

KEYED NOTES

- 1 INSTALL ASPHALT PAVING PER DETAIL 2 ON SHEET C06.
- 2 CONSTRUCT CUT-OFF WALL PER DETAIL 1 ON SHEET C06.
- 3 UNDERGROUND FUEL TANK PER MECHANICAL PLANS.
- 4 INSTALL 1/2" LANDSCAPE GRAVEL.
- 5 EMERGENCY GENERATOR BUILDING EXPANSION.
- 6 INSTALL CONCRETE PARKING BUMPERS PER DETAIL 8 ON SHEET C06.
- 7 NEW STORM WATER PUMP STATION.
- 8 PAINT SYMBOLS AND 4" WIDE LINES AS INDICATED.
- 9 STORM WATER PUMP STATION CONTROLS.
- 10 HEATED PIPE ENCLOSURE.
- 11 CONSTRUCT CONCRETE PAD PER STRUCTURAL DRAWINGS. SEE MECHANICAL PLANS FOR SIZE AND LOCATION. CONSTRUCT PAD TO SHED WATER.
- 12 CONSTRUCT MECHANICAL YARD WALL AND GATE PER ARCHITECTURAL PLANS.
- 13 INSTALL SINGLE CLEANOUT ON SAS LINE.
- 14 CONSTRUCT CONCRETE TROUGH PER DETAIL 4 ON SHEET C06.
- 15 INSTALL 1' WIDE SIDEWALK CULVERT PER CITY OF ALBUQUERQUE STD DWG 2236.
- 16 INSTALL SHADED EMPLOYEE BREAK AREA. AREA TO CONTAIN TABLE W/ SHADE DEVICE AND CHAIRS. AREA TO BE APPROVED BY OWNER.
- 17 INSTALL BIKE RACK PER DETAIL 3 ON SHEET C06.
- 18 INSTALL VAN HANDICAPPED SIGN PER DETAIL 5 ON SHEET C06.
- 19 2" FLOOR DRAIN.
- 20 STORM DRAIN MANHOLE.
- 21 COVERED CONCRETE UTILITY TRENCH BUILT INTO EQUIPMENT PAD. SEE STRUCTURAL DETAIL 10 ON SHEET S05.
- 22 250 S.F. COVERED OUTSIDE BREAK AREA.

GENERAL NOTES

1 DIMENSIONS ON EXISTING FEATURES ARE APPROXIMATE AND ARE FOR CITY APPROVAL ONLY.

PROJ 100115

PROJECT # 100115  
 EPC 01128-0000-00913  
 DRB 01450-0000-00952

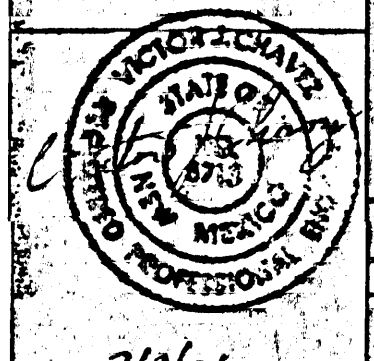
CITY OF ALBUQUERQUE

REVIEWED BY	SIGNATURE	DATE
SOLID WASTE MANAGEMENT	<i>[Signature]</i>	4/2/01
PARKS & RECREATION	<i>[Signature]</i>	7/1/01
UTILITIES DIVISION	<i>[Signature]</i>	7/1/01
HYDROLOGY DIVISION	<i>[Signature]</i>	7/1/01
TRAFFIC DIVISION	<i>[Signature]</i>	7/1/01
PLANNING DIVISION	<i>[Signature]</i>	8/10/01

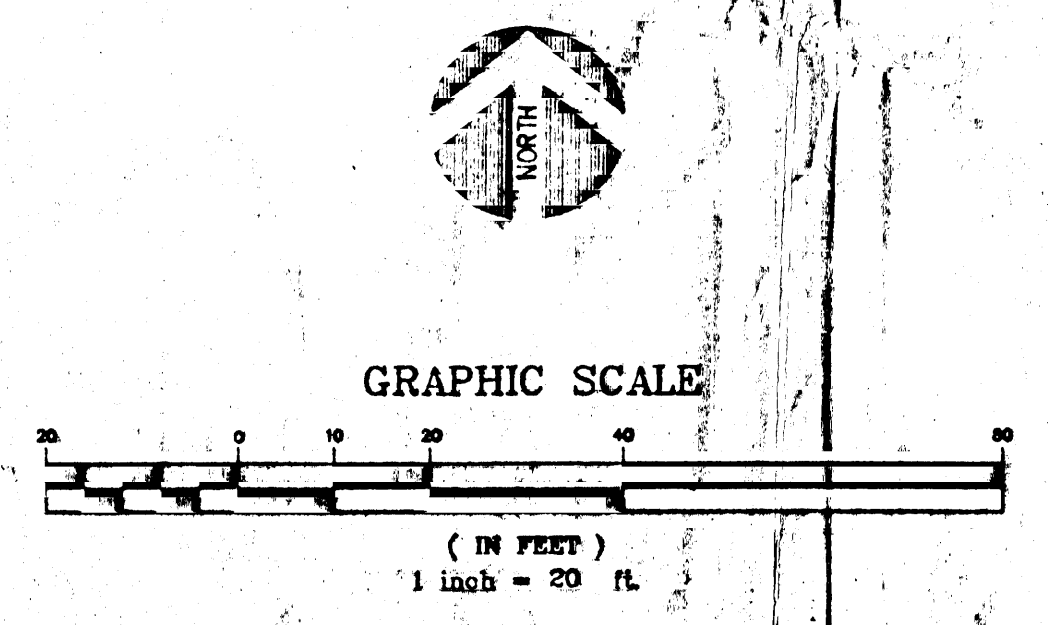


DESIGNED BY	TS	BPLW Architects & Engineers, Inc.	JOB NO.	21003.02	No. of Sheets	6
CHECKED BY	BP	6200 UPTOWN BOULEVARD NE - SUITE 400				
DATE	05/10/01	ALBUQUERQUE, NEW MEXICO 87110 (505) 981-2755				

