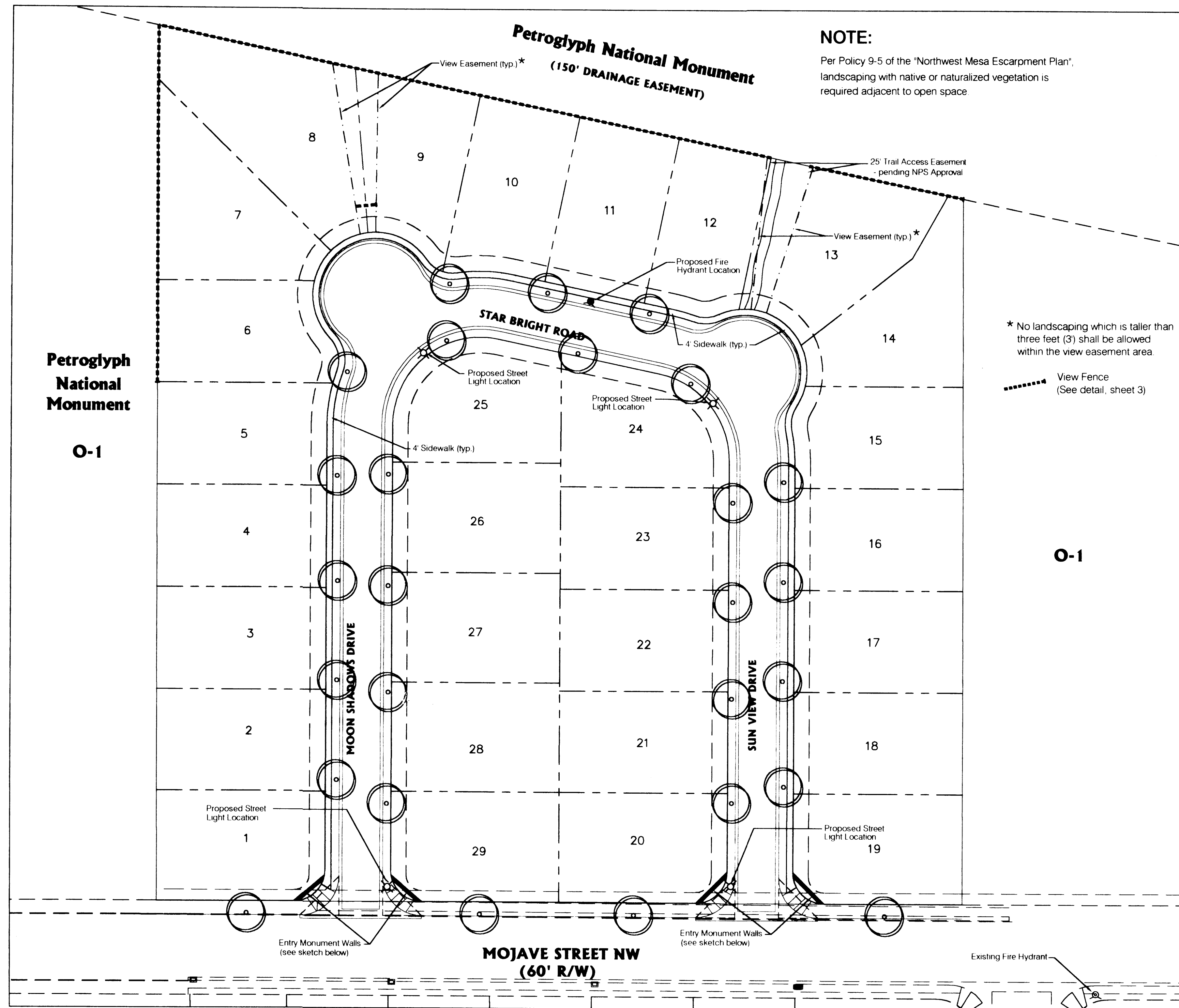
Isaacson & Arfman, P.A.
128 Monroe Street NE
Albuquerque, NM 87108

NOTES:

- All grading and construction impacts shall be minimized and mitigated as per the guidelines of the "Northwest Mesa Escarpment Plan" (Policy 11-7).
- Coordination with Open Space Division and submittal of an environmental compliance report (based upon existing data available from the National Park Service regarding soils, views, wildlife, archaeology, vegetation and connections to the monument) for design and construction of the 8" sewer line within the utility/drainage easement is required prior to DRC approval.

R.C. Sanchez 10-16-01





LANDSCAPE CONCEPT

The landscape concept for Petroglyph Shadows has been developed to enhance and follow the patterns of the surrounding environment. Native and naturalized plant materials will be utilized which provide beneficial shade, and create a pleasant environment for the residents of the subdivision while minimizing the impact on views of the escarpment.

GENERAL

The design and provision of landscaping for the Petroglyph Shadows Subdivision will be in conformance with the City of Albuquerque Zoning Code, Pollen Ordinance, and the Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

STREET TREE ORDINANCE REQUIREMENTS

Streets within the Petroglyph Shadows Subdivision are classified as local streets and do not fall under the requirements of the City of Albuquerque Street Tree Ordinance, however, street trees shall be installed by the developer at a rate of approximately one tree per lot.

STREET TREE PALETTE

- Golden Rain Tree - Required as indicated and shall be maintained by the adjacent property owner. Street trees shall be replaced per this plan by the property owner as necessary.

UTILITY NOTES

Due to the small scale, and in order to provide optimum legibility of the landscape plan, utility easements are not shown. The location of utility easements are as indicated on the Site Plan, Sheet 1.

IRRIGATION SYSTEM

Irrigation system shall consist of a fully automated sprinkler/drip irrigation system to irrigate tree, shrub, and groundcover planting areas. Irrigation for street trees shall be included as part of the irrigation system for individual lots.

MAINTENANCE RESPONSIBILITY

Maintenance of the landscaping and irrigation system shall be the responsibility of the individual Lot Owners. All planting areas will be maintained in a living, attractive, and weed free condition.

MINIMUM FRONT YARD LANDSCAPE STANDARDS FOR PETROGLYPH SHADOWS SUBDIVISION

The following requirements for front yard landscaping are in addition to the street tree requirements outlined above.

- 1 Deciduous Shade Tree (min. 2" caliper)
- 1 Ornamental Tree (min. 2" caliper)
- 8 Shrubs (min. 5 gallon)
- 8 Wild Flowers (min. 5 gallon)
- 8 Groundcover (min. 5 gallon)
- 2 Landscape Boulder (3x3 min.)

In addition, all front yard landscaping shall be required to have the following:

- 3/4" Santa Fe Brown Rock Mulch over filter fabric for all landscaped areas that are not covered with living vegetative groundcover
- Steel Header (as required between Turf and other landscaped areas)
- Irrigation System w/Automatic Timer

The following approved Accents can be used for front yard landscaping:

- Turf Grass (sodded, min. 20% of the front yard landscape area), 2"-4" Cobbles (max. 25% of Area), Bark Mulch (in tree wells only)

GENERAL PLANT PALETTE FOR FRONT YARD LANDSCAPES

This list is provided as a guide only. Additional plant materials included in the "Albuquerque Plant List" are acceptable subject to the Water Conservation Landscaping and Water Waste Ordinance.

Shade Trees (2" caliper min.)*

- Velvet Ash, Raywood Ash, Peachleaf Willow

Ornamental Trees (2" caliper min.)*

- Desert Willow, Chitalpa, New Mexico Olive, Net Leaf Hackberry

Evergreen Trees (6' min. height)*

- Piñon Pine

*Palm Yucca and Ocotillo shall not be considered to fulfill the requirement for front yard trees.

Shrubs (1 & 5 gallon)

- Juniper Species, Potentilla, Chamisa, Artemesia Species, Fourwing Saltbush, Apache Plume, Mountain Mahogany, Evening Primrose, Penstemon Species, Desert Spoon, Cliff Rose, Three-leaf Sumac, Baccharis, Yucca Species

Turf Grasses (Seed or Sod)

- Tall Fescue (Max. 20% of total landscape area)
- Buffalo/Blue Grama Grass

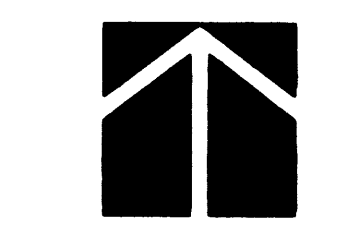
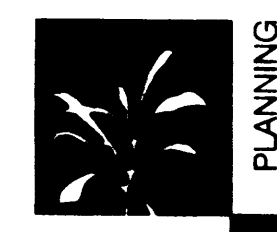
Petroglyph Shadows
LANDSCAPE PLAN

