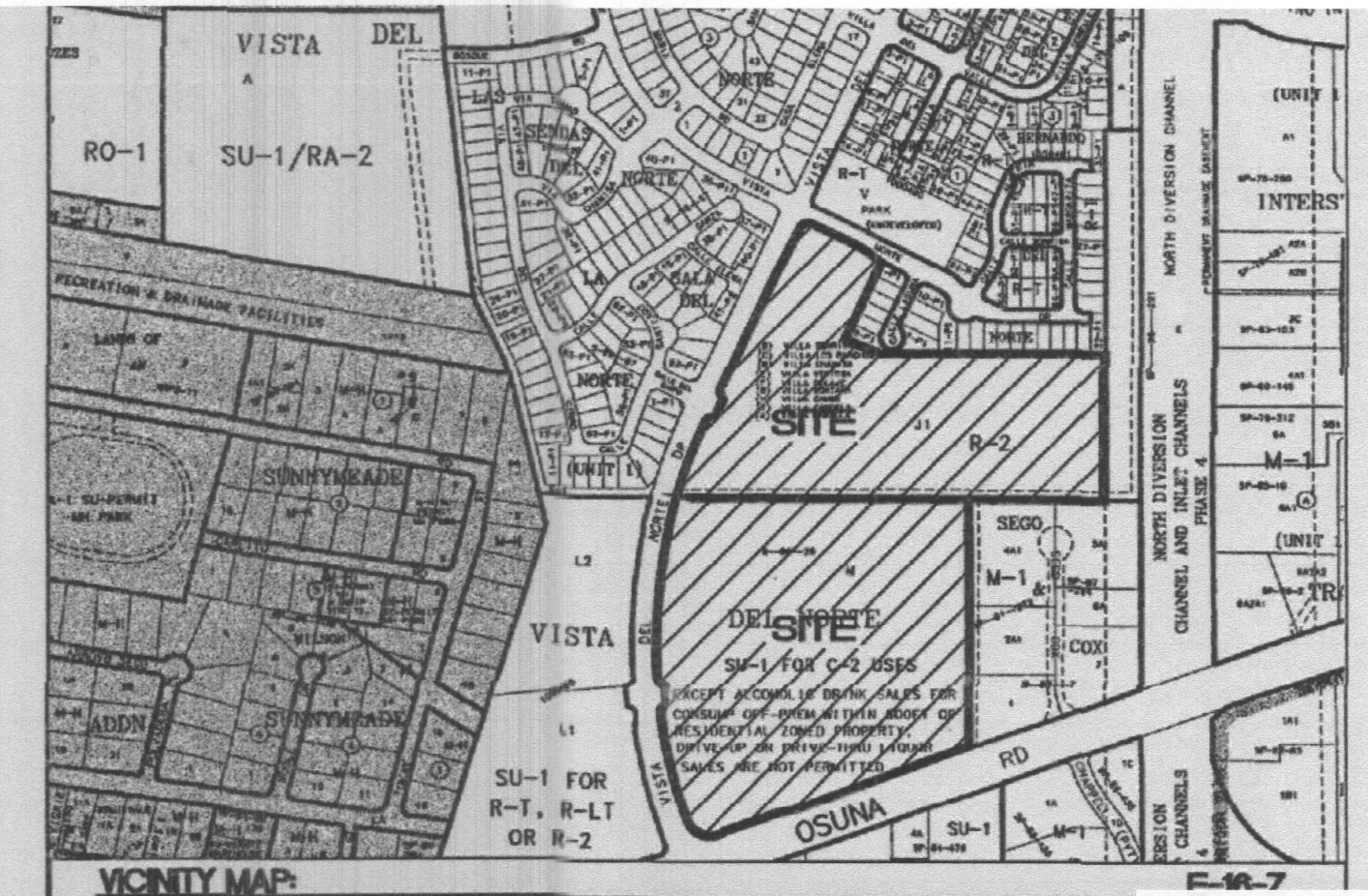


CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	39.27	25.00	25.00	90°00'00"	S71°06'02"W	35.36
C2	89.00	482.00	44.63	10°34'47"	N58°36'34"W	88.88
C3	36.97	518.00	18.49	4°05'22"	S55°21'51"E	36.97
C4	40.47	200.00	20.30	11°35'37"	N76°34'24"E	40.40
C5	30.34	150.00	15.22	11°35'23"	S76°34'32"W	30.29
C6	158.51	100.00	101.44	90°49'13"	S63°48'32"E	142.43
C7	353.94	1832.00	177.52	11°04'10"	S12°51'47"E	353.39
C8	39.45	25.00	25.18	90°24'17"	S37°52'11"W	35.48
C9	39.45	25.00	25.18	90°24'17"	S48°41'24"E	35.48
C10	498.18	1832.00	250.64	15°34'50"	S04°17'54"W	496.65
C11	118.51	1832.00	59.28	3°42'23"	S13°56'31"W	118.49
C12	282.69	1831.22	141.62	8°50'41"	S20°13'03"W	282.41
C13	39.91	25.00	25.65	91°27'26"	S70°22'06"W	35.80
C14	39.29	24.96	25.04	90°11'15"	S18°53'57"E	35.36

NOTES:

- COMMON INGRESS/EGRESS, STORM DRAINAGE AND PEDESTRIAN ACCESS ACROSS TRACTS J1 AND TRACT M2 IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPEAT.
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
- COMMON DRY UTILITY AND SANITARY SEWER EASEMENT FOR TRACTS J1 AND M2 IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE PLAN.
- AVERAGE LIGHT LEVELS SHALL BE LIMITED TO 2 FOOT CANDLES WITH MAXIMUM LEVELS LIMITED TO 16 FOOT CANDLES AS MEASURED FROM 4 FEET ABOVE THE SURFACE LEVEL OF ANY POINT ON THE SITE. LUMINARIES SHALL HAVE GLARE CUT OFF ANGLES OF MAXIMUM.
- ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
- LIGHT POLES SHALL BE A MAXIMUM OF 26' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 26' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100 FEET OF A RESIDENTIAL ZONING WILL BE LIMITED TO 16 FEET IN HEIGHT.
- THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
- NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
- SETBACKS: THERE SHALL BE A FRONT AND A CORNER SIDE YARD SETBACK OF NOT LESS THAN FIVE FEET AND A SETBACK OF 11 FEET FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION. THERE SHALL BE A SIDE OR REAR SETBACK OF NOT LESS THAN 15 FEET WHERE THE SITE ABUTS THE REAR OF A LOT IN A RESIDENTIAL ZONE.
- FIVE PERCENT OF THE TOTAL PARKING SPACES ARE TO BE USED FOR MULTIPLE OCCUPANCY VEHICLE PARKING LOCATED NEAR BUILDING ENTRANCES, AND IDENTIFIED ON THE SITE PLAN.
- LOCATE BICYCLE LOCKER UNITS AT CONVENIENT LOCATIONS AND IDENTIFY THEM ON THE SITE PLAN.
- PEDESTRIAN CROSSINGS OF VEHICLE CIRCULATION AREAS SHALL BE MINIMUM 6' WIDE, OF AN ALTERNATIVE TEXTURE MATERIAL AND SLIGHTLY RAISED. WHERE PARKING SPACES ARE PERPENDICULAR OR ANGLES TO PEDESTRIAN WALKS, THE PEDESTRIAN WALK SHALL BE PROTECTED BY PROVIDING TIRE STOPS SO THAT PARKED CARS DO NOT OVERLAP THE PEDESTRIAN WALK OR BY MAKING THE WALK 10' WIDE IF THERE IS PARKING ON ONE, 10' WIDE IF THERE IS PARKING ON BOTH SIDES. THE PEDESTRIAN WALK AT THE ENTRY ELEVATION SHALL BE MINIMUM OF 15 FEET IN WIDTH WITH TREES AT 25' O.C. OR PORTALS CANOPIES ETC., FOR THE ENTIRE LENGTH OF THE FAÇADE.
- PEDESTRIAN AREAS IN FRONT OF MAJOR BUILDINGS SHALL BE MINIMUM 15' WIDE FROM BUILDING EDGE TO EDGE OF CURBING LESS AND PLANTERS; 10' WIDE IN FRONT OF SMALLER BUILDINGS ON MAJOR CENTERS.
- ALL POLYCARBS SHALL BE PLACED WITHIN THE GARAGE.



LEGAL DESCRIPTION:

TRACT J1 AND M VISTA DEL NORTE

DESIGN GUIDELINES

- Lighting shall be site specific. Show light pole locations on site plan. Pole height shall be maximum 20'. Light fixtures shall be downlight fixtures with flush lenses and horizontal light elements to prevent fugitive light.
- All canopies and out buildings shall be architecturally integrated with main building on each site.
- No plastic vinyl awnings or fascia panels or backlit panels or awnings.
- All cell towers shall be architecturally integrated.
- No generic franchise architecture shall be permitted.
- No barb wire, concertina wire or chainlink fence shall be permitted.
- All HVAC shall be screened, top of HVAC shall be less than top of parapet.
- Walls shall follow the adopted City of Albuquerque Wall Design Guidelines.
- No black or dark color asphalt shingles shall be permitted.
- Maximum light standards within 300 feet adjacent residential shall be 16 foot and 20 feet elsewhere.
- Signage shall be either building mounted or monument signs only. Maximum height of the monument sign shall be 10 feet high with a 75 square foot face area.
- Signage maximum letter size shall be 2 foot individual channelized letters, backlit or neon and no signage shall face abutting residential.
- All loading docks shall be covered and screened with an architecturally integrated roof and wall.
- The face of curb to the entry façade shall be a minimum of 15 feet with a 6 foot clear pathway and trees at 25 feet on center in 5 by 5 planters or canopies and portals for the entire length of the building façade.
- All buildings shall be directly connected to adjacent streets and other adjacent buildings with clear direct pedestrian pathways with trees at 25 feet on center in 5 x 5 planters and through parking lots to break up large fields of parking. There shall be textured concrete or other material crosswalks at each drive aisle crossing of a pedestrian way.
- There shall be screen walls or earth berms of 3 feet to shield cars from adjacent streets.
- Gas canopies and auto dominated uses shall be secondary to pedestrian ways.
- Plazas shall be incorporated into commercial buildings a 30 foot minimum width dimension and 1,000 square feet.
- Commercial and office uses shall be located adjacent to streets with minimal parking between the entry façade and the street.
- Commercial buildings should typically be linked with plazas and pedestrian ways.
- Bus credits shall be utilized where applicable and the minimum parking shall be the maximum plus 10%.
- No off premise signs as permitted.

PROJECT# 1001150
 OCTOBER 30, 2013
 13-10125 (SAP)
 13-10127 (SPS)

**EXISTING ZONING - M1
SITE DATA (TRACT M1)**

PROPOSED USAGE:	COMMERCIAL
ZONING:	SU-1 FOR C-2
LOT AREA:	21,1527
MAX. BUILDING AREA:	233,580 SF
MAX. BUILDING HEIGHT:	36'
MAX. FLOOR AREA RATIO:	0.25
REQUIRED LANDSCAPING:	15% OF NET LOT AREA

SITE DATA (TRACT M2)

PROPOSED USAGE:	RESIDENTIAL
ZONING:	R-2
LOT AREA:	2,948 ACRES
NO. BUILDING UNITS:	
UNIT 1:	16 UNITS
UNIT 2:	24 UNITS
UNIT 3:	24 UNITS
TOTAL UNITS:	64 UNITS
DENSITY:	21.71 UNITS PER ACRE
MAX. BUILDING HEIGHT:	36'
REQUIRED LANDSCAPING:	15% OF NET LOT AREA

APP#s: 02128-0036 & 02110-00138
PROJECT NUMBER: 1001150

This plan is consistent with the specific site development plan approved by the Development Review Board (DRB) on 10/24/2012 and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:

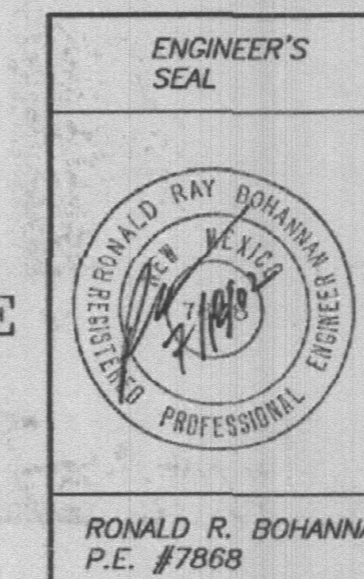
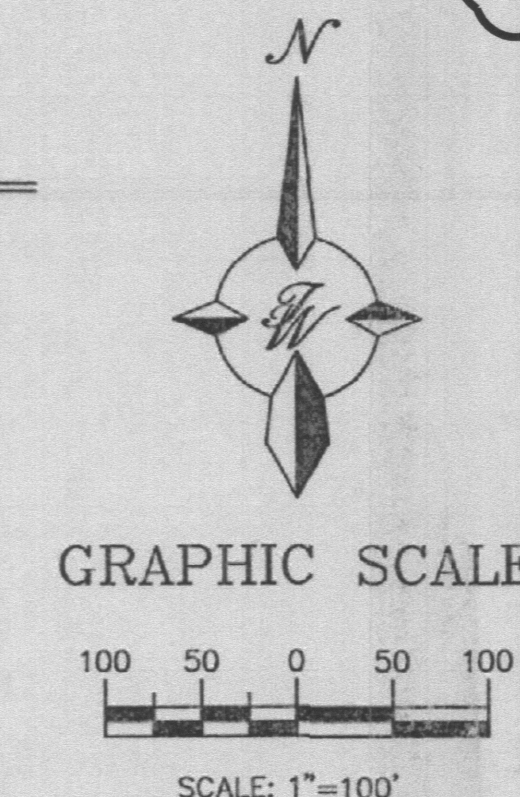
SITE DEVELOPMENT PLAN	
<i>Paul J. Dean</i>	7-24-02
Traffic Engineer, Transportation Division	Date
<i>Christine Sander</i>	7/24/02
Parks & Recreation Department	Date
<i>Roger A. Khan</i>	3-19-03
Public Works, Water Utilities Division	Date
<i>Bradley B. Bolen</i>	3/25/03
City Engineer, Engineering Division / AMAFCA	Date
<i>Michael Nelson</i>	1-22-03
Solid Waste <i>will comply w/ 0801 specs</i>	Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.
Sharon Watson 3/28/03
 City Planner, Albuquerque / Bernalillo
 County Planning Division

