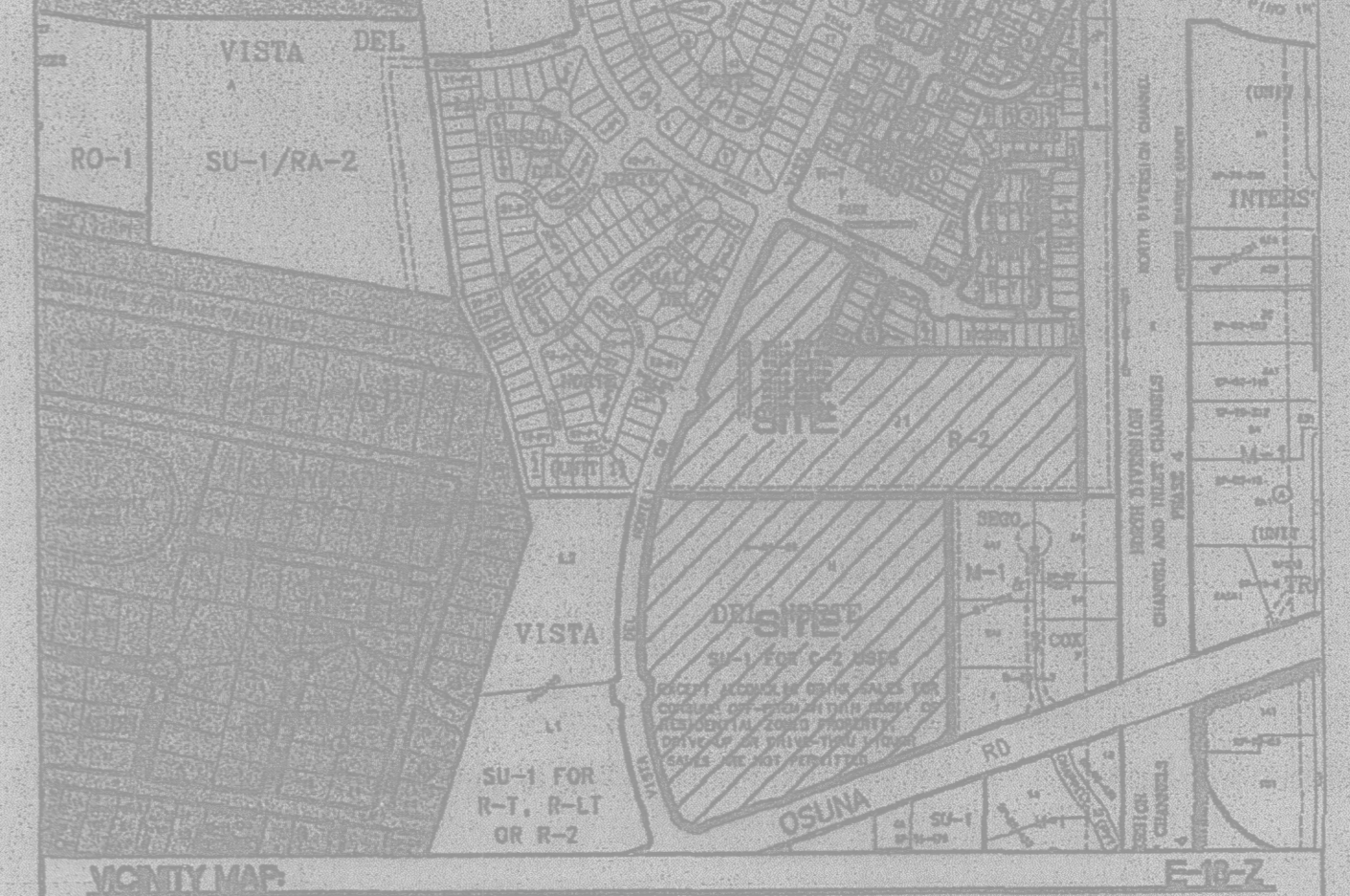


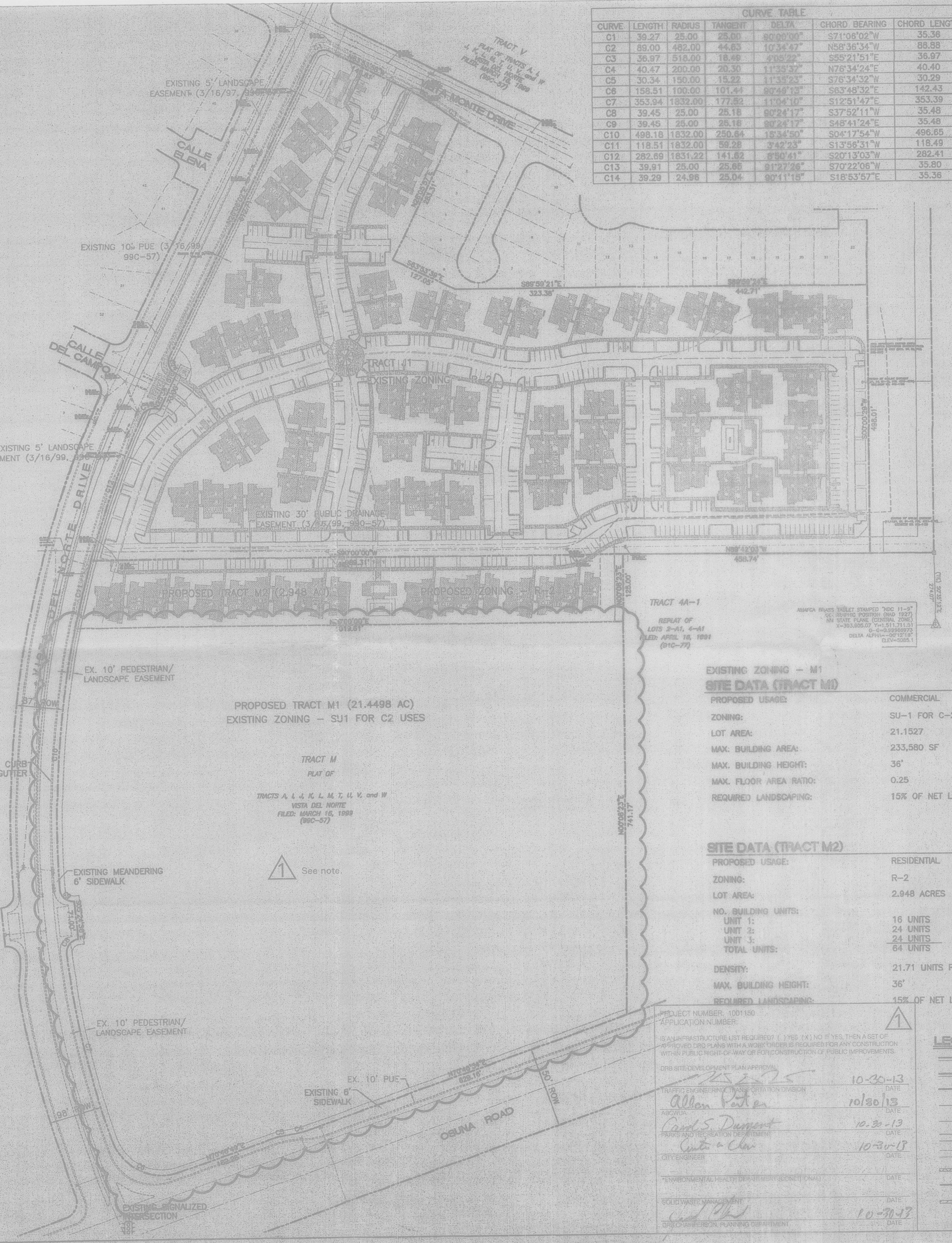
CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	39.27	25.00	25.00	90°00'00"	S71°06'02"W	35.36
C2	89.00	492.00	44.63	10°34'47"	N58°36'34"W	88.88
C3	36.97	518.00	18.46	4°05'22"	S55°21'51"E	36.97
C4	40.47	200.00	20.30	11°35'37"	N78°34'24"E	40.40
C5	30.34	150.00	15.22	11°35'23"	S78°34'32"E	30.29
C6	158.51	100.00	101.44	90°48'13"	S63°48'32"E	142.43
C7	353.94	1832.00	177.82	11°04'10"	S125°14'27"E	353.39
C8	39.45	25.00	25.16	90°24'17"	S37°52'11"W	35.48
C9	39.45	25.00	25.16	90°24'17"	S45°41'24"E	35.48
C10	498.18	1832.00	250.64	15°34'50"	S04°17'54"W	496.65
C11	118.51	1832.00	59.28	3°42'25"	S13°58'31"W	118.49
C12	282.69	1831.22	141.62	8°50'41"	S20°13'03"W	282.41
C13	39.91	25.00	25.66	91°27'26"	S70°22'08"W	35.80
C14	39.29	24.96	25.04	90°11'18"	S18°53'57"E	35.36