Prepared for:
Phil Ward
Garth Maxam

Prepared by:
Consensus Planning, Inc.
924 Park Avenue SW
Albuquerque, NM 87102

Isaacson & Arfman, P.A.
128 Monroe Street NE
Albuquerque, NM 87108

October 19, 2001



CONSENSUS

20

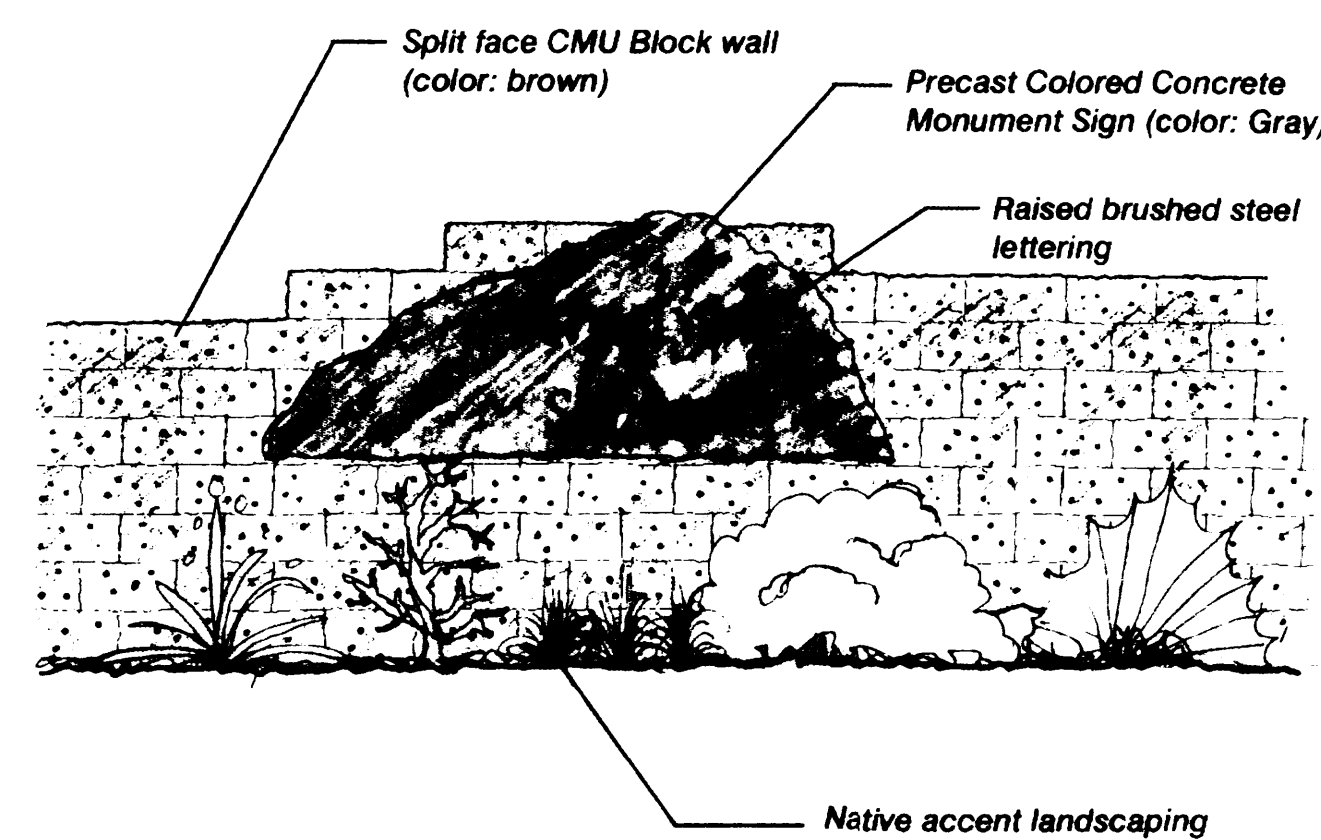
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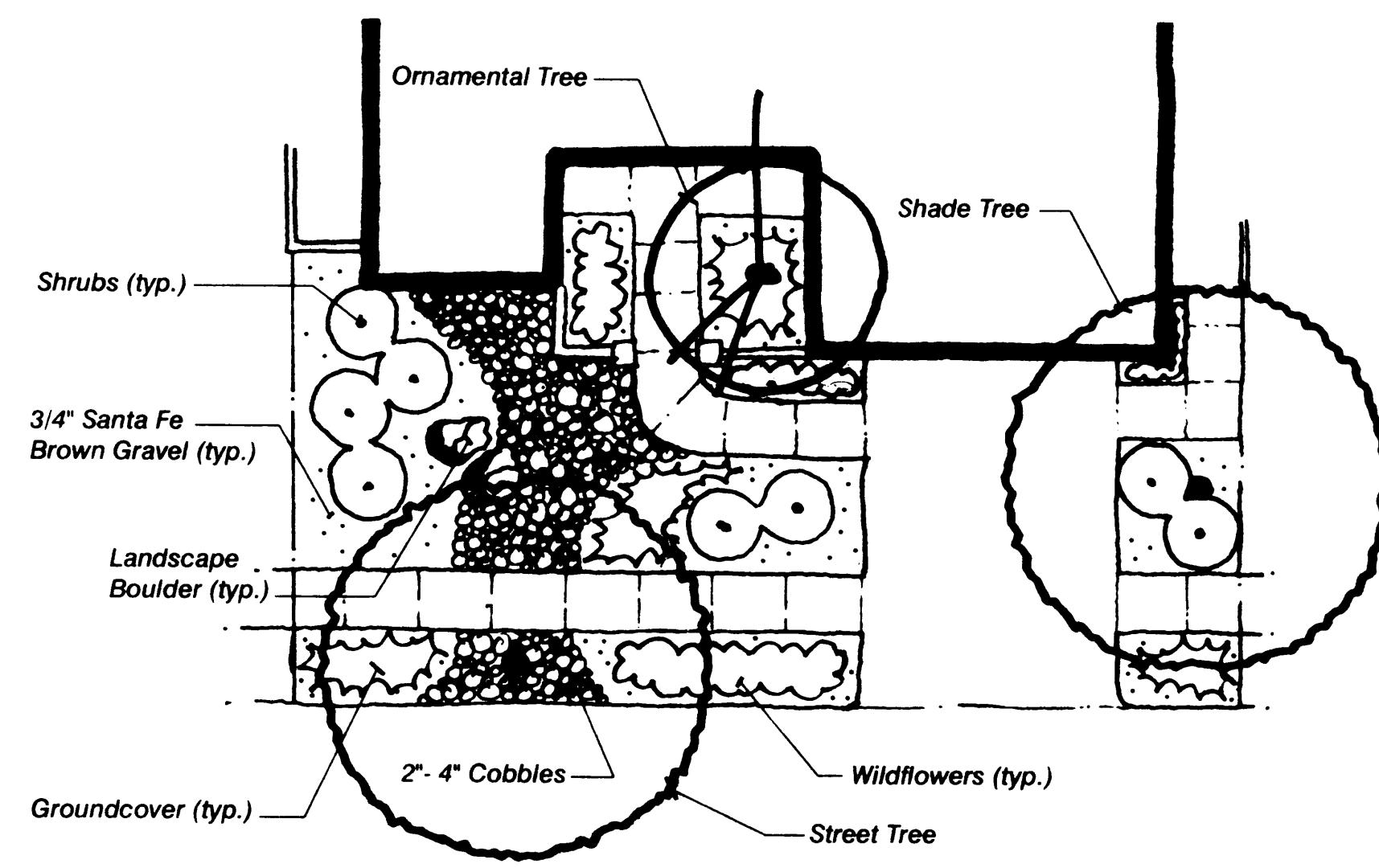
north

Sheet 2 of 6



Entry Monument Elevation

Scale: 3/8" = 1'-0"



Typical Front Yard Landscape Plan

Scale: 3/32" = 1'-0"

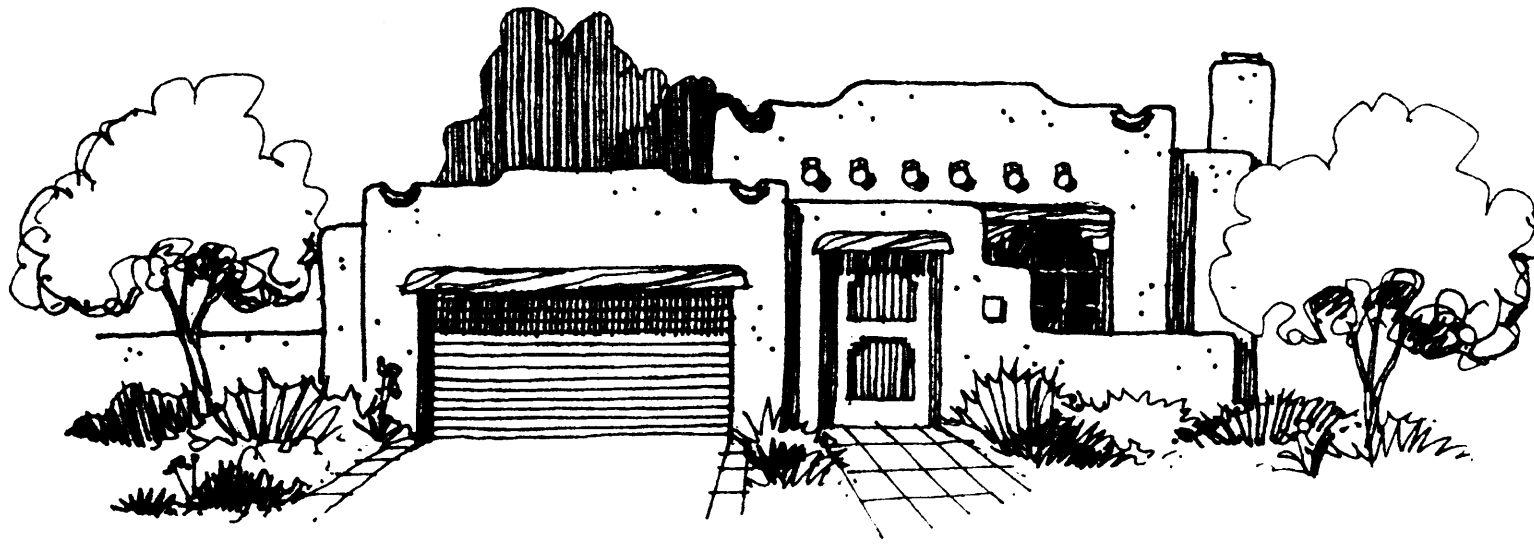
DESIGN GUIDELINES FOR PETROGLYPH SHADOWS

The following are guidelines for homes built in the Petroglyph Shadows subdivision ("Petroglyph Shadows Guidelines"). Builders will construct all homes within Petroglyph Shadows in compliance with the Guidelines as described below.

A. Architectural Styles

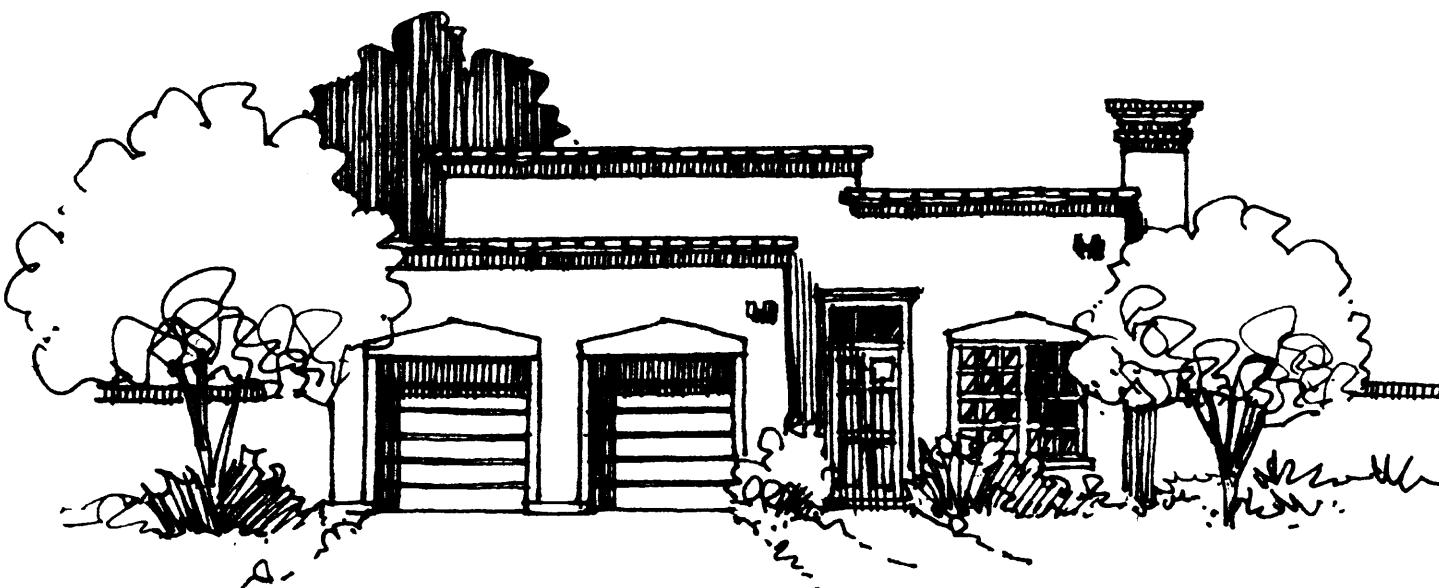
All homes must be Pueblo, Territorial, or Spanish Mission style. Below are described characteristics of the different styles. While these characteristics are typical, it is not the intent of these guidelines to prohibit a certain amount of individual expression and creativity as long as the overall look of the house contains the characteristics of one of the styles listed below and adheres to the Guidelines. The use of architectural detail and materials should be consistent on all elevations to some degree, the same window and door trim details shall be used consistently in all openings.

Pueblo Style - Pueblo style is walled architecture recalling the low adobe, flat roofed dwellings of the northern New Mexico Pueblo Indians. Characterized by the "Pueblo" buildings of historic Santa Fe, Pueblo style incorporates recessed set doors and windows, and dramatically recessed portals or patios (at front facades). The Pueblo style traditionally uses flat roofs and relies extensively on post and beam or bearing wall construction. Interesting massing and soft edged smooth stucco are distinctive features of this style.



1. There are no pitched roof forms in this style.
2. Entry portals are a hallmark of the style.
3. Lintels over openings can be wood and exposed, but covered lintels are just as common.
4. Exterior wall finish is stucco from the approved color list.
5. Stone can be used in horizontal benches at the base of walls in the prescribed percentages in coursed ashlar pattern.
6. The clustered form allows courtyards to be easily integrated into the design by low walls and gates.
7. Parapets are also used to emphasize forms.

Southwestern Territorial Style - has its roots in the Pueblo style and early Spanish buildings and is characterized by simple, if not symmetrical, massing, low sloped roofs (no pitched roofs), portals and courtyards often surrounded by low walls or gates, brick parapet caps, horizontal benches and/or chimneys, stucco walls with square corners of a limited color palette, and pedimented window and door head trim, usually of wood. Columns are generally square or square tapered and are typically painted, finished wood with painted wood trim forming the capital and base of the post (no corbels). Territorial style is typically straighter, more formal, and more finished than the Pueblo style.