ALBUQUERQUE, NM  
 ACADEMY  
 BUILDING ADDITION  
 SITE PLAN



Manager - Real Estate Engineering  
 GUEST COMMUNICATIONS  
 BUSINESS SERVICES - Real Estate  
 ADVISORS, New Mexico  
 5A202-AC-SK003



P01161C501.DWG  
 DATE: 05/10/01  
 FILE: B01161C501.DWG  
 ENG/TECH: K7/S  
 NEW: 05/17/01 AK

CONSTRUCTION NOTES

GENERAL

CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS PRIOR TO START OF CONSTRUCTION. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.

THE CONTRACTOR SHALL NOT INSTALL ITEMS AS SHOWN ON THE PLANS WHEN IT IS OBVIOUS THAT FIELD CONDITIONS ARE DIFFERENT THAN SHOWN IN THE DESIGN. SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER. IN THE EVENT THE CONTRACTOR DOES NOT NOTIFY THE ENGINEER, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY AND EXPENSE FOR ANY REVISIONS NECESSARY.

EXISTING SITE IMPROVEMENTS WHICH ARE DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE. REPAIRS SHALL BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION OF THE REPAIRS. REPAIRS SHALL BE ACCEPTED BY THE OWNER PRIOR TO FINAL PAYMENT.

EXISTING FENCING THAT IS NOT DESIGNATED FOR REMOVAL SHALL NOT BE DISTURBED. ANY FENCING THAT IS DISTURBED OR ALTERED BY THE CONTRACTOR SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IF THE CONTRACTOR WOULD LIKE TO REMOVE FENCING TO FACILITATE CONSTRUCTION OPERATIONS, THIS MAY BE DONE WITH THE OWNER'S PERMISSION, AND THE CONTRACTOR SHALL RESTORE THE FENCE TO ITS ORIGINAL CONDITION PRIOR TO THE CLOSE OF THE PROJECT. CONTRACTOR IS RESPONSIBLE FOR SECURITY OF THE SITE UNTIL THE FENCE IS REPLACED.

ALL PAVEMENTS, STRUCTURES, UTILITIES, VEGETATION AND DELETERIOUS MATERIAL SCHEDULED FOR REMOVAL SHALL BE DISPOSED OF OFF-SITE BY, AND AT THE CONTRACTOR'S OWN EXPENSE IN ACCORDANCE WITH ALL GOVERNING AGENCIES.

THE CONTRACTOR MAY SELECT A STAGING AREA ONSITE FOR STORAGE OF EQUIPMENT AND MATERIAL. NO MATERIAL OR EQUIPMENT MAY BE STORED OR LEFT ONSITE AT ANY OTHER LOCATION. THE OWNER ASSUMES NO LIABILITY FOR CONTRACTOR'S EQUIPMENT OR MATERIAL IN THE STAGING AREA. SECURITY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. AN OFF-SITE STAGING AREA MAY BE USED AT THE CONTRACTOR'S OPTION.

ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.

SURVEY MONUMENTATION

THE CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND SHALL NOTIFY THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY SURVEY MONUMENT THAT IS DISTURBED. REPLACEMENT SHALL BE DONE ONLY BY A REGISTERED SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATION OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, OBTAIN THE SERVICES OF A REGISTERED SURVEYOR TO ADJUST THE MONUMENT AS REQUIRED AND PROPERLY REPORT THE NEW DATA TO THE CONTROLLING AUTHORITIES.

TRAFFIC CONTROL

THE CONTRACTOR SHALL PROVIDE ALL REQUIRED TRAFFIC CONTROL PLANS. ALL SIGNS, BARRICADES, CHANNELIZATION DEVICES, SIGN FRAMES AND ERECTION OF SUCH DEVICES SHALL CONFORM TO THE REQUIREMENTS OF "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" LATEST EDITION. PRIOR TO CONSTRUCTION TRAFFIC CONTROL PLANS SHALL BE APPROVED BY THE GOVERNING AUTHORITY.

DIMENSIONS

ALL DIMENSIONS IN PARKING AREAS AND DRIVES ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

ALL STATIONING IS TO CENTERLINE OF RIGHT-OF-WAY UNLESS OTHERWISE NOTED.

ALL SLOPES AND GRADES ARE IN FEET/FOOT UNLESS OTHERWISE NOTED.

ELEVATIONS SHOWN FOR CURB AND GUTTER ARE FLOWLINE ELEVATIONS UNLESS OTHERWISE NOTED. SEE DETAIL SHEET FOR CURB HEIGHT ABOVE FLOWLINE.

SOILS

UNLESS OTHERWISE SPECIFIED SUBGRADE SOILS AND STRUCTURAL FILL MATERIALS SHALL BE COMPACTED TO THE FOLLOWING PERCENTAGES OF THE ASTM D-1557 MAXIMUM DENSITY.

