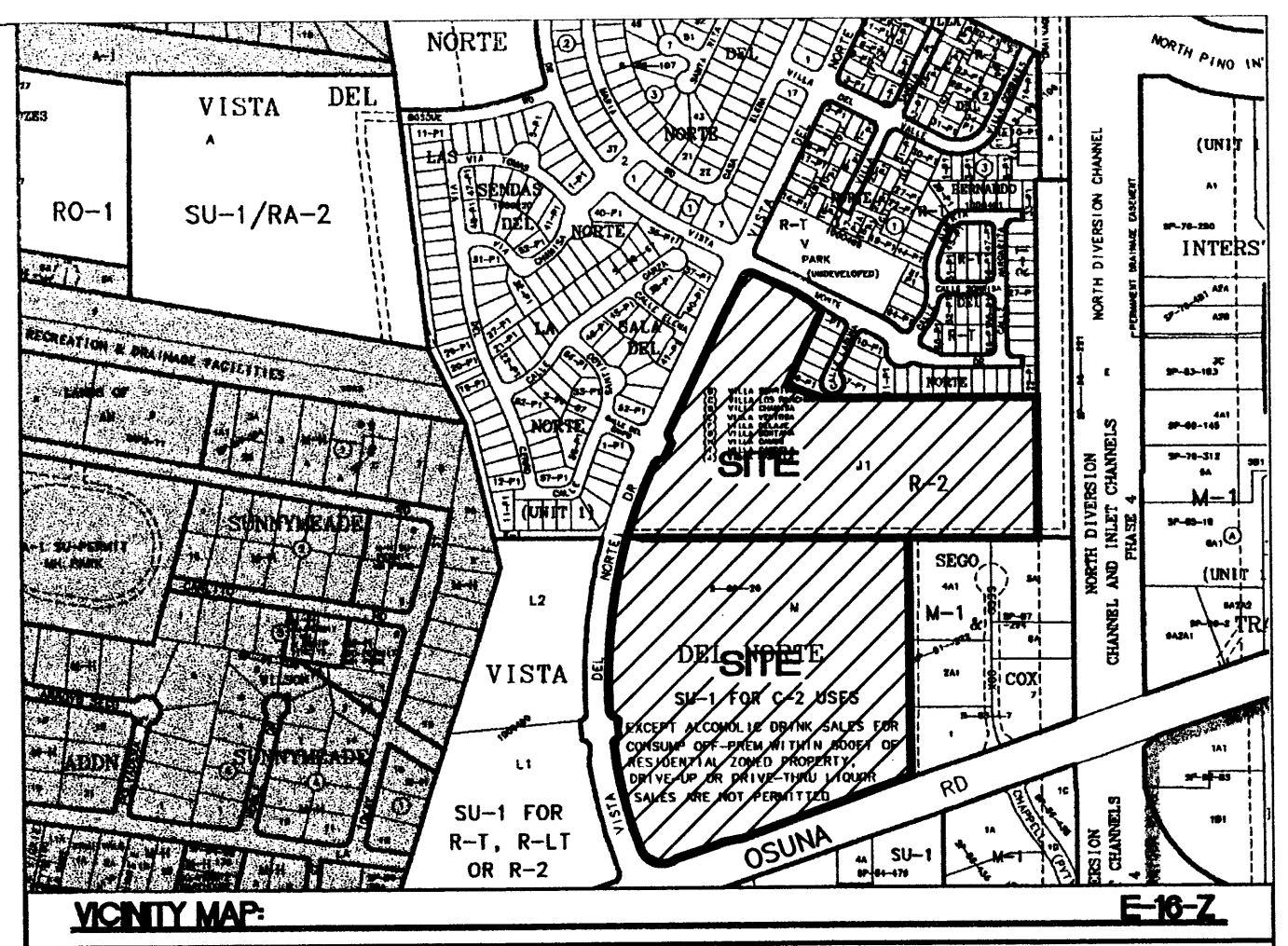


CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	39.27	25.00	25.00	90°00'00"	S71°06'02"W	35.36
C2	89.00	482.00	44.63	10°34'47"	N58°36'34"W	88.88
C3	36.97	518.00	18.49	4°05'22"	S55°21'51"E	36.97
C4	40.47	200.00	20.30	11°35'37"	N76°34'24"E	40.40
C5	30.34	150.00	15.22	11°35'23"	S76°34'32"W	30.29
C6	158.51	100.00	101.44	90°49'13"	S63°48'32"E	142.43
C7	353.94	1832.00	177.52	11°04'10"	S12°51'47"E	353.39
C8	39.45	25.00	25.18	90°24'17"	S37°52'11"W	35.48
C9	39.45	25.00	25.18	90°24'17"	S48°41'24"E	35.48
C10	498.18	1832.00	250.64	15°34'50"	S04°17'54"W	496.65
C11	118.51	1832.00	59.28	3°42'23"	S13°56'31"W	118.49
C12	282.69	1831.22	141.62	8°50'41"	S20°13'03"W	282.41
C13	39.91	25.00	25.65	91°27'28"	S70°22'06"W	35.80
C14	39.29	24.96	25.04	90°11'15"	S18°53'57"E	35.36

**NOTES:**

- COMMON INGRESS/EGRESS, STORM DRAINAGE AND PEDESTRIAN ACCESS ACROSS TRACTS J1 AND TRACT M2 IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPEAT.
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
- COMMON DRY UTILITY AND SANITARY SEWER EASEMENT FOR TRACTS J1 AND M2 IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE PLAT.
- AVERAGE LIGHT LEVELS SHALL BE LIMITED TO 2 FOOT CANDLES WITH MAXIMUM LEVELS LIMITED TO 16 FOOT CANDLES AS MEASURED FROM 4 FEET ABOVE THE SURFACE LEVEL OF ANY POINT ON THE SITE. LUMINARIES SHALL HAVE GLARE CUT OFF ANGLES OF MAXIMUM.
- ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
- LIGHT POLES SHALL BE A MAXIMUM OF 26' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 26' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100 FEET OF A RESIDENTIAL ZONING WILL BE LIMITED TO 16 FEET IN HEIGHT.
- THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
- NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
- SETBACKS: THERE SHALL BE A FRONT AND A CORNER SIDE YARD SETBACK OF NOT LESS THAN FIVE FEET AND A SETBACK OF 11 FEET FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION. THERE SHALL BE A SIDE OR REAR SETBACK OF NOT LESS THAN 15 FEET WHERE THE SITE ABUTS THE REAR OF A LOT IN A RESIDENTIAL ZONE.
- FIVE PERCENT OF THE TOTAL PARKING SPACES ARE TO BE USED FOR MULTIPLE OCCUPANCY VEHICLE PARKING LOCATED NEAR BUILDING ENTRANCES, AND IDENTIFIED ON THE SITE PLAN.
- LOCATE BICYCLE LOCKER UNITS AT CONVENIENT LOCATIONS AND IDENTIFY THEM ON THE SITE PLAN.
- PEDESTRIAN CROSSINGS OF VEHICLE CIRCULATION AREAS SHALL BE MINIMUM 6' WIDE, OF AN ALTERNATIVE TEXTURE MATERIAL AND SLIGHTLY RAISED. WHERE PARKING SPACES ARE PERPENDICULAR OR ANGLES TO PEDESTRIAN WALKS, THE PEDESTRIAN WALK SHALL BE PROTECTED BY PROVIDING TREE STOPS SO THAT PARKED CARS DO NOT OVERLAP THE PEDESTRIAN WALK OR BY MAKING THE WALK 10' WIDE IF THERE IS PARKING ON ONE, 10' WIDE IF THERE IS PARKING ON BOTH SIDES. THE PEDESTRIAN WALK AT THE ENTRY ELEVATION SHALL BE MINIMUM OF 15 FEET IN WIDTH WITH TREES AT 25' O.C. OR PORTALS CANOPIES ETC., FOR THE ENTIRE LENGTH OF THE FAÇADE.
- PEDESTRIAN AREAS IN FRONT OF MAJOR BUILDINGS SHALL BE MINIMUM 15' WIDE FROM BUILDING EDGE TO EDGE OF CURBING LESS AND PLANTERS; 10' WIDE IN FRONT OF SMALLER BUILDINGS ON MAJOR CENTERS.
- ALL POLYCARBS SHALL BE PLACED WITHIN THE GARAGE.



**VICINITY MAP**

**LEGAL DESCRIPTION:**  
TRACT J1 AND M VISTA DEL NORTE

**DESIGN GUIDELINES**

- Lighting shall be site specific. Show light pole locations on site plans. Pole height shall be maximum 20'. Light fixtures shall be downlight shoe box fixtures with flush lenses and horizontal light elements to prevent fugitive light.
- All canopies and out buildings shall be architecturally integrated with the main building on each site.
- No plastic vinyl awnings or fascia panels or backlit panels or awnings.
- All cell towers shall be architecturally integrated.
- No generic franchise architecture shall be permitted.
- No bar wire, concertina wire or chainlink fence shall be permitted.
- All HVAC shall be screened, top of HVAC shall be less than top of parapet.
- Walls shall follow the adopted City of Albuquerque Wall Design Guidelines.
- No black or dark color asphalt shingles shall be permitted.
- Maximum light standards within 300 feet adjacent residential shall be 16 foot and 20 feet elsewhere.
- Signage shall be either building mounted or monument signs only. Maximum height of the monument sign shall be 10 feet high with a 75 square foot face area.
- Signage maximum letter size shall be 2 foot individual channelized letters, backlit or neon and no signage shall face abutting residential.
- All loading docks shall be covered and screened with an architecturally integrated roof and wall.
- The face of curb to the entry façade shall be a minimum of 15 feet with a 6 foot clear pathway and trees at 25 feet on center in 5 by 5 planters or canopies and portals for the entire length of the building façade.
- All buildings shall be directly connected to adjacent streets and other adjacent buildings with clear direct pedestrian pathways with trees at 25 feet on center in 5 x 5 planters and through parking lots to break up large fields of parking. There shall be textured concrete or other material crossways at each drive aisle crossing of a pedestrian way.
- There shall be screen walls or earth berms of 3 feet to shield cars from adjacent streets.
- Gas canopies and auto dominated uses shall be secondary to pedestrian ways.
- Plazas shall be incorporated into commercial buildings a 30 foot minimum width dimension and 1,000 square feet.
- Commercial and office uses shall be located adjacent to streets with minimal parking between the entry façade and the street.
- Commercial buildings should typically be linked with plazas and pedestrian ways.
- Bus credits shall be utilized where applicable and the minimum parking shall be the maximum plus 10%.
- No off premise signs as permitted.

EXISTING ZONING - M1	
<b>SITE DATA (TRACT M1)</b>	
PROPOSED USAGE:	COMMERCIAL
ZONING:	SU-1 FOR C-2
LOT AREA:	21,1527
MAX. BUILDING AREA:	233,580 SF
MAX. BUILDING HEIGHT:	36'
MAX. FLOOR AREA RATIO:	0.25
REQUIRED LANDSCAPING:	15% OF NET LOT AREA

SITE DATA (TRACT M2)	
PROPOSED USAGE:	RESIDENTIAL
ZONING:	R-2
LOT AREA:	2,948 ACRES
NO. BUILDING UNITS:	
UNIT 1:	16 UNITS
UNIT 2:	24 UNITS
UNIT 3:	24 UNITS
TOTAL UNITS:	64 UNITS
DENSITY:	21.71 UNITS PER ACRE
MAX. BUILDING HEIGHT:	36'
REQUIRED LANDSCAPING:	15% OF NET LOT AREA

PROJECT # 1001150

APP#s: 02128-0030 & 02110-00138  
**PROJECT NUMBER: 1001150**

This plan is consistent with the specific site development plan approval by the Development Review Board (DRB) on July 21, 2007 and that the findings and conditions in the Official Notice; Notification of Decision have been complied with:

**SITE DEVELOPMENT PLAN**

<i>Paul J. Davis</i>	7-24-07
Traffic Engineer, Transportation Division	Date
<i>Christina Sandoval</i>	7/24/07
Parks & Recreation Department	Date
<i>Roger A. Hagan</i>	3-19-03
Public Works, Water Utilities Division	Date
<i>Bradley J. Rubin</i>	3/25/03
City Engineer, Engineering Division / AMAFCA	Date
<i>Michael Nelson</i>	1-22-03
Solid Waste <i>will comply w/ current specs</i>	Date

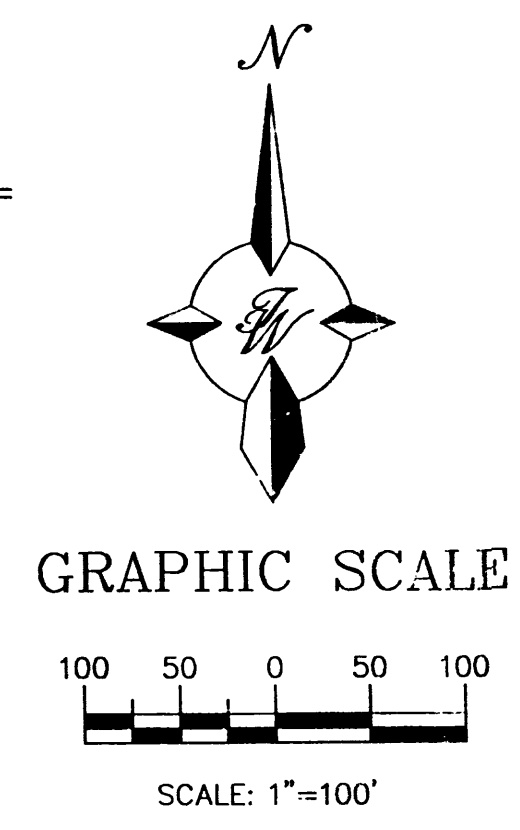
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

*Deann Matson* 9/28/05  
 City Planner, Albuquerque / Bernalillo County Planning Division