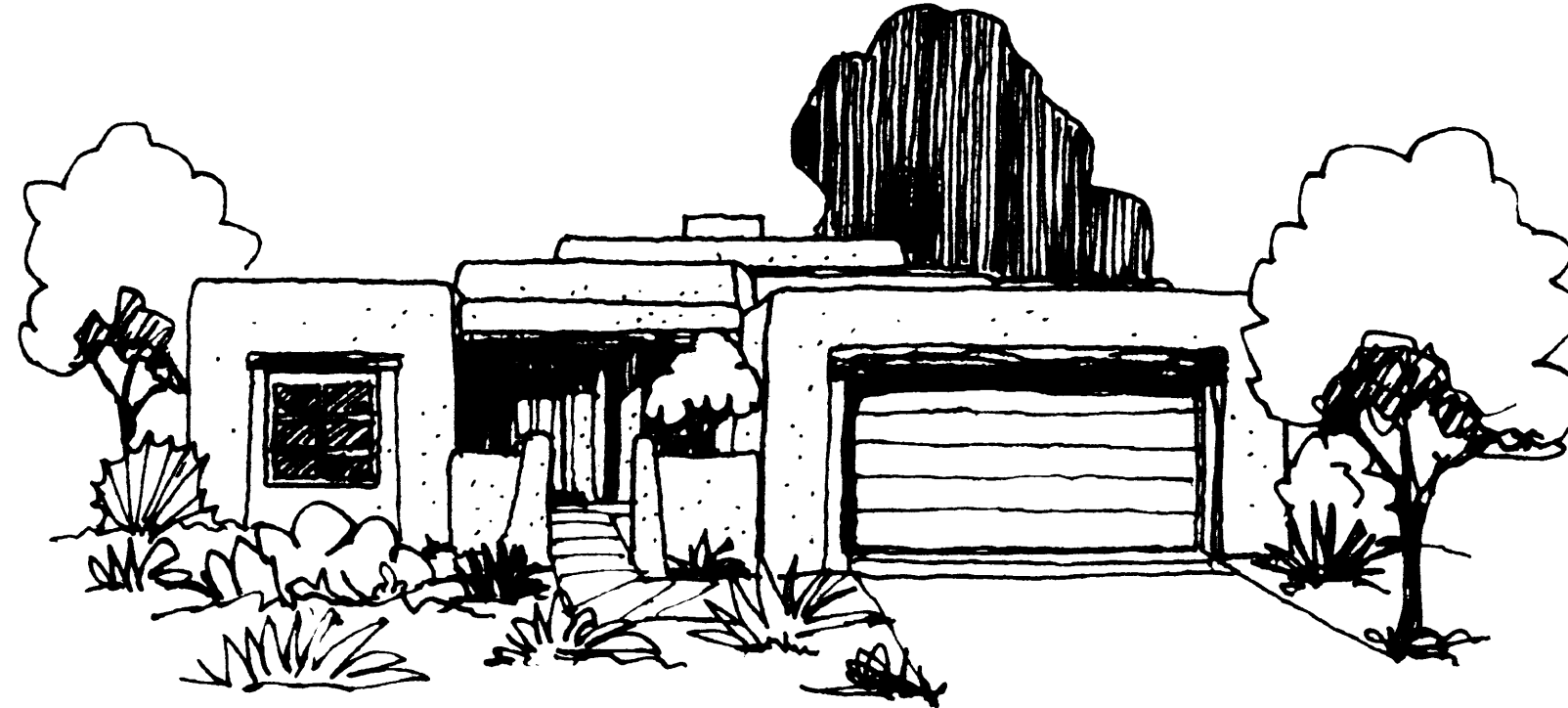
1. There are no pitched roof forms in this style.
2. Entry portal is common and a hallmark of the style.
3. Trim over openings can be pedimented wood with moldings, but untrimmed openings are just as common.
4. Exterior wall finish is stucco with square corners from the approved color list.
5. Brick can be used in horizontal benches at the base of walls, and may be used as parapet caps in chimney forms.
6. The symmetrical form allows for formal courtyards to be easily integrated into the design by low walls and gates extending rectilinear geometries.
7. Parapets are also used to emphasize this form.
8. Portal columns are square, or square tapered, and are typically painted finished wood with painted wood trim forming the capital and base of the post.

Spanish Mission Style - Spanish style residences in New Mexico follow similar masonry traditions as the Pueblo style, the Spanish style tradition is characterized by low pitched roofs, usually with little or no overhang, mission tile roof covering and one or several arches at the entry or important room. This style often has an entry courtyard with an elaborate entry door to an enclosed garden courtyard with arched or wood framed portals. Tower forms have also been associated with this style in the past, but must be carefully integrated into the massing of the residence.



1. There are pitched roof forms on main volumes, porches and colonnades or behind parapets in this style, maximum slope is 6 in 12. Low sloped roofs can also be combined with flat roof elements. Roofs are typically of clay or concrete tile, mission barrel or S shapes in solid colors.
2. Entry portal is not common in this style, however, arches above doors, principal windows, or beneath porch roofs are common.
3. Trim over and around openings can be tile or terra cotta moldings, but untrimmed openings are just as common.
4. Smooth stone can be used in horizontal benches at the base of walls, as parapet caps and in chimney caps.
5. A variation of building masses allows courtyards to be easily integrated into the design by low walls and gates extending rectilinear geometries.
6. Parapets are also used to emphasize forms.
7. Exterior wall finish is stucco, from the approved color list, or smooth stone finish, in the prescribed percentages, with square or slightly rounded corners.

Contemporary Pueblo Style - Contemporary interpretations of the Pueblo style incorporating large areas of glass and innovative massing can be designed, with skill, to be in harmony with more traditional residences.



1. There are no pitched roof forms in this style.
2. Exterior wall finish is stucco with rounded corners.
3. Not more than (3) color changes to exterior stucco wall finish.
4. Courtyard walls extending geometries of residence are part of this style.
5. Percentage of glass area to wall area shall not exceed 30%.
6. Parapets are used to emphasize forms.
7. Lintels over openings can be wood and exposed, but covered lintels are just as common.

B. Building Massing

For all of the architectural styles listed above, building massing is critical, especially for the street elevations. Building masses should be offset from the adjacent masses by an appropriate dimension to the size of the building. The front and rear (if adjacent to a street) elevations must contain at least three building masses, of which two of the building masses must have at least a 1 foot vertical/horizontal offset. Deviations from the 1-foot minimum massing requirements in the Design Guidelines may be approved on an individual basis. A building mass is defined as a volume of space that usually appears as a rectilinear form, consisting of a roof and at least three (3) walls.

C. Roof Forms

These forms are appropriate at Petroglyph Shadows:

1. Low sloped roofs, 1/4" per foot to 1" per foot, with parapets (all styles)
2. Gable and hip roofs, no steeper than 6" per foot for Spanish Mission Style

These roof forms may not be used at Petroglyph Shadows:

1. Mansard
2. Domed or arched
3. Gambrel

D. Roof Materials and Colors

These roof materials are appropriate for homes in Petroglyph Shadows:

1. Built-up roofing (non reflective)
3. Single-ply membrane (low sloped only, non reflective)
4. Clay or Concrete tile, mission barrel or S shapes in solid colors

These roofing materials will not be allowed at Petroglyph Shadows:

1. Asphalt shingles
2. Wood shingles and shake shingles
3. Multi-colored roof tiles.
4. Dark colored roofing.

Approved colors for roofs include yellow ochres, browns, dull reds, and grey-greens. The reflectance of the approved colors may range between 14 and 63 percent so as to avoid very light and very dark colors.

E. Columns

The following are appropriate column forms at Petroglyph Shadows:

1. Square stucco
2. Round stucco
3. Square wood
4. Square wood, tapered
5. Round peeled bark wood.
6. Round classical with smooth shafts in Doric or simple contemporary order.

The following shall not be allowed:

1. Corinthian
2. Ionic
3. Tuscan
4. Egyptian

F. Garages

1. Each home must have a garage for not less than two cars and have a driveway sufficient to park two vehicles, so that a minimum of four parking spaces is provided.
2. Garage doors shall be offset from the surface of the front façade by a minimum of eight inches (8").
3. Individual garage doors shall be a maximum, in the aggregate, width of two cars. Additional garage doors shall be offset in massing by a minimum of 1 foot.
4. Total width of all garage doors shall in no event exceed 34 feet.
5. The garage doors shall be a maximum height of no greater than 8 feet.
6. The front yard setbacks of homes in Petroglyph Shadows shall be varied so that at least every third house shall have a front yard setback at least 3 feet (3') different than the front yard setback on the adjacent two lots.
7. Half of the lots have a choice the garage shall either be rotated 90 degrees or the garage shall be pressed back on the lot at least 5 feet beyond the face of the living quarters.

G. Windows

Windows are integral with all styles of homes at Petroglyph Shadows.

1. Windows shall be set deep into the walls to create a feeling of masonry construction and massiveness, 2" offset minimum.
2. Windows with colored sashes and heavy profiles are appropriate.
3. Unanodized aluminum frames or mullions may not be used.

H. Setbacks

The use of curvilinear streets, short block lengths, and varied front facades have been utilized to prevent the garage doors from dominating the streetscape.

1. Front yard setback
 - a. No house shall be constructed within fifteen feet (15') from the front property line of a lot.
 - b. The garage shall be constructed to ensure that a twenty-foot (20') minimum parking area exists in front of the garage.
2. Side yard setback - no house shall be constructed within five feet (5') from the side property line of a lot.
3. Rear yard setback - no house shall be constructed within fifteen feet (15') from the rear property line of a lot.

I. Minimum Square Footage

Each home must have at least 1,500 square feet of fully enclosed heating area, exclusive of garages and open porches and patios.

J. Building Materials

1. Stucco - shall be the primary building material and shall account for a minimum of 80% of the exterior construction. See architectural styles for restrictions.
2. Stone - may be used as an accent feature and shall not comprise more than 20% of the exterior construction. See architectural styles for restrictions.
3. Brick - may be used as an accent feature and shall not comprise more than 20% of the exterior construction. See architectural styles for restrictions.

K. Pre-Approved Building Colors

1. Primary - exterior stucco colors shall be shades of yellow ochres, browns, dull reds, and grey greens reflecting those colors found on the mesa and escarpment.
2. Accent - a variety of colors may be used to accent architectural features such as entries, window trim, fascias, and other traditional southwestern architectural features. Colors allowed are typical southwestern colors of white, green, red, blue and brown ranges.
3. All roof penetrations shall be painted to match the predominant roof color or stucco color.

L. Building Height and Floor Area Ratio

1. Houses or improvements on any lot shall not exceed fifteen feet (15') as defined by the City of Albuquerque Zoning Code.
2. Floor Area Ratio is the ratio of the heated floor area of the structures to the lot. In order to ensure that houses are in appropriate proportion to their lot, a Floor Area Ratio of .65 shall not be exceeded.

M. Landscaping

1. Plans for front yard landscaping must be compatible with the overall subdivision streetscape and must conform to and meet or exceed the minimum standards as outlined on the Landscape Plan (sheet 2).
2. Timing of installation. All front yard landscaping, and all side yard landscaping (if the home is on a corner), must be completed by the builder no later than two months after completion of construction of the home, but in any event no later than the date of occupancy of the home.

N. Site Lighting

In order to comply with the Northwest Mesa Escarpment Plan, site lighting will be designed to be as unintrusive as possible while still providing safety to the residents.

1. Placement of fixtures and standards shall conform to State and local safety and illumination requirements.
2. Site lighting shall not have a total off-site luminance greater than 1000 foot lamberts, however, it shall not have an off-site luminance greater than 200 foot lamberts measured from the property line of any private property in a residential zone.
3. The mounting height of luminaires for site lighting shall be no higher than 12 feet.
4. Site lighting shall be shielded source with no light source (lamp) visible from the site perimeter.
5. Street lights shall be restricted to intersections at Mojave Road and sharp turns. Street lights shall be a maximum of 28 feet in height. The intent is to provide only those street lights required for safety purposes.
6. Street lights shall be fully shielded source.

The following lighting types may not be used at Petroglyph Shadows:

1. Metal Halide
2. Quartz
3. Mercury Vapor
4. Laser light or similar high intensity light used for advertising or entertainment
5. Searchlights
6. Glass tubes filled with neon

O. Mechanical Equipment

1. Air conditioning/heating equipment may be installed on flat-roofed structures but must be screened from view by parapets that are an integral part of the house (as viewed from the front property line of residences). No air conditioning/heating equipment shall be installed on a pitched roof profile. Equipment that is ground-mounted shall be located within the side or rear yard and screened from the front and sides.
2. Any roof-mounted equipment shall be screened with materials architecturally compatible to the house in terms of material, color and design. Ground mounted equipment shall be screened with materials architecturally compatible to the house in terms of material, color, design and/or landscaping. Top of screen walls are to be the same height or higher than the equipment being screened.
3. All roof mounted HVAC equipment shall be fully screened from view from the ground and from the Petroglyph National Monument.