PLNZ (10706) 4/96

LEGEND

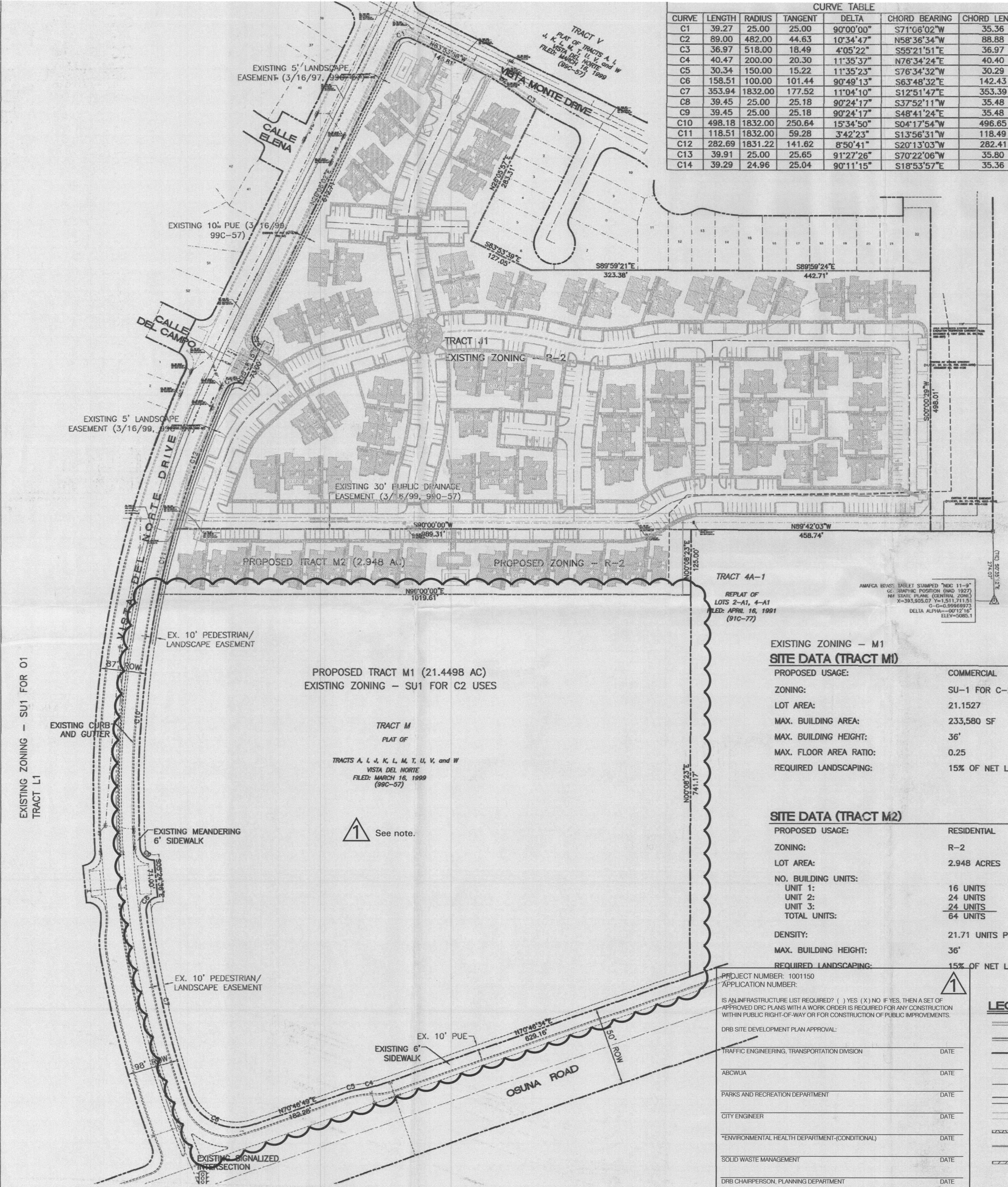
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- EXISTING BOUNDARY LINE
- EASEMENT
- PROPOSED SIDEWALK
- EXISTING SIDEWALK
- PROPOSED PERIMETER WALL
- EXISTING PERIMETER WALL
- PROPOSED RETAINING WALL



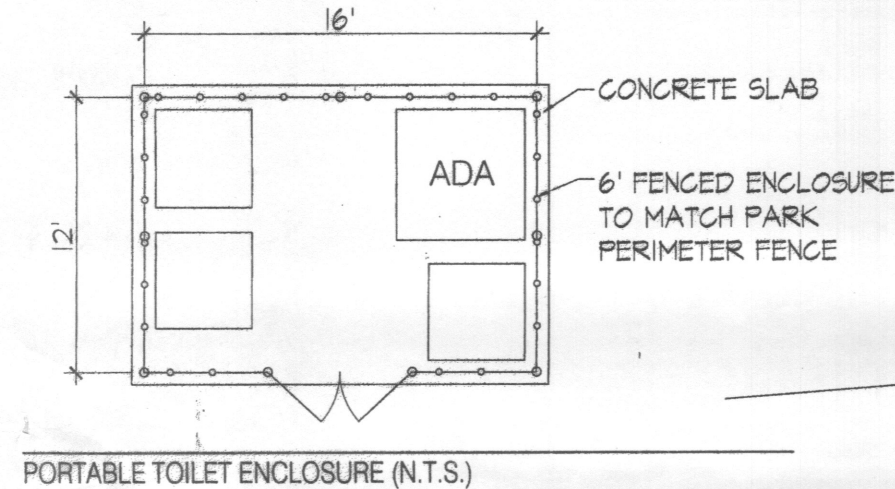
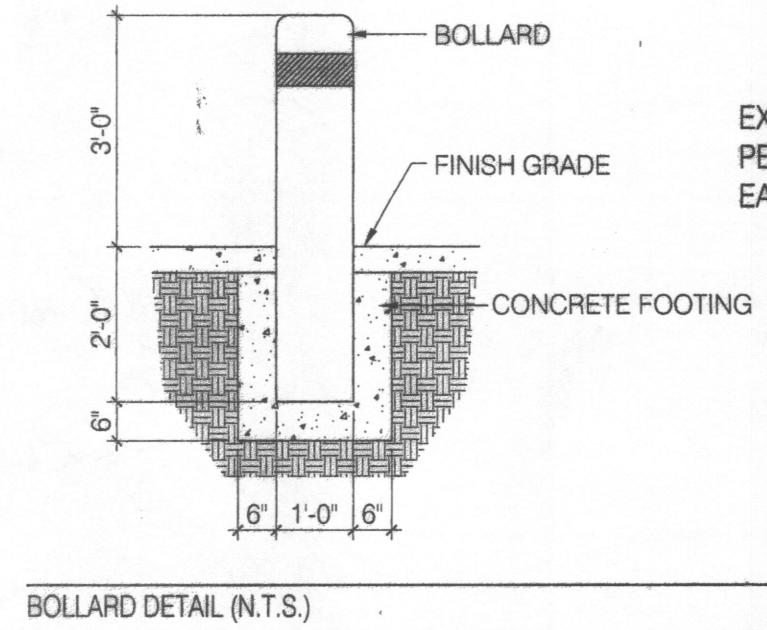
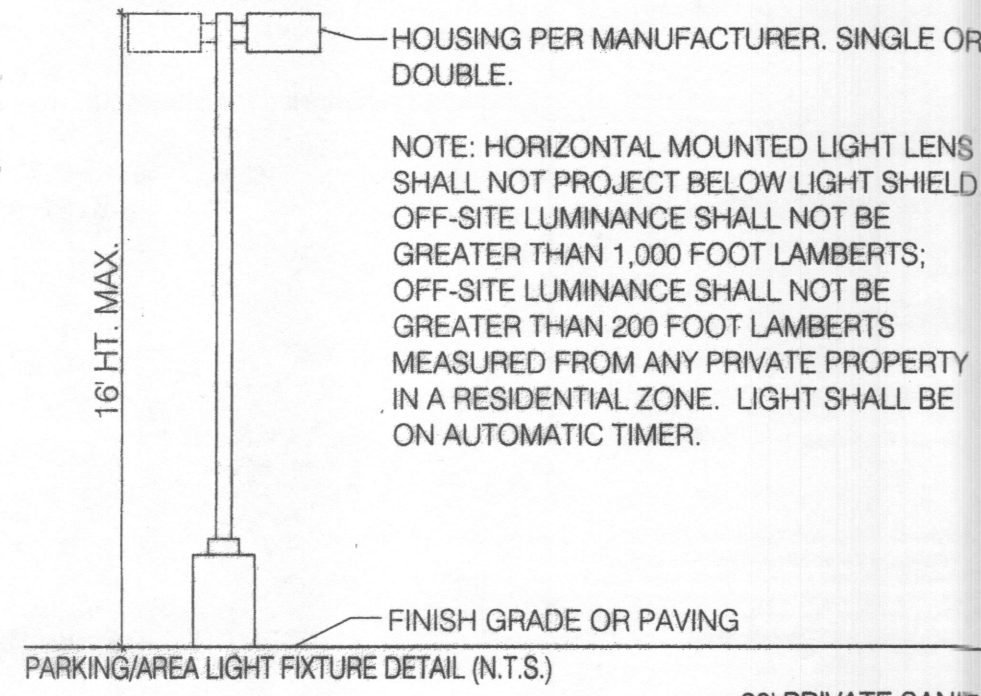
**RANCHO MIRAGE
• VISTA DEL NORTE**
**SITE PLAN FOR
SUBDIVISION**

TERRA WEST, LLC
 8509 JEFFERSON NE
 ALBUQUERQUE, NEW MEXICO 87113
 (505)858-3100

DRAWN BY BMP
 DATE 7/18/02
 2116SP3.DWG
 SHEET # 1
 JOB # 21016

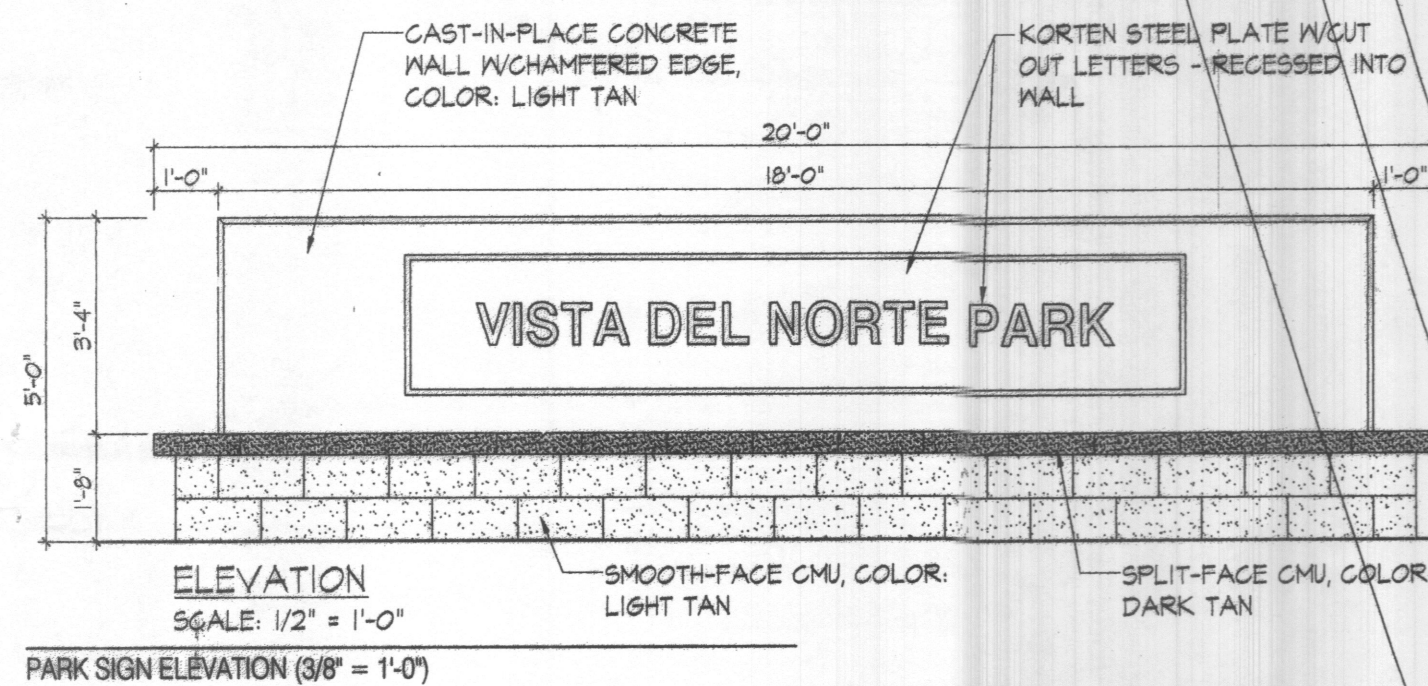


LIGHTING:
ALL PARKING AND AREA LIGHT FIXTURES SHALL BE SHIELDED AND IN CONFORMANCE WITH THE LIGHTING REGULATIONS OF THE COMPREHENSIVE CITY ZONING CODE SECTION 14-16-3-9. HEIGHT SHALL BE MEASURED FROM THE FINISHED GRADE TO THE TOP OF POLE. ALL LIGHTING SHALL COMPLY WITH NM NIGHT SKY PROTECTION ACT.