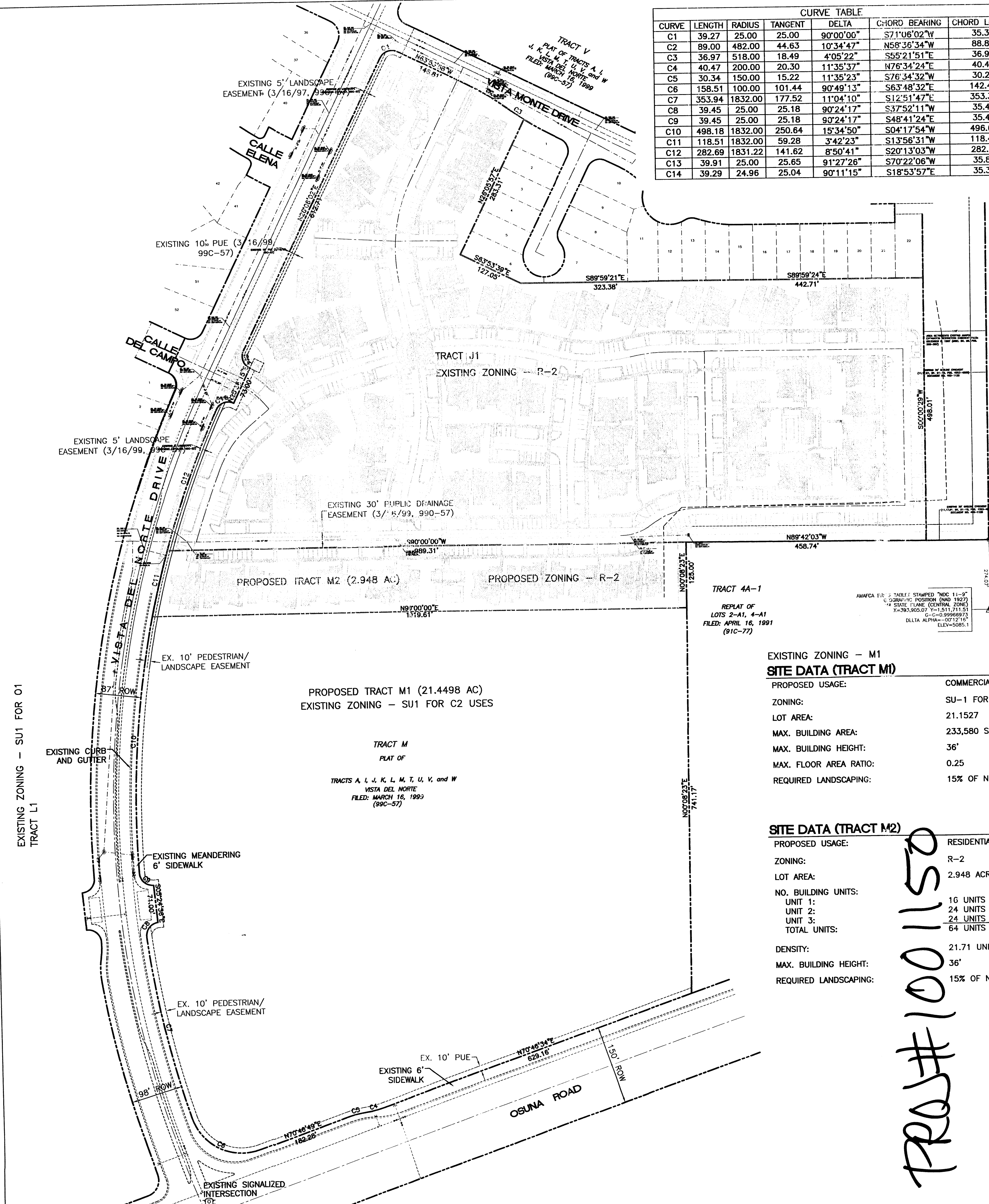
PLNZ (10706) 4/96

**LEGEND**

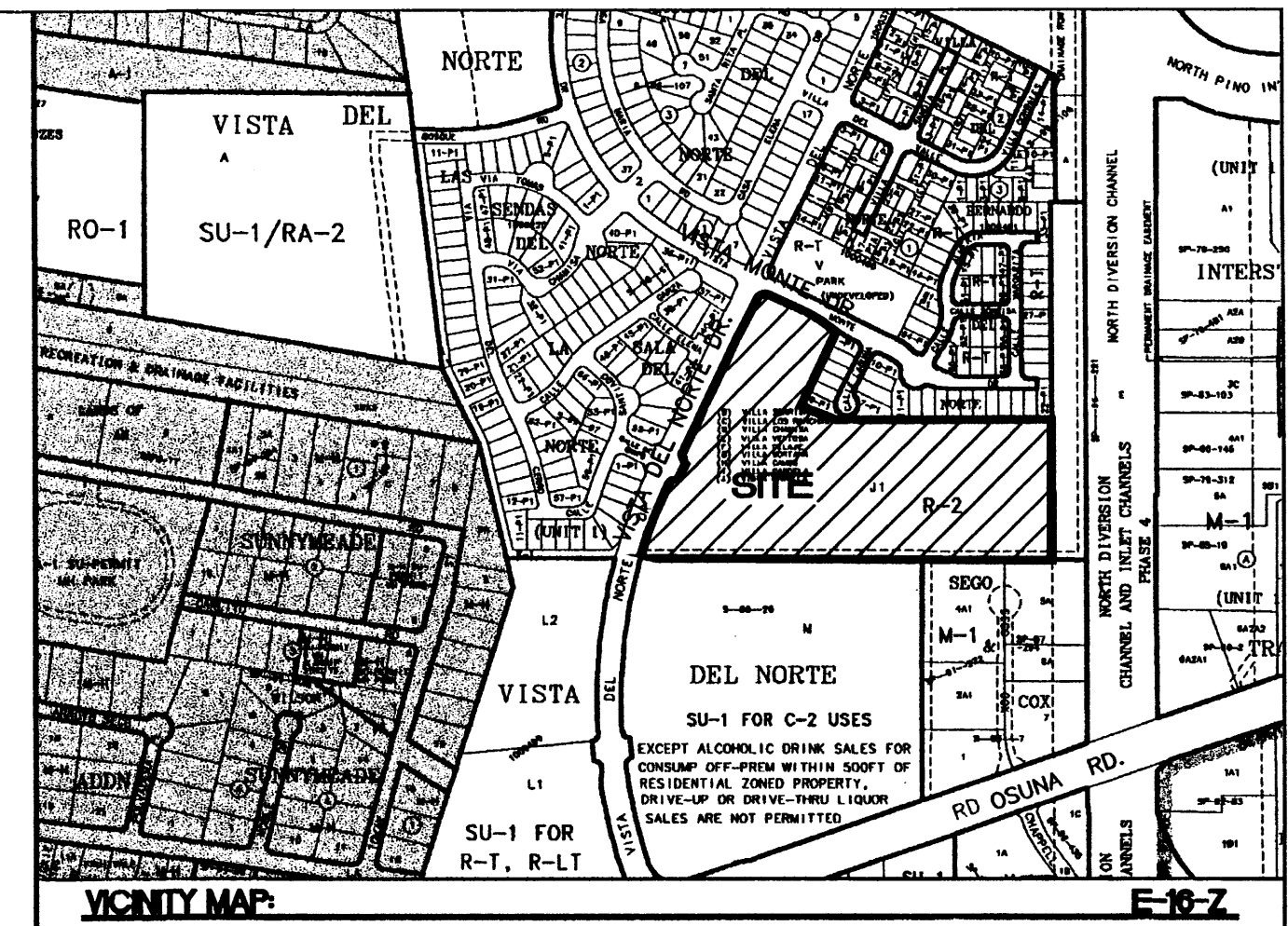
=====	EXISTING CURB & GUTTER
=====	PROPOSED CURB & GUTTER
-----	BOUNDARY LINE
-----	EXISTING BOUNDARY LINE
-----	EASEMENT
-----	PROPOSED SIDEWALK
-----	EXISTING SIDEWALK
-----	PROPOSED PERIMETER WALL
-----	EXISTING PERIMETER WALL
-----	PROPOSED RETAINING WALL



	<b>RANCHO MIRAGE</b> <b>VISTA DEL NORTE</b>	DRAWN BY: BMP DATE: 7/18/07
	<b>SITE PLAN FOR SUBDIVISION</b>	2116SP3.DWG
<b>TERRA WEST, LLC</b> 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		SHEET # <b>1</b>
RONALD R. BOHANNAN P.E. #7868		JOB # 21016



CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	411.41	1832.00	206.58	12°52'01"	S18°12'09"W	410.55
C2	39.90	25.00	25.64	91°27'02"	S70°22'06"W	35.80
C3	39.28	25.00	25.01	90°00'54"	S18°53'58"E	35.36



**LEGAL DESCRIPTION:**  
TRACT J1 VISTA DEL NORTE

**LEGEND**

- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- EXISTING BOUNDARY LINE
- EASEMENT
- PROPOSED SIDEWALK
- EXISTING SIDEWALK
- PROPOSED PERIMETER WALL
- EXISTING PERIMETER WALL
- PROPOSED RETAINING WALL
- PROPOSED FIRE HYDRANT

**SITE DATA**

PROPOSED USAGE:	CONDOS
LOT AREA:	21.25 ACRES
NO. BUILDING UNITS:	
UNIT 1:	76 UNITS
UNIT 2:	134 UNITS
UNIT 3:	142 UNITS
TOTAL UNITS:	352 UNITS
DENSITY:	16.51 UNITS PER ACRE

**BUILDING AREA:**

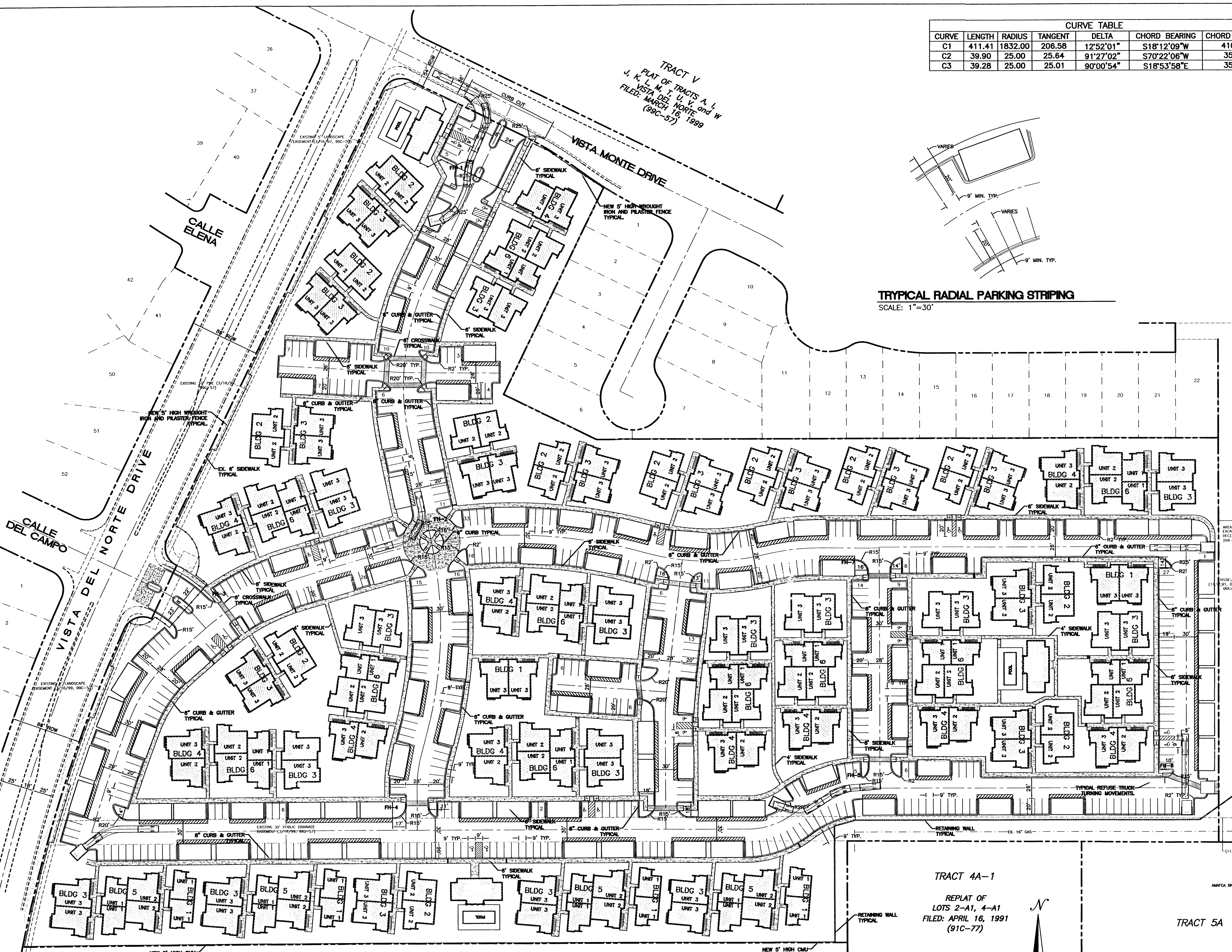
BUILDING NO.	AREA	QUANT.	TOTAL AREA
BUILDING 1	1,937 SF	4	7,748 SF
BUILDING 2	2,340 SF	13	30,420 SF
BUILDING 3	2,660 SF	30	79,800 SF
BUILDING 4	2,500 SF	11	27,500 SF
BUILDING 5	4,134 SF	4	16,536 SF
BUILDING 6	4,134 SF	11	45,474 SF
CLUB HOUSE	1,777 SF	3	5,331 SF
<b>TOTAL</b>			<b>212,809 SF</b>

**PARKING REQUIREMENTS**

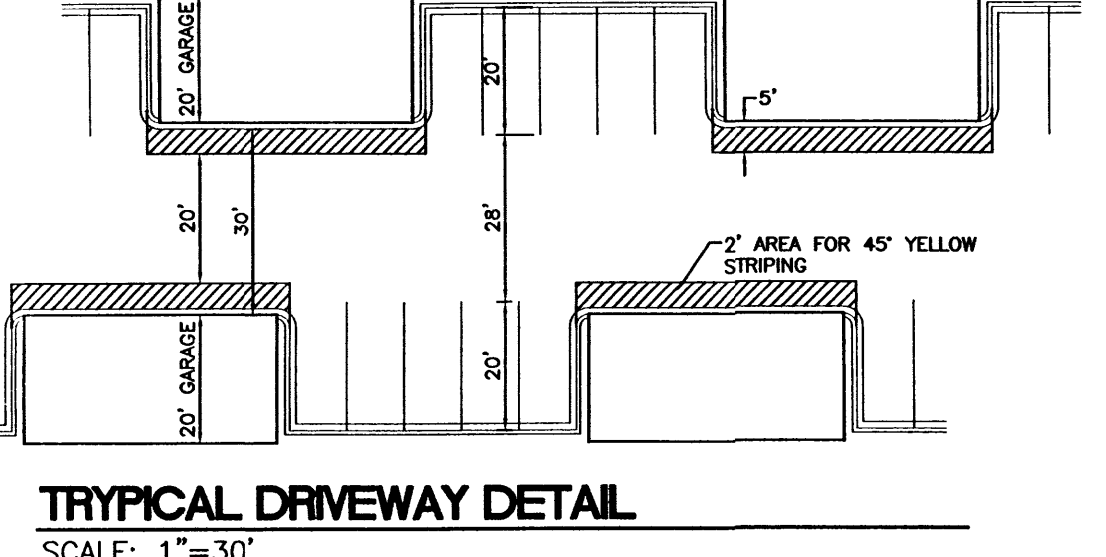
STANDARD PARKING PROVIDED:	418 SPACES
(20'x40') GARAGE PARKING PROVIDED:	356 SPACES
TOTAL PROVIDED =	774 SPACES
PARKING REQUIRED (1 PER BATH BUT LESS THAN 2)	
76 UNIT 1 (1 BATH) =	152 SPACES
134 UNIT 2 (2 BATH) =	268 SPACES
142 UNIT 3 (2 BATH) =	284 SPACES
TOTAL REQUIRED =	704 SPACES
HC PARKING PROVIDED:	16 SPACES
HC PARKING REQUIRED:	16 SPACES
	4 SPACES VAN ACCESSIBLE

**OPEN SPACE CALCS**

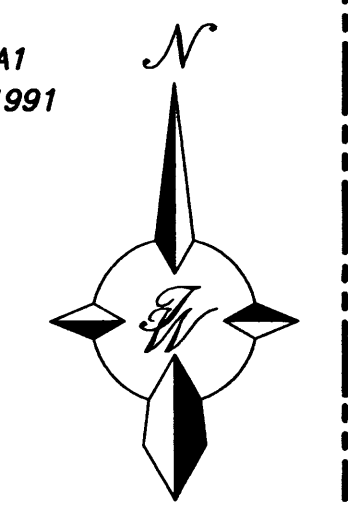
OPEN SPACE REQUIRED:	
76 UNIT 1 (1 BEDROOM)*400 SF	30,400 SF
134 UNIT 2 (2 BEDROOM)*500 SF	67,000 SF
142 UNIT 3 (3 BEDROOM)*600 SF	85,200 SF
TOTAL REQUIRED	182,600 SF
OPEN SPACE PROVIDED:	210,340 SF



**TYPICAL RADIAL PARKING STRIPING**  
SCALE: 1"=30'



TRACT 4A-1  
REPLAT OF  
LOTS 2-A1, 4-A1  
FILED: APRIL 16, 1991  
(91C-77)

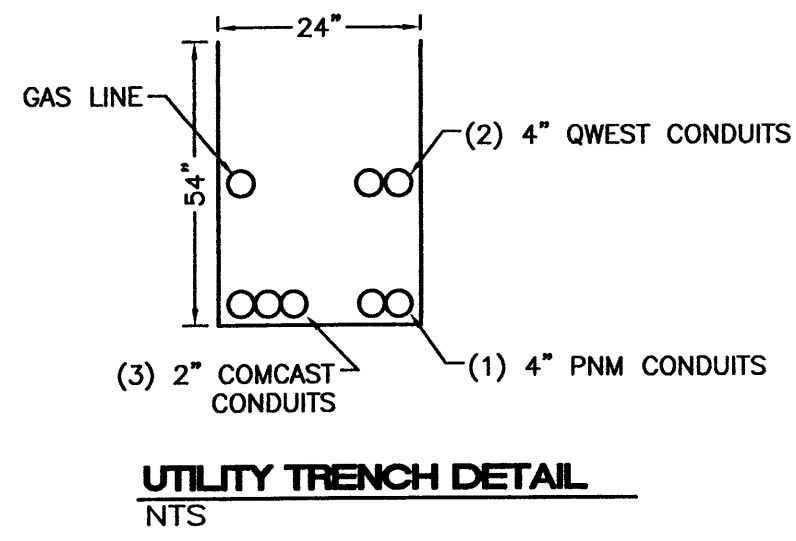


TRACT M  
PLAT OF  
TRACTS A, I, J, K, L, M, T, U, V, and W  
VISTA DEL NORTE  
FILED: MARCH 16, 1999  
(99C-57)