P. Fireplaces

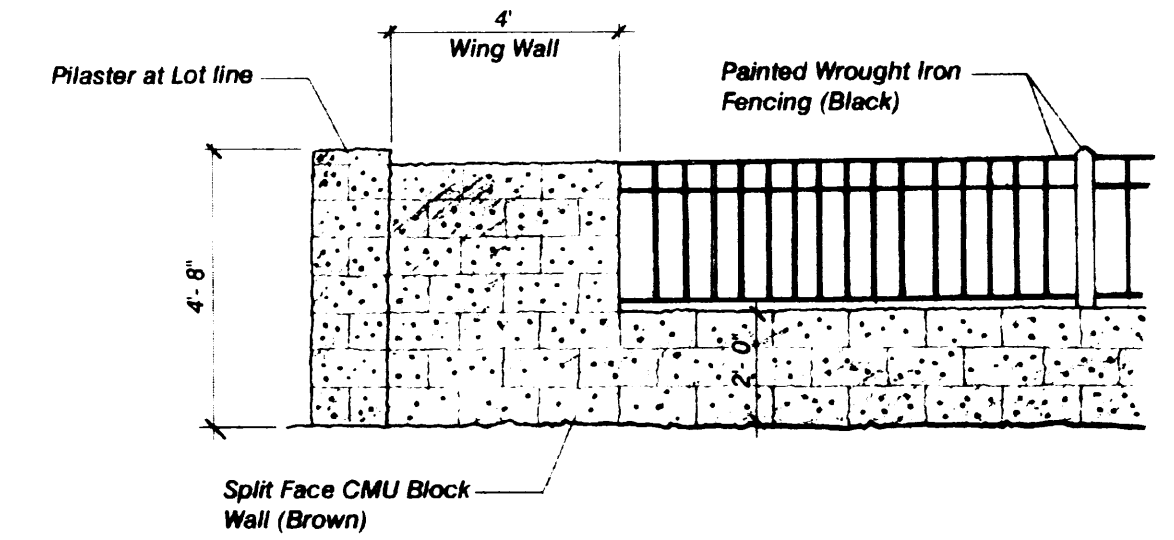
Fireplaces and/or stoves within the residence shall be limited to natural gas logs, Environmental Protection Agency (EPA) approved wood-burning fireplaces, and other EPA approved wood burning devices.

Q. Walls

All walls shall comply with the adopted City of Albuquerque Wall Design Guidelines.

Subdivision Walls

- a. The perimeter subdivision wall will be no more than six feet (6') and no less than four feet (4') in height as measured from the outside of the wall. In areas where retaining walls are required, an additional two feet (2') of wall height shall be permitted. Wherever possible, retaining walls shall be stepped in order to minimize the visual impact. All perimeter walls shall be installed and paid for by the Developer and constructed as follows:
 1. Adjacent to Mojave Street the perimeter wall shall be brown split face CMU block with the split face side facing outward toward the street.



Perimeter Subdivision Wall (adjacent to Petroglyph National Monument)

2. Adjacent to the Petroglyph National Monument the perimeter wall shall be brown split face CMU block (with the split face side facing outward toward the Monument) with a black wrought iron view fence on top along the northern 1/3 of the west property line and along the entire length of the north property line (see detail above). Along the southern 2/3 of the west property line the wall shall be brown split face CMU block with the split face side facing outward toward the Monument. The view fence portion of the wall shall remain visually open. Solid fencing or vegetative screening of the view fence portion of the wall is prohibited.
3. Along the eastern property line the perimeter wall shall be brown CMU block.
- b. The Developer and/or Homeowner's Association shall be responsible for removal of any and all graffiti located on the perimeter subdivision wall along Mojave within 72 hours of any report of graffiti to the Developer and/or Homeowner's Association.

Site walls

- a. Each house must have a rear wall and two sidewalls. All rear walls shall extend the entire length of the rear property line. All sidewalls shall extend from the rear of the lot to at least the rear of the dwelling for all lots.
- b. Interior residential lot line walls shall be brown CMU and no more than five feet (5') in height without a retaining wall and no more than seven feet (7') in height with a retaining wall.
- c. All walls that are located on the common property line between adjoining lots shall be party walls that may not be removed by either property owner of the adjoining lots. All walls must be constructed from the elevation specified by the subdivision engineer and indicated on the grading plan of the Petroglyph Shadows Subdivision. The cost of installation and maintenance of such party retaining walls shall be split equally between property owners of the adjoining lots.
- d. No wall or fence may be erected on a lot that is closer to the street than the front of the dwelling on the lot, except for courtyard walls.
- e. A house is located on a corner when such house abuts more than one public right-of-way. The corner house will be deemed to front on the right-of-way on which the house has a smaller dimension.

Courtyard walls

Courtyard walls are allowed within the front yard setback areas and shall be constructed of materials, finish, and color that are complementary to the house.

R. Solid Waste

Each lot/home shall have a storage area for residential automated carts, not to be visible from the street.

S. Construction

In order to minimize construction impacts to the Petroglyph National Monument and other adjacent property, a temporary construction fence shall be erected along the east, west and north project boundaries. In addition, the installation of the perimeter subdivision wall along the west and north property lines shall be coordinated with the removal of the Open Space fence by the City of Albuquerque Open Space Division.

T. Vacant Lots; Destruction

1. There shall be no trash, ashes, paper or refuse of any kind thrown or dumped onto vacant lots in the Petroglyph Shadows Subdivision.
2. The Owner of a lot within the Petroglyph Shadows Subdivision that is vacant shall be responsible to keep the lot cleared of all weeds, trash and any other item that is visually or otherwise undesirable.
3. The Owner of a lot upon which a structure is destroyed by fire or other casualty shall either promptly rebuild, repair or replace the structure or remove the debris (including foundations) from the lot.
4. There shall be no trash, ashes, paper, lawn clippings, yard waste or refuse of any kind dumped onto the Petroglyph National Monument by any Owner of a lot within the Petroglyph Shadows Subdivision.

U. Restricted Activities

1. The use of any trailer, motor home, boat, shack, tent, garage or any other outbuilding as a residence, either temporarily or permanently is prohibited. However, one motor home or boat may be kept in the driveway or in front of a house for no more than ten (10) days per year.
2. The placement of any kind of antenna (radio, shortwave, television or others), either temporarily or permanently, is prohibited.
3. The construction, erection, placement, assembly or maintenance of any outbuilding or storage building or other auxiliary building of any nature, permanent or temporary, detached from the permitted improvements on the house, must be of similar architectural design as the house.

V. Pedestrian /Bicycle Circulation

Pedestrian/Bicycle circulation for residents within Petroglyph Shadows is an important benefit. Accordingly, sidewalks and/or pedestrian/bicycle pathways are incorporated to, from, and throughout, the development. Pending National Park Service Approval, a private pedestrian and bicycle access easement to the Petroglyph National Monument to the north of the subdivision will be created for the use and benefit of the residents of the Petroglyph Shadows.