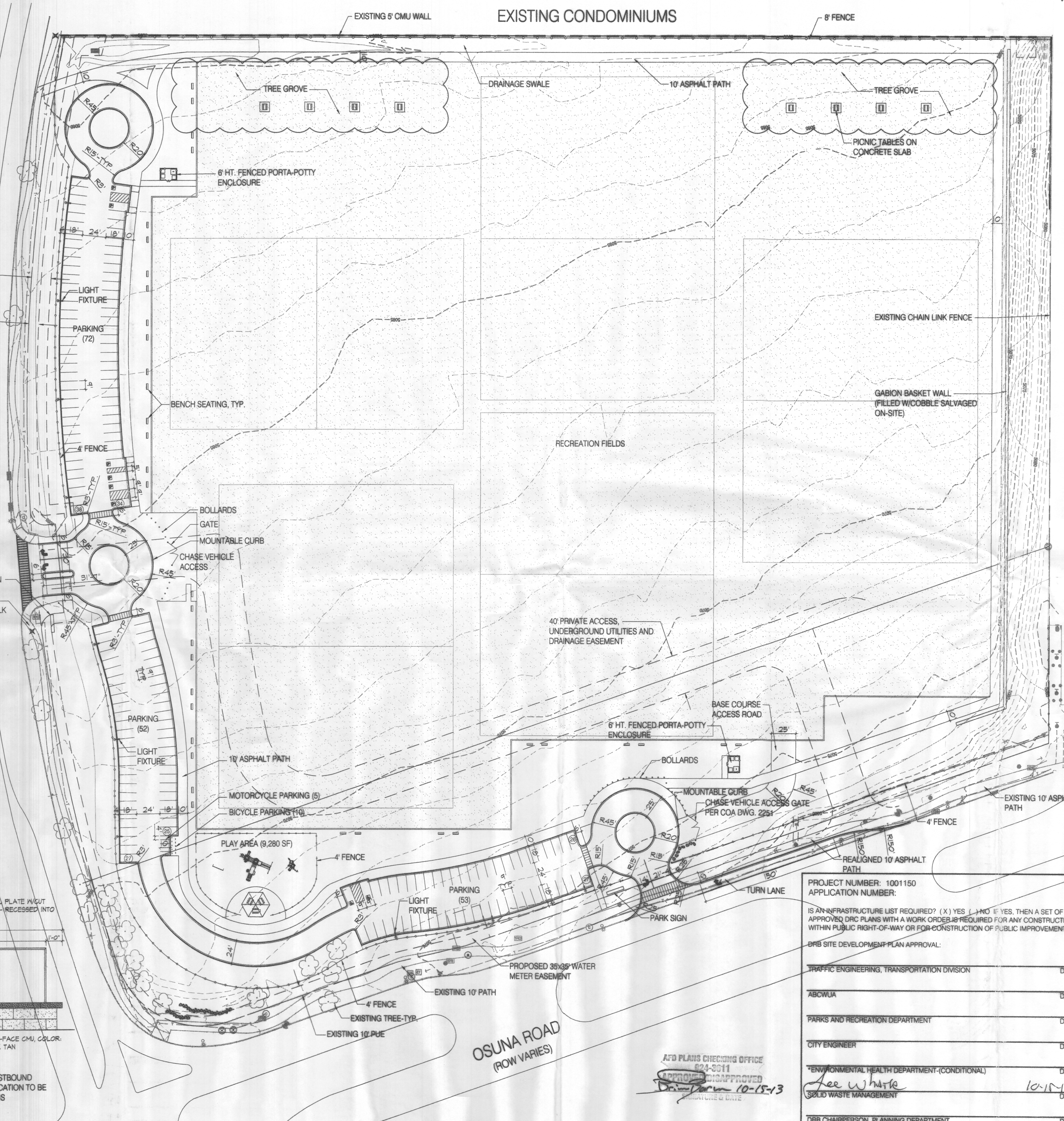


SITE PLAN/AMENITIES LEGEND

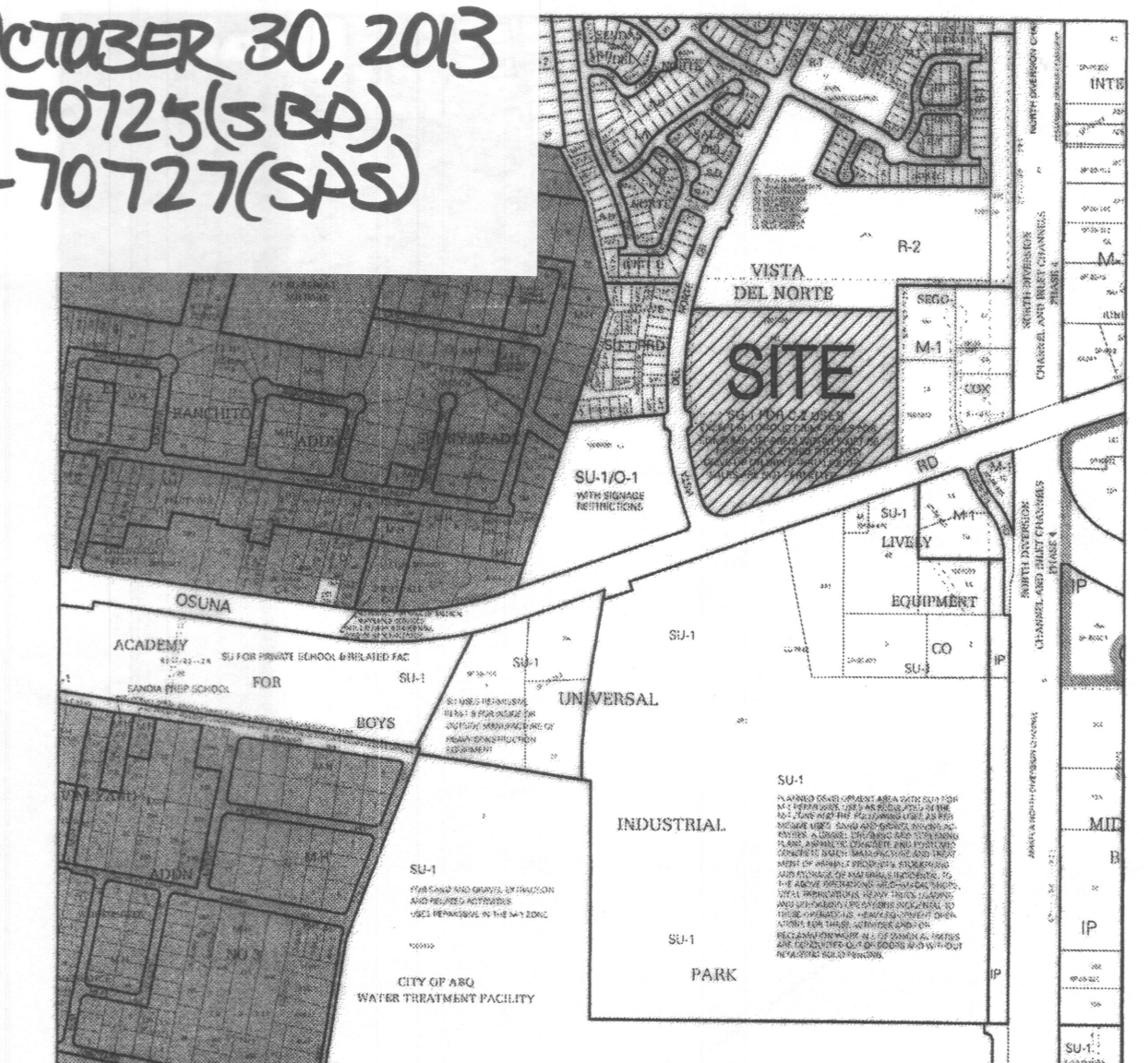
- GABION BASKET WALL
- - BIKE LOOP
- - ACCESSIBLE/MOTORCYCLE SIGN
- BENCH (DUMOR 160 / 164)
- PICNIC TABLE (DUMOR 443)
- BOLLARD
- ACCESS GATE
- LANDSCAPE BOULDER
- PORTABLE TOILET ENCLOSURE
- SHADE STRUCTURE
- EXISTING TREE



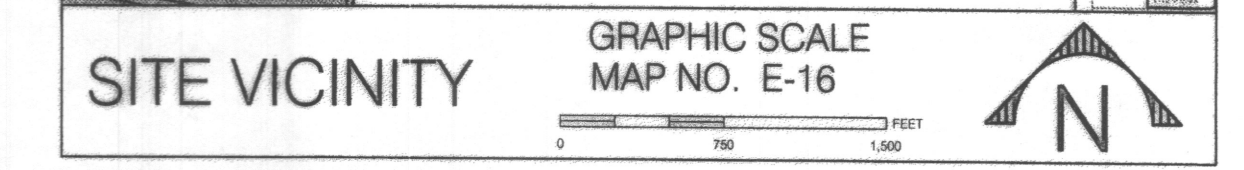
PARK ENTRANCE SIGN TO BE LOCATED ON EASTBOUND OSUNA, WEST OF VISTA DEL NORTE DRIVE. LOCATION TO BE COORDINATED WITH COA TRAFFIC OPERATIONS



PROJECT # 1001150
OCTOBER 30, 2013
13-70725(SBA)
13-70727(SAS)



EXISTING OFFICE COMPLEX



SITE INFORMATION
SITE AREA: 21.2 ACRES

LEGAL DESCRIPTION: LOT M1, VISTA DEL NORTE

CURRENT ZONING: SU-1 FOR C-2 USES

PROPOSED ZONING: SU-1 FOR COMMUNITY PARK AND HOT AIR BALLOON LAUNCHING AND LANDING

LAND USE: PARK, ACTIVE AND PASSIVE RECREATION, AND HOT AIR BALLOONING ACTIVITIES

APPLICABLE PLANS: ALBUQUERQUE BERNALILLO COUNTY COMPREHENSIVE PLAN, NORTH VALLEY AREA PLAN, AND DRAFT PARK AND RECREATION FACILITY PLAN

VEHICULAR ACCESS: VEHICULAR ACCESS TO THE SITE WILL BE FROM ACCESS POINTS ALONG OSUNA ROAD NE AND VISTA DEL NORTE DRIVE NE. A SIGNALIZED FULL MOVEMENT INTERSECTION EXISTS AT VISTA DEL NORTE DRIVE AND OSUNA ROAD. THE ACCESS ON VISTA DEL NORTE DRIVE IS FULL MOVEMENT, WHILE THE ACCESS ON OSUNA ROAD WILL BE RIGHT-IN, RIGHT-OUT TURN MOVEMENT ONLY.

PEDESTRIAN ACCESS CIRCULATION: THERE IS AN EXISTING 10' WIDE ASPHALT PATH ALONG OSUNA ROAD, AND AN EXISTING 6' WIDE SIDEWALK ALONG VISTA DEL NORTE DRIVE. PEDESTRIAN ACCESS WILL BE PROVIDED AT EACH OF THE VEHICULAR ACCESS POINTS AS WELL AS A THIRD ACCESS POINT AT THE NORTH-WEST CORNER OF THE SITE.

BICYCLE ACCESS: THERE IS AN EXISTING BIKE PATH ALONG OSUNA ROAD, WHICH PROVIDES A CONNECTION TO THE NORTH DIVERSION CHANNEL TRAIL EAST OF THE SITE. THERE IS ALSO A BIKE PATH ALONG THE WEST SIDE OF VISTA DEL NORTE DRIVE.

INTERNAL CIRCULATION: A 10' WIDE ASPHALT PATH LOOPS AROUND THE RECREATION FIELDS.

BUILDING HEIGHTS AND SETBACKS: SEE DESIGN GUIDELINES, SHEET 3.

PHASING: PHASING FOR VISTA DEL NORTE PARK IS FOR GENERAL INFORMATION ONLY AND IS SUBJECT TO CHANGE BASED ON AVAILABLE FUNDING AND CITY DETERMINATION OF NEEDS. CURRENTLY, PHASE 1 IS PLANNED TO INCLUDE: STREETSCAPE LANDSCAPING AND FENCING; WESTERN PARKING AREA; WESTERN THIRD OF RECREATION FIELD; AND PERIMETER TRAIL.

PARKING REQUIREMENTS:
STANDARD SPACES REQUIRED - 175
ACCESSIBLE SPACES REQUIRED - 8
MOTORCYCLE SPACES REQUIRED - 5
BICYCLE SPACES REQUIRED - 9
STANDARD SPACES PROVIDED - 177
ACCESSIBLE SPACES PROVIDED - 8
MOTORCYCLE SPACES PROVIDED - 5
BICYCLE SPACES PROVIDED - 10

SIGNAGE: TWO (2) FREESTANDING MONUMENT-TYPE SIGNS OF NO GREATER THAN 24 SQUARE FEET ARE ALLOWED ON THE SITE: ONE (1) ALONG THE OSUNA ROAD FRONTAGE AND ONE (1) ALONG THE VISTA DEL NORTE DRIVE FRONTAGE. FREESTANDING SIGNS SHALL NOT BE HIGHER THAN 8 FEET ABOVE ADJACENT GRADE. SIGNS SHALL BE CONSTRUCTED OF COLORED, CAST-IN-PLACE CONCRETE, SPLIT FACE BLOCK, STUCCOED CMU, OR SIMILAR MATERIAL CONSISTENT WITH THE CHARACTER OF THE PARK. MATERIALS SHALL BE WARM EARTH TONE COLORS.

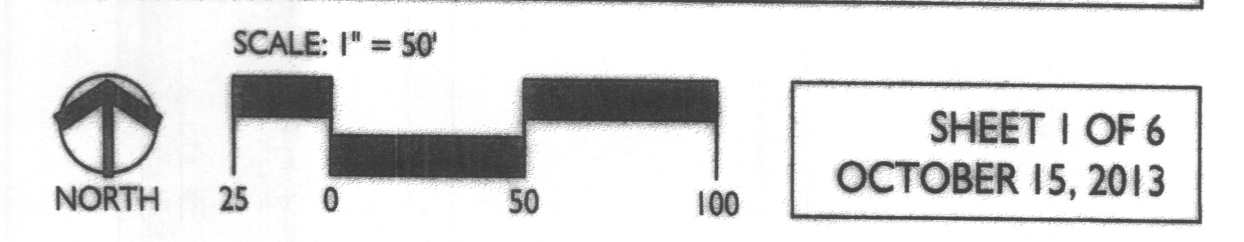
PROJECT NUMBER: 1001150
APPLICATION NUMBER:
IS AN INFRASTRUCTURE LIST REQUIRED? (X) YES / NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.
DRB SITE DEVELOPMENT PLAN APPROVAL:
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION _____ DATE _____
ABC/WLA _____ DATE _____
PARKS AND RECREATION DEPARTMENT _____ DATE _____
CITY ENGINEER _____ DATE _____
*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) _____ DATE _____
SOLID WASTE MANAGEMENT _____ DATE _____
DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____