MATERIAL	PERCENT COMPACTION
STRUCTURAL FILL IN THE BUILDING AREA	95
SUBBASE FOR SLAB SUPPORT	95
MISCELLANEOUS BACKFILL BELOW STRUCTURAL FILL OR ROAD PAVEMENT	95
MISCELLANEOUS BACKFILL BELOW UNPAVED, NON-BUILDING AREAS	90
ROAD PAVEMENT SUBGRADE	95
SIDEWALK SUBGRADE	95
CURB AND GUTTER SUBGRADE	95

PAVING

WHEN ABUTTING NEW PAVEMENT TO EXISTING, CUT BACK EXISTING PAVEMENT TO A NEAT, STRAIGHT LINE AS REQUIRED TO REMOVE ANY BROKEN OR CRACKED PAVEMENT AND MATCH NEW PAVING TO EXISTING.

ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED AND APPROVED PRIOR TO PAVING.

ALL WATER VALVE BOXES AND ELECTRICAL, TELEPHONE, TV & SEWER MANHOLES IN THE CONSTRUCTION AREA SHALL BE ADJUSTED TO FINISHED GRADE.

UTILITIES

IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED TO THE ENGINEER BY OTHERS, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS NOT UNDERTAKEN ANY FIELD VERIFICATION OF THE EXISTENCE, LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE, IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF, AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY HIS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES, AND SHALL BEAR ALL COSTS TO REPAIR DAMAGES CAUSED BY HIMSELF. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS (IF ANY) PERTAINING TO THE LOCATION OF EXISTING LINES AND FACILITIES.

THE EXISTING UTILITIES DEPICTED ON THESE PLANS WERE DERIVED FROM INFORMATION PROVIDED TO THE ENGINEER BY OTHERS. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR IS TO EXERCISE DUE CARE TO AVOID DISTURBING ANY EXISTING UNDERGROUND UTILITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE ANY POTENTIAL DISRUPTIONS IN UTILITY SERVICE WITH THE UTILITY COMPANIES AFFECTED AT LEAST 24 HOURS PRIOR TO THE DISRUPTION.

CONTRACTOR SHALL EXPOSE AND VERIFY INVERT ELEVATIONS OF RELEVANT SANITARY SEWER LINES BEFORE SETTING ANY NEW INVERTS. SHOULD INVERTS DIFFER MORE THAN 0.20' FROM THOSE SHOWN ON THE PLANS, THE ENGINEER SHALL BE NOTIFIED TO DETERMINE ANY RESULTING CHANGES IN DESIGN.

CONTRACTOR SHALL COORDINATE WITH UTILITY OWNERS, IN ADVANCE OF ANY WORK THAT MAY AFFECT EXISTING PUBLIC WATER OR SEWER UTILITIES.

CONTRACTOR SHALL BE RESPONSIBLE FOR CONDUCTING FILL EXCAVATIONS IN A SAFE MANNER, AND IN ACCORDANCE WITH APPLICABLE REGULATIONS. TRENCH SECTIONS AND SHORING SHALL BE PERFORMED BY THE CONTRACTOR IN A SAFE MANNER. JOB SITE SAFETY SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

EROSION CONTROL PLAN

THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL PREPARE AND OBTAIN ANY NECESSARY DUST OR EROSION CONTROL PERMITS FROM REGULATORY AGENCIES.

THE CONTRACTOR SHALL PROMPTLY REMOVE ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY TO KEEP IT FROM WASHING OFF THE PROJECT SITE.

THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO OTHER PROPERTY BY CONSTRUCTING TEMPORARY EROSION CONTROL BERMS AT THE PROPERTY LINES AND WETTING THE SOIL TO KEEP IT FROM BLOWING.

WATERING, AS REQUIRED FOR CONSTRUCTION AND DUST CONTROL, SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO MEASUREMENT OR PAYMENT SHALL BE MADE THEREFOR. CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS REQUIRED.

THE CONTRACTOR SHALL PROPERLY HANDLE AND DISPOSE OF ALL ASPHALT REMOVED ON THE PROJECT BY HAULING TO AN APPROVED LANDFILL IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW MEXICO SOLID WASTE ACT.

ANY AREAS DISTURBED BY CONSTRUCTION AND NOT COVERED BY LANDSCAPING OR AN IMPERVIOUS SURFACE SHALL BE REVEGETATED WITH RECLAMATION SEEDING.

ALL WASTE PRODUCTS FROM THE CONSTRUCTION SITE, INCLUDING ITEMS DESIGNED FOR REMOVAL, CONSTRUCTION WASTE, CONSTRUCTION EQUIPMENT WASTE PRODUCTS (OIL, GAS, TIRES, ETC.), BARRICADE GRUBBING, EXCESS CUT MATERIAL, VEGETATIVE DEBRIS, ETC. SHALL BE APPROPRIATELY DISPOSED OF OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY PERMITS REQUIRED FOR HAUL OR DISPOSAL OF WASTE PRODUCTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE WASTE DISPOSAL SITE COMPLIES WITH GOVERNMENT REGULATIONS REGARDING THE ENVIRONMENT, ENDANGERED SPECIES, AND ARCHAEOLOGICAL RESOURCES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEAN-UP AND REPORTING OF SPILLS OF HAZARDOUS MATERIALS ASSOCIATED WITH THE CONSTRUCTION SITE. HAZARDOUS MATERIALS INCLUDE GASOLINE, DIESEL FUEL, MOTOR OIL, SOLVENTS, CHEMICALS, PAINT, ETC., WHICH MAY BE A THREAT TO THE ENVIRONMENT. THE CONTRACTOR SHALL REPORT THE DISCOVERY OF PAST OR PRESENT SPILLS TO THE NEW MEXICO ENVIRONMENT DEPARTMENT EMERGENCY RESPONSE AT 1-505-882-1558 OR 1-800-219-6157.