Petroglyph Shadows

DESIGN GUIDELINES

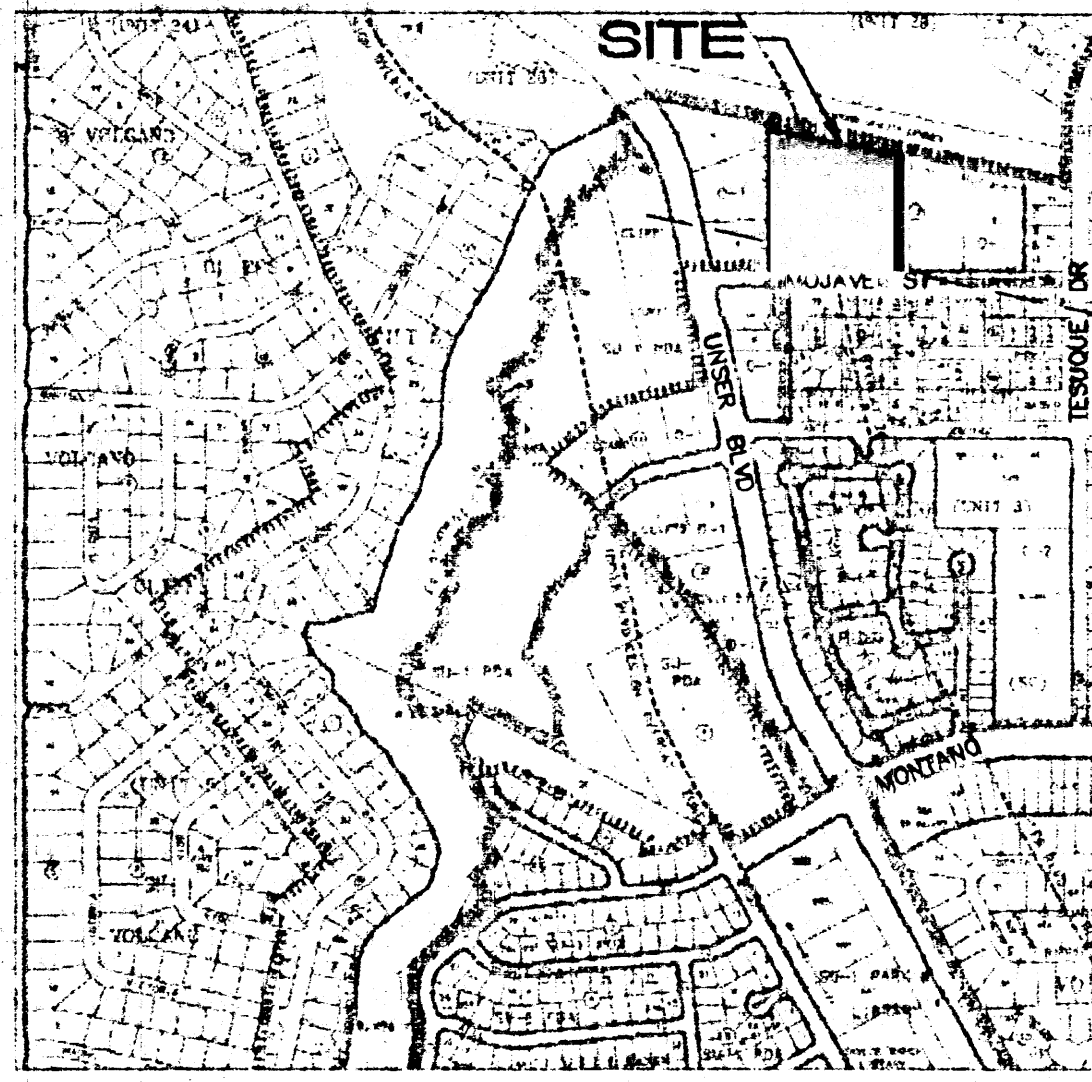
Prepared for:
Phil Ward
Garth Maxam

Prepared by:
Consensus Planning, Inc.
924 Park Avenue SW
Albuquerque, NM 87102



October 9, 2001

Sheet 3 of 6



VICINITY MAP

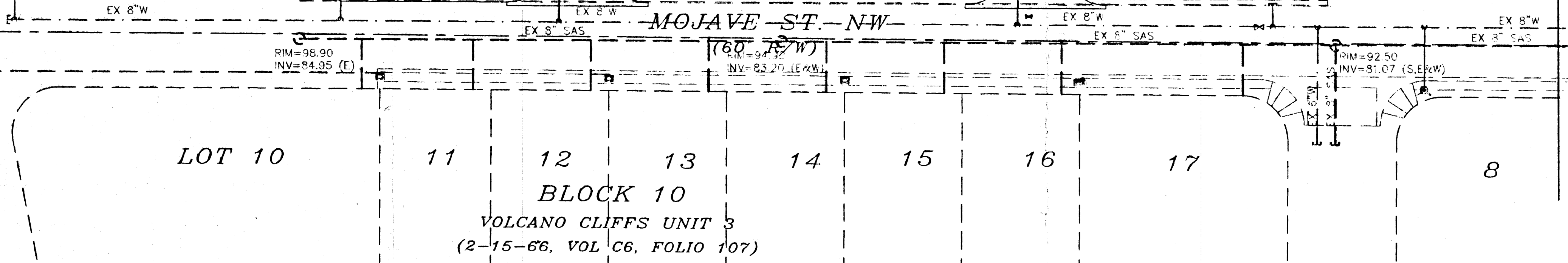
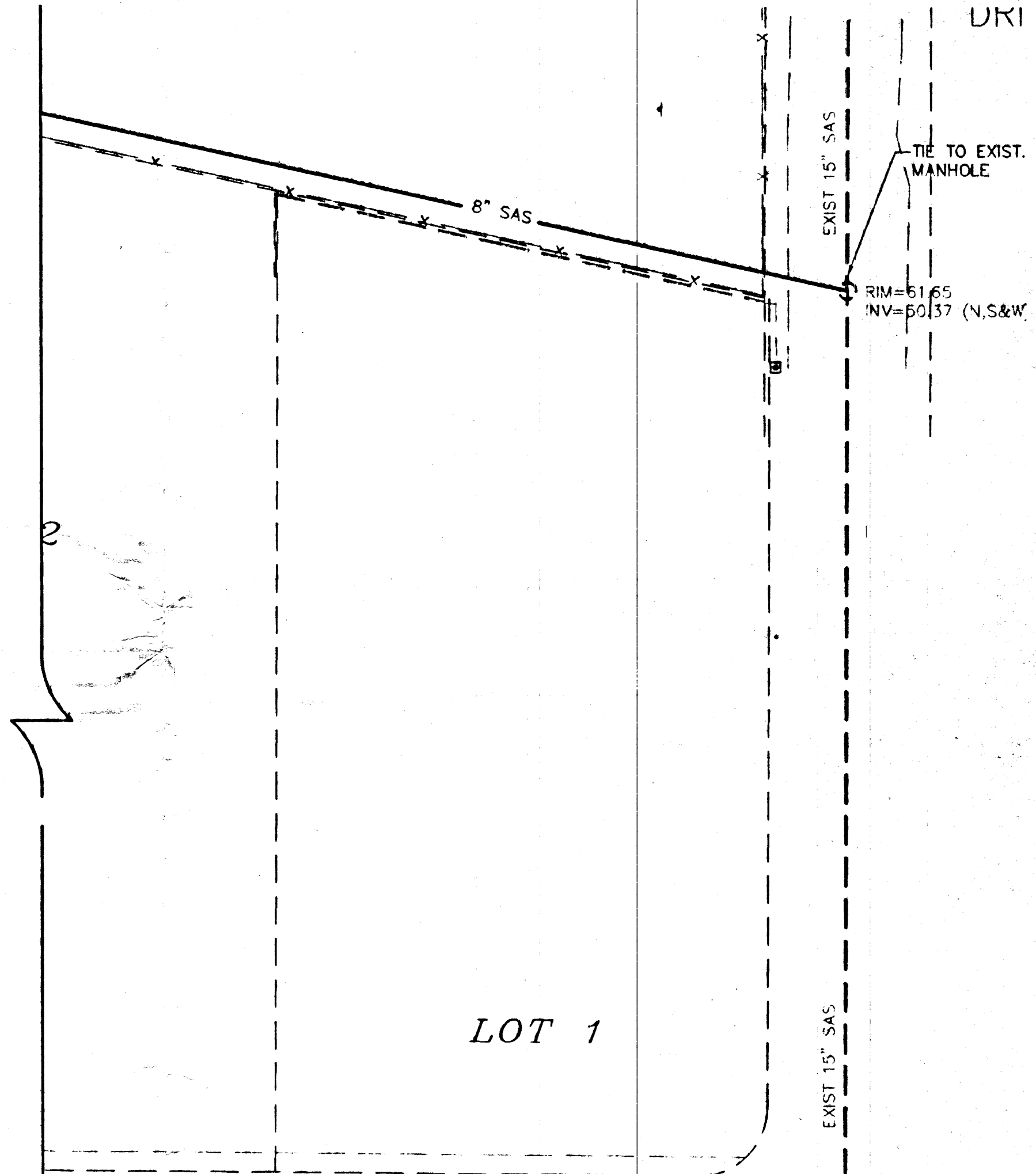
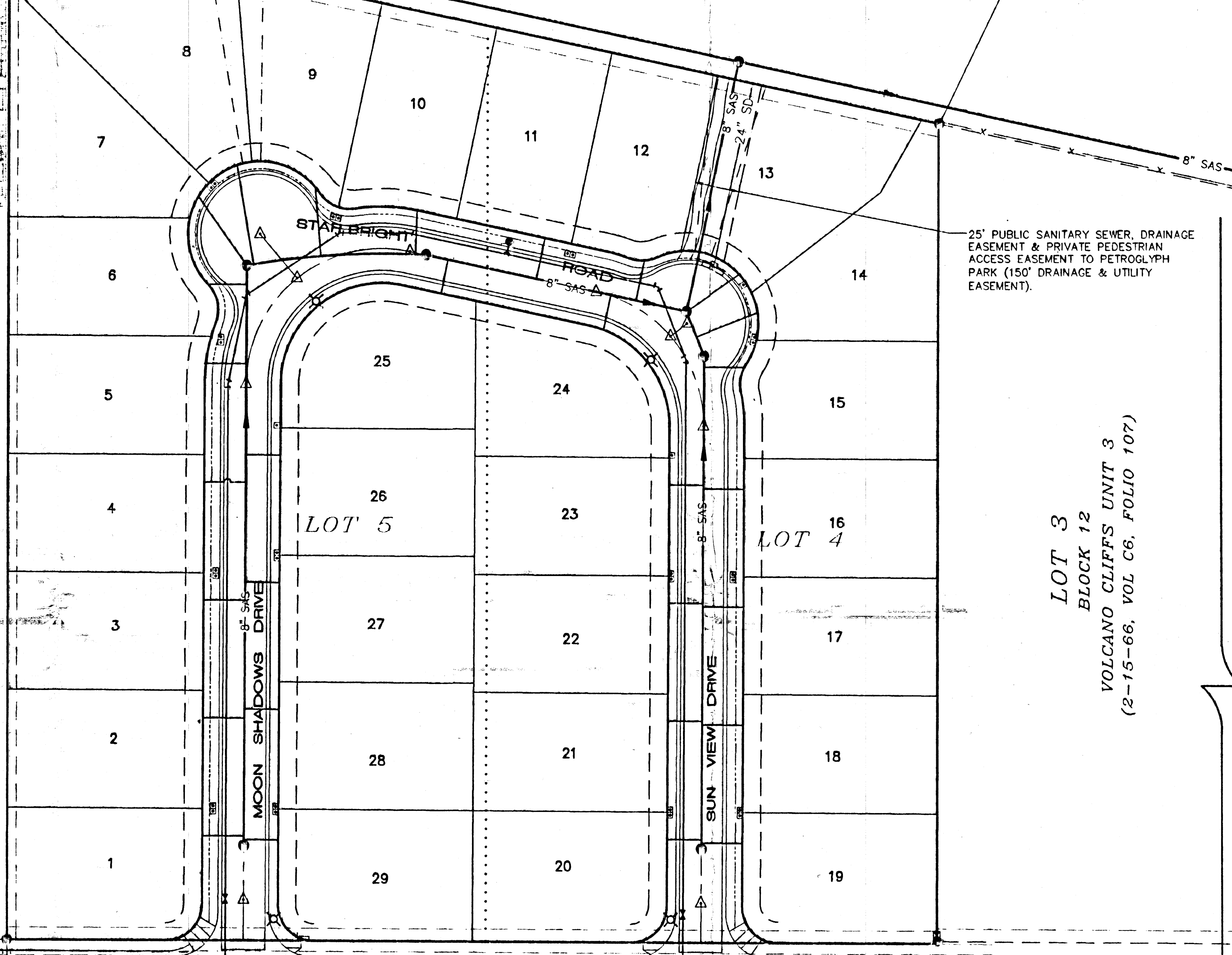
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1"=750'

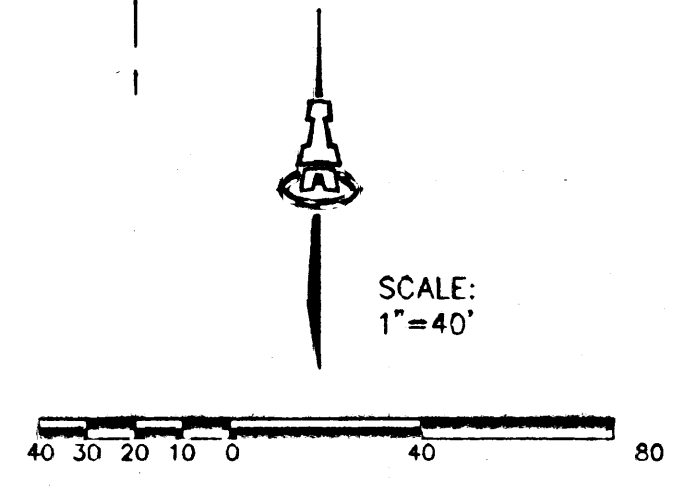
150' DRAINAGE & UTILITY EASEMENT
(2-15-66, VOL C6, FOLIO 107)

LOT 6
BLOCK 12
VOLCANO CLIFFS UNIT 3
(2-15-66, VOL C6, FOLIO 107)

LOT 3
BLOCK 12
VOLCANO CLIFFS UNIT 3
(2-15-66, VOL C6, FOLIO 107)



- LEGEND**
- SINGLE WATER METER & BOX
 - DOUBLE WATER METER & BOX
 - GATE VALVE W/ TYPE 'A' VALVE BOX
 - FIRE HYDRANT
 - WATER LINE W/ FITTING
 - STORM DRAIN CATCH BASIN
 - STORM DRAIN MANHOLE
 - EXISTING SAS MANHOLE
 - PROPOSED SAS MANHOLE
 - PROPOSED STREET LIGHT