- NOTES**
- COMMON INGRESS/EGRESS, STORM DRAINAGE AND PEDESTRIAN ACCESS ACROSS TRACTS J1 AND TRACT M2 IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
  - APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
  - LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
  - COMMON DRY UTILITY AND SANITARY SEWER EASEMENT FOR TRACTS J1 AND M2 IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE PLAT.
  - AVERAGE LIGHT LEVELS SHALL BE LIMITED TO 2 FOOT CANDLES WITH MAXIMUM LEVELS LIMITED TO 16 FOOT CANDLES AS MEASURED FROM 4 FEET ABOVE THE SURFACE LEVEL OF ANY POINT ON THE SITE. LUMINARIES SHALL HAVE GLARE CUT OFF ANGLES OF MAXIMUM.
  - ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
  - LIGHT POLES SHALL BE A MAXIMUM OF 26' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 28' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100 FEET OF A RESIDENTIAL ZONING WILL BE LIMITED TO 16 FEET IN HEIGHT.
  - THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
  - NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
  - SETBACKS: THERE SHALL BE A FRONT AND A CORNER SIDE YARD SETBACK OF NOT LESS THAN FIVE FEET AND A SETBACK OF 11 FEET FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION. THERE SHALL BE A SIDE OR REAR SETBACK OF NOT LESS THAN 15 FEET WHERE THE SITE ABUTS THE REAR OF A LOT IN A RESIDENTIAL ZONE.
  - FIVE PERCENT OF THE TOTAL PARKING SPACES ARE TO BE USED FOR MULTIPLE OCCUPANCY VEHICLE PARKING LOCATED NEAR BUILDING ENTRANCES, AND IDENTIFIED ON THE SITE PLAN.
  - LOCATE BICYCLE LOCKER UNITS AT CONVENIENT LOCATIONS AND IDENTIFY THEM ON THE SITE PLAN.
  - PEDESTRIAN CROSSINGS OF VEHICLE CIRCULATION AREAS SHALL BE MINIMUM 6' WIDE, OF AN ALTERNATIVE TEXTURE MATERIAL AND SLIGHTLY RAISED. WHERE PARKING SPACES ARE PERPENDICULAR OR ANGLES TO PEDESTRIAN WALKS, THE PEDESTRIAN WALK SHALL BE PROTECTED BY PROVIDING TREE STOPS SO THAT PARKED CARS DO NOT OVERLAP THE PEDESTRIAN WALK OR BY MAKING THE WALK 10' WIDE IF THERE IS PARKING ON ONE, 10' WIDE IF THERE IS PARKING ON BOTH SIDES. THE PEDESTRIAN WALK AT THE ENTRY ELEVATION SHALL BE MINIMUM OF 15 FEET IN WIDTH WITH TREES AT 25' O.C. OR PORTALS, CANOPIES ETC., FOR THE ENTIRE LENGTH OF THE FACADE.
  - PEDESTRIAN AREAS IN FRONT OF MAJOR BUILDINGS SHALL BE MINIMUM 15' WIDE FROM BUILDING EDGE TO EDGE OF CURBING LESS AND PORTERS; 10' WIDE IN FRONT OF SMALLER BUILDINGS ON MAJOR CENTERS.
  - ALL POLYCARTS SHALL BE PLACED WITHIN THE GARAGE.