AFD PLANS CHECKING OFFICE
824-3611
APPROVED
10-15-13

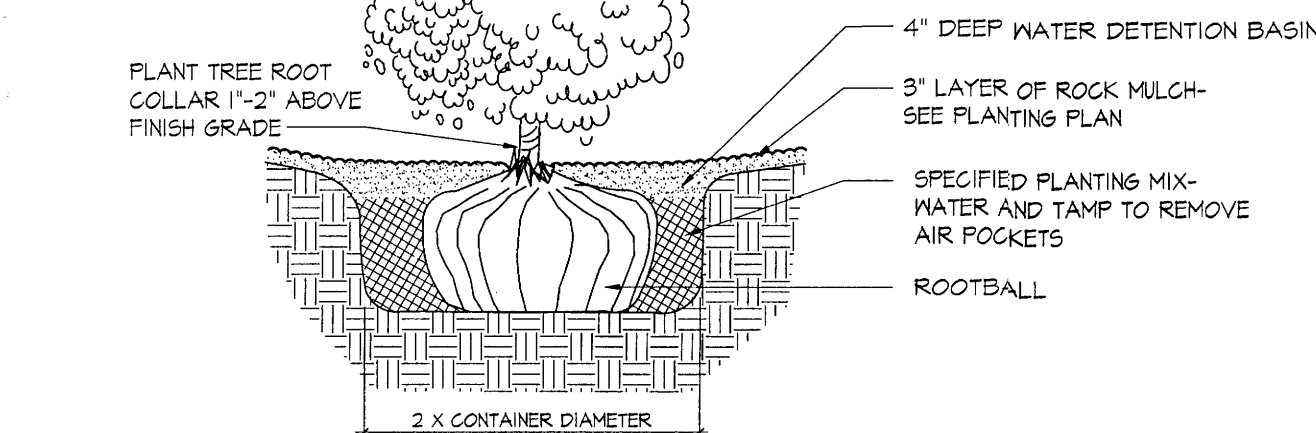
VISTA DEL NORTE COMMUNITY PARK

OWNER
CITY OF ALBUQUERQUE
PROJECT TEAM
PLANNING/LANDSCAPE ARCHITECTURE
CONSENSUS PLANNING
ENGINEERING
BOHANNAN HUSTON

MASTER DEVELOPMENT PLAN / SITE PLAN FOR BUILDING PERMIT SITE PLAN

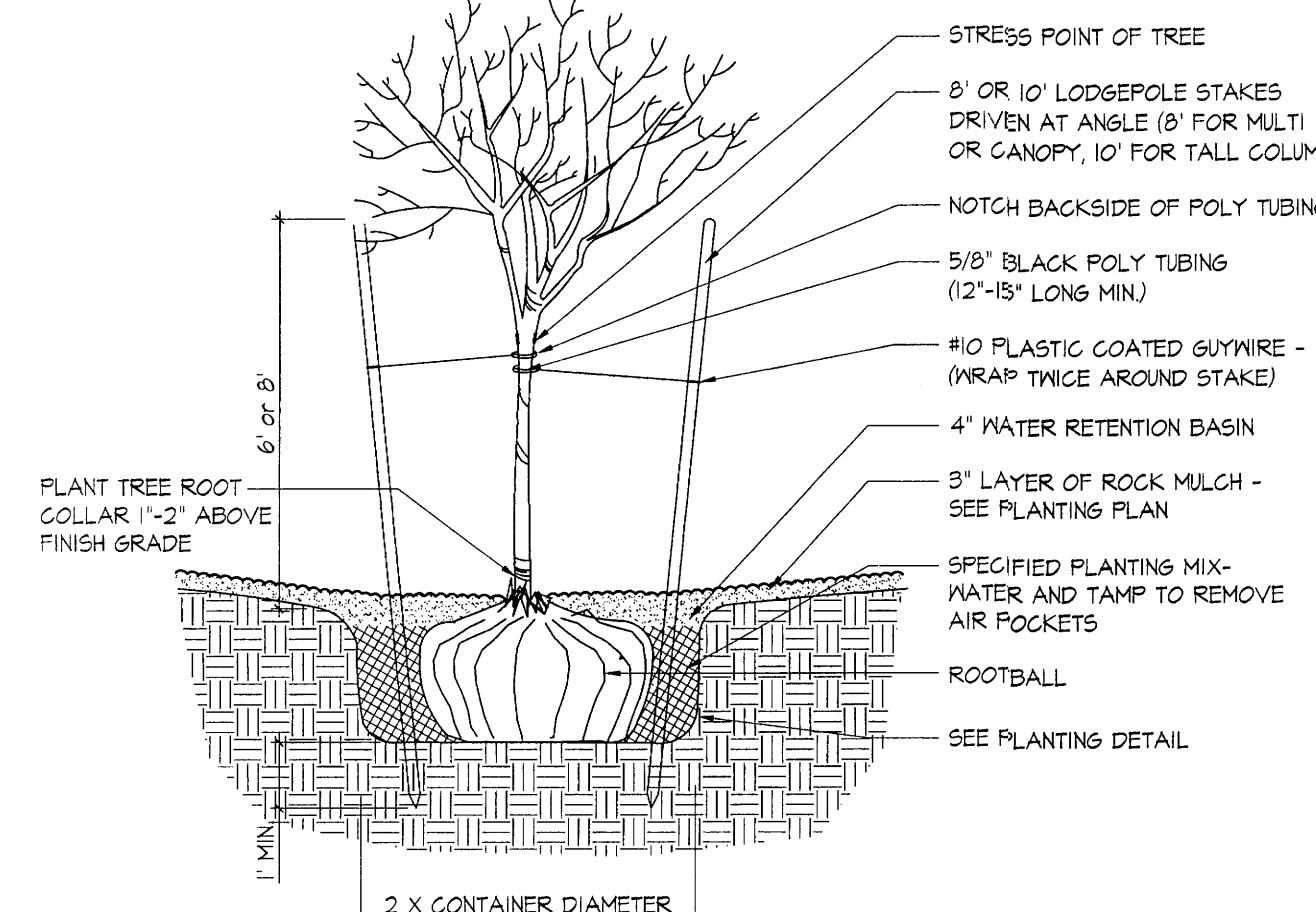


NOTES:
 A. THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER.
 B. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES.
 C. REMOVE ROPE AND BURLAP AFTER PLANTING.

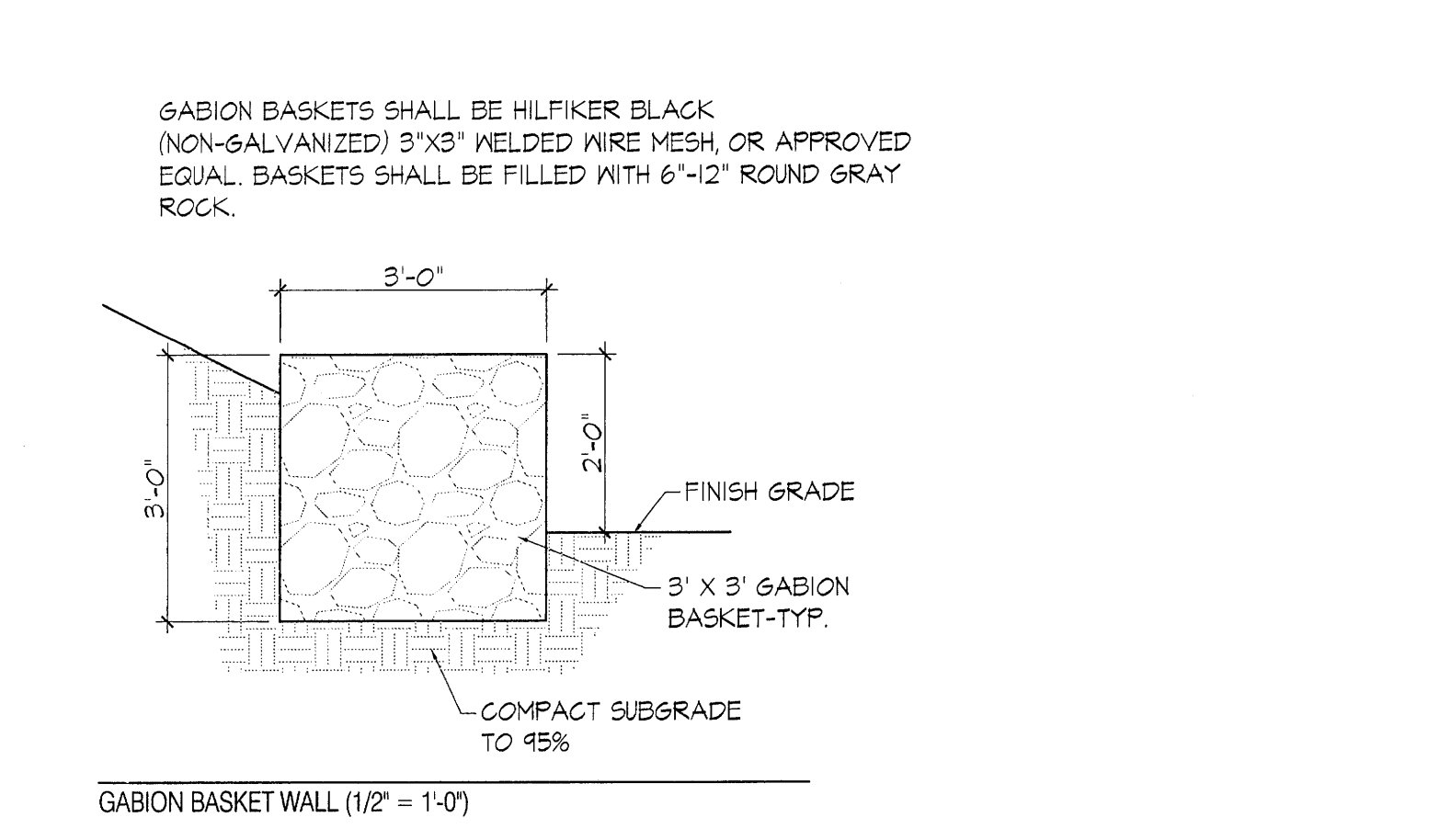
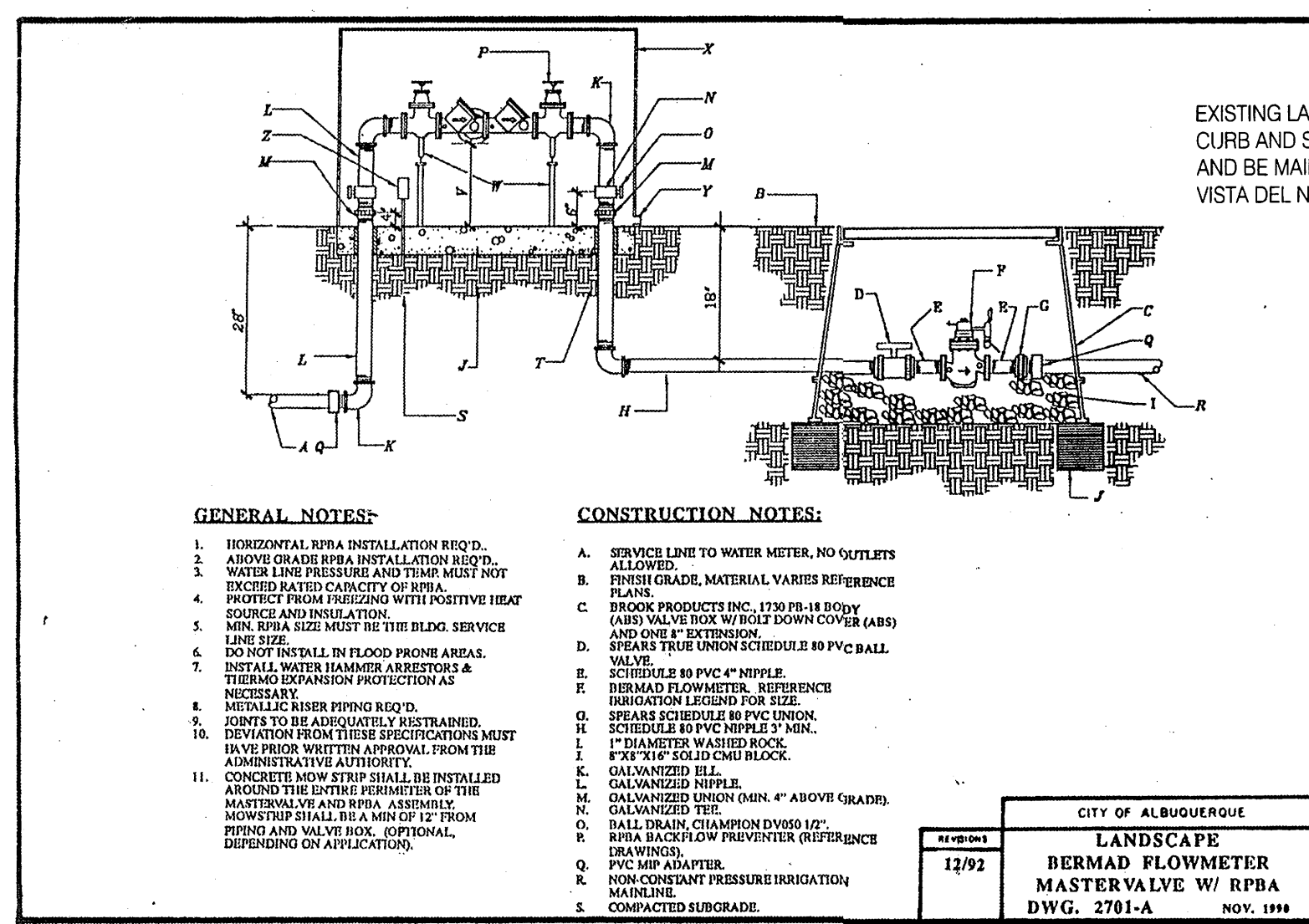


SHRUB PLANTING @ GRADE N.T.S.

NOTES:
 A. THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER.
 B. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES.
 C. REMOVE ROPE AND BURLAP AFTER PLANTING.



TREE PLANTING @ GRADE N.T.S.