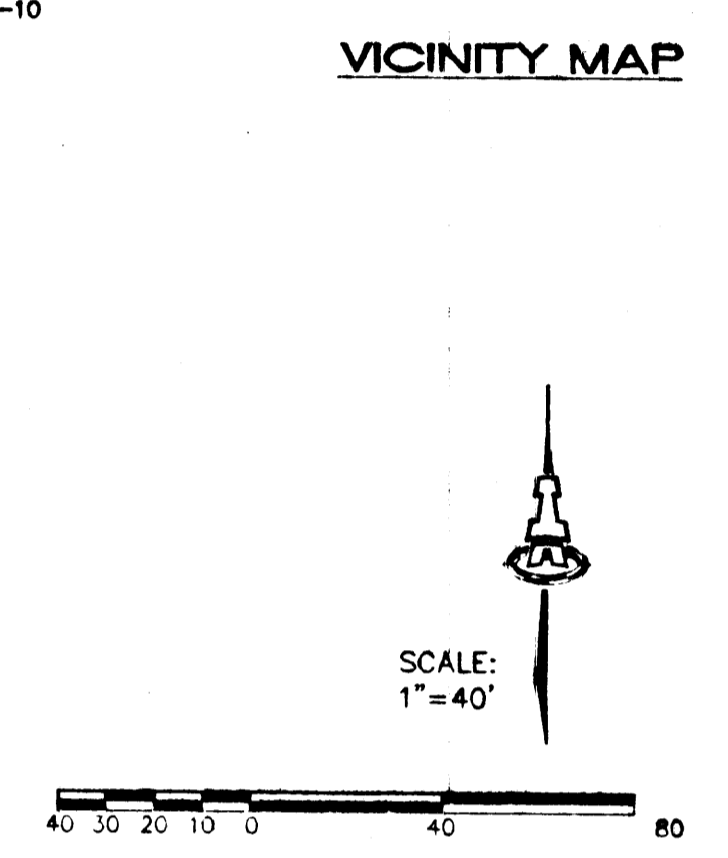
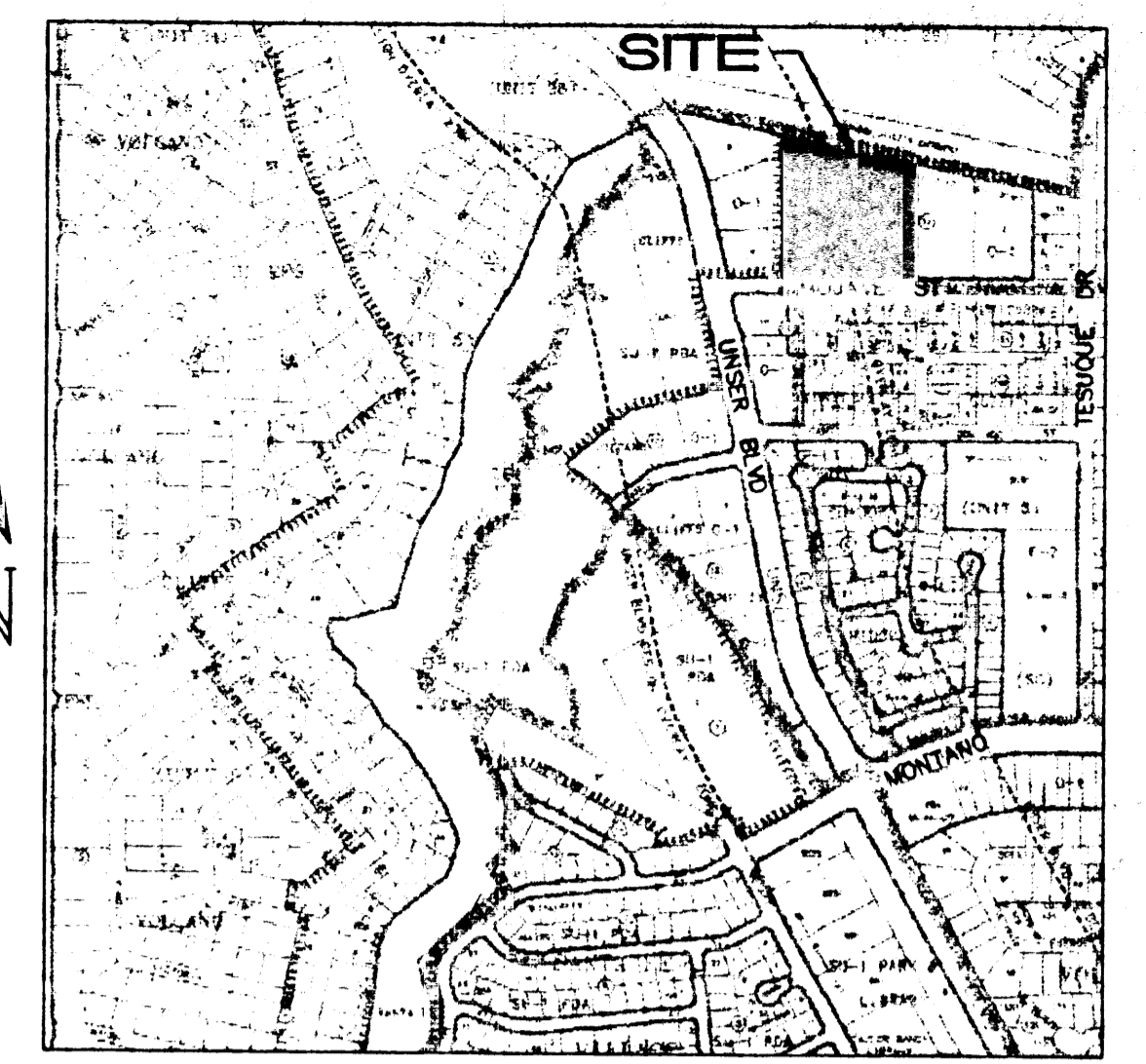
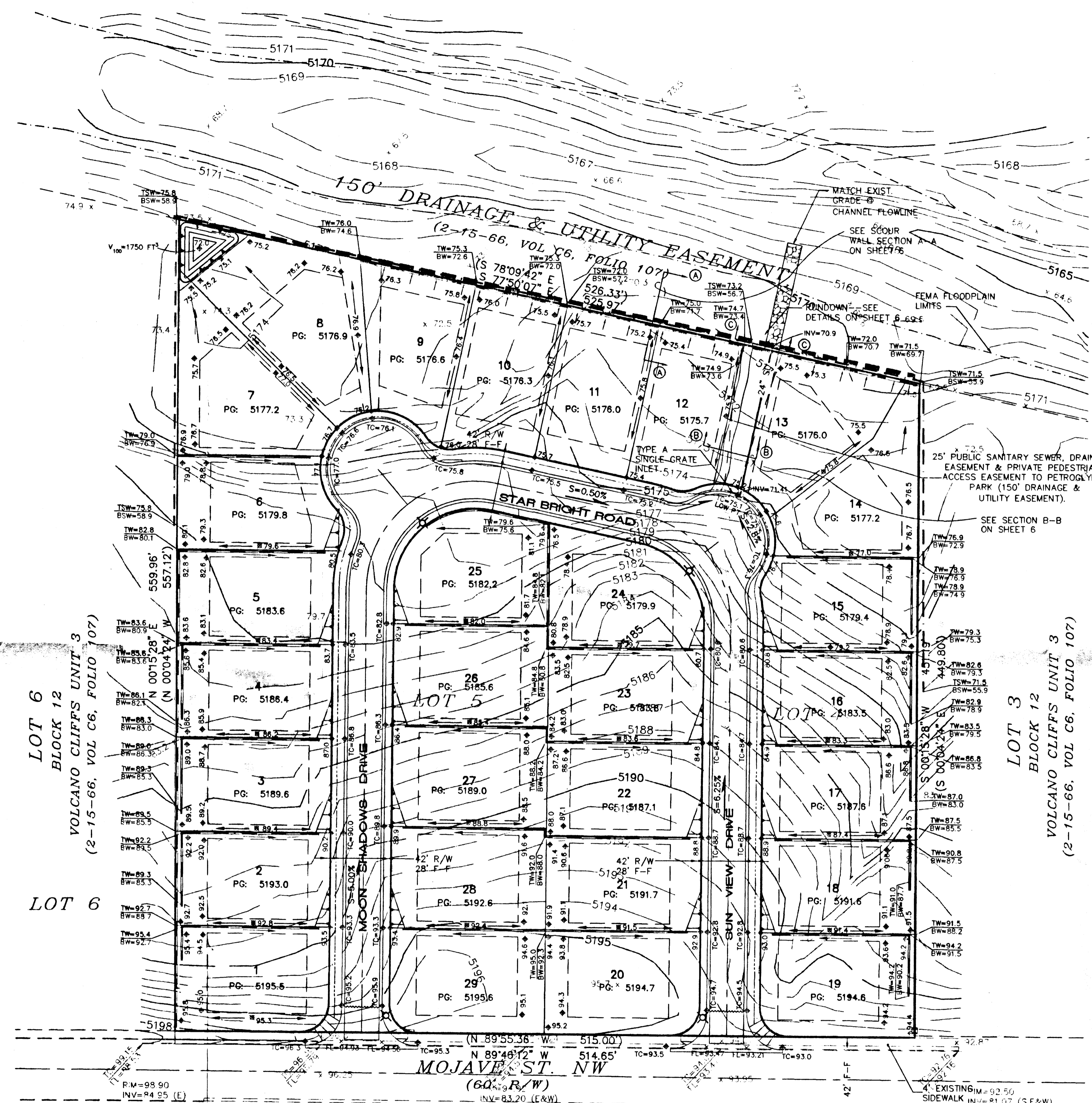


PETROGLYPH SHADOWS
CONCEPTUAL UTILITY PLAN

FRED C. ARFMAN
NEW MEXICO
7322
LICENSED PROFESSIONAL ENGINEER

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque New Mexico

183C-UTL-DWG01w 10/15/01
SHEET 4 OF 6



NOTE:
 ROOF DRAINS ON LOTS 7-14 SHALL
 BE DIRECTED TOWARD THE FRONT OF
 THE LOTS.

LEGEND			
— 5180 —	EXISTING CONTOUR	— — — — —	RETAINING WALL
◆ 78.3	PROPOSED SPOT ELEVATION	— — — — —	SCOUR WALL
→	FLOW ARROW	▬▬▬▬▬▬	EROSION CONTROL BERM
PG=5177.2	PAD GRADE ELEVATION	~~~~~	WATER BAR
TC=81.95 FL=81.45	TOP OF CURB FLOWLINE ELEVATION	TSW=74.9 BSW=63.7	TOP OF SCOUR WALL BOTTOM OF SCOUR WALL ELEVATION
INV=70.7	INVERT ELEVATION	TW=86.8 BW=83.5	TOP OF RETAINING WALL BOTTOM OF RETAINING WALL ELEVATION

LOT 10 11 12 13 14 15 16 17

BLOCK 10
 VOLCANO CLIFFS UNIT 3
 (2-15-66, VOL C6, FOLIO 107)

PETROGLYPH SHADOWS

**CONCEPTUAL
 GRADING & DRAINAGE PLAN**

FRED C. ARFMAN
 LICENSE NO. 7322
 STATE OF NEW MEXICO

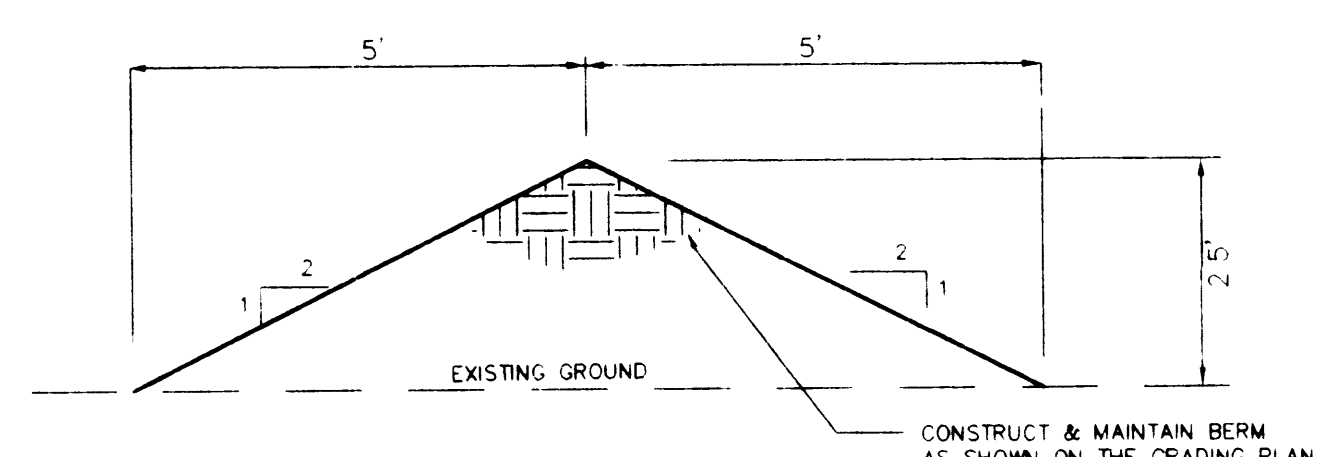
ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 125 Monroe Street N.E.
 Albuquerque, New Mexico

183CRD.DWGonw 10/10/01

SHEET 5 OF 6

EROSION CONTROL

1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO THE PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING EROSION CONTROL BERMS (AS DETAILED AT RIGHT) AS SHOWN ON THE PLAN AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
2. THE CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY ENVIRONMENTAL HEALTH DEPARTMENT PRIOR TO BEGINNING CONSTRUCTION. AN EXCAVATION PERMIT IS REQUIRED FOR ALL WORK WITHIN PUBLIC RIGHT-OF-WAY.
3. SEE GRADING NOTES