TRACT 5A  
REPLAT OF  
LOTS 5-A, 6-A  
FILED: AUGUST 19, 1987  
(C34-108)

TRACT 6A

ENGINEER'S SEAL	<b>RANCHO MIRAGE</b>	DRAWN BY	BDG
	<b>VISTA DEL NORTE</b>	DATE	01/22/03
RONALD R. BOHANNAN P.E. #7868	<b>TRAFFIC CIRCULATION LAYOUT</b>		2116TCL.DWG
	<b>TERRA WEST, L.L.C.</b> 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET #	1
		JOB #	21016



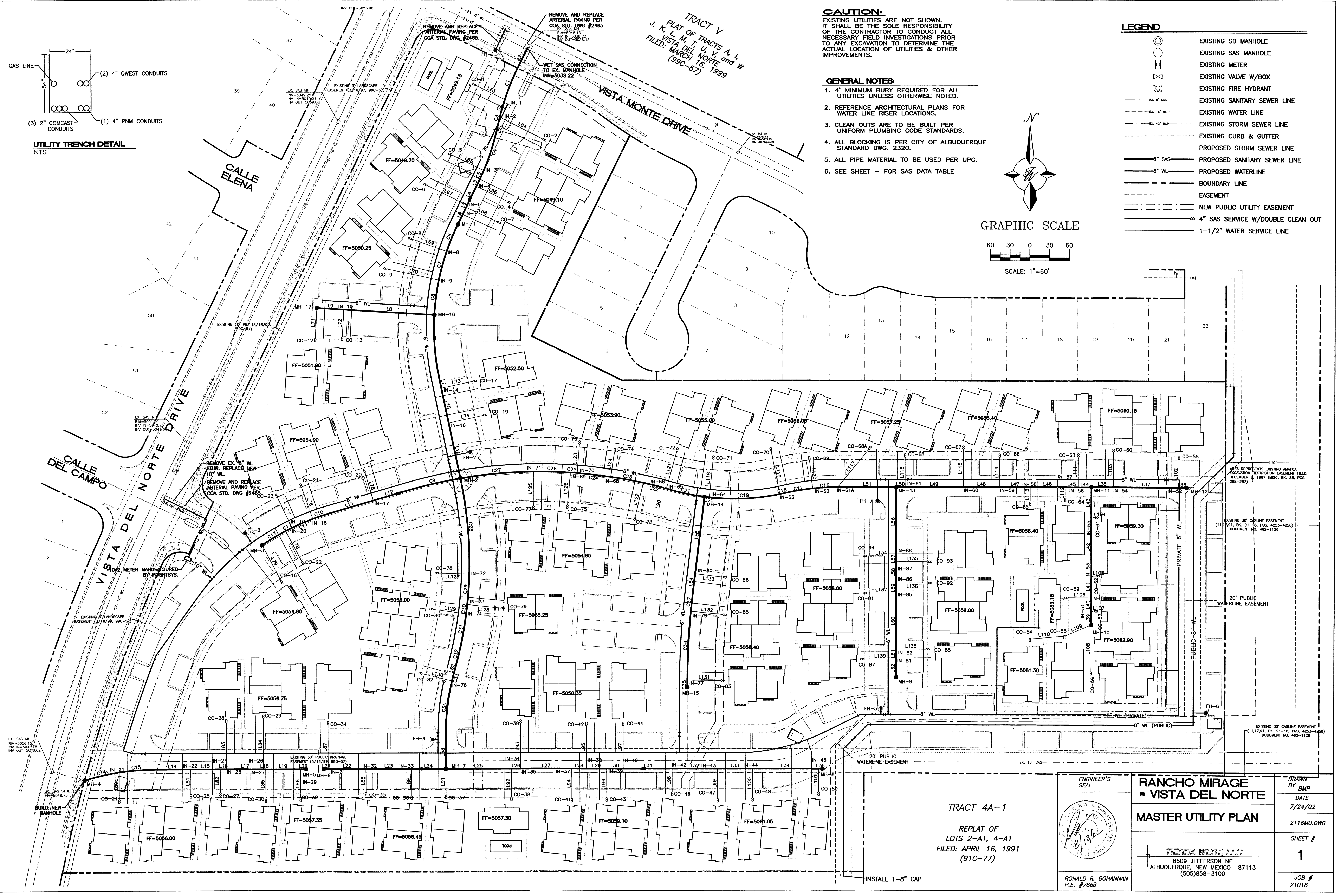
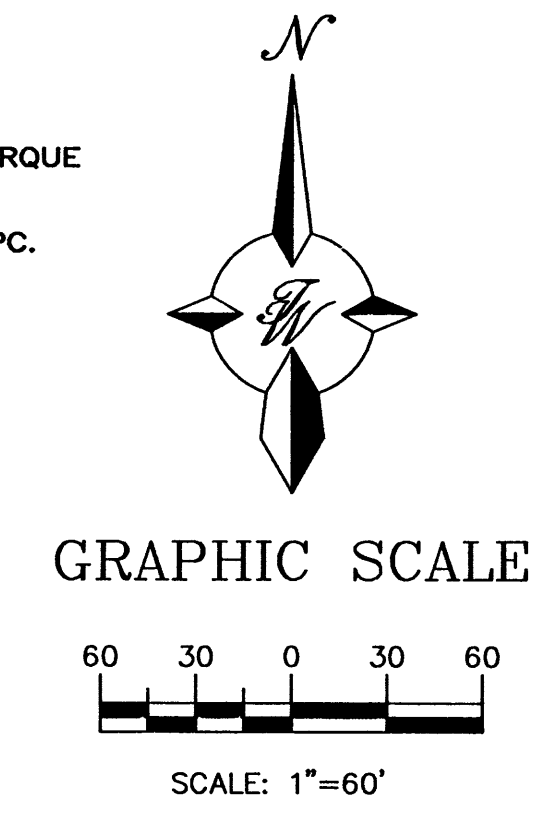
TRACT V  
 PLAT OF TRACTS A, I,  
 J, K, L, M, T, U, V, and W  
 VISTA DEL NORTE  
 FILED: MARCH 15, 1999  
 (99C-57)

**CAUTION:**  
 EXISTING UTILITIES ARE NOT SHOWN.  
 IT SHALL BE THE SOLE RESPONSIBILITY  
 OF THE CONTRACTOR TO CONDUCT ALL  
 NECESSARY FIELD INVESTIGATIONS PRIOR  
 TO ANY EXCAVATION TO DETERMINE THE  
 ACTUAL LOCATION OF UTILITIES & OTHER  
 IMPROVEMENTS.

- GENERAL NOTES:**
- 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
  - REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
  - CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
  - ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
  - ALL PIPE MATERIAL TO BE USED PER UPC.
  - SEE SHEET - FOR SAS DATA TABLE

**LEGEND**

	EXISTING SD MANHOLE
	EXISTING SAS MANHOLE
	EXISTING METER
	EXISTING VALVE W/BOX
	EXISTING FIRE HYDRANT
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM SEWER LINE
	EXISTING CURB & GUTTER
	PROPOSED STORM SEWER LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED WATERLINE
	BOUNDARY LINE
	EASEMENT
	NEW PUBLIC UTILITY EASEMENT
	4" SAS SERVICE W/DOUBLE CLEAN OUT
	1-1/2" WATER SERVICE LINE



TRACT 4A-1  
 REPLAT OF  
 LOTS 2-A1, 4-A1  
 FILED: APRIL 16, 1991  
 (91C-77)

ENGINEER'S SEAL  
  
 RONALD R. BOHANNAN  
 P.E. #7868

**RANCHO MIRAGE**  
 VISTA DEL NORTE  
**MASTER UTILITY PLAN**  
 TIERRA WEST, L.L.C.  
 8509 JEFFERSON NE  
 ALBUQUERQUE, NEW MEXICO 87113  
 (505)858-3100

DRAWN BY: BMP  
 DATE: 7/24/02  
 2116MU.DWG  
 SHEET # 1  
 JOB # 21016

LINE TABLE				
LINE	PIPE SIZE	LENGTH	SLOPE	BEARING
L1	8" SAS	28.17	S=0.80%	S26°06'02"W
L2	8" SAS	14.31	S=0.80%	S13°02'03"W
L3	8" SAS	6.28	S=0.80%	N26°06'02"E
L4	8" SAS	26.47	S=0.80%	N26°06'02"E
L5	8" SAS	3.23	S=0.80%	N26°06'02"E
L6	8" SAS	23.92	S=0.80%	N26°06'02"E
L7	8" SAS	13.77	S=0.80%	N11°48'51"W
L8	8" SAS	115.30	S=1.00%	S86°38'44"E
L9	8" SAS	34.04	S=1.00%	S86°38'44"E
L10	8" SAS	44.99	S=0.80%	N11°48'51"W
L11	8" SAS	71.95	S=0.80%	N11°48'51"W
L12	8" SAS	44.05	S=1.00%	S73°42'05"W
L13	8" SAS	60.95	S=1.00%	S73°42'05"W
L14	8" SAS	46.48	S=1.00%	N90°00'00"E
L15	8" SAS	37.46	S=1.00%	N90°00'00"E
L16	8" SAS	8.02	S=1.00%	N90°00'00"E
L17	8" SAS	47.01	S=1.00%	N90°00'00"E
L18	8" SAS	2.77	S=1.00%	N90°00'00"E
L19	8" SAS	44.32	S=1.00%	N90°00'00"E
L20	8" SAS	7.28	S=1.00%	N90°00'00"E
L21	8" SAS	5.79	S=1.00%	N90°00'00"E
L22	8" SAS	48.03	S=1.00%	N90°00'00"E
L23	8" SAS	58.02	S=1.00%	N90°00'00"E
L24	8" SAS	44.12	S=1.00%	S90°00'00"E
L25	8" SAS	82.83	S=1.00%	N90°00'00"E
L26	8" SAS	11.88	S=1.00%	N90°00'00"E
L27	8" SAS	64.80	S=1.00%	N90°00'00"E
L28	8" SAS	18.66	S=1.00%	N90°00'00"E
L29	8" SAS	25.66	S=1.00%	N90°00'00"E
L30	8" SAS	20.89	S=1.00%	N90°00'00"E
L31	8" SAS	63.05	S=1.00%	N90°00'00"E
L32	8" SAS	57.80	S=1.00%	N90°00'00"E
L33	8" SAS	44.32	S=1.00%	N90°00'00"E
L34	8" SAS	83.93	S=1.00%	S90°00'00"E
L35	8" SAS	4.99	S=1.00%	N90°00'00"E
L36	8" SAS	12.09	S=1.00%	N90°00'00"W
L37	8" SAS	83.00	S=1.00%	N90°00'00"W
L38	8" SAS	27.99	S=1.00%	N90°00'00"W
L39	8" SAS	16.90	S=1.00%	S00°00'00"E
L40	8" SAS	17.41	S=1.00%	S00°00'00"E
L41	8" SAS	26.81	S=1.00%	S00°00'00"E
L42	8" SAS	73.97	S=1.00%	S00°00'00"E
L43	8" SAS	38.35	S=1.00%	S00°00'00"E
L44	8" SAS	16.68	S=1.00%	N90°00'00"W
L45	8" SAS	16.59	S=1.00%	N90°00'00"W
L46	8" SAS	44.67	S=1.00%	N90°00'00"W
L47	8" SAS	38.86	S=1.00%	N90°00'00"W
L48	8" SAS	46.02	S=1.00%	N90°00'00"W
L49	8" SAS	74.07	S=1.00%	S90°00'00"W
L50	8" SAS	11.18	S=1.00%	N90°00'00"W
L51	8" SAS	74.08	S=1.00%	N90°00'00"W
L52	8" SAS	12.27	S=1.00%	N15°01'04"E
L53	8" SAS	42.61	S=1.00%	N00°00'00"W
L54	8" SAS	21.30	S=1.00%	S07°00'17"W
L55	8" SAS	98.32	S=1.00%	S07°00'17"W
L56	8" SAS	86.99	S=1.00%	N00°00'00"E
L57	8" SAS	7.39	S=1.00%	N00°00'00"E
L58	8" SAS	26.94	S=1.00%	N00°00'00"E
L59	8" SAS	12.44	S=1.00%	N00°00'00"E
L60	8" SAS	71.02	S=1.00%	N00°00'00"E
L61	8" SAS	12.44	S=1.00%	N00°00'00"E
L62	8" SAS	23.05	S=1.00%	N00°00'00"E
L63	4" SAS	40.87	S=2.00%	S63°53'58"E
L64	4" SAS	60.99	S=2.00%	S62°57'52"E
L65	4" SAS	44.96	S=2.00%	N63°53'58"W
L66	4" SAS	43.16	S=2.00%	S63°53'58"E
L67	4" SAS	56.67	S=2.00%	N63°53'58"W
L68	4" SAS	43.32	S=2.00%	S65°11'09"E
L69	4" SAS	47.44	S=2.00%	S70°56'46"E
L70	4" SAS	67.34	S=2.00%	N78°07'22"W
L71	4" SAS	38.19	S=2.00%	N03°16'34"E
L72	4" SAS	34.54	S=2.00%	N03°16'34"E
L73	4" SAS	40.79	S=2.00%	S78°11'09"W
L74	4" SAS	45.02	S=2.00%	N78°05'00"E
L75	4" SAS	37.00	S=2.00%	N16°17'55"W
L76	4" SAS	42.54	S=2.00%	N20°10'16"W
L77	4" SAS	42.93	S=2.00%	N25°54'42"W
L78	4" SAS	43.94	S=2.00%	S28°08'50"E
L79	4" SAS	50.96	S=2.00%	S27°42'42"E
L80	4" SAS	34.53	S=2.00%	S00°00'00"E
L81	4" SAS	31.82	S=2.00%	S00°00'00"E
L82	4" SAS	29.61	S=2.00%	S00°00'00"E
L83	4" SAS	58.15	S=2.00%	N00°00'00"W
L84	4" SAS	63.82	S=2.00%	N00°00'00"E
L85	4" SAS	37.72	S=2.00%	N00°00'00"E
L86	4" SAS	36.57	S=2.00%	S00°00'00"E
L87	4" SAS	55.15	S=2.00%	N00°00'00"E
L88	4" SAS	29.52	S=2.00%	S00°00'00"W
L89	4" SAS	34.34	S=2.00%	S00°00'00"E
L90	4" SAS	46.32	S=2.00%	S14°51'26"W
L91	4" SAS	32.90	S=2.00%	S00°00'00"W
L92	4" SAS	36.09	S=2.00%	S00°00'00"W
L93	4" SAS	57.09	S=2.00%	N00°00'00"W
L94	4" SAS	37.81	S=2.00%	S00°00'00"E
L95	4" SAS	54.09	S=2.00%	N00°00'00"E
L96	4" SAS	36.66	S=2.00%	S00°00'00"W
L97	4" SAS	54.09	S=2.00%	N00°00'00"E
L98	4" SAS	29.61	S=2.00%	S00°00'00"W
L99	4" SAS	37.72	S=2.00%	S00°00'00"E
L100	4" SAS	36.57	S=2.00%	S00°00'00"W
L101	4" SAS	29.52	S=2.00%	S00°00'00"W
L102	4" SAS	35.72	S=2.00%	N00°00'00"E
L103	4" SAS	44.38	S=2.00%	N00°00'00"E
L104	4" SAS	5.59	S=2.00%	S90°00'00"W
L105	4" SAS	7.50	S=2.00%	N90°00'00"W
L106	4" SAS	29.22	S=2.00%	N90°00'00"W
L107	4" SAS	5.43	S=2.00%	N90°00'00"W
L108	4" SAS	60.07	S=2.00%	S00°00'00"E