EXISTING LANDSCAPE BETWEEN CURB AND SIDEWALK TO REMAIN AND BE MAINTAINED BY THE VISTA DEL NORTE HOA

20' PRIVATE SANITARY AND STORM SEWER EASEMENT

EXISTING 10' PEDESTRIAN LANDSCAPE EASEMENT

EXISTING LANDSCAPE BETWEEN CURB AND SIDEWALK TO REMAIN AND BE MAINTAINED BY THE VISTA DEL NORTE HOA

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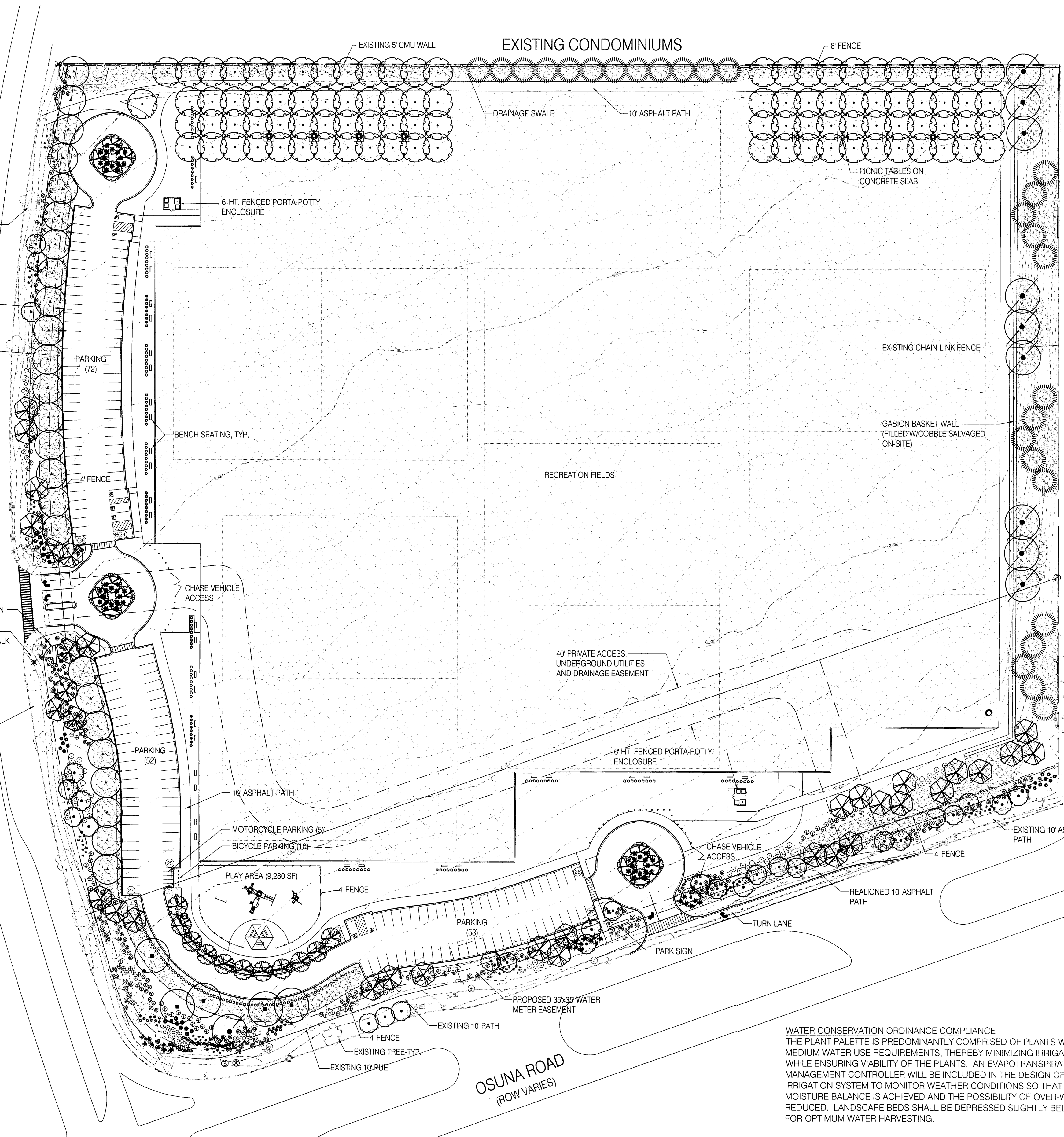
EXISTING LANDSCAPE BETWEEN CURB AND SIDEWALK TO REMAIN AND BE MAINTAINED BY THE VISTA DEL NORTE HOA

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EXISTING LANDSCAPE BETWEEN CURB AND SIDEWALK TO REMAIN AND BE MAINTAINED BY THE VISTA DEL NORTE HOA



GENERAL LANDSCAPE NOTES

IRRIGATION SYSTEM
 IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE AND AS REQUIRED BY THE CITY OF ALBUQUERQUE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TURF AREAS AND TREE, SHRUB, AND GROUND COVER PLANTING AREAS. TURF AREAS WILL BE PROVIDED WITH .87 INCHES OF WATER PER CYCLE WITHIN AN 8 HOUR WATER WINDOW. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH 3 GALLONS OF WATER AND TREES 9 GALLONS OF WATER PER CYCLE.

MAINTENANCE RESPONSIBILITY
 MAINTENANCE OF THE LANDSCAPING AND IRRIGATION SYSTEM, INCLUDING THOSE AREAS WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE CITY OF ALBUQUERQUE.

WATER CONSERVATION ORDINANCE COMPLIANCE
 THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED. LANDSCAPE BEDS SHALL BE DEPRESSED SLIGHTLY BELOW GRADE FOR OPTIMUM WATER HARVESTING.

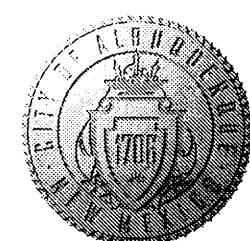
PNM COORDINATION
 DUE TO THE EXISTING OVERHEAD ELECTRIC DISTRIBUTION LINES ALONG VISTA DEL NORTE DRIVE, COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

NOTE:
 LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

PLANT LEGEND				
SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE
EXISTING TREE TO REMAIN				
(Symbol)	ACER TARTARIUM 'HOT WINGS'	2' B&B	12' HT. X 5' SPR.	MEDIUM
(Symbol)	HOT WINGS MAPLE		20' HT. X 20' SPR.	
(Symbol)	CHLOPSIS LINEARIS 'BUBBA'	24" BOX	8' HT. X 6' SPR.	LOW +
(Symbol)	DESERT WILLOW		20' HT. X 25' SPR.	
(Symbol)	FRAXINUS VELUTINA 'MODESTO'	2.5' B&B	14' HT. X 6' SPR.	MEDIUM +
(Symbol)	MODESTO ASH		40' HT. X 35' SPR.	
(Symbol)	PINUS NIGRA AUSTRIAN PINE	8" B	8' MIN. HT.	MEDIUM
(Symbol)	POPULUS WISLIZENI	2.5' B&B	35' HT. X 25' SPR.	MEDIUM +
(Symbol)	RIO GRANDE COTTONWOOD		14' HT. X 6' SPR.	
(Symbol)	PLATANUS ACERIFOLIA 'BLOODGOOD'	2.5' B&B	50' HT. X 40' SPR.	MEDIUM
(Symbol)	BLOODGOOD LONDON PLANETREE		14' HT. X 6' SPR.	
(Symbol)	PYRUS CALLERYANA	2.5' B&B	40' HT. X 30' SPR.	MEDIUM +
(Symbol)	FLOWERING PEAR		14' HT. X 6' SPR.	
(Symbol)	ULMUS PARVIFOLIA	2.5' B&B	20' HT. X 20' SPR.	MEDIUM
(Symbol)	LACEBARK ELM		14' HT. X 6' SPR.	
(Symbol)	30' HT. X 30' SPR.			
SHRUBS/GROUNDCOVERS				
(Symbol)	CARYOPTERIS CLAUD. 'DARK KNIGHT'	5-GAL.	3' O.C.	MEDIUM
(Symbol)	DARK KNIGHT BLUE MIST		3' HT. X 3' SPR.	
(Symbol)	CHRYSOTHAMNUS NAUSEOSUS	1-GAL.	5' O.C.	LOW
(Symbol)	CHAMISA		4' HT. X 4' SPR.	
(Symbol)	CYTISUS SCOPARIUS 'LENA'S BROOM'	5-GAL.	5' O.C.	MEDIUM
(Symbol)	LENA'S BROOM		4' HT. X 4' SPR.	
(Symbol)	ERICAMERIA LARICIFOLIA 'AGUIRRE'	1-GAL.	2' O.C.	LOW
(Symbol)	TURPENTINE BUSH		2' HT. X 2' SPR.	
(Symbol)	FALLUGIA PARADOXA	1-GAL.	5' O.C.	LOW
(Symbol)	APACHE PLUME		4' HT. X 4' SPR.	
(Symbol)	GUARA LINDHEIMERI	5-GAL.	3' O.C.	MED
(Symbol)	GUARA		3' HT. X 3' SPR.	
(Symbol)	HESPERALOE PARVIFLORA	5-GAL.	3' O.C.	MEDIUM
(Symbol)	RED YUCCA		3' HT. X 3' SPR.	
(Symbol)	JUNIFERUS SABINA 'BUFFALO'	5-GAL.	8' O.C.	LOW +
(Symbol)	BUFFALO JUNIPER (FEMALE)		2' HT. X 6' SPR.	
(Symbol)	LAVENDULA ANGUSTIFOLIA 'HIDCOTE'	1-GAL.	4' O.C.	MEDIUM
(Symbol)	ENGLISH LAVENDER		3' HT. X 3' SPR.	
(Symbol)	PINUS MUGO MUGO	5-GAL.	5' O.C.	MEDIUM
(Symbol)	MUGO PINE		4' HT. X 4' SPR.	
(Symbol)	POTENTILLA FRUTICOSA	1-GAL.	3' O.C.	LOW +
(Symbol)	SHRUBBY CINQUEFOIL		3' HT. X 3' SPR.	
(Symbol)	RHUS TRILOBATA 'AUTUMN AMBER'	5-GAL.	3' O.C.	LOW +
(Symbol)	CREeping THREE LEAF SUMAC		2' HT. X 5' SPR.	
(Symbol)	SALVIA GREGGII 'FURMAN'S RED'	3-GAL.	3' O.C.	MEDIUM
(Symbol)	CHERRY SAGE		3' HT. X 3' SPR.	
(Symbol)	SPHAERALCEA INCANA	1-GAL.	3' O.C.	LOW +
(Symbol)	SCARLET GLOBEMALLOW		3' HT. X 3' SPR.	
ORNAMENTAL GRASSES				
(Symbol)	MISCANTHUS SINENSIS 'GRACILLIMUS'	5-GAL.	4' O.C.	LOW
(Symbol)	MAIDEN HAIR GRASS		4' HT. X 4' SPR.	
(Symbol)	MUHLENBERGIA CAP. 'REGAL MIST'	5-GAL.	3' O.C.	MEDIUM
(Symbol)	MUHLI GRASS		3' HT. X 3' SPR.	
(Symbol)	CALAMAGROSTIS A. 'KARL FOERSTER'	1-GAL.	3' O.C.	LOW +
(Symbol)	FEATHER REED GRASS		3' HT. X 3' SPR.	
(Symbol)	NOLINA MICROCARPA	5-GAL.	5' O.C.	LOW
(Symbol)	BEARGRASS		4' HT. X 5' SPR.	
(Symbol)	CUSTOM TURF SEED MIX - KENTUCKY BLUEGRASS 'MIDNIGHT' (80%) AND PERENNIAL RYE 'CABO II' (20%)			
(Symbol)	SAN LAZARUS GRAY COBBLE - 2"-4" 6" DEPTH			
(Symbol)	CANYON GOLD MULCH - 1" / CRUSHER FINES 4" DEPTH			
(Symbol)	LANDSCAPE BOULDERS 3' MIN. DIMENSION			

EXISTING OFFICE COMPLEX



VISTA DEL NORTE COMMUNITY PARK

OWNER
 CITY OF ALBUQUERQUE

PROJECT TEAM
 PLANNING/LANDSCAPE ARCHITECTURE
 CONSENSUS PLANNING
 ENGINEERING
 BOHANNAN HUSTON

MASTER DEVELOPMENT PLAN / SITE PLAN FOR BUILDING PERMIT
 LANDSCAPE PLAN

SCALE: 1" = 60'

NORTH

30 0 60 120

SHEET 2 OF 6
 OCTOBER 15, 2013

MASTER DEVELOPMENT PLAN

The City of Albuquerque owns the 21.2 acre property that makes up Vista Del Norte Park. The City of Albuquerque acquired the property from Vista del Norte Development, LLC in 2008 based upon the need to provide more public space and balloon landing areas within the flight path from Balloon Fiesta Park. As part of the purchase agreement, a 40-foot private access, underground utilities, and drainage easement was created connecting Osuna Road to Vista del Norte Drive. The easement on the property established two access points; one at Osuna Road and one at Vista del Norte Drive. The access point from Vista del Norte Drive aligns with the full access entry to the Desert Ridge Church and the Agave Subdivision located west of Vista del Norte Drive. The access point from Osuna Road is proposed to be moved to the west by 220 feet, which has been coordinated with City Transportation staff. Development of recreational facilities and parking at Vista Del Norte Park will aid in alleviating the demand for balloonist uses as well as provide active recreational spaces within this area of Albuquerque.

The park program for Vista Del Norte Park includes both active and passive forms of recreation to satisfy a broader range of potential park users. It is the intent of this document to allow for flexibility in the Master Development Plan. Due to the community's future needs, preferences, and available funding, activities may need to be added or deleted. The following text describes those activities intended for the park. Significant changes to the Master Development Plan will require approval by the Environmental Planning Commission.

Multi-Purpose Recreation Fields

Active recreation sports are a primary focus of Vista Del Norte Park. Area for four full-size (240' x 330') soccer fields is provided, and this area doubles as a launch/landing field for hot air balloons.

Picnic Areas

Two tree groves are provided on the north end of the park to provide shaded picnic areas and non-programmed space for park users.

Children's Play Area

A children's play area is located in the southwest area of the park. The play area is designed in accordance with the Americans with Disabilities Act (ADA), and is accessible to children with varying abilities.

Multi-use Paths

A path is provided around the perimeter of the multi-purpose fields for walkers, joggers, skaters, etc. Connections are also provided to the existing streetscape system of sidewalks to link into the Vista Del Norte community to the north, and along Osuna Road to the North Diversion Channel trail to the east.

DESIGN GUIDELINES

The purpose of these design guidelines is to provide a flexible framework for park design with specific objectives that encourage innovative and creative solutions, rather than setting a rigid set of requirements that all design must adhere to. The desired character of design features common to the Park, such as structures, setbacks, paths, parking, landscape, signage, lighting, walls, and pedestrian trails are expressed in these guidelines. Also, requirements of the Americans with Disabilities Act (ADA) for accessibility shall be strictly followed.

1. STRUCTURES

With the exception of park shade structures (typically pre-fabricated metal structures), no formal buildings will be provided at Vista Del Norte Park. The height of the shade structures should be considered to fit the scale and context of Park surroundings and minimize impact to adjacent neighborhoods. The maximum height for all structures at Vista Del Norte Park shall not exceed 26 feet as measured from the highest adjacent finished grade. These structures are required to receive a building permit prior to construction.

2. SETBACKS

The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes surrounding Vista Del Norte Park. Required within these setbacks will be pedestrian walkways, screening devices, and landscape improvements.

Buildings (shade structures) shall be setback as follows:

- 50 feet from the R.O.W. line of Osuna Road and Vista Del Norte Drive.

Parking areas shall be setback as follows:

- 25 feet from the R.O.W. line of Osuna Road and Vista Del Norte Drive.

3. PEDESTRIAN AND BICYCLE PATHS

Pedestrian paths in heavy use areas shall be constructed of asphalt or concrete. All bicycle paths shall be constructed of asphalt or concrete and designated for bicycles only. All bicycle and pedestrian paths shall be designed to meet the standards recommended by the American Association of State Highway and Transportation Officials (AASHTO). Where bicycles and pedestrians are to share the same path, the path shall be a minimum of 10' wide and may have a striped pedestrian lane. Pedestrian-only paths shall be a minimum of 6' in width. Where paths cross roadways or parking areas, designated crosswalks shall be highlighted with colored, textured paving materials and signage.