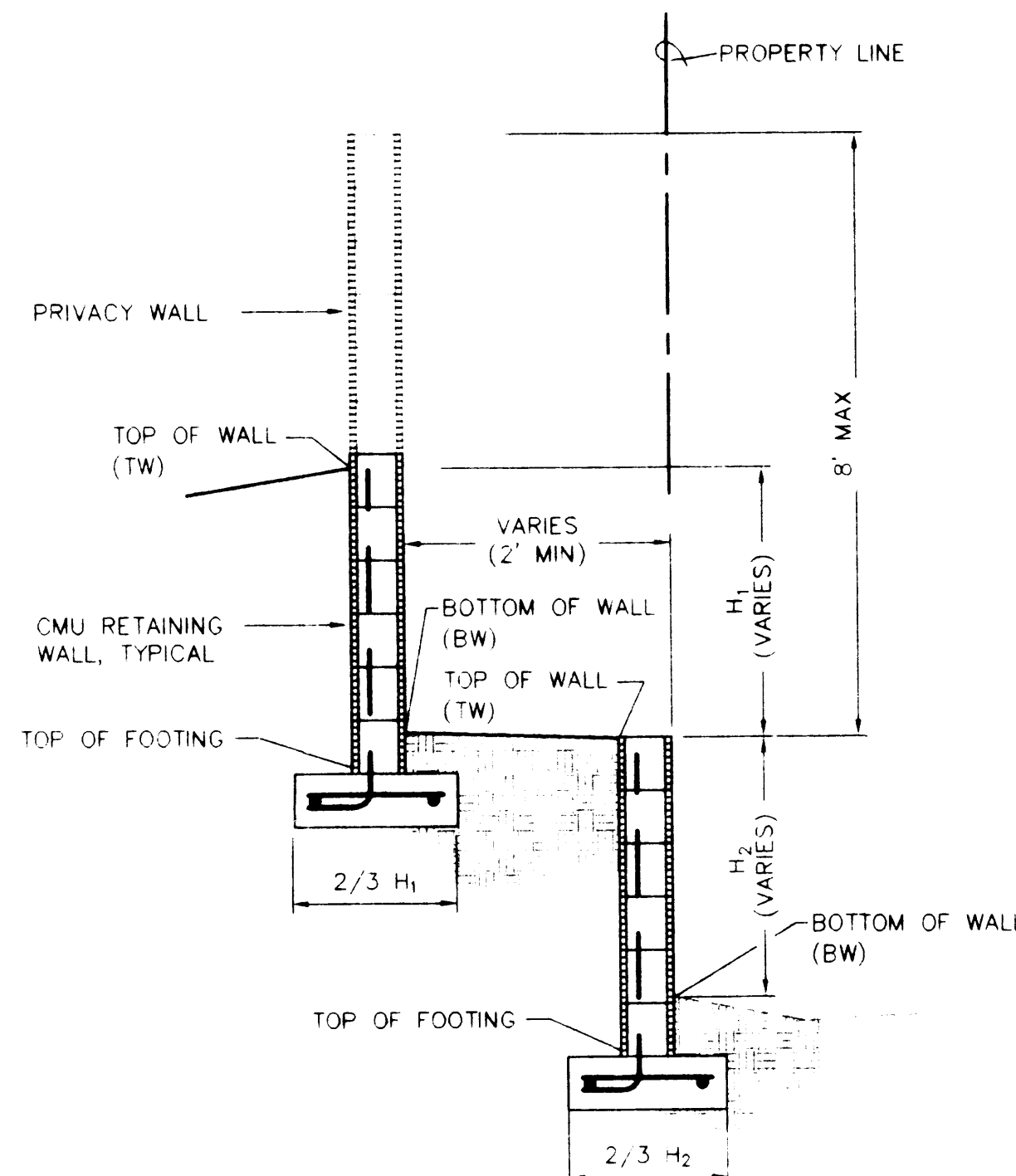


EROSION CONTROL BERM

SCALE: 1"=2'

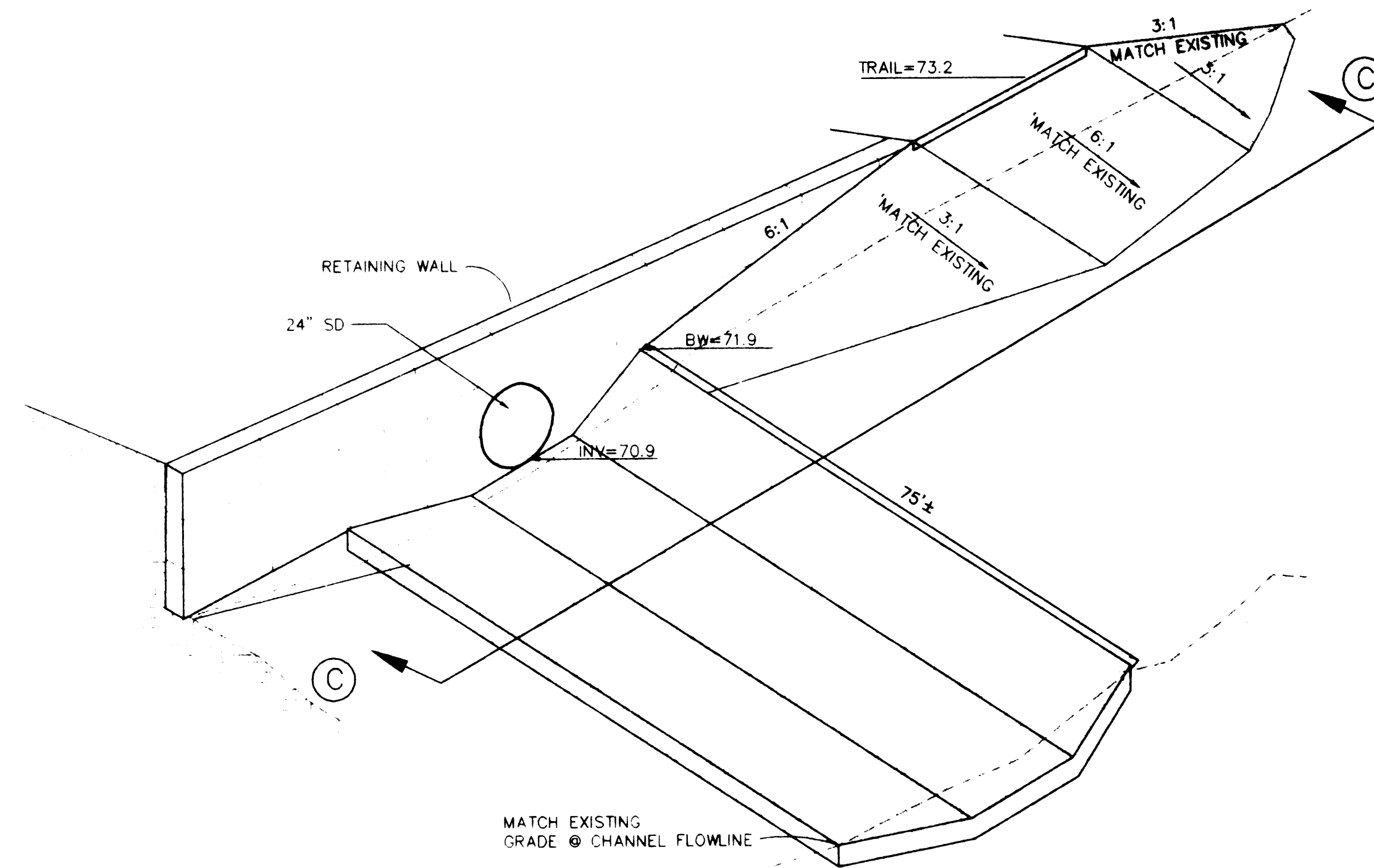
GRADING NOTES:

1. ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OFFSITE.
2. ALL SUBGRADE AND FILL SHALL BE COMPACTED TO A MINIMUM OF 90% ASTM D-1557.
3. EXCAVATION IS UNCLASSIFIED AND INCLUDES EXCAVATION TO SUBGRADE ELEVATIONS INDICATED, REGARDLESS OF CHARACTER OF MATERIALS ENCOUNTERED.
4. CONFORM TO ELEVATIONS AND DIMENSIONS SHOWN ON PLANS WITHIN A TOLERANCE OF 0.3± FEET.
5. SCARIFY AND COMPACT SUBGRADE FOR FILLS. PLACE FILL MATERIALS IN LAYERS NOT MORE THAN 8" IN LOOSE DEPTH. MOISTEN AS NECESSARY TO PROVIDE OPTIMUM MOISTURE (±2%) CONTENT.
6. UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AS SHOWN ON PLAN. SMOOTH FINISHED SURFACE WITHIN SPECIFIED TOLERANCE. COMPACT WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE INDICATED.
7. MAXIMUM SLOPES SHALL BE 3:1 MINIMUM SLOPES SHALL BE 1%.
8. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 260-1990, FOR LOCATION OF EXISTING UTILITIES.
9. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED ON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE. THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
10. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT ERODED AND WASHED DOWN THE STREET.
11. OWNER WILL PROVIDE SOIL TESTING AND INSPECTION SERVICES DURING EARTHWORK OPERATIONS. ALLOW TESTING SERVICE TO INSPECT AND APPROVE COMPACTED SUBGRADES AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHALL COMPACTION TESTS INDICATE INADEQUATE DENSITY, CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION AND TESTING AT NO ADDITIONAL EXPENSE.
12. OWNER HAS ESTABLISHED SUBDIVISION BOUNDARY CORNERS. CONTRACTOR SHALL PROVIDE ALL OTHER CONSTRUCTION STAKING INCLUDING TRACT CORNERS. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS.