L109	4" SAS	36.76	S=2.00%	N67°03'37"E
L110	4" SAS	43.99	S=2.00%	N85°08'59"E
L111	4" SAS	38.72	S=2.00%	N00°00'00"E
L112	4" SAS	13.55	S=2.00%	S00°00'00"W
L113	4" SAS	18.55	S=2.00%	S00°00'00"W
L114	4" SAS	37.74	S=2.00%	N00°00'00"E
L115	4" SAS	47.85	S=2.00%	N00°00'00"E
L116	4" SAS	37.74	S=2.00%	N00°00'00"E
L117	4" SAS	61.89	S=2.00%	N39°21'35"E
L118	4" SAS	48.27	S=2.00%	N05°50'53"E
L119	4" SAS	55.34	S=2.00%	N11°16'42"W
L120	4" SAS	36.25	S=2.00%	N06°06'14"W
L121	4" SAS	49.00	S=2.00%	N15°37'40"E
L122	4" SAS	44.54	S=2.00%	S13°31'44"W
L123	4" SAS	36.23	S=2.00%	N04°34'57"E
L124	4" SAS	31.93	S=2.00%	N08°39'53"E
L125	4" SAS	43.17	S=2.00%	S00°09'25"W
L126	4" SAS	41.08	S=2.00%	S04°56'59"W
L127	4" SAS	38.92	S=2.00%	N88°12'28"W
L128	4" SAS	42.74	S=2.00%	S83°47'22"E
L129	4" SAS	42.08	S=2.00%	N82°26'16"W
L130	4" SAS	39.14	S=2.00%	N76°45'00"W
L131	4" SAS	42.32	S=2.00%	S89°29'15"E
L132	4" SAS	40.97	S=2.00%	S84°30'23"E
L133	4" SAS	35.82	S=2.00%	S82°59'43"E
L134	4" SAS	37.54	S=2.00%	S90°00'00"W
L135	4" SAS	41.00	S=2.00%	N90°00'00"E
L136	4" SAS	41.00	S=2.00%	S90°00'00"E
L137	4" SAS	37.54	S=2.00%	S90°00'00"W
L138	4" SAS	38.00	S=2.00%	S90°00'00"E
L139	4" SAS	40.54	S=2.00%	N90°00'00"W

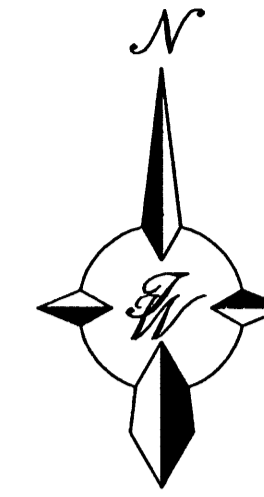
MANHOLE TABLE				
#	MH TYPE	RIM ELEV	INV IN	INV OUT
MH1	4' DIA. TYPE "C"	5047.18	5040.24	5040.14
MH2	4' DIA. TYPE "E"	5051.00	5042.98	5042.88
MH3	4' DIA. TYPE "C"	5051.37	-	5045.65
MH4	4' DIA. TYPE "E"	5055.04	5048.85	5048.75
MH5	4' DIA. TYPE "C"	5054.88	-	5051.65
MH6	4' DIA. TYPE "E"	5055.11	-	5048.33
MH7	4' DIA. TYPE "E"	5055.98	5046.77	5046.67
MH8	4' DIA. TYPE "E"	5059.56	-	5051.46
MH9	4' DIA. TYPE "C"	5057.24	5051.32	5051.22
MH10	4' DIA. TYPE "E"	5060.56	5052.22	5052.12
MH11	4' DIA. TYPE "E"	5057.32	5050.39	5050.29
MH12	4' DIA. TYPE "E"	5058.55	-	5051.38
MH13	4' DIA. TYPE "E"	5054.83	5048.27	5048.17
MH14	4' DIA. TYPE "C"	5052.72	5046.21	5046.11
MH15	4' DIA. TYPE "E"	5056.09	-	5048.63
MH16	4' DIA. TYPE "E"	5048.37	5041.29	5041.19
MH17	4' DIA. TYPE "E"	5049.89	-	5042.78

CLEANOUT TABLE	
#	INVERT
CO-1	5045.15
CO-2	5045.10
CO-3	5045.20
CO-4	5045.10
CO-5	-
CO-6	5045.20
CO-7	5045.10
CO-8	5046.25
CO-9	5046.25
CO-10	-
CO-11	-
CO-12	5047.90
CO-13	5047.90
CO-14	-
CO-15	-
CO-16	5050.50
CO-17	5048.50
CO-18	-
CO-19	5048.50
CO-20	5050.00
CO-21	5050.00
CO-22	5050.50
CO-23	5050.00
CO-24	5052.00
CO-25	5052.00
CO-26	-
CO-27	5052.00
CO-28	5052.75
CO-29	5052.75
CO-30	5053.35
CO-31	-
CO-32	5053.35
CO-33	-
CO-34	5052.75
CO-35	5053.35
CO-36	5054.45
CO-37	5054.45
CO-38	5054.30
CO-39	5054.35
CO-40	-
CO-41	5055.10
CO-42	5054.35
CO-43	5055.10
CO-44	5054.35
CO-45	-
CO-46	5055.10
CO-47	5057.05
CO-48	5057.05
CO-49	-
CO-50	5057.05
CO-51	-
CO-52	-
CO-53	-
CO-54	5057.30
CO-55	5057.30
CO-56	5058.90
CO-57	5058.90
CO-58	5056.15
CO-59	5055.15
CO-60	5056.15
CO-61	5054.30
CO-62	5058.90
CO-63	5056.15
CO-64	5054.40
CO-65	5054.40
CO-66	5054.40
CO-67	5054.40
CO-68	5053.25
CO-68A	5053.25
CO-69	5052.00
CO-70	5052.00
CO-71	5051.00
CO-72	5051.00
CO-73	5050.85
CO-74	5049.90
CO-75	5050.85
CO-76	5049.90
CO-77	5050.85
CO-78	5052.00
CO-79	5051.25
CO-80	5052.00
CO-81	-
CO-82	5052.00
CO-83	5054.40
CO-84	-
CO-85	5054.40
CO-86	5054.40
CO-87	5054.60
CO-88	5055.00
CO-89	-

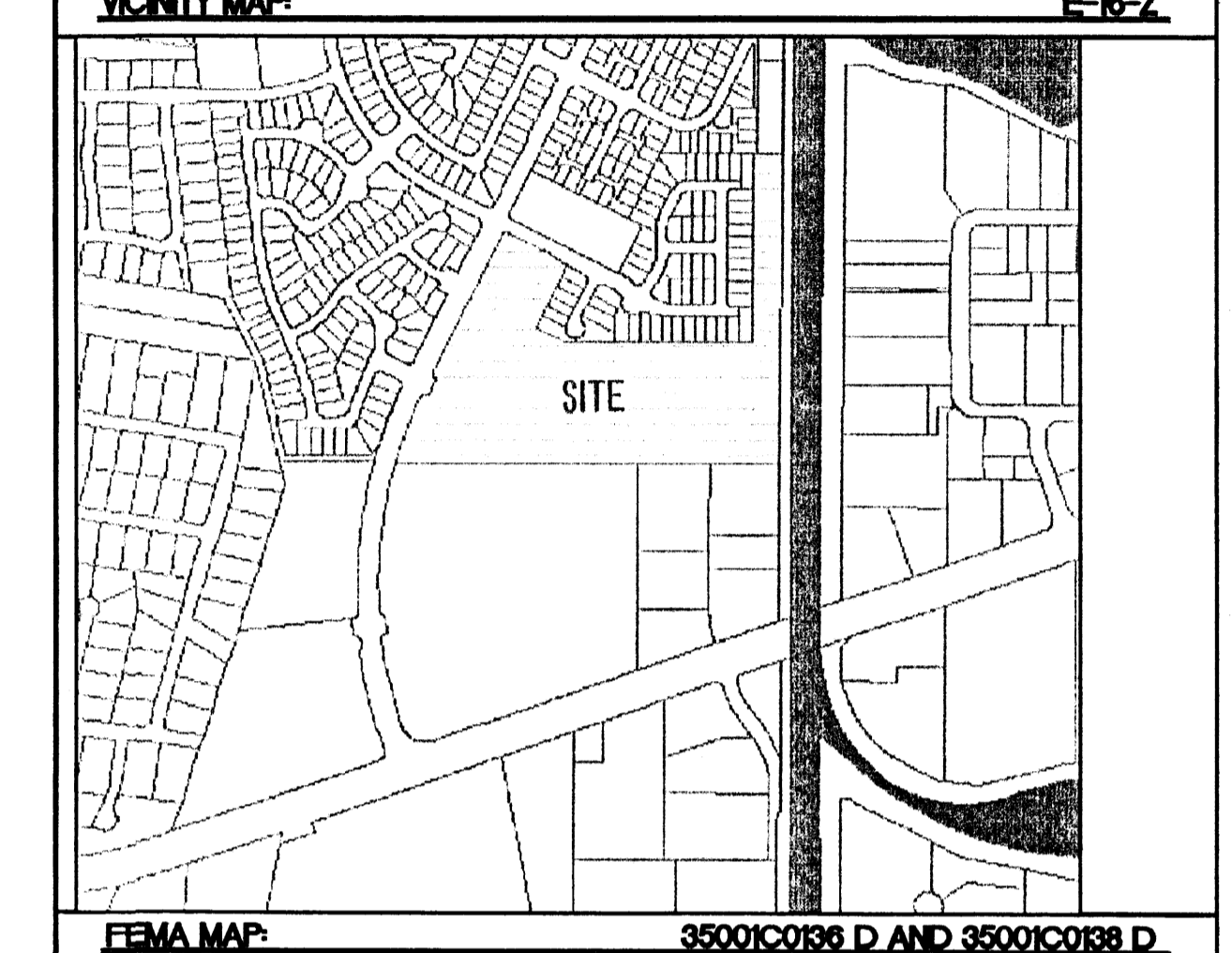
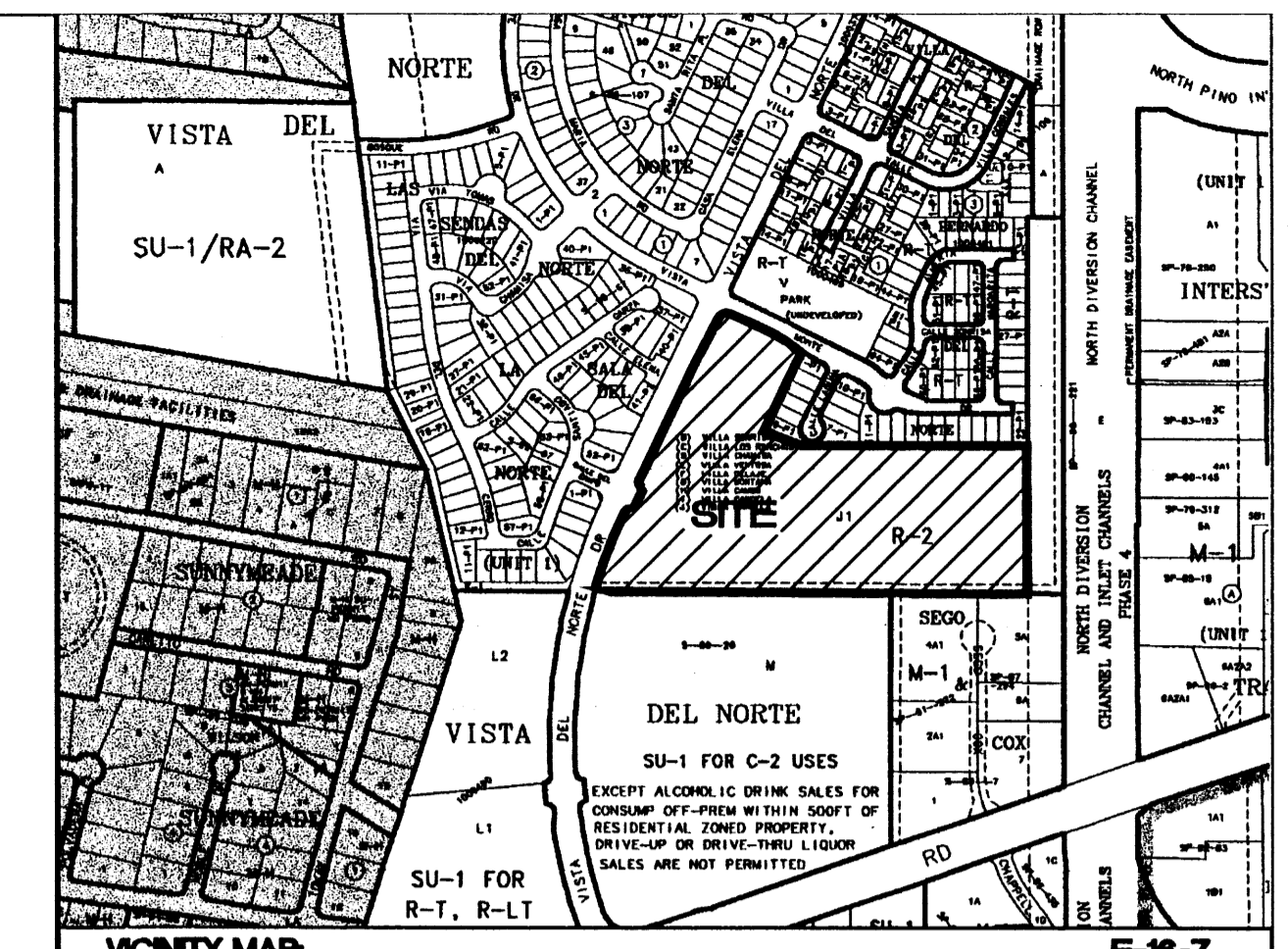
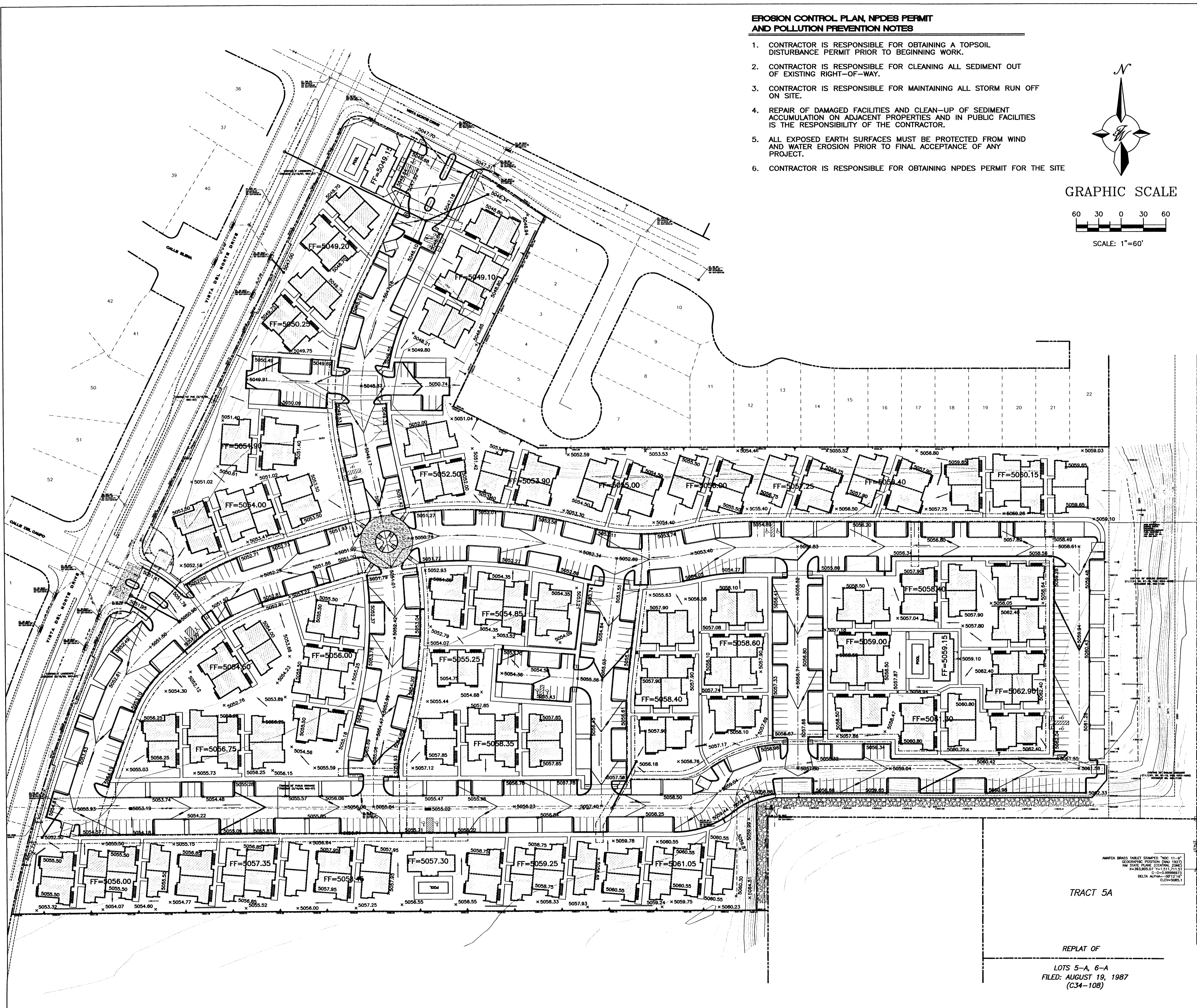
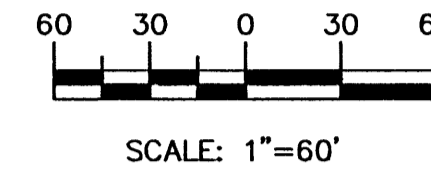
CURVE TABLE								
CURVE	PIPE SIZE	LENGTH	SLOPE	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	8" SAS	41.72	S=0.80%	300.00	20.89	7°58'01"	S22°07'02"W	41.68
C2	8" SAS	23.12	S=0.80%	300.00	11.57	4°24'59"	S15°55'31"W	23.12
C3	8" SAS	3.58	S=0.80%	300.00	1.79	0°40'59"	S13°22'32"W	3.58
C4	8" SAS	52.73	S=0.80%	300.00	26.44	10°04'17"	N18°04'12"E	52.67
C5	8" SAS	15.68	S=0.80%	300.00	7.84	2°59'42"	N24°36'11"E	15.68
C6	8" SAS	36.90	S=0.80%	300.00	18.48	7°02'53"	S22°34'40"W	36.88
C7	8" SAS	37.58	S=0.80%	300.00	18.81	7°10'35"	S15°27'56"W	37.55
C8	8" SAS	44.62	S=0.80%	300.00	22.35	8°31'22"	S07°36'57"W	44.58
C9	8" SAS	70.40	S=1.00%	600.00	35.24	6°43'20"	S77°03'45"W	70.35
C10	8" SAS	19.23	S=1.00%	300.00	9.62	3°40'22"	S71°51'56"W	19.23
C11	8" SAS	28.97	S=1.00%	300.00	14.50	5°32'00"	S67°15'45"W	28.96
C12	8" SAS	9.32	S=1.00%	300.00	4.66	1°46'46"	S63°36'22"W	9.32