ACCESSIBLE FACILITIES

ALL SURFACES ALONG ACCESSIBLE ROUTES AND FOR HANDICAP RAMPS SHALL BE STABLE, FIRM, SLIDE-RESISTANT, AND SHALL COMPLY WITH UNIFORM FEDERAL ACCESSIBILITY STANDARDS, PARAGRAPH 4.5.

LONGITUDINAL SLOPES ALONG ACCESSIBLE ROUTE SIDEWALKS, EXCEPT AT HANDICAP RAMPS, SHALL NOT BE STEEPER THAN 1:20. CROSS SLOPES ALONG ACCESSIBLE ROUTE SIDEWALKS EXCEPT AT HANDICAP RAMPS, SHALL NOT BE STEEPER THAN 1:48. SLOPES IN ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND PASSENGER LOADING ZONES SHALL NOT BE STEEPER THAN 1:48 IN ALL DIRECTIONS.

THE SITE SHALL COMPLY WITH ANSI A117.1-1992, "ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES".

NOTICE TO CONTRACTOR (FOR WORK WITHIN CITY RIGHT-OF-WAY)

AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.

ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.

TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.

PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.

BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.

MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

ABBREVIATIONS

AIP = ABANDONED IN PLACE	MH = MANHOLE
BLDG = BUILDING	NG = NATURAL GRADE
BM = BENCHMARK	PB = PULL BOX
BW = BASE OF WALL	PL = PROPERTY LINE
CHP = CORRUGATED METAL PIPE	RD = ROOF DRAIN
CONC = CONCRETE	ROW = RIGHT OF WAY
CL = CENTERLINE	RT = RIGHT
DIA = DIAMETER	S = SLOPE
E = ELECTRIC	SAS = SANITARY SEWER LINE
ELEV = ELEVATION	SD = STORM DRAIN
EXIST = EXISTING	STA = STATION
EB = ELECTRIC BOX	STD = STANDARD
FD = FLOOR DRAIN	SW = SIDEWALK
FF = FINISHED FLOOR ELEVATION	T = TELEPHONE LINE
FG = FINISHED GRADE	TA = TOP OF ASPHALT
FH = FIRE HYDRANT	TOC = TOP OF CONCRETE
FL = FLOW LINE	TC = TOP OF CONCRETE CURB
FM = FORCE MAIN	TD = TOP OF DOCK
FP = FIRE PROTECTION	TG = TOP OF GRATE
G = GAS	TS = TOP OF SIDEWALK
GM = GAS METER	TW = TOP OF WALL
GV = GATE VALVE	TYP = TYPICAL SIGN
HC = HANDICAP	UNK = UNKNOWN
HI PT = HIGH POINT	VP = VENT PIPE
INV = INVERT ELEVATION	W = WATER
LEN. = LENGTH	WM = WATER METER
LF = LINEAR FEET	WV = WATER VALVE
LT = LEFT	

LEGEND

DESCRIPTION	EXISTING	NEW
CONCRETE AREA		
VAULT	⊕	
POWER POLE W/ FEED	⊕	
TRANSFORMER	⊗	
TELEPHONE PEDESTAL	⊕	
LIGHT POLE	⊕	
GROUND LIGHT	⊗	
CHAIN LINK FENCE	x x x x	
ABOVE GROUND EQUIPMENT	EQUIP	
BOLLARD	○	
BLOCK WALL	— — — —	
TELEPHONE MANHOLE	⊕	
STANDARD CURB & GUTTER	— — — —	
TREE	🌳	
WATER METER	⊕	
HEADER CURB	— — — —	
ROOF DRAIN	⊕	
PULL BOX	⊕	
SANITARY SEWER MANHOLE	⊕	
STORM DRAIN MANHOLE	⊕	⊕
CONTOUR	---5100---	---5110---
SANITARY SEWER LINE	---SAS---	---SAS---
STORM DRAIN LINE	---SD---	---SD---
UNDERGROUND ELECTRIC LINE	---USE---	
OVERHEAD UTILITIES	---OHE---	
UNDERGROUND TELEPHONE LINE	---UTEL---	
UNDERGROUND GAS LINE	---GAS---	
WATER LINE	---WL---	
FIRE HYDRANT	⊕	
WATER VALVE	⊕	
PROPERTY LINE	---	---
BUILDING	▨	▨
DEMOLITION AREA	▨	▨
SWALE	← — — — ←	
PARKING BUMPER	—	
SPOT ELEVATIONS	TC51.00	TC51.50

**CHAVEZ • GRIEVES**  
CONSULTING ENGINEERS, INC.  
5819 JEFFERSON STREET N.E. • ALBUQUERQUE, NEW MEXICO 87110  
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CIVIL 6