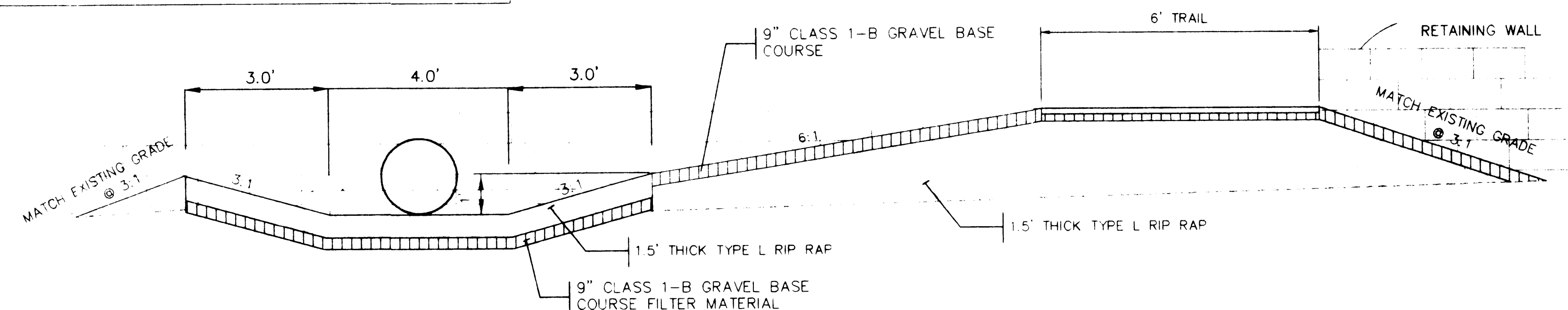
TWO-TIER RETAINING WALL

NTS



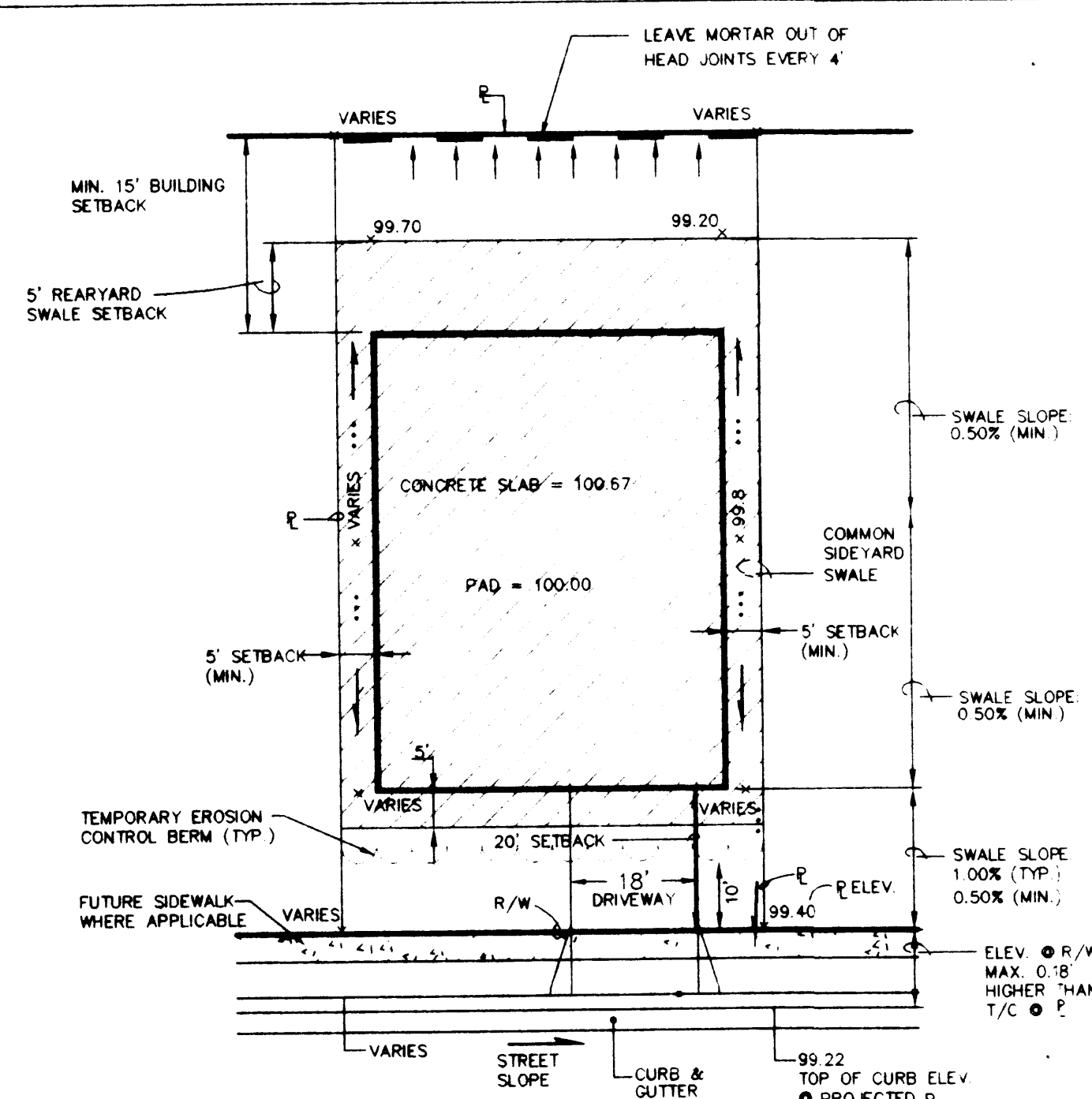
RUNDOWN DETAIL

NOT TO SCALE



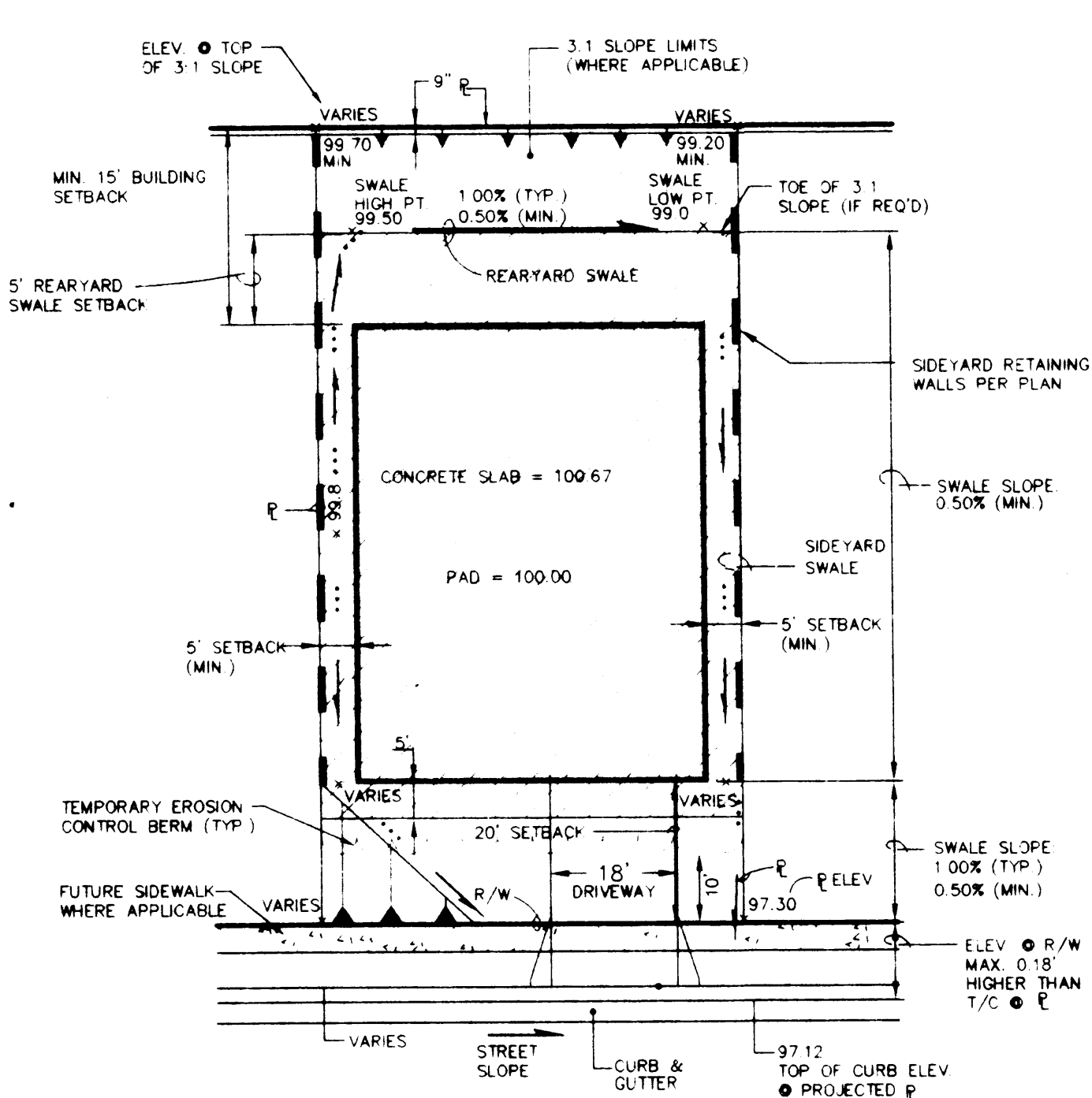
SECTION C-C

NTS



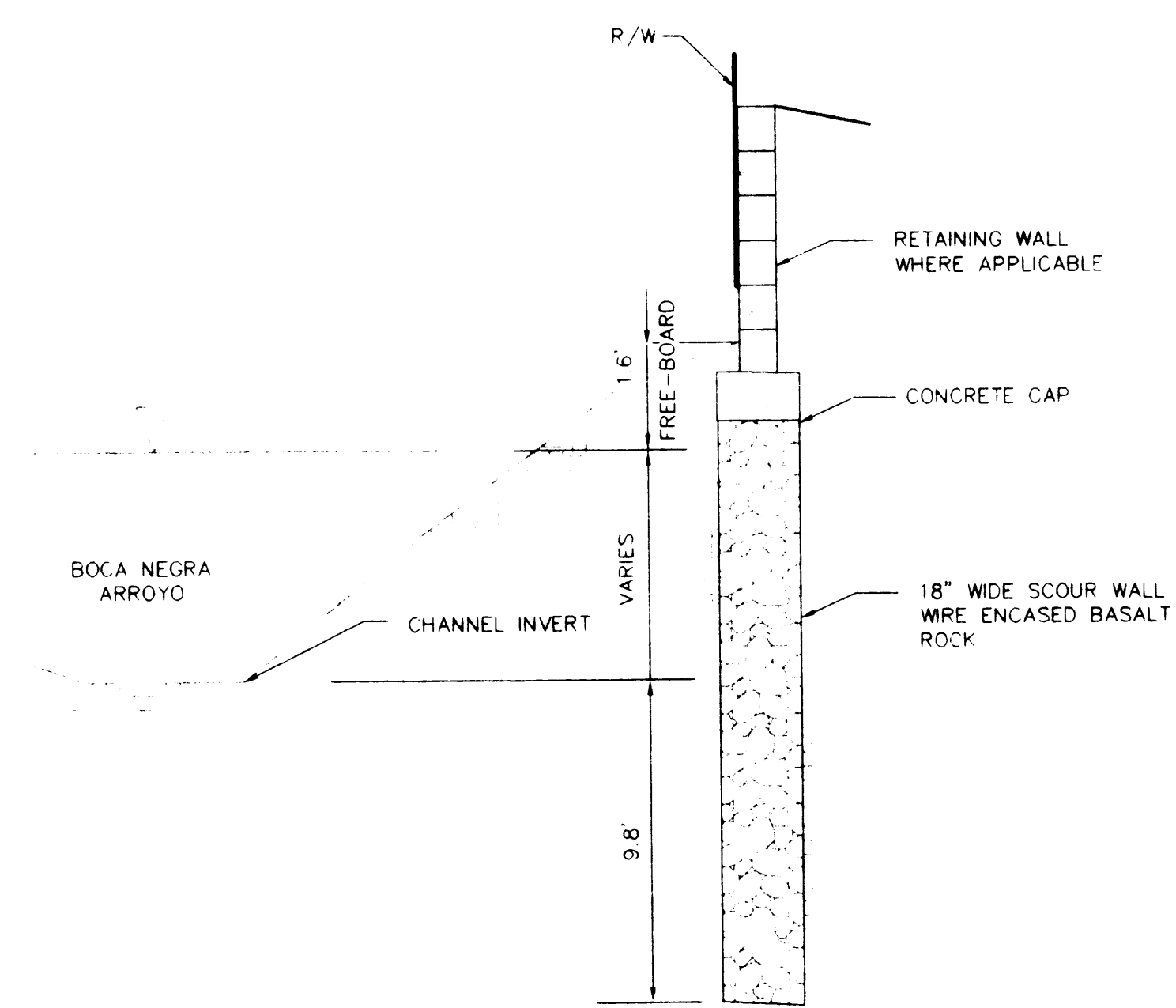
TYPICAL LOT GRADING SHOWING COMPACTION ZONE LOTS DRAINING TO THE BACK

SCALE: 1"=20'



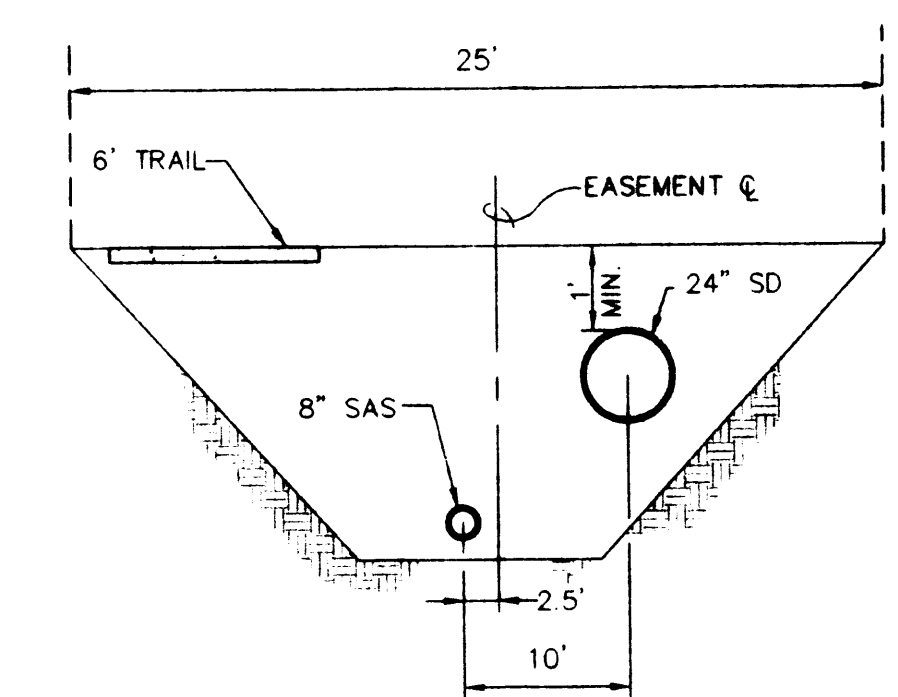
TYPICAL LOT GRADING SHOWING COMPACTION ZONE LOTS DRAINING TO STREET

SCALE: 1"=20'



SECTION A-A SCOUR WALL

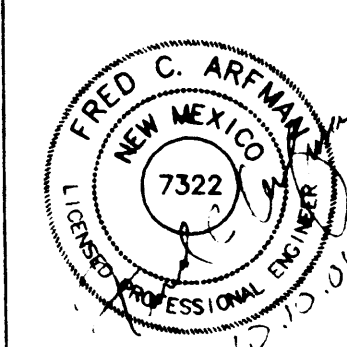
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SECTION B-B DRAINAGE, SAS AND PEDESTRIAN ACCESS EASEMENT

NTS

PETROGLYPH SHADOWS CONCEPTUAL GRADING DETAILS



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