**EROSION CONTROL PLAN, NPDES PERMIT  
AND POLLUTION PREVENTION NOTES**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE.



GRAPHIC SCALE



**LEGEND**

- ⊙ EXISTING STORM SEWER MANHOLE
- - - - - EXISTING STORM SEWER LINE
- ⊙ PROPOSED STORM SEWER MANHOLE
- - - - - EXISTING STORM SEWER LINE
- - - - - EXISTING CURB & GUTTER
- - - - - EXISTING CONTOUR (MAJOR)
- - - - - EXISTING CONTOUR (MINOR)
- - - - - BOUNDARY LINE
- - - - - EASEMENT
- - - - - PROPOSED SIDEWALK
- - - - - WROUGHT IRON & PILASTER FENCE
- - - - - PROPOSED SCREEN WALL
- - - - - PROPOSED RETAINING WALL
- - - - - PROPOSED LANDSCAPE RETAINING WALL
- DIRECTION OF FLOW

TRACT 5A

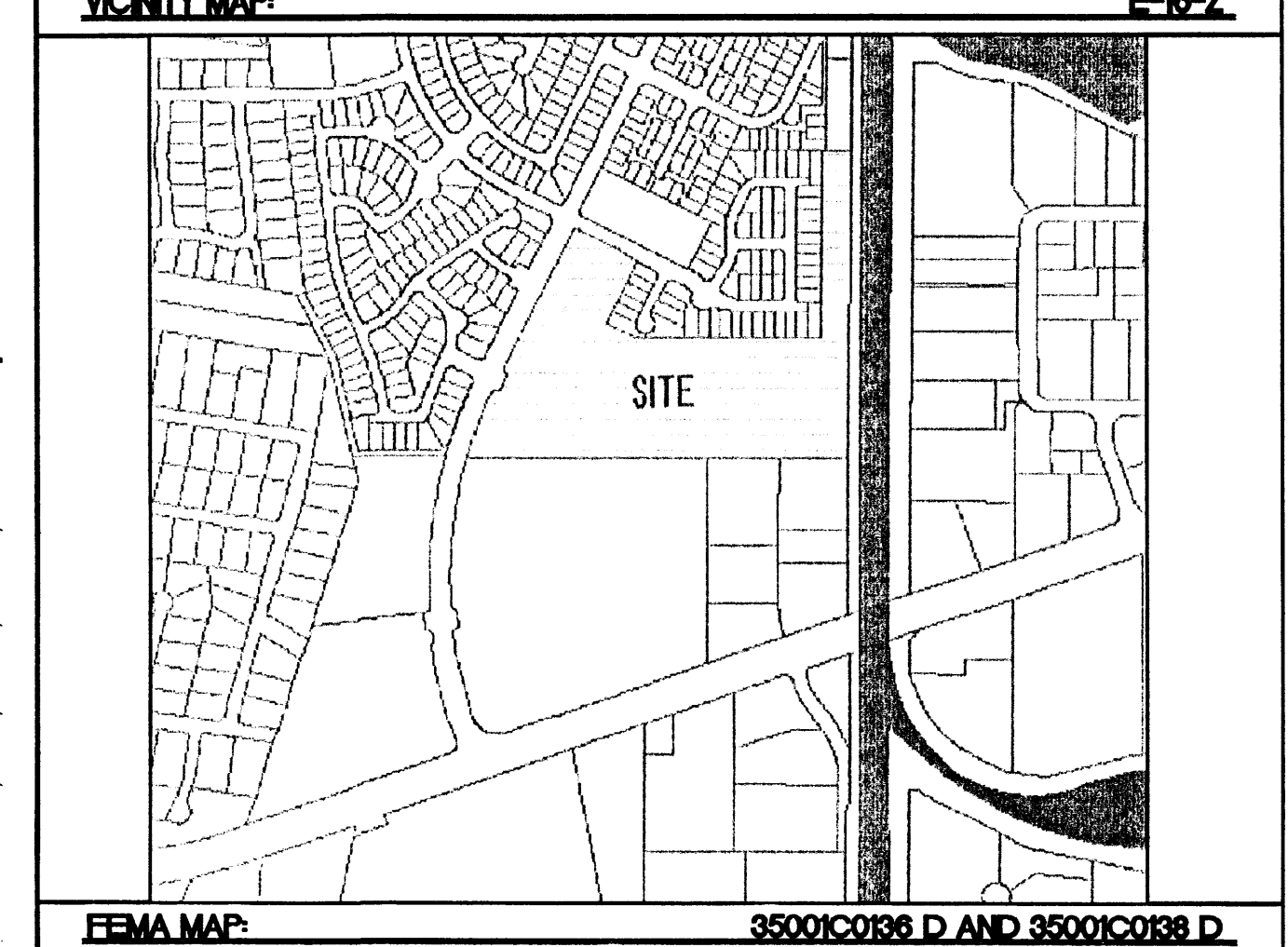
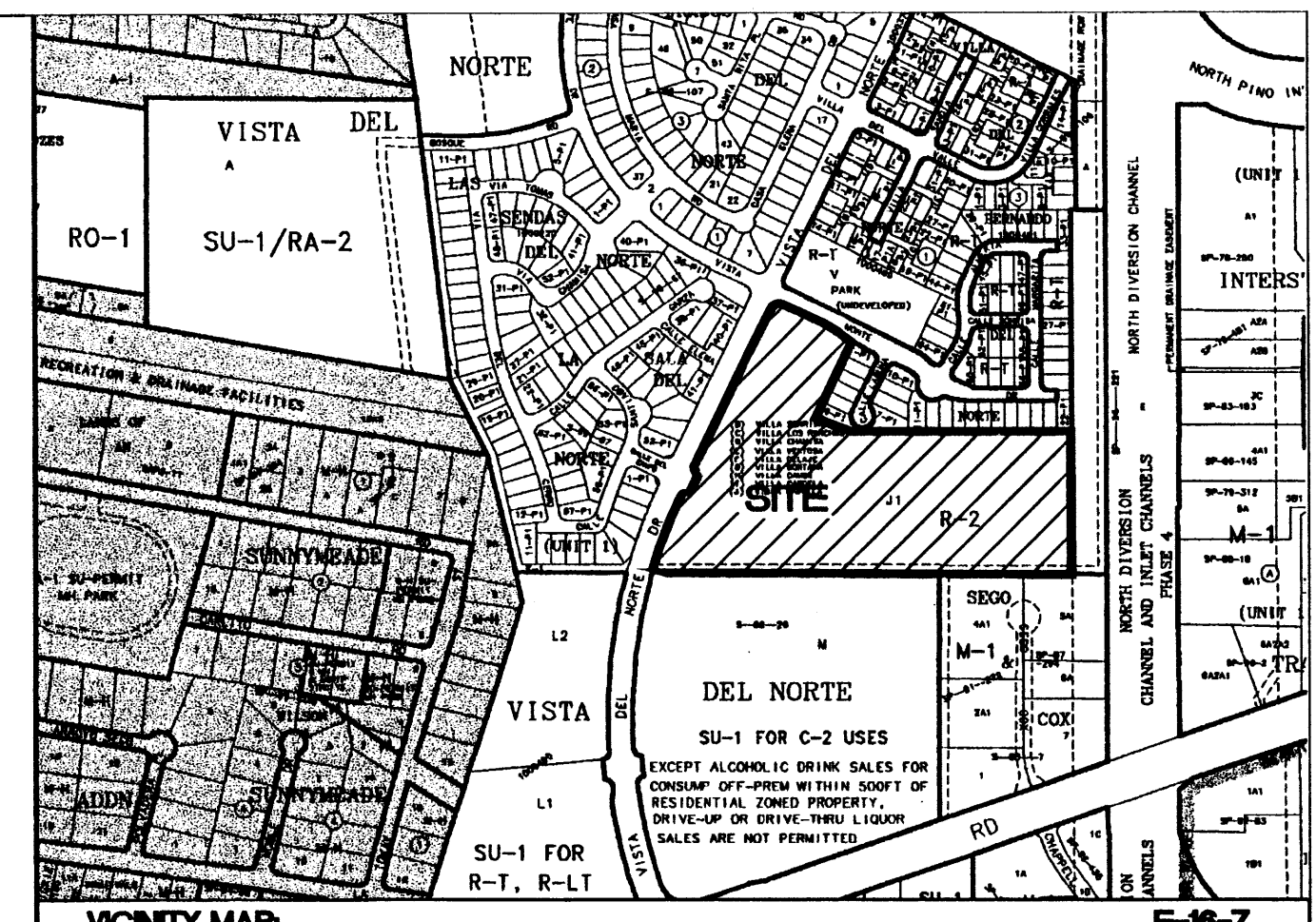
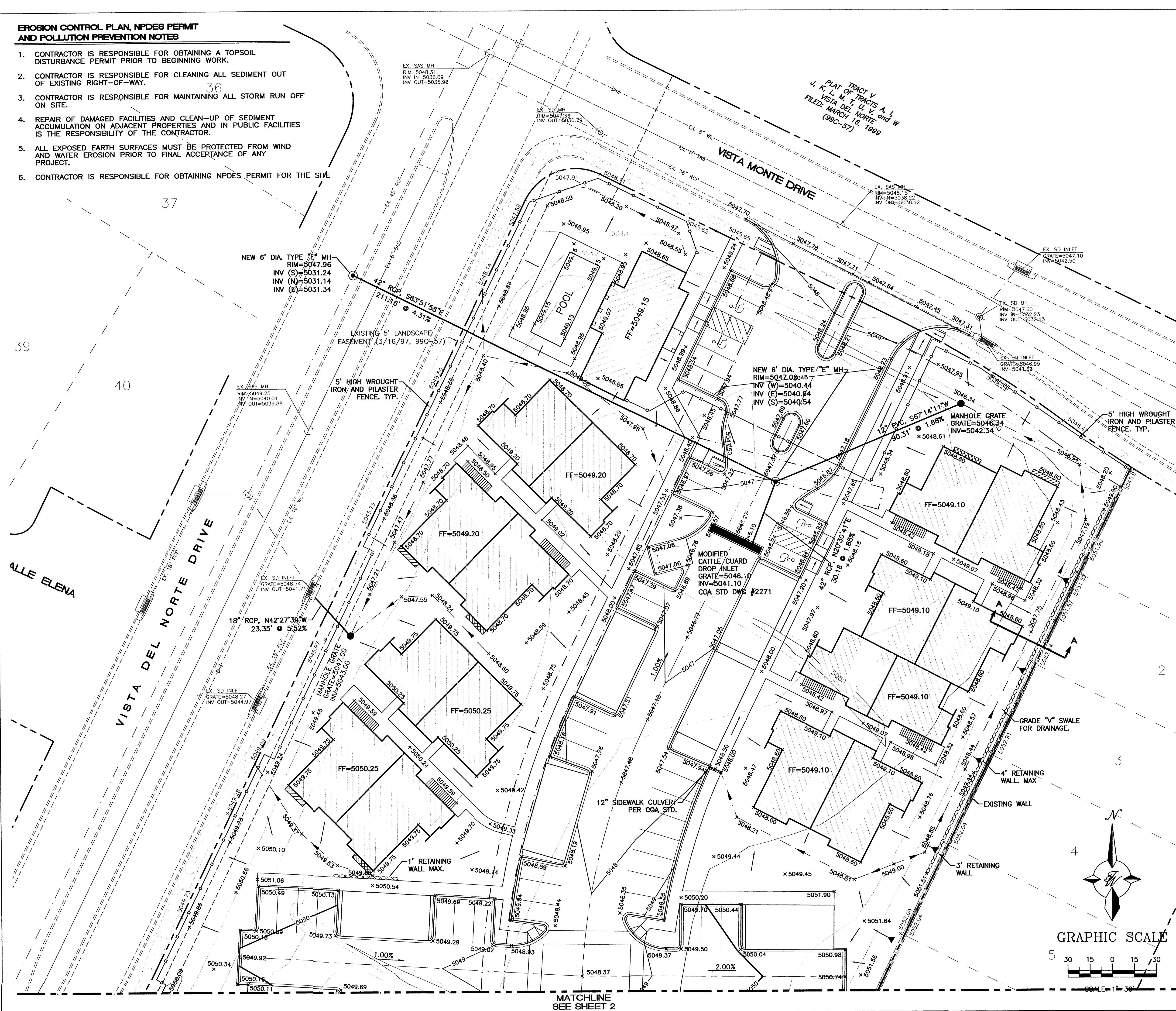
REPLAT OF  
LOTS 5-A, 6-A  
FILED: AUGUST 19, 1987  
(C34-108)

**ROUGH GRADING APPROVAL**

	<b>ENGINEER'S SEAL</b> RANCHO MIRAGE • VISTA DEL NORTE OVERALL GRADING AND DRAINAGE PLAN	DRAWN BY BMP DATE 7/18/02 2116GRB2.DWG
	SHEET # <b>1</b>	JOB # 21016
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		

**EROSION CONTROL PLAN, NPDES PERMIT AND POLLUTION PREVENTION NOTES**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE.