ALBUQUERQUE, NM  
ACADEMY  
BUILDING ADDITION  
CIVIL CONSTRUCTION NOTES  
LEGEND AND ABBREVIATIONS

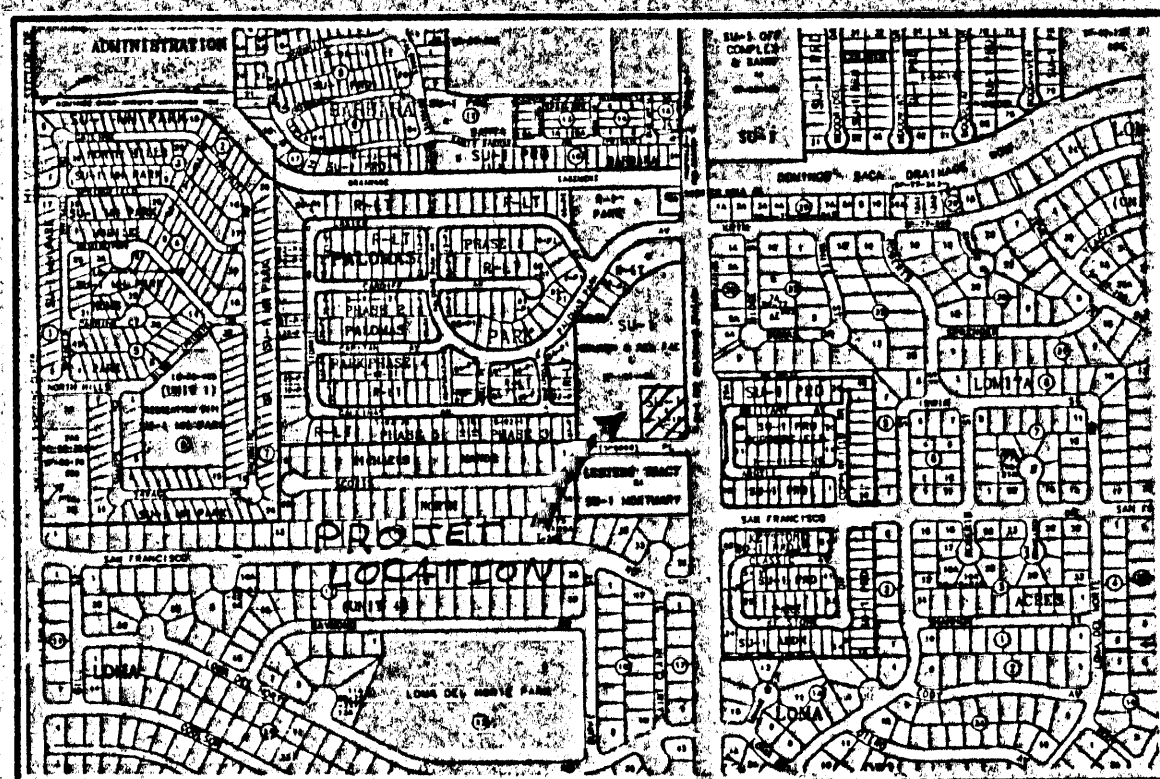
THOMAS & PONDER  
REGISTERED PROFESSIONAL ENGINEERS  
NEW MEXICO  
1931

Div: 2  