**LEGAL DESCRIPTION**  
TRACT J1 AND M VISTA DEL NORTE

- DESIGN GUIDELINES**
- Lighting shall be site specific. Show light pole locations on site plans. Pole height shall be maximum 20'. Light fixtures shall be downlight shoe box fixtures with flush lenses and horizontal light elements to prevent fugitive light.
  - All canopies and awnings shall be architecturally integrated with the main building on each site.
  - No plastic vinyl awnings or fascia panels or backlit panels or awnings.
  - All cell towers shall be architecturally integrated.
  - No generic franchise architecture shall be permitted.
  - No barb wire, concertina wire or chainlink fence shall be permitted.
  - All HVAC shall be screened, top of HVAC shall be less than top of parapet.
  - Walls shall follow the adopted City of Albuquerque Wall Design Guidelines.
  - No black or dark color asphalt shingles shall be permitted.
  - Maximum light standards within 300 feet adjacent residential shall be 16 foot and 20 feet elsewhere.
  - Signage shall be either building mounted or monument signs only. Maximum height of the monument sign shall be 10 feet high with a 75 square foot face area.
  - Signage maximum letter size shall be 2 foot individual channelized letters, backlit or neon and no signage shall face abutting residential.
  - All loading docks shall be covered and screened with an architecturally integrated roof and wall.
  - The face of curb to the entry facade shall be a minimum of 15 feet with a 6 foot clear pathway and trees at 25 feet on center in 5 by 5 planters or canopies and portals for the entire length of the building facade.
  - All buildings shall be directly connected to adjacent streets and other adjacent buildings with clear direct pedestrian pathways with trees at 25 feet on center in 5 x 5 planters and through parking lots to break up large fields of parking. There shall be textured concrete or other material crossways at each drive aisle crossing of a pedestrian way.
  - There shall be screen walls or earth berms of 3 feet to shield cars from adjacent streets.
  - Gas canopies and auto dominated uses shall be secondary to pedestrian ways.
  - Plazas shall be incorporated into commercial buildings a 30 foot minimum width dimension and 1,000 square feet.
  - Commercial and office uses shall be located adjacent to streets with minimal parking between the entry facade and the street.
  - Commercial buildings should typically be linked with plazas and pedestrian ways.
  - Bus credits shall be utilized where applicable and the minimum parking shall be the maximum plus 10%.
  - No off premise signs as permitted.



**EXISTING ZONING - M1**

**SITE DATA (TRACT M1)**

PROPOSED USAGE: COMMERCIAL

ZONING: SU-1 FOR C-2

LOT AREA: 21,1527

MAX. BUILDING AREA: 233,580 SF

MAX. BUILDING HEIGHT: 36'

MAX. FLOOR AREA RATIO: 0.25

REQUIRED LANDSCAPING: 15% OF NET LOT AREA

**SITE DATA (TRACT M2)**

PROPOSED USAGE: RESIDENTIAL

ZONING: R-2

LOT AREA: 2,948 ACRES

NO. BUILDING UNITS:

- UNIT 1: 16 UNITS
- UNIT 2: 24 UNITS
- UNIT 3: 24 UNITS
- TOTAL UNITS: 64 UNITS

DENSITY: 21.71 UNITS PER ACRE

MAX. BUILDING HEIGHT: 36'