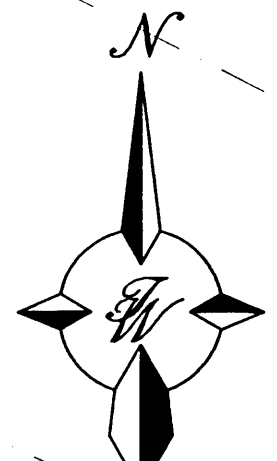
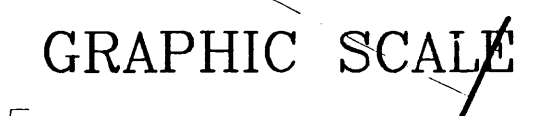
- NOTES:**
1. SEE SHEET 6 FOR RETAINING WALL DETAILS
  2. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATIONS UNLESS OTHERWISE NOTED.
  3. SEE SHEET 5 FOR STORM SEWER TABLES.
  4. SEE SHEET 5 FOR CROSS SECTIONS.

**LEGEND**

- EXISTING STORM SEWER MANHOLE
- EXISTING STORM SEWER LINE
- PROPOSED STORM SEWER MANHOLE
- EXISTING STORM SEWER LINE
- EXISTING CURB & GUTTER
- EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- EASEMENT
- PROPOSED SIDEWALK
- WROUGHT IRON & PILASTER FENCE
- PROPOSED SCREEN WALL
- PROPOSED RETAINING WALL
- PROPOSED LANDSCAPE RETAINING WALL
- FLOWLINE
- DIRECTION OF FLOW
- SPOT ELEVATION ON THE NORTH SIDE OF WALL
- SPOT ELEVATION ON THE SOUTH SIDE OF WALL
- SPOT ELEVATION ON THE WEST SIDE OF WALL
- SPOT ELEVATION ON THE EAST SIDE OF WALL
- SPOT ELEVATION @ STEP
- STEP

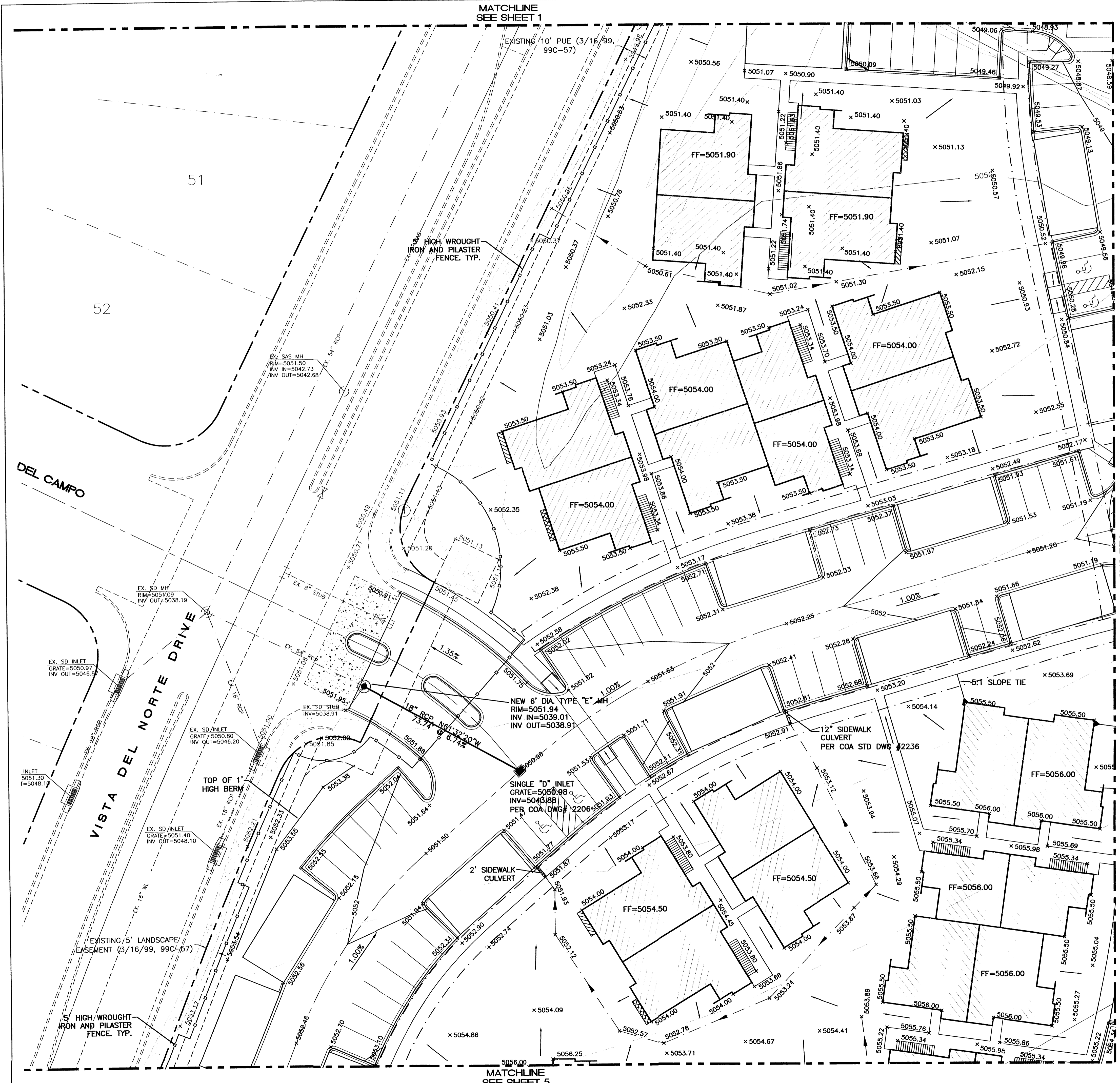
**ROUGH GRADING APPROVAL**

	<b>RANCHO MIRAGE</b> <b>VISTA DEL NORTE</b>	DRAWN BY BMP
	<b>GRADING AND DRAINAGE PLAN - A</b>	DATE 7/18/02
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		2116GRB1.DWG
		SHEET # <b>1</b>
		JOB # 21016



MATCHLINE SEE SHEET 2

MATCHLINE  
SEE SHEET 1



**EROSION CONTROL PLAN, NPDES PERMIT  
AND POLLUTION PREVENTION NOTES**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE.

**NOTES:**

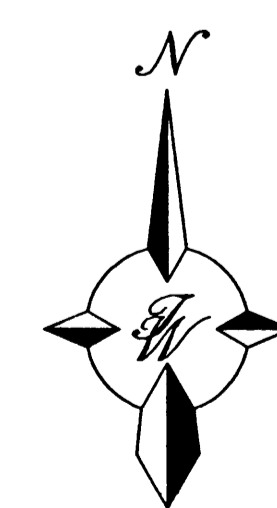
1. SEE SHEET 6 FOR RETAINING WALL DETAILS
2. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATIONS UNLESS OTHERWISE NOTED.
3. SEE SHEET 5 FOR CROSS SECTIONS.

**LEGEND**

- ⊙ EXISTING STORM SEWER MANHOLE
- - - - - EXISTING STORM SEWER LINE
- ⊙ PROPOSED STORM SEWER MANHOLE
- - - - - PROPOSED STORM SEWER LINE
- - - - - EXISTING CURB & GUTTER
- - - - - EXISTING CONTOUR (MAJOR)
- - - - - EXISTING CONTOUR (MINOR)
- - - - - BOUNDARY LINE
- - - - - EASEMENT
- - - - - PROPOSED SIDEWALK
- - - - - WROUGHT IRON & PILASTER FENCE
- - - - - PROPOSED SCREEN WALL
- - - - - PROPOSED RETAINING WALL
- - - - - PROPOSED LANDSCAPE RETAINING WALL
- - - - - FLOWLINE
- DIRECTION OF FLOW
- x NW=5061.42 SPOT ELEVATION ON THE NORTH SIDE OF WALL
- x SW=5064.42 SPOT ELEVATION ON THE SOUTH SIDE OF WALL
- x WW=5061.42 SPOT ELEVATION ON THE WEST SIDE OF WALL
- x EW=5064.42 SPOT ELEVATION ON THE EAST SIDE OF WALL
- x 5061.42 SPOT ELEVATION @ STEP
- 1 STEP NUMBER OF 6" STEPS

**ROUGH GRADING APPROVAL**

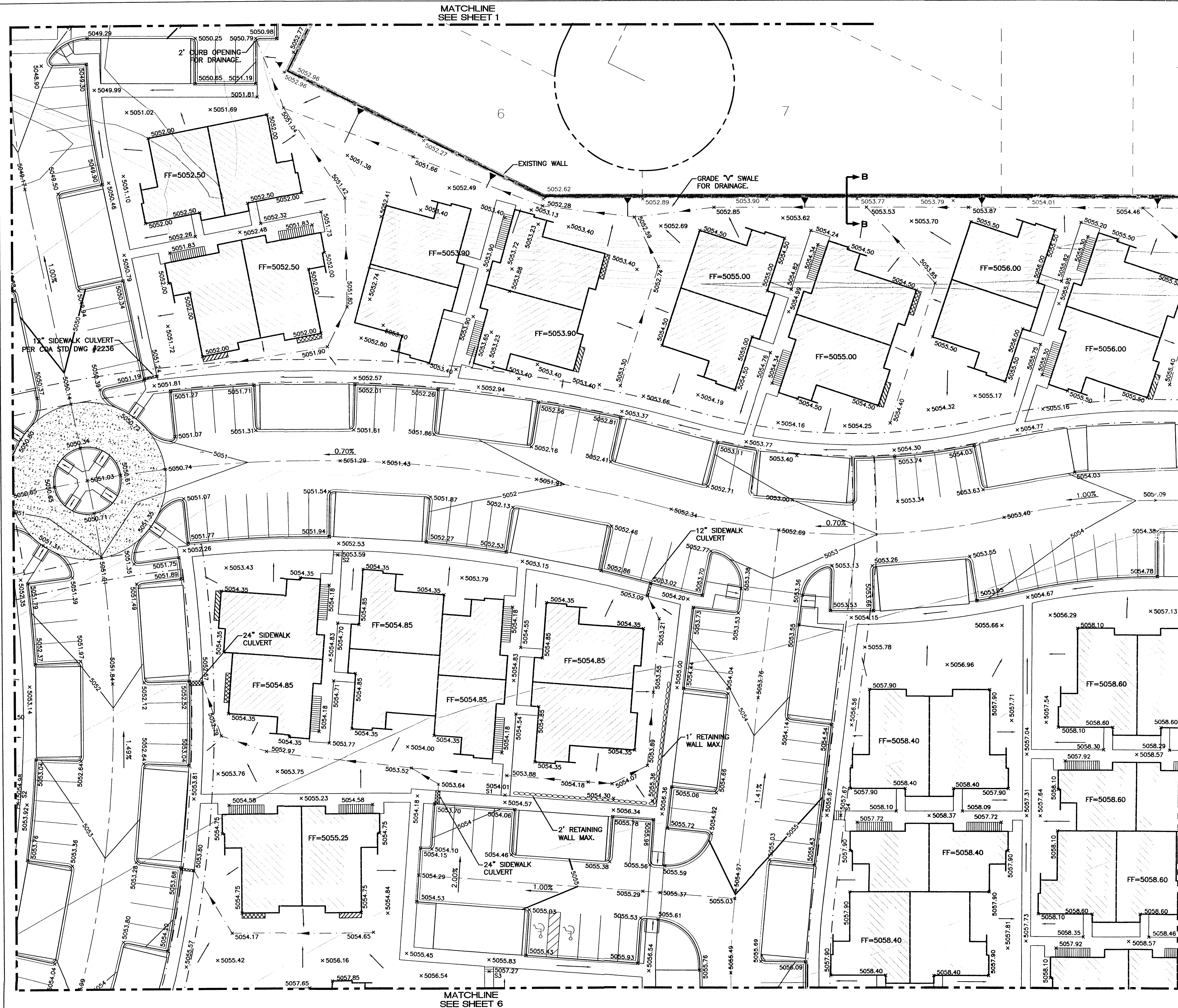
	<b>RANCHO MIRAGE</b> <b>• VISTA DEL NORTE</b>	DRAWN BY BMP
	<b>GRADING AND DRAINAGE</b> <b>PLAN - B</b>	DATE 7/18/02
<b>TERRA WEST, L.L.C.</b> 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		2116GRB1.DWG
		SHEET # <b>2</b>
		JOB # 21016



GRAPHIC SCALE



MATCHLINE  
SEE SHEET 5

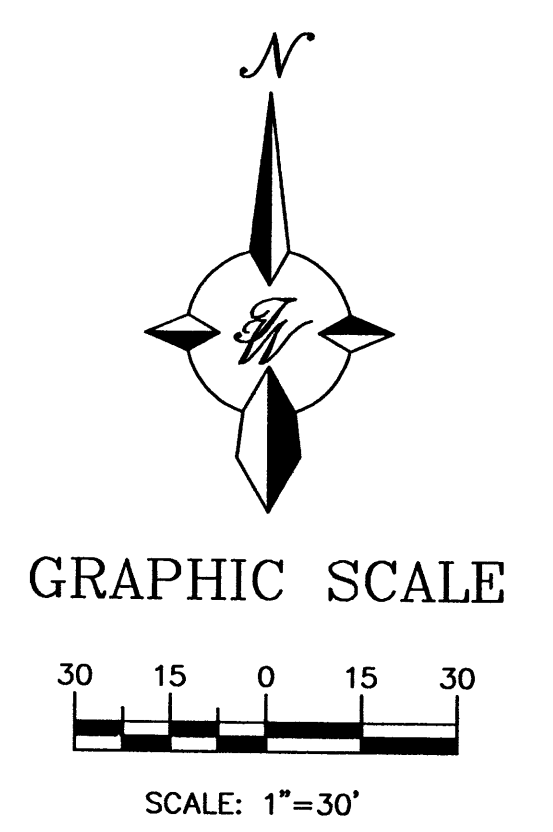


- EROSION CONTROL PLAN, NPDES PERMIT AND POLLUTION PREVENTION NOTES**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
  - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
  - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
  - REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
  - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
  - CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE

**NOTES:**

- SEE SHEET 6 FOR RETAINING WALL DETAILS
- ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATIONS UNLESS OTHERWISE NOTED.
- SEE SHEET 5 FOR CROSS SECTIONS.