4. PARKING AREAS AND ROADS

Special care should be given to the design of the parking areas in order to minimize their visual impact. Parking areas shall be divided into smaller areas and visually separated by planted islands. Earthen berming, low walls, and/or trees and shrubs shall be used to define and screen parking areas from surrounding streets and park activities. Specific design of parking areas and access roads shall be in accordance with the City's Development Process Manual (DPM).

Parking requirements to meet the needs of the facility program total approximately 177 spaces and are distributed to provide convenience to park uses as well as maximizing field space. Accessible parking spaces, motorcycle parking spaces, and bicycle parking spaces shall be provided in accordance with the City Zoning Code.

5. LIGHTING

For safety and security, exterior lighting will be provided for all parking areas, the common area with play structures, and portions of the multi-purpose paths. To ensure a quality development, it is important to consider the daytime appearance of lighting fixtures. The lighting element is another site feature which contributes to the park's overall character.

The following general guidelines should be considered in the design of the lighting system:

- Placement of fixtures and standards shall conform to state and local safety and illumination requirements. All exterior installations must be provided with ground-fault interruption circuits.
- A design objective of the site lighting system must be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection. Shielded source fixtures shall be used to meet this objective.
- The use of walkway level lighting, such as bollard lights or at-grade lights, is encouraged to illuminate pedestrian zones. Taller lighting is discouraged per safety concerns for balloonists. Maximum light fixture height shall be 16 feet.
- All lighting shall be designed to be vandal resistant.

6. SIGNAGE

Park Entry Sign

Two (2) freestanding monument-type signs of no greater than 24 square feet are allowed on the site: one (1) along the Osuna Road frontage and one (1) along the Vista Del Norte Drive frontage. Freestanding signs shall not be higher than 8 feet above adjacent grade. Signs shall be constructed of colored, cast-

in-place concrete, split face block, stuccoed CMU, or similar material consistent with the character of the park. Materials shall be warm earth tone colors.

All signs shall be in accordance with the City of Albuquerque Zoning Code.

7. SCREENING / WALLS AND FENCES

The effective use of screening devices for loading areas, refuse collection, and delivery/storage areas is essential to limit their adverse visual impact on the park and surrounding developments. The guidelines established in the landscape and setback sections will provide the main element to screening objectionable views and activities.

The following are standards to ensure effective screening of negative elements:

- All outdoor refuse containers shall meet City specifications and be screened within a minimum 6 foot high masonry enclosure.
- The design and materials for refuse collection enclosures shall be compatible with other design themes of the site.
- Barbed wire or concertina wire shall not be allowed in Vista Del Norte Park.
- Block walls shall be treated with a graffiti resistant material.

To aid in access control, and security/safety of the park users, Vista Del Norte Park will be fenced, and the vehicular entry points at Vista Del Norte Drive and Osuna Road may include automatically operated gates. The maximum fence height along these street frontages shall be four feet (4'). Additional fencing, internal to the site, to control vehicular access on to the recreation/ballooning fields may be provided and is limited to four foot (4') height. Also, fencing may be provided along the north side of the site to provide additional security to the existing condominiums. The maximum height for fencing on the north side shall be eight foot (8'). Fencing may consist of tubular steel and/or PVC coated wire fencing.

8. SITE FURNITURE

The use of a consistent design for all types of site furniture will serve to unify different areas of the park. Site furniture is typically located in areas of more active recreation or pedestrian movement and consists of the following: benches, picnic tables, trash receptacles, bicycle racks, bollards, etc. Selection of fixtures should be based on design compatibility, durability/maintenance needs, vandal-resistance, cost, comfort, handicap accessibility, and safety for balloonist access.

9. LANDSCAPE

Parks in general are intended to be aesthetically pleasing with distinguishing characteristics, considerate of health, safety and welfare of the park user, universally accessible, responsible water users, considerate of maintenance issues, and meet the recreation needs of the citizens of Albuquerque. The Park Design Guidelines – July 2004 shall be followed during the design of all Park features.

The design for Vista Del Norte Park encourages year-round use of the facilities. The proposed plant palette matches that use by encouraging materials that provide function, interest, color, etc., through all four seasons. Requirements of the Water Conservation Ordinance, the Pollen Ordinance, and other applicable ordinances shall be followed. In addition, requirements of the City's Street Tree Ordinance shall be followed along Osuna Road, but adjusted as needed for balloonist safety. Trees will only be included in strategic perimeter and parking locations that provide the most impact for shading isolated areas and for curb appeal.

Multi-Purpose Recreation Fields

The primary focus of the multi-purpose recreation fields will be for recreational/programmed and organized sport purposes, and shall require turf grasses. The planting bed will require amendment to create a rich, healthy growing medium for the turf. Turf species will be carefully selected in accordance with the specific use requirements of the area. The intense, year-round use of the fields will require a hardy species of turf that can withstand heavy use. Perimeter field trees are allowable only along the furthest field edges in order to not conflict with balloonist take-off and landing.

Parking Areas

The parking lots shall be designed to minimize the visual expanse of asphalt. This shall be achieved by breaking the required parking into smaller, physically separated spaces. Trees are required in the parking area at a rate of 1 tree for each 8 parking spaces. In consideration of the balloon landing/launching at the park, the trees shall be limited to the far west side of the park, and only shorter accent trees (maximum height of 20') shall be allowed along the south end of the site. Wherever possible, parking areas should be graded to harvest rainwater run-off (through curb openings) in landscape areas. Opportunities for alternative surfacing materials should also be explored as a means to minimize storm water runoff.

Landscape Buffers

Landscape buffers help to frame the park boundaries and serve as a park identifier. Landscape buffers along Vista Del Norte Drive and Osuna Road shall be a minimum of 25' wide. To further buffer the residential area from the more active recreation spaces, a combination of randomly planted evergreen and deciduous trees and shrubs shall be provided. Where space allows, earthen berming or depressions may be incorporated to provide additional buffering.

10. IRRIGATION

A fully automated irrigation system with centralized computer control shall be used at Vista Del Norte Park. Satellite controllers shall be linked to the main controller by radio which will be tied to the Park Management computer monitoring system. Mainline piping shall be provided according to standard City specifications. Gate valves will be located at strategic points along the mainline piping system to allow for isolation of sections for maintenance reasons. Sprinklers for the sports fields shall be state-of-the-art for maximum efficiency in water distribution. All irrigation components shall be readily available for maintenance and/ or replacement. The irrigation system for all cool season turf grass shall be designed to apply 2/3-inch of water in a 8 hour window.

11. UTILITIES

To mitigate the negative visual image presented by some utility equipment and to ensure the overall aesthetic quality of Vista Del Norte Park:

- All electric distribution lines within the park shall be placed underground.
- Transformers, utility pads, cable TV, and telephone boxes shall be located out of view from public rights-of-way or visually screened with vegetation, fences, or walls. Screening shall be designed to allow for access to utility facilities. All screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance, and repair purposes. Refer to PNM Electric Service Guide at www.pnm.com for specifications.
- The City shall contact PNM's New Service Delivery Department to coordinate electric service to avoid potential delays in meeting in-service target dates. Any existing or proposed public utility easements shall be indicated on subsequent Site Plan utility sheets. PNM's standard for electric distribution public utility easements is 10 feet in order to ensure adequate and safe clearances.

12. OPERATIONS & MANAGEMENT

Vista Del Norte Park shall be managed and maintained by the City of Albuquerque Parks and Recreation Department.

A. General Park Operation Guidelines

1. Open daily from 6:00 AM to 10:00 PM. Scheduled use of Vista Del Norte Park is coordinated through the Park Management Division, 857-8657.
2. The Park Management after hour emergency phone number is 251-0172. The phone number will be posted at the park.

3. All users of Vista Del Norte Park are to respect other users, including tenants of the Park and neighboring residents and businesses.
4. All uses of Vista Del Norte Park are at the user's own risk.
5. Vista Del Norte Park will be used for various activities both informal and scheduled uses. Some of the uses of the park include balloon staging, take-off, landing as well as informal activities, athletic field practice, tournaments, festivals, community gatherings, etc. Informal users of the park will not be charged a fee (e.g. runners, walkers, play area users, informal field sports and scheduled athletic field practice). For Special Events, such as athletic tournaments, the park has been designated as a possible Fee Area. A Fee Schedule will be developed for the use of the park.
6. Vista Del Norte Park is a "Pack It Out Park". Participants at organized activities are encouraged to remove trash from the park after a Special Event, Tournament or Field Practice. Additional trash pickup can be contracted with the Solid Waste Department, City of Albuquerque.
7. No public announcing systems will be used for events unless permitted through the City Environmental Health Department.
8. Vehicles are prohibited on the grass areas of the park except when specified and approved as part of an approved event.
9. All-terrain vehicles (ATV's), motorcycles, and dirt bikes used for recreational purposes are prohibited.
10. Recreational vehicles and motor homes are prohibited except when specified and approved as part of an approved Special Event.
11. Barbeque grills and other food cooking or heating devices used in Vista Del Norte Park must be placed on asphalt, dirt, concrete, or other non-vegetated surfaces, except when specified and approved as part of an approved Special Event.
12. Camping (as defined by City of Albuquerque Code of Ordinances, chapter 5, article 8, section 5-8-3) is prohibited within Vista Del Norte Park except when specified and approved as part of an approved Special Event.
13. The City of Albuquerque Parks and Recreation Department reserve the right to approve or prohibit activities, regardless of whether they are specified in this policy, as part of the process of Special Event review and approval.
14. The City of Albuquerque Parks and Recreation Department reserve the right to approve or prohibit activities, regardless of whether they are specified in this policy, as part of the process of negotiating leases, licenses, and other agreements with existing and future tenants or users of the Park.

B. Gate Operation

1. If provided, automated gates will be set to open 6:00 AM and close at 10:15 PM.

C. Neighborhood Notification

1. The Parks and Recreation Department/ Recreation Services Division will develop and maintain an email list of interested neighbors and park users for Vista Del Norte Park. The list will be used to notify interested parties of various proposed changes or uses at the park (e.g. proposed Special Events, changes in maintenance practices, construction, and, or other significant issues affecting the park). Recognized Neighborhood Associations will also be notified. Notification to interested parties and recognized Neighborhood Associations will be a minimum of fourteen (14) days prior to a proposed change or event.
2. All proposed Special Events will require a Park Use Permit to be completed and submitted to Park Management Division for review and approval. If required, the Park Use Permit and proposed event will be permitting through the City's Special Event review process (approval from APD, AFD, Neighborhood Services, Environmental Health in regards to sound and food permitting, Park Management, etc.), <http://www.cabq.gov/cultural-services/about-cultural-services/special-event-permits>.

D. Park Lighting / Timing

1. At no time, will the light level from any of the park lights exceed .5 foot-candles at the park property line. The lights will be maintained and re-aimed, as necessary, by the City Parks and Recreation Department.
2. Parking Lot Lighting will be operated seven days a week throughout the year. Security lighting will remain on throughout the night. The balance of parking lot lights shall be programmed to turn on at dusk and turn off by 10:30 PM.

E. Temporary Structures

1. Temporary structures, such as portable tents, portable toilets, canopies, jumpers require an approved Park Use Permit and possibly an additional Special Event permit approved by the City.

F. Restrictions

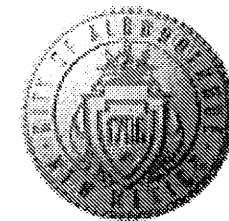
1. All City of Albuquerque ordinances are applicable to Vista Del Norte Park.
 - ii. 10-1-1-4 Park Property; 10-1-1-4 Sanitation; 10-1-1-6 Traffic; 10-1-1-7 Recreational Activities; 10-1-1-7; 10-1-1-8 Merchandising, Advertising and Signs; 10-1-1-10 Park Operating Policy

Selected Excerpts from City Ordinances

- No hunting (air rifles, spring guns, bows and arrows, slings, trapping, guns).
- No vandalism.
- No glass containers (except immediate emergency treatment).
- No dumping of garbage or rubbish.
- If no receptacles are provided, the responsible party shall carry all rubbish or waste away from the park.
- Bicycles are confined to paved surfaces. A bicyclist shall be permitted to wheel or push a bicycle by hand over grass.
- Motorized vehicle shall only be used in designated areas.
- No engaging in dangerous amusement (e.g. throwing or propelling objects such as hard balls, stones, arrows, javelins, and model airplanes) in areas that have not been designated for that use.
- No vending and peddling: Except as a licensed concessionaire by City and under the authority and regulation of the Mayor.
- No advertising, except as licensed concessionaire and under the authority and regulation of the Mayor.
- No posting of signs, except as licensed concessionaire and under the authority and regulation of the Mayor.
- Trash pickup: Any Special Event sponsors will contract with Solid Waste Department for pickup. Park must be left clean and trash hauled away.
- Portable restrooms must be placed on asphalt, dirt or concrete areas.
- Stakes are prohibited for tents; blocks, sandbags and water filled barrels only.

13. FUTURE REVIEW/APPROVAL PROCESS

Design and construction of all park features illustrated on the site plan shall be reviewed and approved by the Parks and Recreation Department staff and/or the Design Review Committee (DRC) as necessary. Proposed changes to this Master Development Plan shall be reviewed with the Planning Director for determination of appropriate amendment procedure.