Manager - Real Estate Engineering  
Business Resources - Real Estate  
Albuquerque, New Mexico

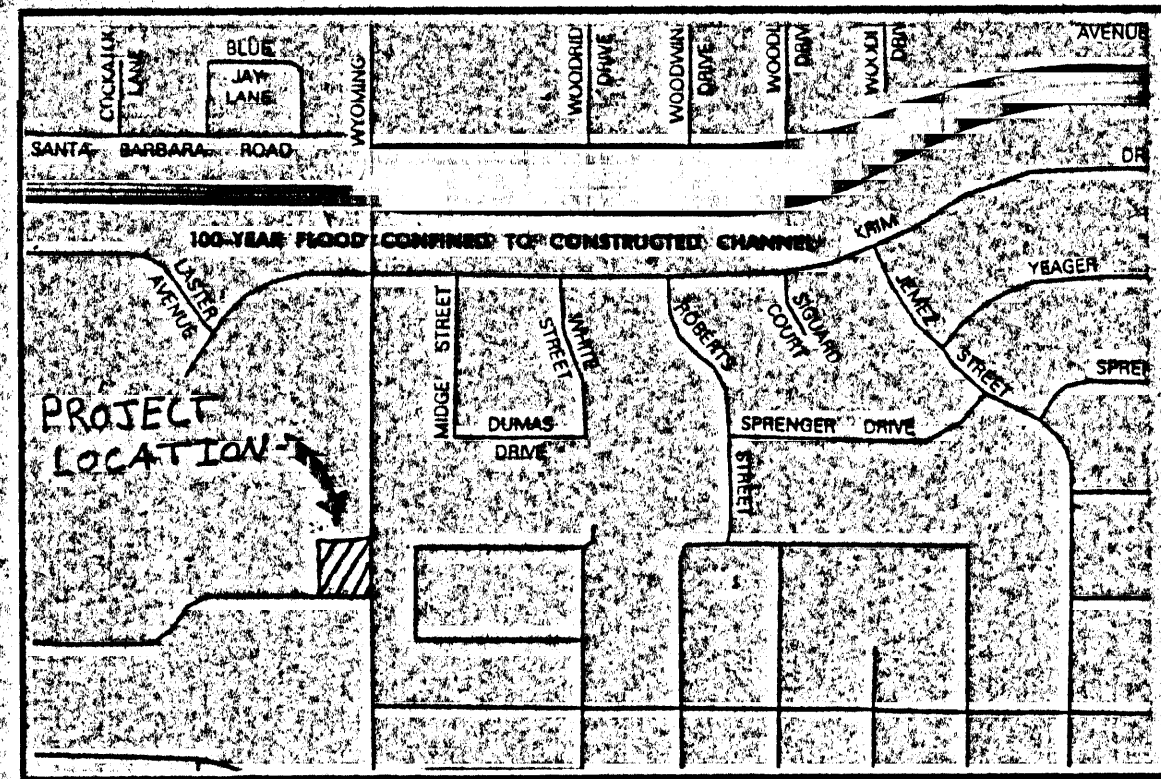
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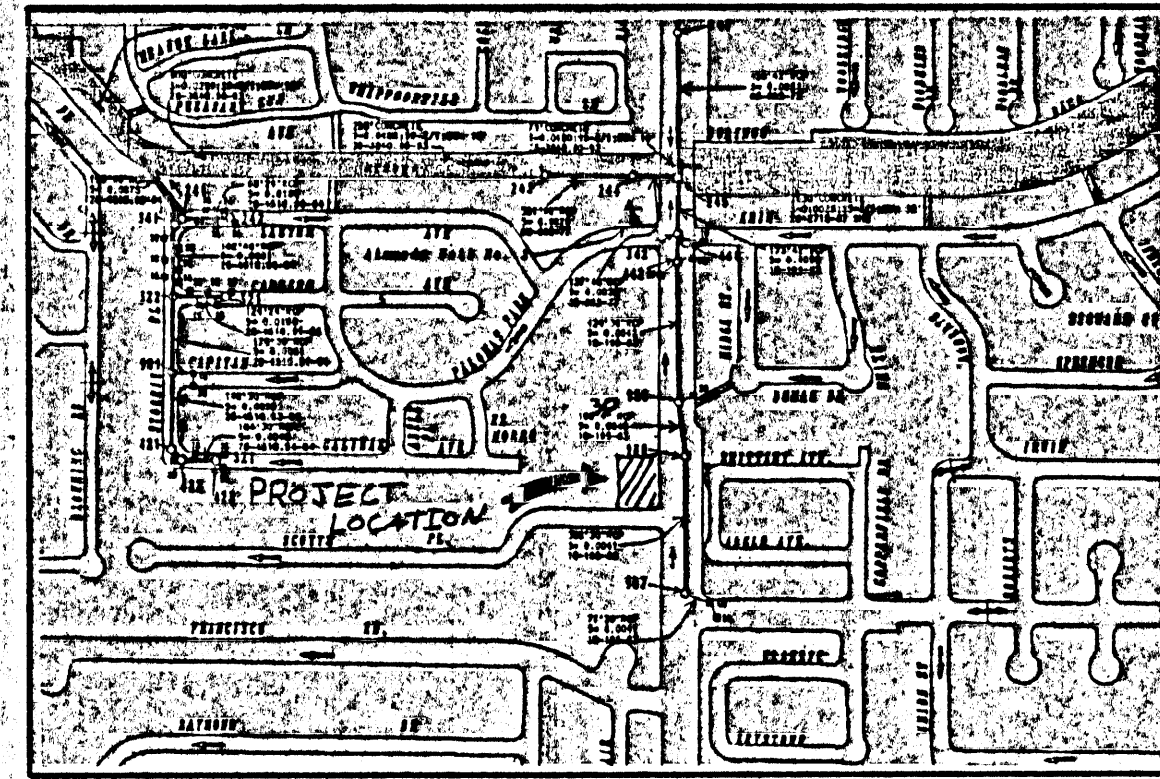