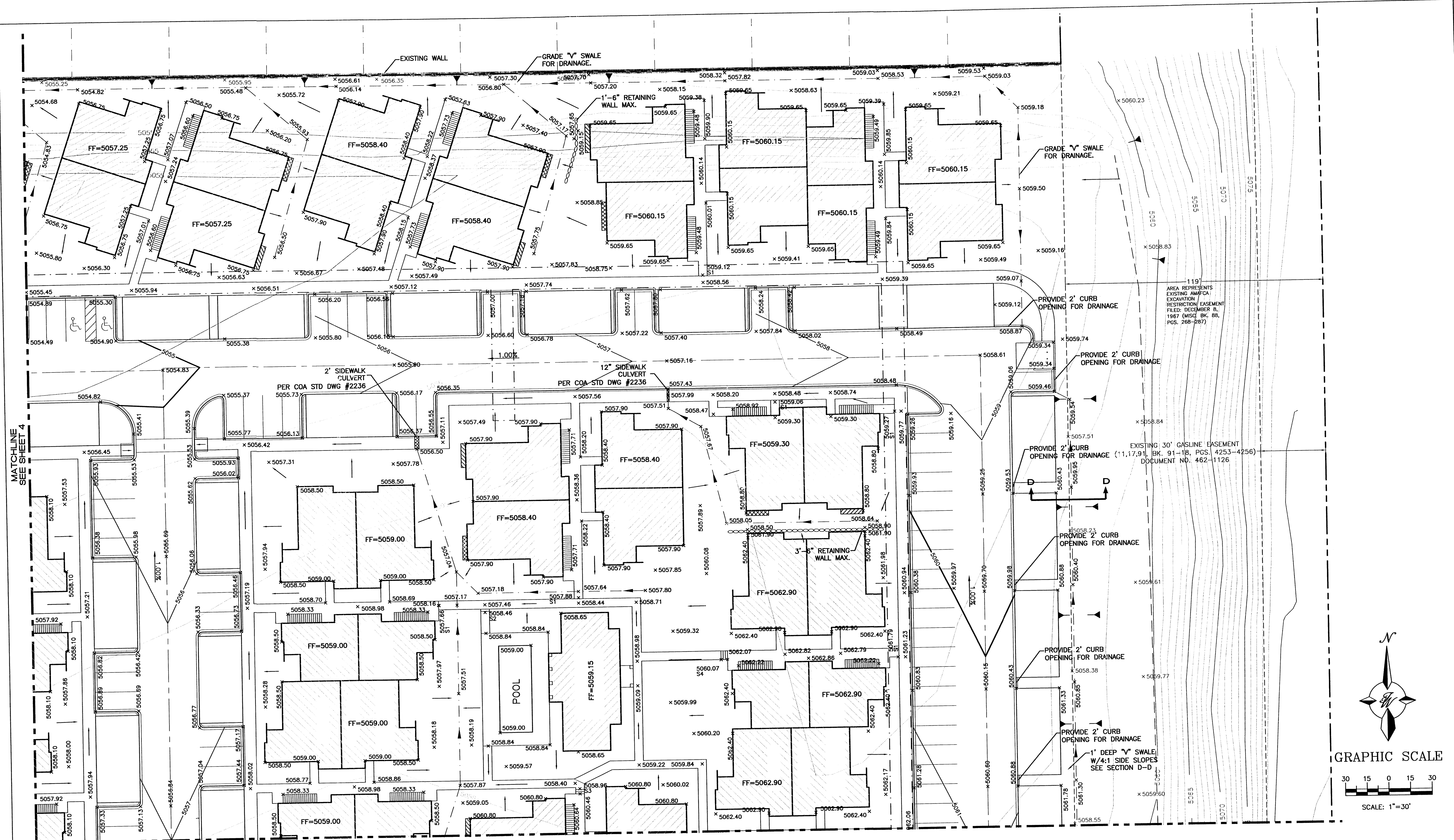
- LEGEND**
- EXISTING STORM SEWER MANHOLE
  - EXISTING STORM SEWER LINE
  - PROPOSED STORM SEWER MANHOLE
  - EXISTING STORM SEWER LINE
  - EXISTING CURB & GUTTER
  - EXISTING CONTOUR (MAJOR)
  - EXISTING CONTOUR (MINOR)
  - BOUNDARY LINE
  - EASEMENT
  - PROPOSED SIDEWALK
  - WROUGHT IRON & PILASTER FENCE
  - PROPOSED SCREEN WALL
  - PROPOSED RETAINING WALL
  - PROPOSED LANDSCAPE RETAINING WALL
  - FLOWLINE
  - DIRECTION OF FLOW
  - NW=5061.42 SPOT ELEVATION ON THE NORTH SIDE OF WALL
  - SW=5064.42 SPOT ELEVATION ON THE SOUTH SIDE OF WALL
  - WW=5061.42 SPOT ELEVATION ON THE WEST SIDE OF WALL
  - EW=5064.42 SPOT ELEVATION ON THE EAST SIDE OF WALL
  - 5061.42 SPOT ELEVATION @ STEP
  - 1 STEP NUMBER OF 6" STEPS



**ROUGH GRADING APPROVAL**

	<b>RANCHO MIRAGE</b> <b>VISTA DEL NORTE</b> <b>GRADING AND DRAINAGE</b> <b>PLAN - C</b>	DRAWN BY BMP DATE 7/18/02 2116GRB1.DWG
	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)958-3100	SHEET # <b>3</b> JOB # 21016





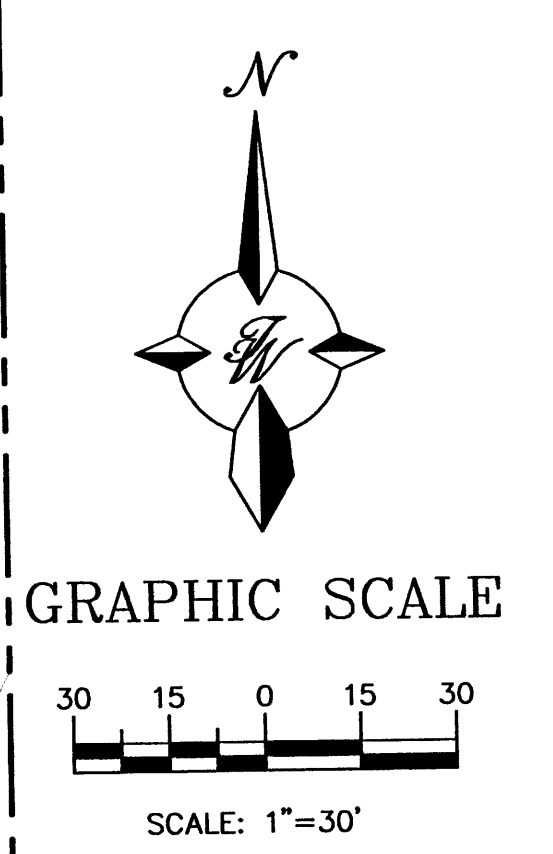
MATCHLINE  
SEE SHEET 4

MATCHLINE  
SEE SHEET 6

- NOTES:
- SEE SHEET 6 FOR RETAINING WALL DETAILS
  - ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATIONS UNLESS OTHERWISE NOTED.
  - SEE SHEET 5 FOR CROSS SECTIONS.

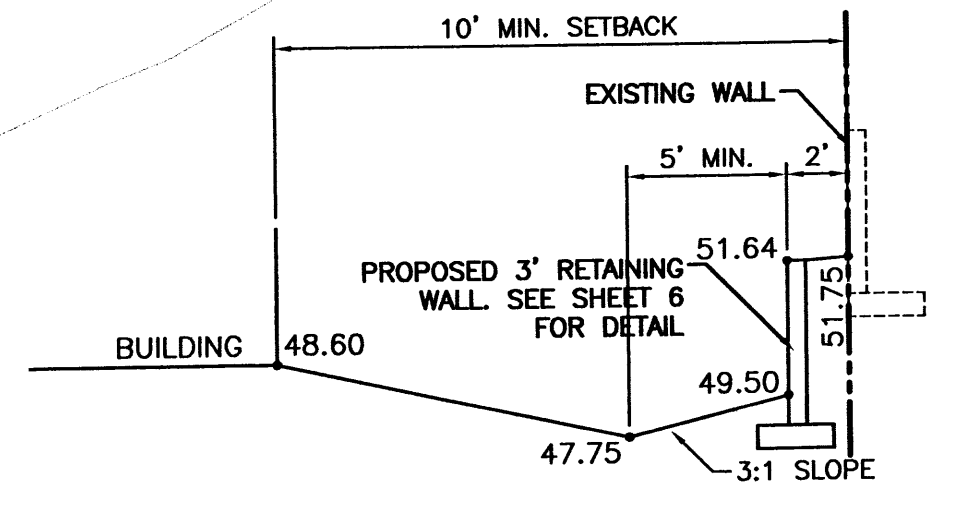
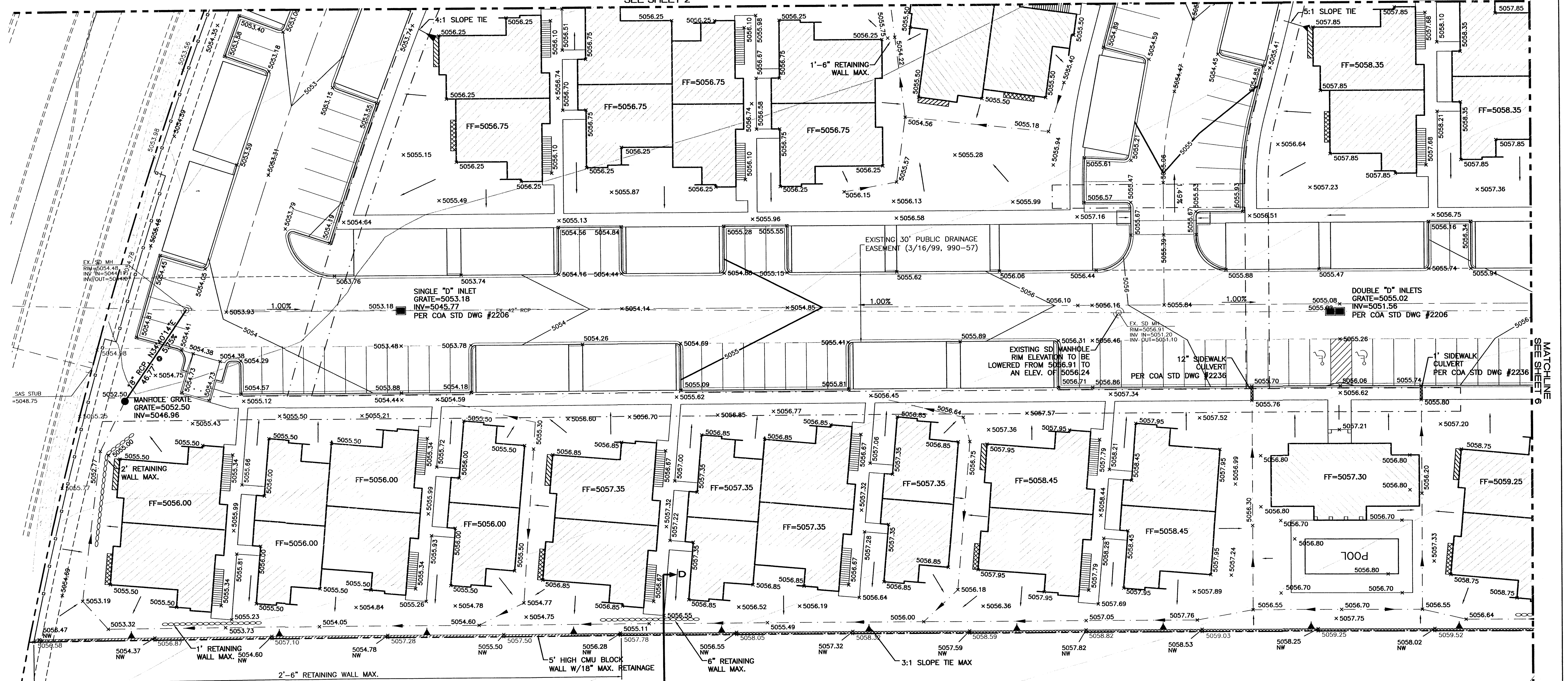
ROUGH GRADING APPROVAL

	<b>RANCHO MIRAGE</b> <b>VISTA DEL NORTE</b> <b>GRADING AND DRAINAGE</b> <b>PLAN - D</b>	DRAWN BY BMP DATE 7/18/02 2116GRB1.DWG
	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # <b>4</b> JOB # 21016