VISTA DEL NORTE COMMUNITY PARK

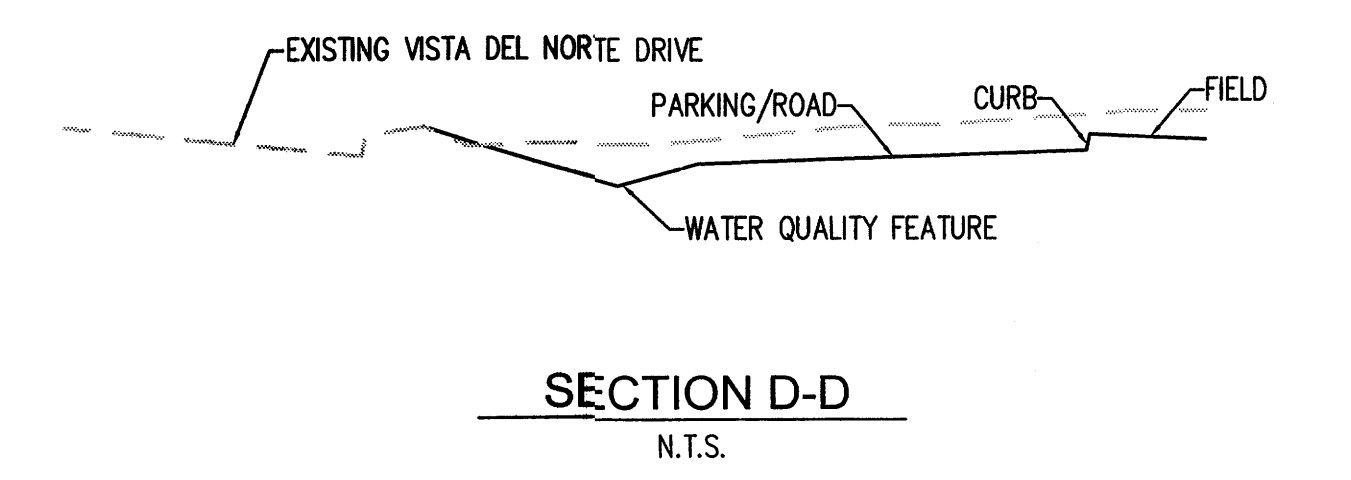
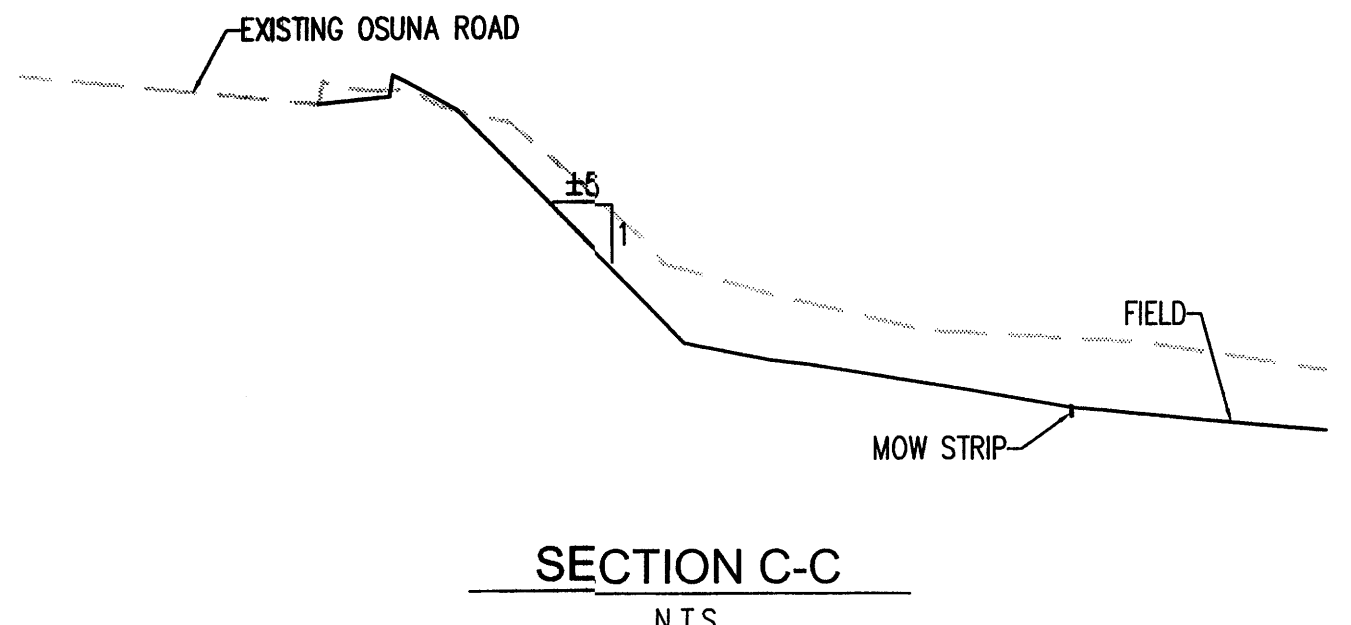
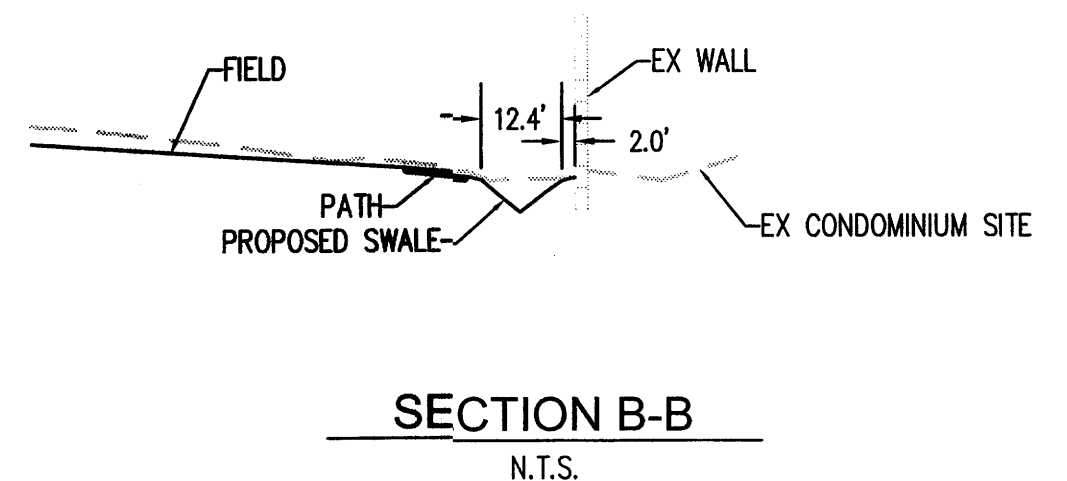
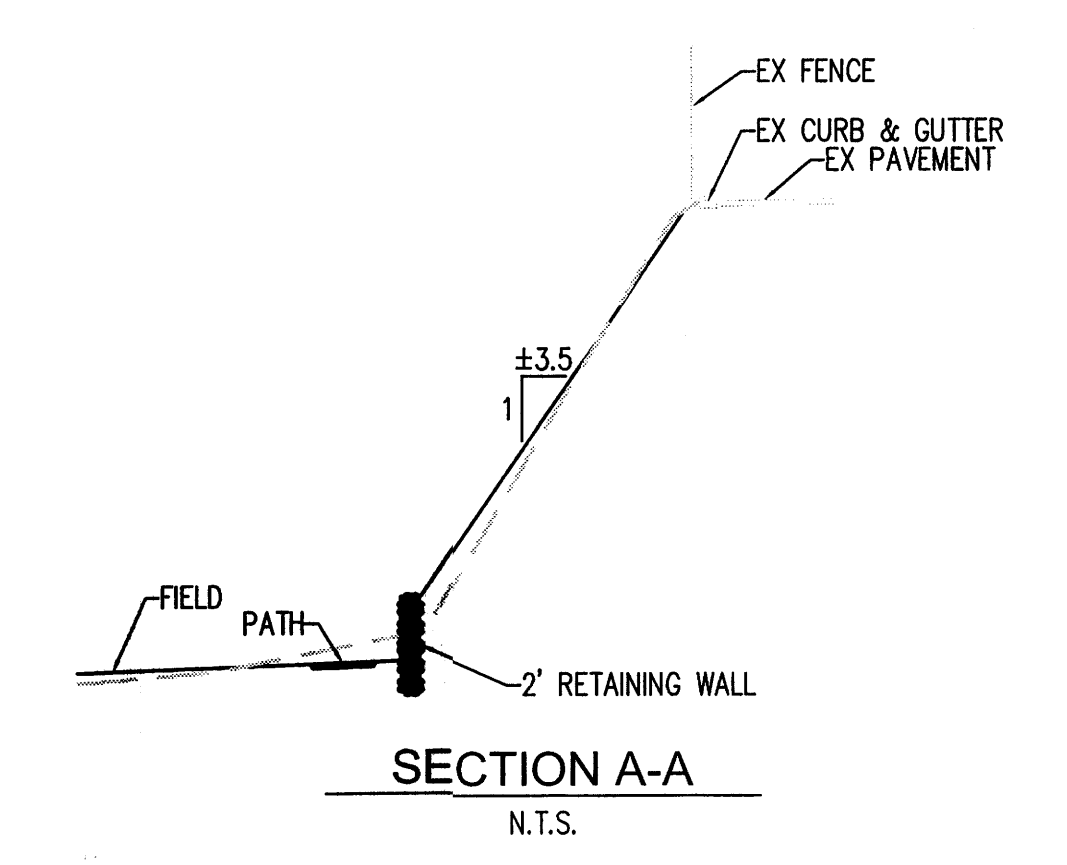
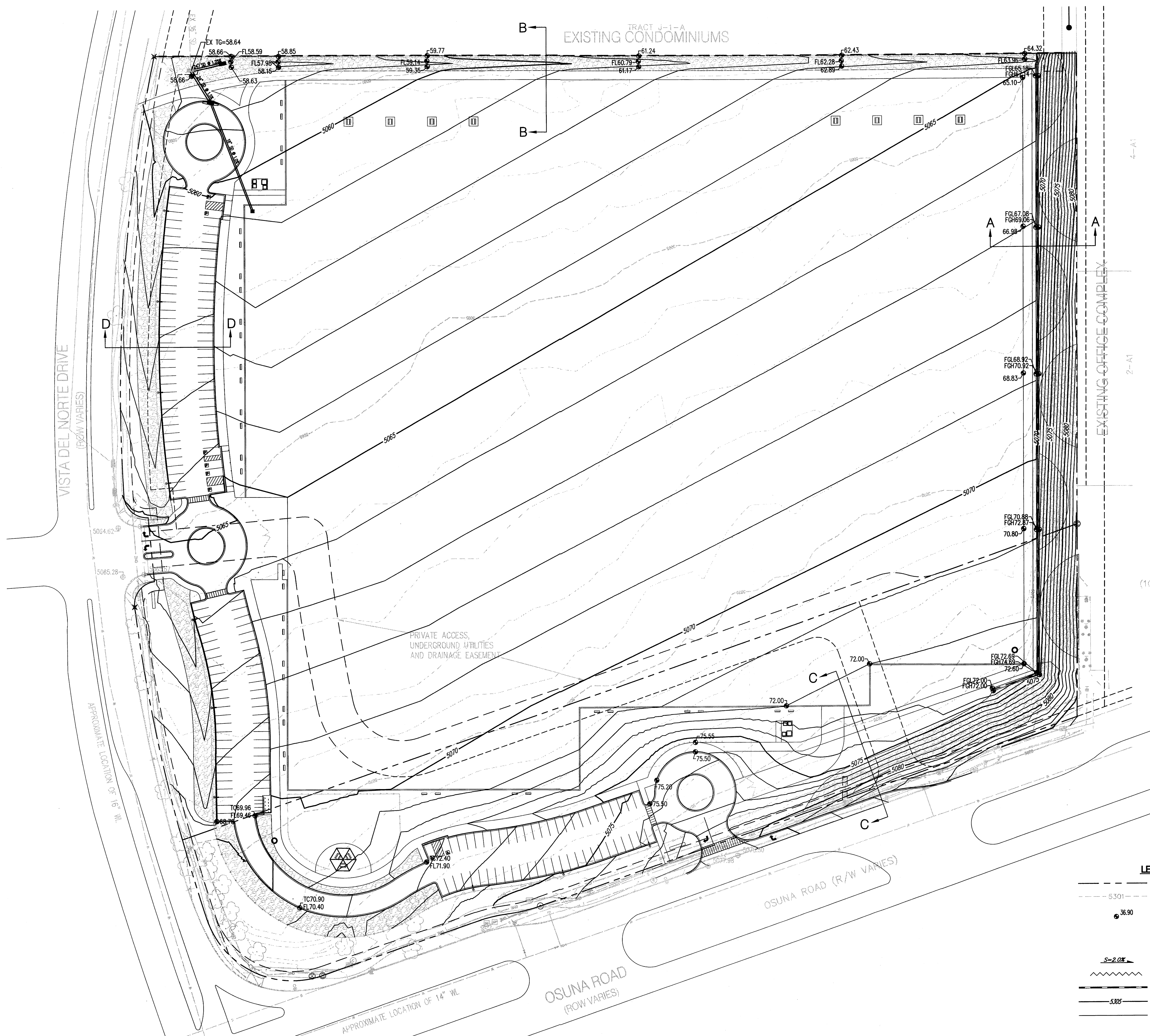
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PROJECT TEAM
PLANNING/LANDSCAPE ARCHITECTURE
CONSENSUS PLANNING
ENGINEERING
BOHANNAN HUSTON