REQUIRED LANDSCAPING: 15% OF NET LOT AREA

APP#s: 02128-00336-02110-00138

**PROJECT NUMBER: 1001150**

This plan is consistent with the specific site development plan approval by the Development Review Board (DRB) on 10/30/13 and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:

**SITE DEVELOPMENT PLAN**

<i>Paul W. ...</i>	7-21-02
Traffic Engineer, Transportation Division	Date
<i>Christina ...</i>	7/24/02
Parks & Recreation Department	Date
<i>Roger A. ...</i>	3-19-03
Public Works, Water Utilities Division	Date
<i>Brad D. ...</i>	3/25/03
City Engineer, Engineering Division / AMAFCA	Date
<i>Michael ...</i>	1-28-03
Solid Waste ...	Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

*Drewn Watson*

City Planner, Albuquerque / Bernalillo County Planning Division

PLNZ (10706) 4/96

PROJECT NUMBER: 1001150

APPLICATION NUMBER:

IS AN INFRASTRUCTURE LIST REQUIRED? (YES/NO) IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN APPROVAL

TRAFFIC ENGINEER: *Paul W. ...* 10-30-13 DATE

APPROVAL: *Alton ...* 10/30/13 DATE

APPROVAL: *Carl S. Dumont* 10-30-13 DATE

APPROVAL: *Antonio ...* 10-30-13 DATE

CITY ENGINEER: *Brad D. ...* 10-30-13 DATE

ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)

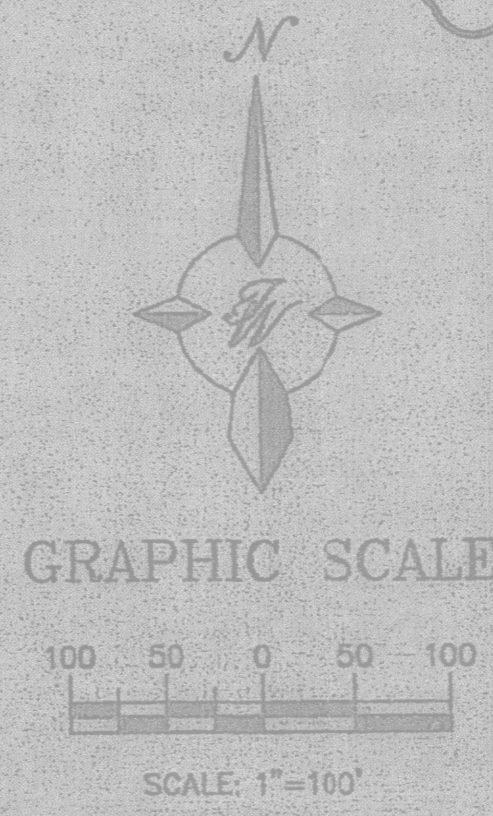
SOLID WASTE MANAGEMENT

DATE: 10-30-13

DATE: 10-30-13

**LEGEND**

- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- EXISTING BOUNDARY LINE
- EASEMENT
- PROPOSED SIDEWALK
- EXISTING SIDEWALK
- PROPOSED PERIMETER WALL
- EXISTING PERIMETER WALL
- PROPOSED RETAINING WALL



**ENGINEER'S SEAL**

**RANCHO MIRAGE**  
VISTA DEL NORTE

**SITE PLAN FOR SUBDIVISION**

**TERRA WEST, LLC**  
8508 JEFFERSON NE  
ALBUQUERQUE, NEW MEXICO 87113  
(505) 858-3100

RONALD R. BOHANNAN  
P.E. #7868

DRAWN BY: BMP

DATE: 7/16/02

2116SP3.DWG

SHEET # 1

JOB # 21016

EXISTING ZONING - SU1 FOR C1 TRACT L1

10001150