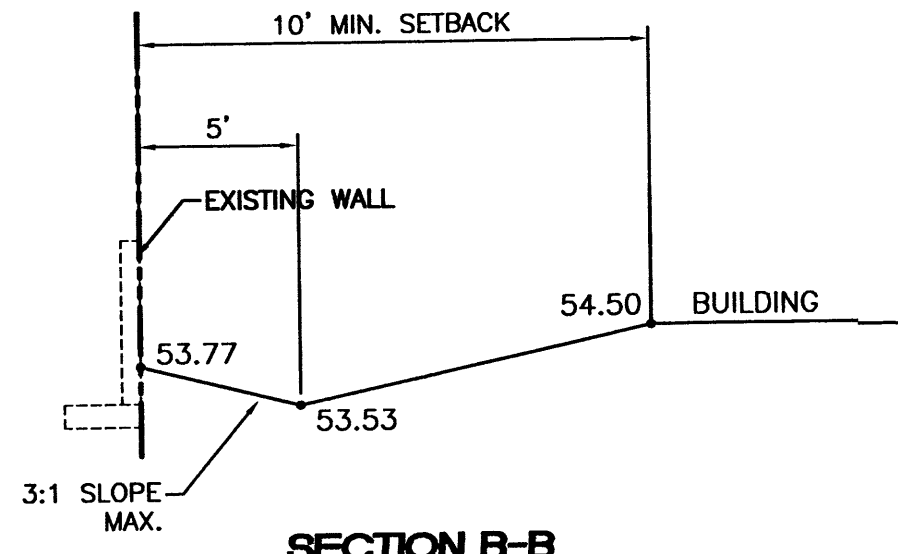


MATCHLINE  
SEE SHEET 2

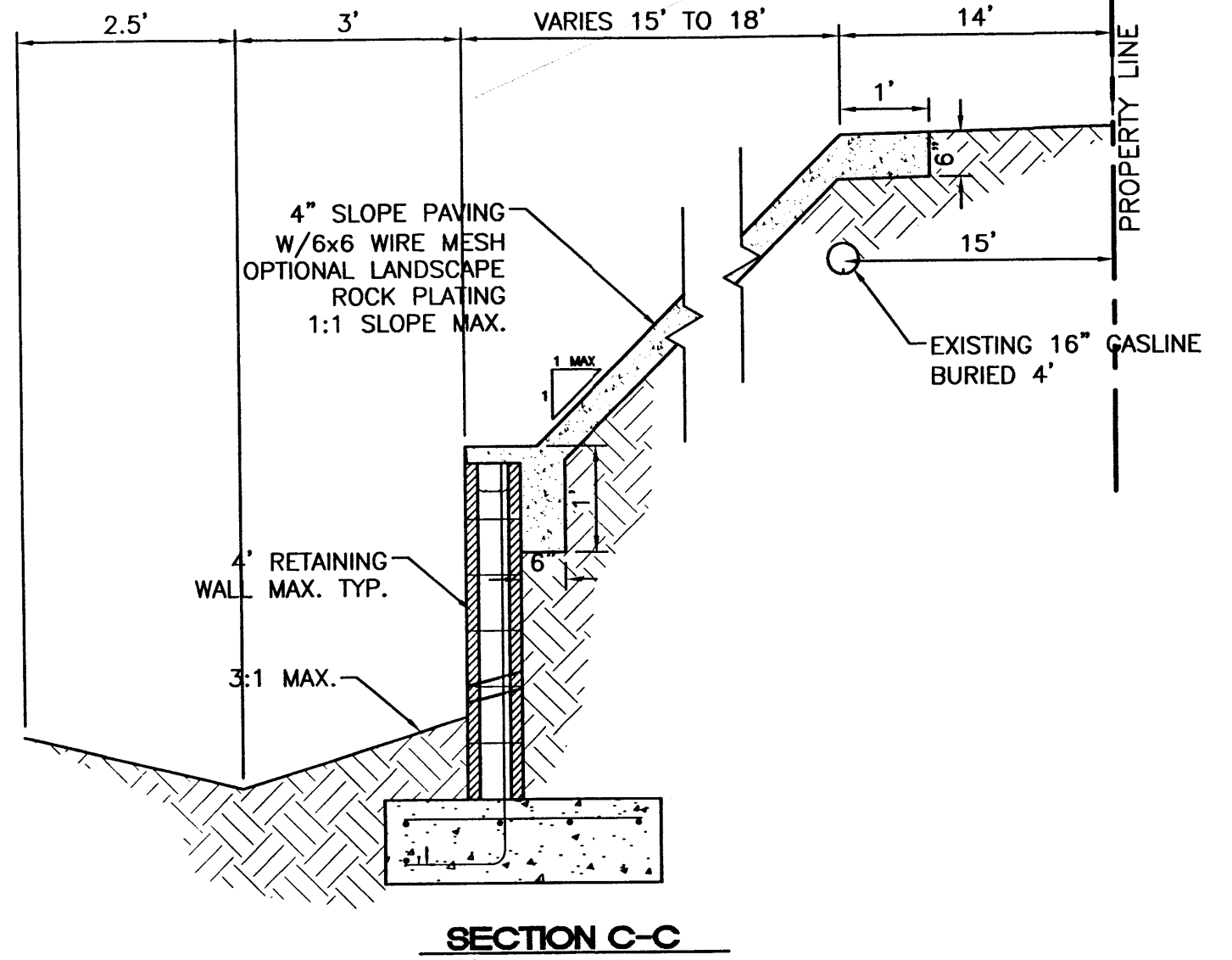
MATCHLINE  
SEE SHEET 6



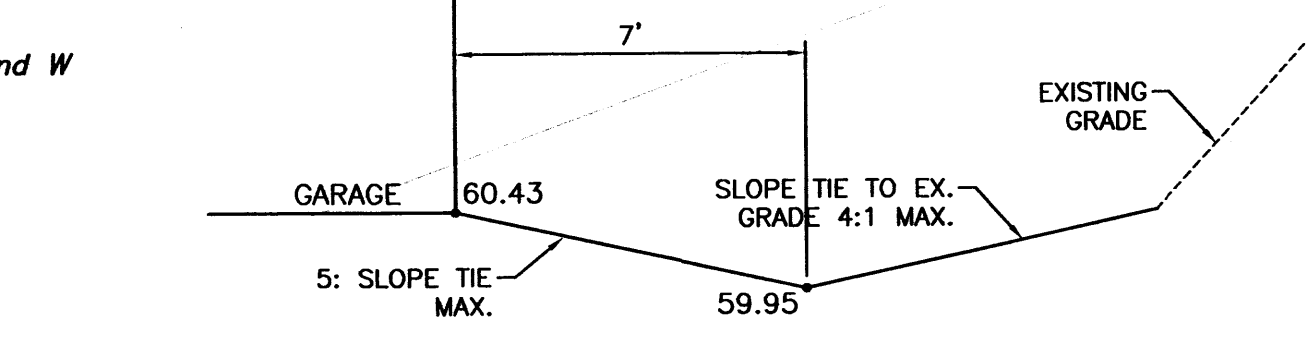
SECTION A-A  
NTS



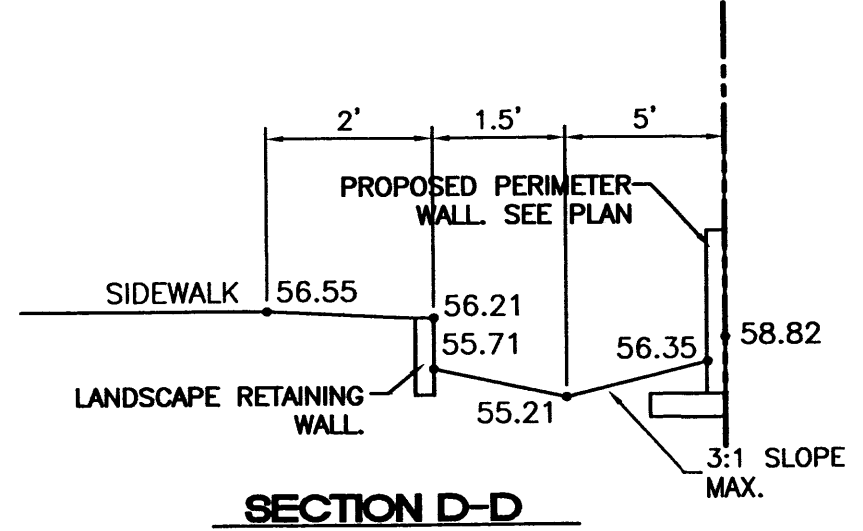
SECTION B-B  
NTS



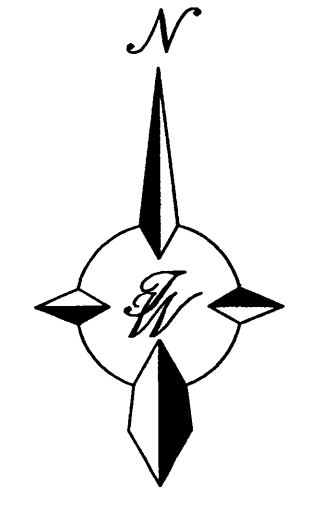
SECTION C-C  
NTS



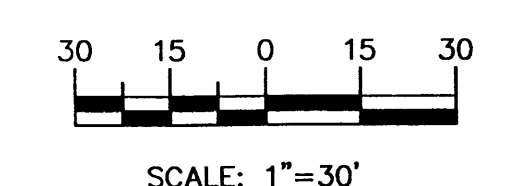
SECTION C-C  
NTS



SECTION D-D  
NTS



GRAPHIC SCALE



- NOTES:
1. SEE SHEET 6 FOR RETAINING WALL DETAILS
  2. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATIONS UNLESS OTHERWISE NOTED.

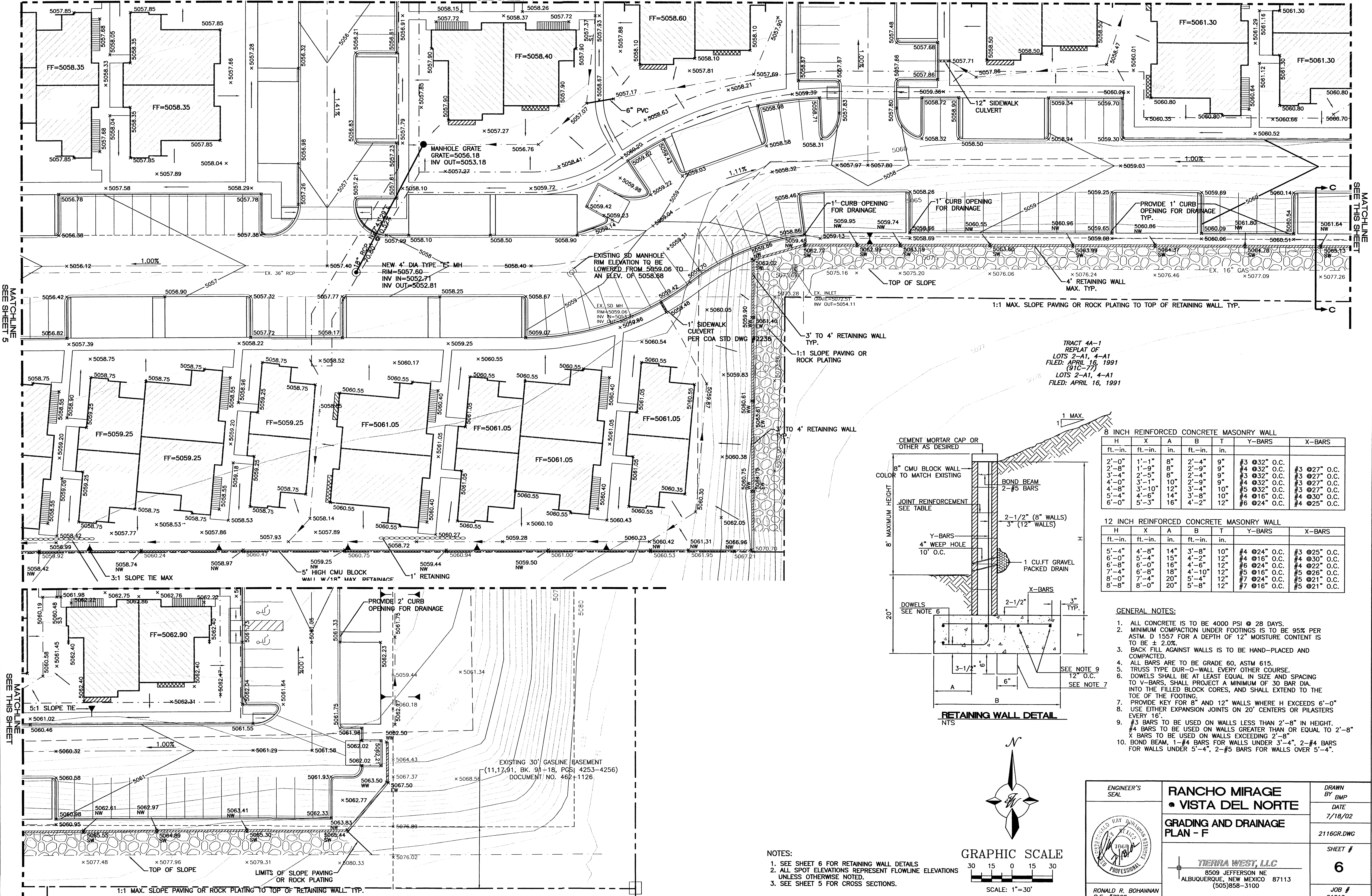
ROUGH GRADING APPROVAL

	<b>RANCHO MIRAGE</b> <b>VISTA DEL NORTE</b>	DRAWN BY BMP
	<b>GRADING AND DRAINAGE PLAN - E</b>	DATE 7/18/02
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		2116GRB1.DWG
SHEET #		<b>5</b>
JOB #		21016

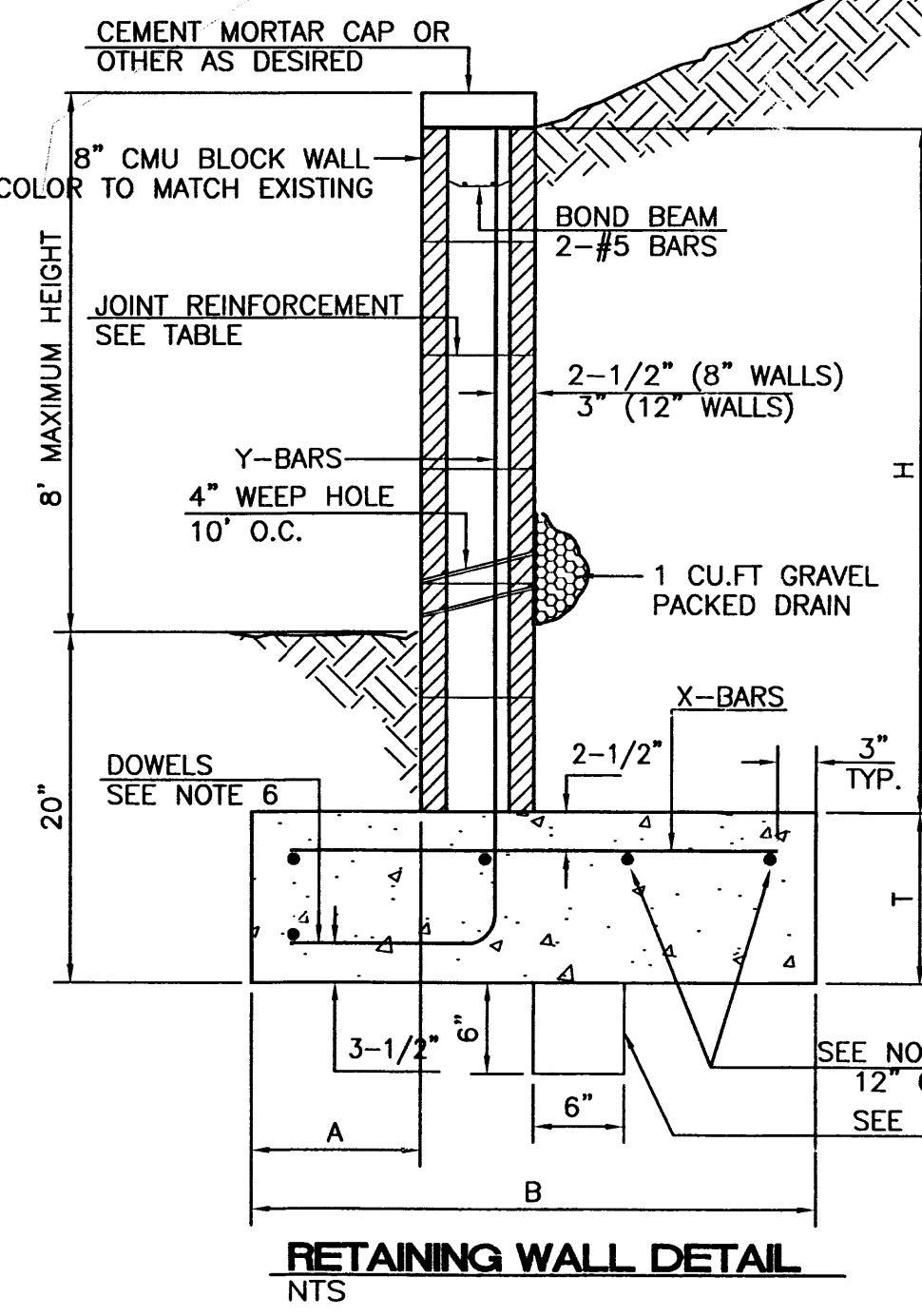
MATCHLINE  
SEE SHEET 4

SEE THIS SHEET

MATCHLINE  
SEE SHEET 5



TRACT 4A-1  
REPLAT OF  
LOTS 2-A1, 4-A1  
FILED: APRIL 16, 1991  
(91C-77)  
LOTS 2-A1, 4-A1  
FILED: APRIL 16, 1991



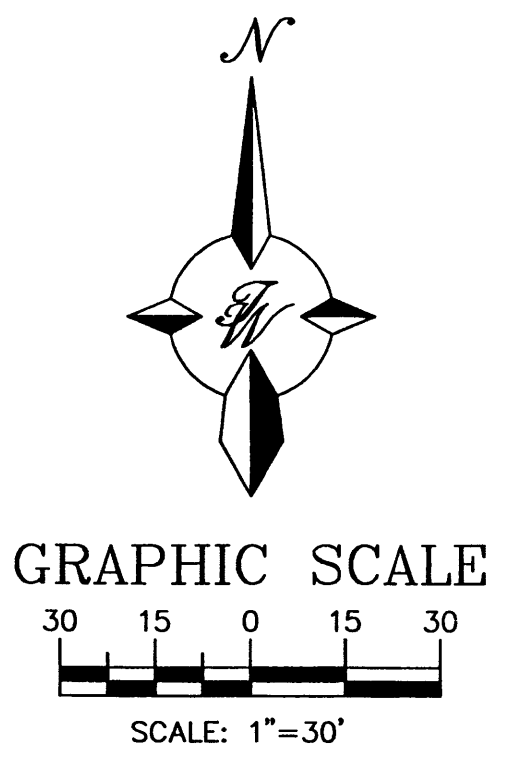
**8 INCH REINFORCED CONCRETE MASONRY WALL**

H	X	A	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.	ft.-in.	in.		
2'-0"	1'-1"	8"	2'-4"	9"	#3 @32" O.C.	#3 @27" O.C.
2'-8"	1'-9"	8"	2'-9"	9"	#4 @32" O.C.	#4 @27" O.C.
3'-4"	2'-5"	8"	2'-4"	9"	#3 @32" O.C.	#3 @27" O.C.
4'-0"	3'-1"	10"	2'-9"	9"	#4 @32" O.C.	#3 @27" O.C.
4'-8"	3'-10"	12"	3'-4"	10"	#5 @32" O.C.	#3 @27" O.C.
5'-4"	4'-6"	14"	3'-8"	10"	#4 @16" O.C.	#4 @30" O.C.
6'-0"	5'-3"	16"	4'-2"	12"	#6 @24" O.C.	#4 @25" O.C.

**12 INCH REINFORCED CONCRETE MASONRY WALL**

H	X	A	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.	ft.-in.	in.		
5'-4"	4'-8"	14"	3'-8"	10"	#4 @24" O.C.	#3 @25" O.C.
6'-0"	5'-4"	15"	4'-2"	12"	#4 @24" O.C.	#4 @30" O.C.
6'-8"	6'-0"	16"	4'-6"	12"	#6 @24" O.C.	#4 @22" O.C.
7'-4"	6'-8"	18"	4'-10"	12"	#5 @16" O.C.	#5 @26" O.C.
8'-0"	7'-4"	20"	5'-4"	12"	#7 @24" O.C.	#5 @21" O.C.
8'-8"	8'-0"	20"	5'-8"	12"	#7 @16" O.C.	#5 @21" O.C.

- GENERAL NOTES:**
- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
  - MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
  - BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
  - ALL BARS ARE TO BE GRADE 60, ASTM 615.
  - TRUSS TYPE DWR-O-WALL EVERY OTHER COURSE.
  - DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
  - PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
  - USE EITHER EXPANSION JOINTS ON 20" CENTERS OR PILASTERS EVERY 16"
  - #3 BARS TO BE USED ON WALLS LESS THAN 2'-8" IN HEIGHT.
  - #4 BARS TO BE USED ON WALLS GREATER THAN OR EQUAL TO 2'-8"
  - X BARS TO BE USED ON WALLS EXCEEDING 2'-8"
  - BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".



- NOTES:**
- SEE SHEET 6 FOR RETAINING WALL DETAILS.
  - ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATIONS UNLESS OTHERWISE NOTED.
  - SEE SHEET 5 FOR CROSS SECTIONS.

	<b>ENGINEER'S SEAL</b> <b>RANCHO MIRAGE</b> <b>VISTA DEL NORTE</b> <b>GRADING AND DRAINAGE</b> <b>PLAN - F</b>	DRAWN BY BMP DATE 7/18/02 2116GR.DWG SHEET #
		<b>6</b> JOB # 21016