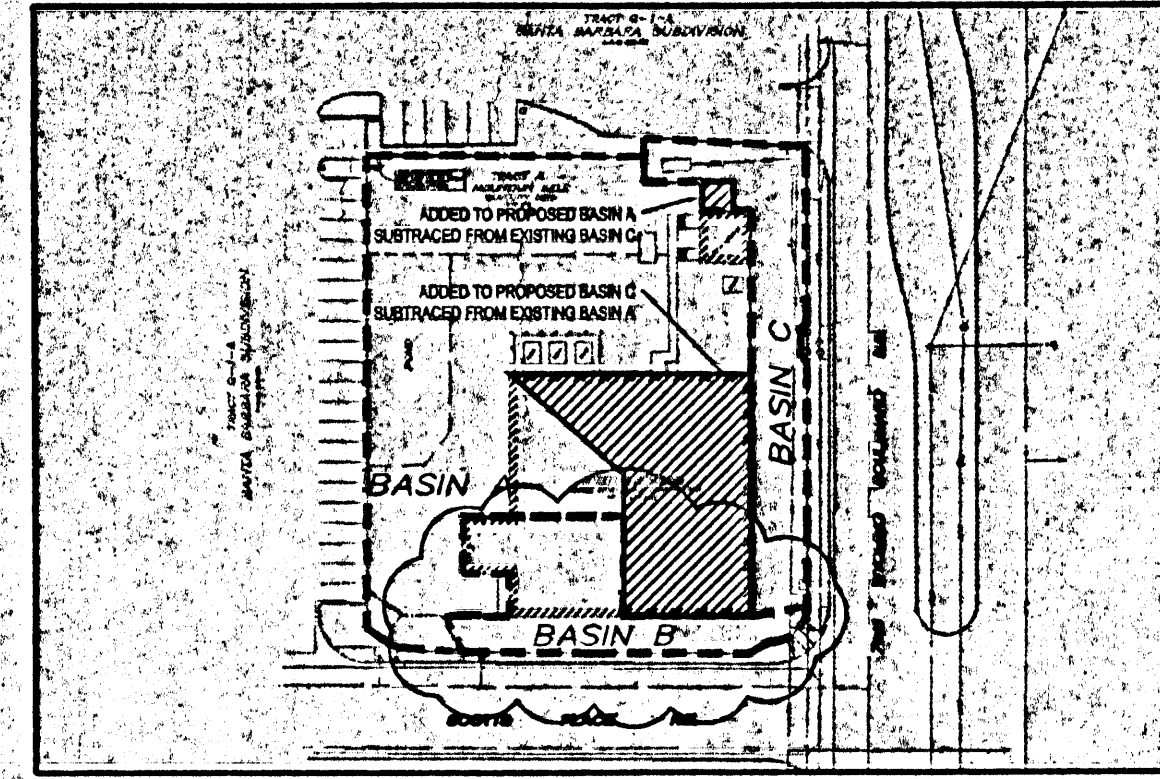
VICINITY MAP



FEMA MAP PANEL



DRAINAGE FACILITIES MAP



DRAINAGE BASINS

- ### SURVEY INFORMATION
1. SURVEY WAS PERFORMED BY SURV-TEK, INC., ALBUQUERQUE, NEW MEXICO.
  2. VERTICAL DATUM IS BASED UPON THE NATIONAL GEODETIC SURVEY MONUMENT "HEAVEN", ELEVATION = 5375.62 (NAVD 1929).
  3. CONTOUR INTERVAL IS ONE FOOT.
  4. FIELD SURVEYS WERE PERFORMED DURING THE MONTHS OF MARCH 2001.
  5. NO TITLE REPORT WAS PROVIDED FOR THIS PROPERTY. ANY POSSIBLE EASEMENTS, CONDITIONS OR RESTRICTIONS THAT MAY BE DISCLOSED BY SUCH A REPORT ARE NOT SHOWN ON THIS SURVEY.

### CONSTRUCTION NOTES

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN HEREON ARE APPROXIMATE AND WERE DERIVED FROM AS-BUILT DRAWINGS, GAS COMPANY OF NEW MEXICO LINE LOCATION MAPS, PUBLIC SERVICE COMPANY OF NEW MEXICO LINE LOCATION MAPS AND SURFACE INDICATIONS EITHER SPOTTED BY THE RESPECTIVE UTILITY COMPANIES OR APPARENT BY VISUAL OBSERVATION. ALL UTILITIES SHOULD BE FIELD VERIFIED AND SPOTTED BY THE CONTRACTOR(S) PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.

### PROJECT BENCHMARK

NATIONAL GEODETIC SURVEY MONUMENT "HEAVEN" LOCATED 800 FEET WEST OF WYOMING BOULEVARD N.E. ALONG THE SOUTH RIGHT OF WAY LINE OF PASEO DEL NORTE N.E. EL = 5375.62 (NAVD29).

### TEMPORARY BENCHMARK (TBM)

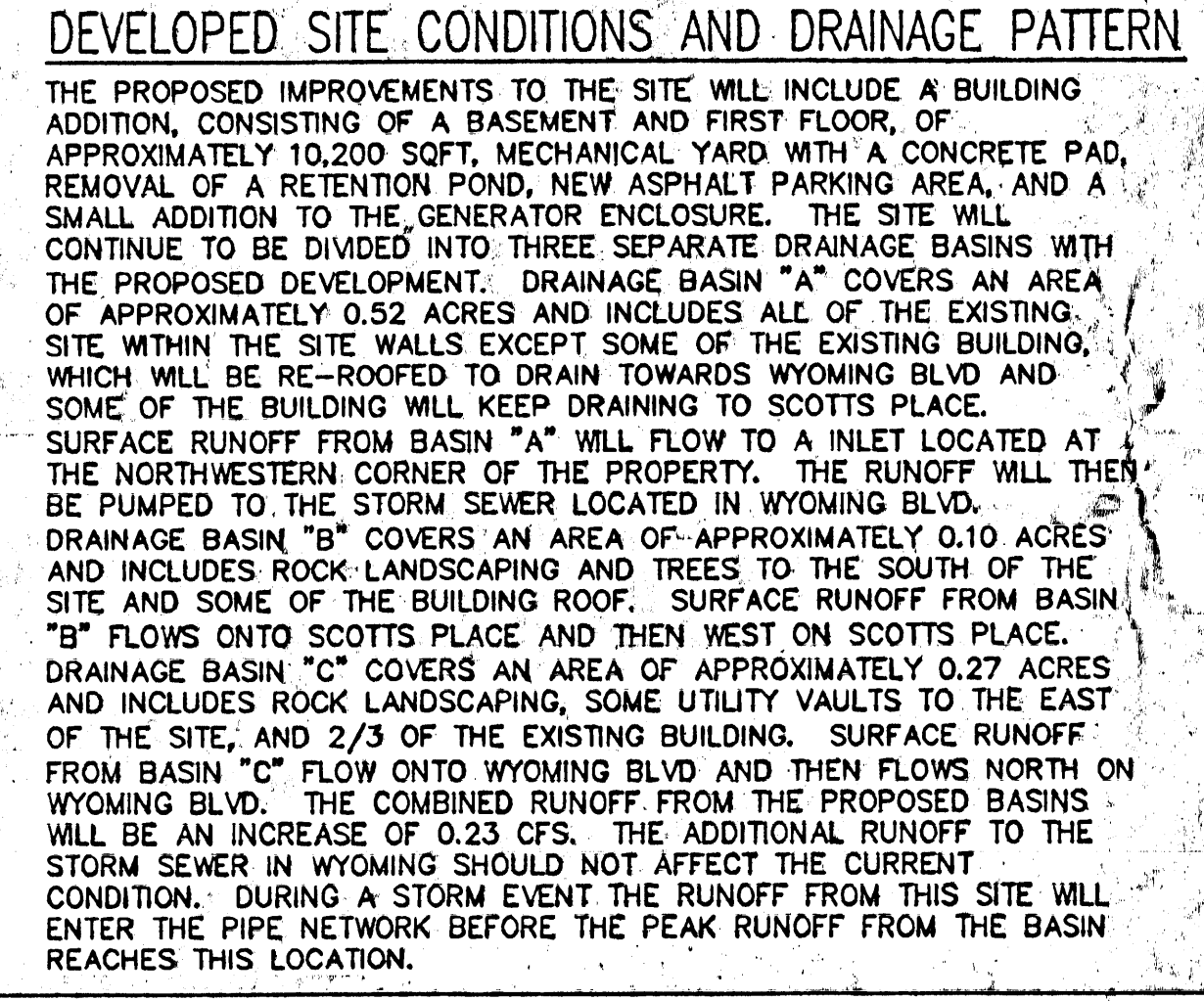
5/8" REBAR WITH CAP MARKED "SURV-TEK CONTROL" EL = 5380.85 (NAVD29)