MASTER DEVELOPMENT PLAN / SITE PLAN FOR BUILDING PERMIT

DESIGN GUIDELINES

SHEET 3 OF 6
OCTOBER 15, 2013



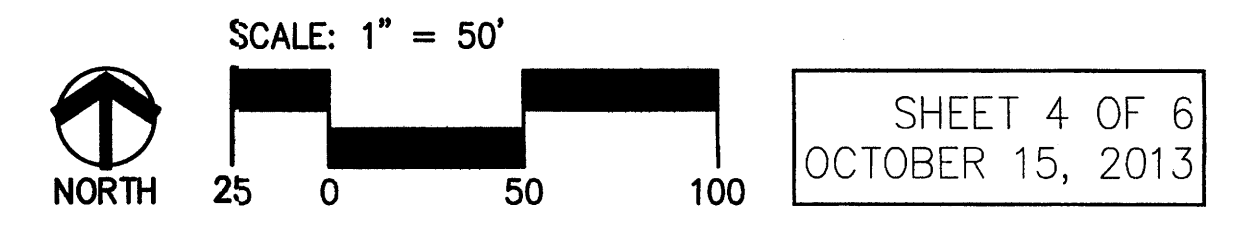
- LEGEND**
- PROPERTY LINE
 - - - - - EXISTING CONTOURS
 - 36.90 PROPOSED SPOT ELEVATION
 - TC=TOP OF CURB, FL=FLOW LINE
 - TS=TOP OF SIDEWALK, TA=TOP OF ASPHALT
 - EX=EXISTING, FG=FINISHED GRADE
 - FGH=FINISHED GRADE HIGH
 - FGl=FINISHED GRADE LOW
 - S=2.0% PROPOSED DIRECTION OF FLOW
 - ~~~~~ WATER BLOCK
 - PROPOSED RETAINING WALL
 - - - - - PROPOSED INDEX CONTOURS
 - PROPOSED INTER CONTOURS

**VISTA DEL NORTE
COMMUNITY PARK**

OWNER
CITY OF ALBUQUERQUE

PROJECT TEAM
PLANNING/LANDSCAPE ARCHITECTURE
CONSENSUS PLANNING
ENGINEERING
BOHANNAN HUSTON

MASTER DEVELOPMENT PLAN / SITE PLAN FOR BUILDING PERMIT
PRELIMINARY GRADING PLAN



TRACT 1-1-A
EXISTING CONDOMINIUMS

VISTA DEL NORTE DRIVE
(R/W VARIES)

EXISTING OFFICE COMPLEX

4-A1

2-A1

SECO-COX ADD.
(04-16-91, 91C-77)

SECO-COX
(10-15-85, C28)
LOT 1

PRIVATE ACCESS,
UNDERGROUND UTILITIES
AND DRAINAGE EASEMENT

RELOCATED HYDRANT

NEW 6" BFP IN HOTBOX

PUBLIC WATER EASEMENT

EXISTING HYDRANT

NEW 6" WM & VAULT

EXISTING 8" STUBOUT

APPROXIMATE LOCATION OF 14" WL

OSUNA ROAD
(R/W VARIES)

OSUNA ROAD (R/W VARIES)

LEGEND

- PROPERTY LINE
- EXISTING EASEMENT
- SAS EXISTING SANITARY SEWER
- WL EXISTING WATER LINE
- PROPOSED EASEMENT
- SAS PROPOSED SANITARY SEWER LINE
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED CLEANOUT
- WL PROPOSED WATER LINE
- PROPOSED VALVE
- FL PROPOSED FIRE LINE
- PROPOSED HYDRANT
- PROPOSED CAP
- PROPOSED WATER METER
- PIV PROPOSED POST INDICATOR VALVE

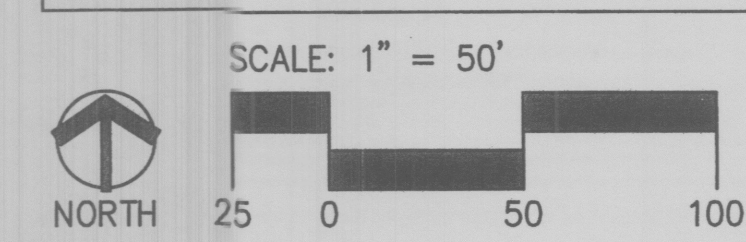


VISTA DEL NORTE COMMUNITY PARK

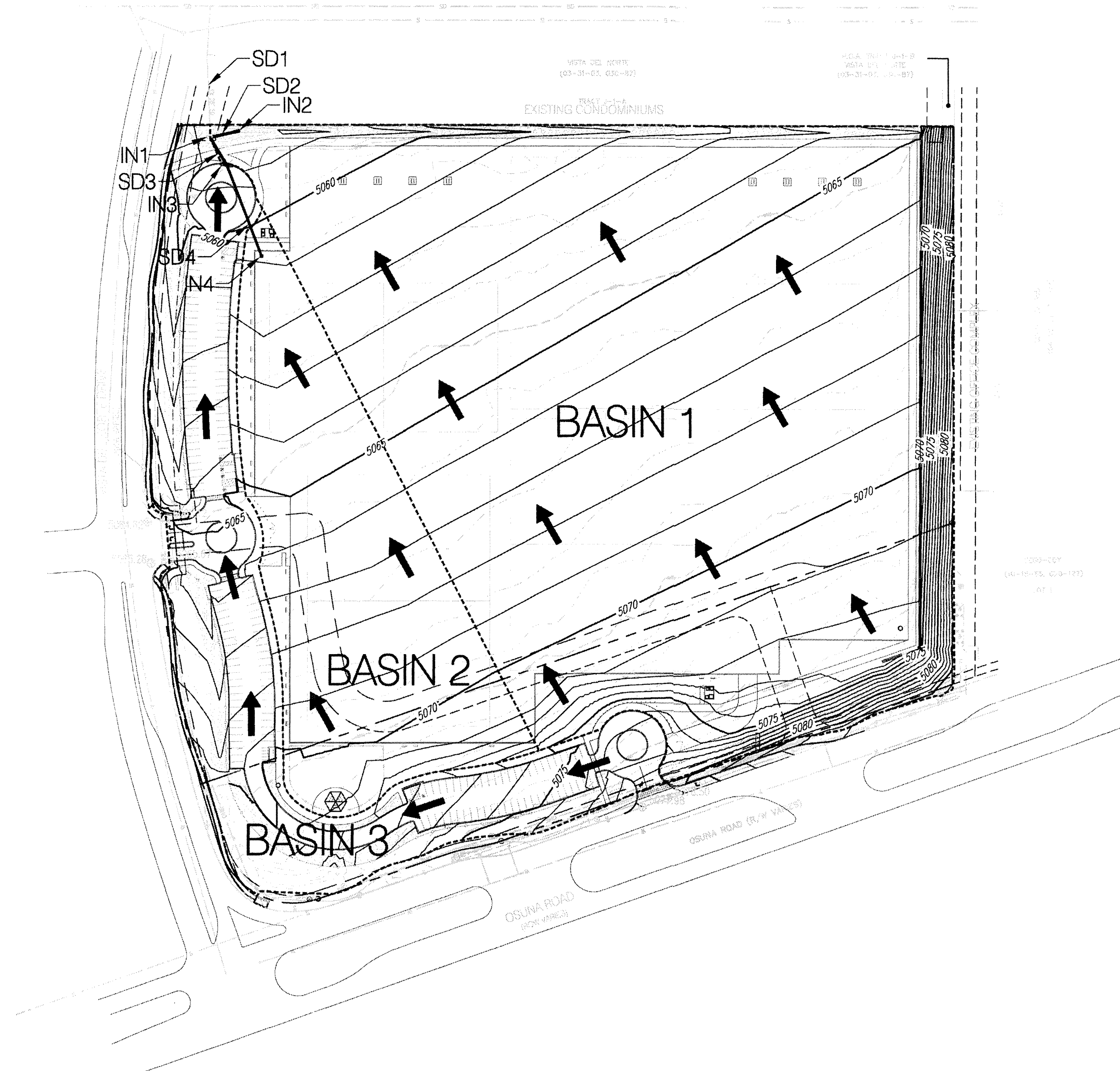
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CONSENSUS PLANNING
ENGINEERING
BOHANNAN HUSTON

MASTER DEVELOPMENT PLAN / SITE PLAN FOR BUILDING PERMIT
CONCEPTUAL UTILITY PLAN



SHEET 5 OF 6
OCTOBER 15, 2013



DRAINAGE MANAGEMENT PLAN

I. INTRODUCTION

The purpose of this submittal is to present a conceptual grading and drainage plan for the proposed Vista del Norte park. The site is bounded along the north by the Rancho Mirage Condominiums, Vista del Norte Drive to the west, Osuna Road to the south, and commercial land to the east. In total, the site encompasses a total of over 21 acres. The project will have a large turf field, a playground area, parking lots, and landscaped area. With this submittal we are seeking Development Review Board approval.

II. EXISTING HYDROLOGIC CONDITIONS

The site is currently undeveloped with native vegetation cover. Currently the site drainage sheet flows to the north/northwest at an average slope of 1.2%. It then discharges into an existing swale before outfalling into an existing 36" ported riser inlet and existing storm drain system.

III. PROPOSED HYDROLOGIC CONDITIONS

The site has been divided into 3 drainage basins. The overall drainage plan is to convey site drainage via surface flow to the existing riser inlet and the existing Vista del Norte storm drain system. The discharge from the site will total 59.4 cfs (Proposed Conditions Basin Data Table, this sheet). The Drainage Master Plan for the community, "Drainage Master Plan for Vista del Norte Subdivision," stamp date 03/19/1998 (D16\0002), dictates that this site, Tract M, will ultimately discharge to the South Detention Pond. An existing 42" RCP storm pipe was installed north of the tract with city project 5970.81. A 24" storm stub out to tract was included in the project and was designed to accept 99 cfs from the future developed tract. With the development of the Rancho Mirage Condos and city project 6920.81, the 24" storm pipe was replaced with a 36" stub out and portions of the condominiums site were designed to

discharge into the existing 42" RCP pipe. The amount of discharge into the storm system from the condo site is 17.55 cfs as dictated in the "Drainage Report of Rancho Mirage Condominiums," stamp date 07/17/2002 (E16/D22). Removing the 17.55 cfs from the allowable 99 cfs; 81.45 cfs remains as allowable discharge from the proposed park. Free discharge into the existing system is anticipated because the proposed park discharge is reduced from the master planned discharge, which was based on a commercial development land treatments (90% 'D' & 10% 'B').

We have also evaluated the existing ported riser inlet capacity and determined that additional inlet(s) will be required to convey the proposed flow rate (See "Inlet Table," this sheet). Also, a swale is proposed along the north edge of the property will be sized to convey the discharge from Basin 1 (35.22 cfs).

IV. FLOODPLAIN:

In accordance with FEMA Community Map Panel #35001C0138H, the site is not within the floodplain.

IV. CONCLUSION

The 100yr-24hr peak discharge from the site will be routed through a storm drain system to the existing Vista del Norte storm drain system, ultimately outfalling to the Vista del Norte Southern detention pond. These flows were computed in accordance with section 22.2 of the COA Development Process Manual (DPM). This drainage management plan provides for an approach which will safely manage flow from a 100yr-24hr storm event and meets city requirements. With this submittal we are seeking DRB approval.

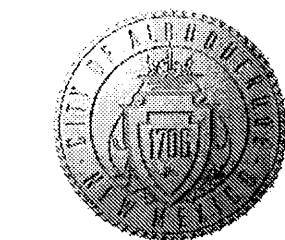
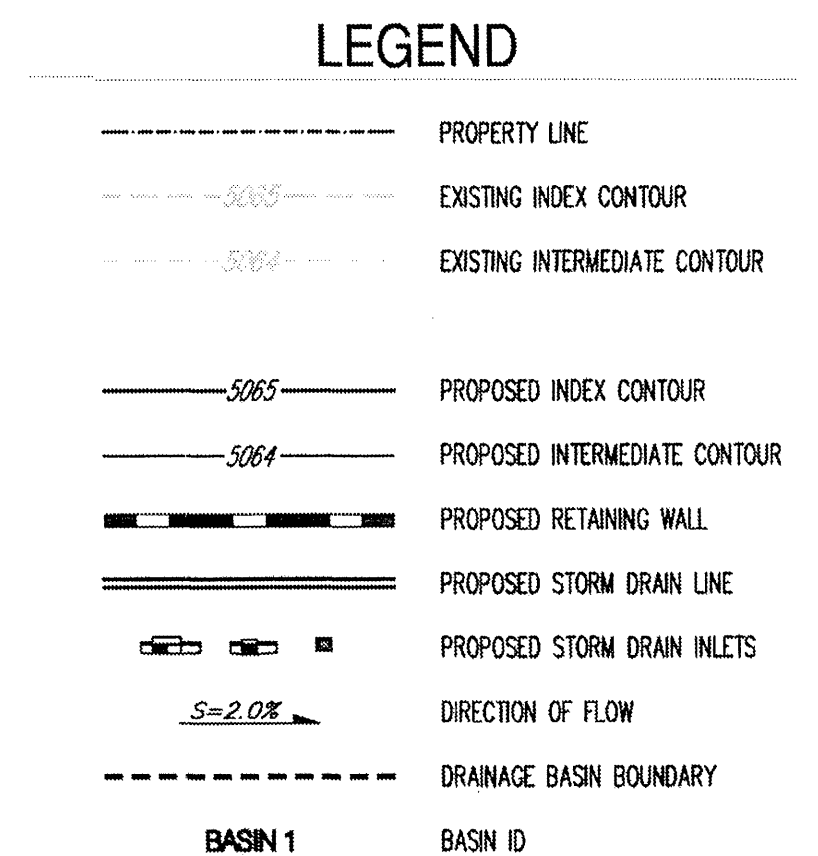
PIPE #	INLET/SD/BASIN	Size in.	Slope	Capacity* cfs	ACTUAL FLOW cfs
SD1	IN1, SD2, SD4	36	1.00%	66.70	35.63
SD2	IN3, SD3	24	1.50%	27.71	24.16
SD3	IN4	18	1.00%	10.50	8.72
SD4	IN2	24	1.25%	25.29	35.22

Capacity: Based on Manning's Eq w/ N=0.013

Inlet #	Inlet Type	Basin	Actual Flow	Avail Head ft	Capacity** CFS
IN1	EXISTING PORTED RISER INLET*	B1	11.47	1.67	12.25
IN2	1-DBL COA TYPE D	B1	35.22	0.75	23.75
IN3	1-DBL COA TYPE A, DBL WING*	B3	15.43	0.50	16.95
IN4	1-SGL COA TYPE D*	B2	8.72	0.60	10.46

* - CAPACITY BASED ON WEIR AND ORIFICE EQUATIONS
** - INLET CAPACITIES ON A STREET SLOPE BASIN ON COA DPM NOMOGRAPHS IN CHAPTER 22

Basin ID	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100yr) (cfs/ac.)	Q(100yr) (CFS)	V(100yr) (inches)	V(100yr-6hr) (CF)	V(100yr-24hr) (CF)
			A	B	C	D					
CURRENT ONSITE BASINS											
B1	609161	13.98	0.0%	85.0%	8.0%	7.0%	2.52	35.22	0.90	45778	47200
B2	150917	3.46	0.0%	85.0%	8.0%	7.0%	2.52	8.72	0.90	11341	11694
B3	162160	3.72	0.0%	10.0%	20.0%	70.0%	4.15	15.43	1.79	24162	27946
TOTAL	922238	21.17	-	-	-	-	-	59.37	-	81282	86839

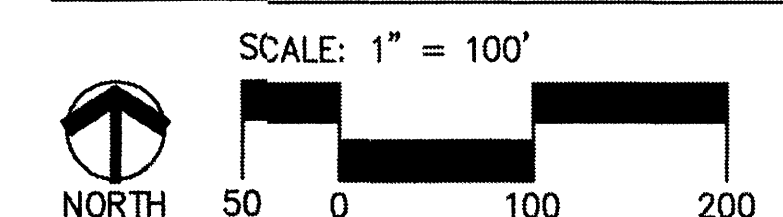


**VISTA DEL NORTE
COMMUNITY PARK**

OWNER
CITY OF ALBUQUERQUE

PROJECT TEAM
PLANNING/LANDSCAPE ARCHITECTURE
ENGINEERING
CONSENSUS PLANNING
BOHANNAN HUSTON

MASTER DEVELOPMENT PLAN / SITE PLAN FOR BUILDING PERMIT
PRELIMINARY DRAINAGE MANAGEMENT PLAN



SHEET 6 OF 6
OCTOBER 15, 2013