### EXISTING SITE CONDITIONS AND DRAINAGE PATTERN

THE EXISTING SITE COMPRISES A TOTAL AREA OF APPROXIMATELY 0.89 ACRES, WHICH IS DIVIDED INTO THREE SEPARATE DRAINAGE BASINS. BASIN "A" THE LARGEST OF THE BASINS, COVERS AN AREA OF APPROXIMATELY 0.65 ACRES AND INCLUDES MOST OF THE EXISTING BUILDING AND ALL OF THE SITE INSIDE THE SITE WALLS. THE SURFACE RUNOFF FROM BASIN "A" FLOWS TO A GRAVEL FILLED RETENTION POND AT THE WEST SIDE OF THE SITE. BASIN "B" COVERS AN AREA OF APPROXIMATELY 0.11 ACRES AND INCLUDES ROCK LANDSCAPING AND TREES TO THE SOUTH OF THE SITE AND SOME OF THE EXISTING BUILDING. SURFACE RUNOFF FROM BASIN "B" FLOWS ONTO SCOTT'S PLACE AND THEN WEST ON SCOTT'S PLACE. DRAINAGE BASIN "C" COVERS AN AREA OF APPROXIMATELY 0.13 ACRES AND INCLUDES ROCK LANDSCAPING AND SOME UTILITY VAULTS TO THE EAST OF THE SITE. SURFACE RUNOFF FROM BASIN "C" FLOWS ONTO WYOMING BLVD AND THEN FLOWS NORTH ON WYOMING BLVD.

### DEVELOPED SITE CONDITIONS AND DRAINAGE PATTERN

THE PROPOSED IMPROVEMENTS TO THE SITE WILL INCLUDE A BUILDING ADDITION, CONSISTING OF A BASEMENT AND FIRST FLOOR, OF APPROXIMATELY 10,200 SQFT, MECHANICAL YARD WITH A CONCRETE PAD, REMOVAL OF A RETENTION POND, NEW ASPHALT PARKING AREA, AND A SMALL ADDITION TO THE GENERATOR ENCLOSURE. THE SITE WILL CONTINUE TO BE DIVIDED INTO THREE SEPARATE DRAINAGE BASINS WITH THE PROPOSED DEVELOPMENT. DRAINAGE BASIN "A" COVERS AN AREA OF APPROXIMATELY 0.52 ACRES AND INCLUDES ALL OF THE EXISTING SITE WITHIN THE SITE WALLS EXCEPT SOME OF THE EXISTING BUILDING, WHICH WILL BE RE-ROOFED TO DRAIN TOWARDS WYOMING BLVD AND SOME OF THE BUILDING WILL KEEP DRAINING TO SCOTT'S PLACE. SURFACE RUNOFF FROM BASIN "A" WILL FLOW TO AN INLET LOCATED AT THE NORTHWESTERN CORNER OF THE PROPERTY. THE RUNOFF WILL THEN BE PUMPED TO THE STORM SEWER LOCATED IN WYOMING BLVD. DRAINAGE BASIN "B" COVERS AN AREA OF APPROXIMATELY 0.10 ACRES AND INCLUDES ROCK LANDSCAPING AND TREES TO THE SOUTH OF THE SITE AND SOME OF THE BUILDING ROOF. SURFACE RUNOFF FROM BASIN "B" FLOWS ONTO SCOTT'S PLACE AND THEN WEST ON SCOTT'S PLACE. DRAINAGE BASIN "C" COVERS AN AREA OF APPROXIMATELY 0.27 ACRES AND INCLUDES ROCK LANDSCAPING, SOME UTILITY VAULTS TO THE EAST OF THE SITE, AND 2/3 OF THE EXISTING BUILDING. SURFACE RUNOFF FROM BASIN "C" FLOW ONTO WYOMING BLVD AND THEN FLOWS NORTH ON WYOMING BLVD. THE COMBINED RUNOFF FROM THE PROPOSED BASINS WILL BE AN INCREASE OF 0.23 CFS. THE ADDITIONAL RUNOFF TO THE STORM SEWER IN WYOMING SHOULD NOT AFFECT THE CURRENT CONDITION. DURING A STORM EVENT THE RUNOFF FROM THIS SITE WILL ENTER THE PIPE NETWORK BEFORE THE PEAK RUNOFF FROM THE BASIN REACHES THIS LOCATION.



### HYDROLOGY CALCULATIONS

BASIN #	AREA (acre)	LAND TREATMENT				WEIGHTED E (in)	V (6-hr) (acre-ft)	V (6-hr) V (10-day) (acre-ft)	Q (cfs)		
		A (%)	B (%)	C (%)	D (%)						
EXISTING CONDITIONS											
A	0.65	0.00	0.00	26.97	73.03	2.07	0.11	4,910	0.20	8,892	3.00
B	0.11	0.00	0.00	44.75	55.25	1.88	0.02	751	0.03	1,259	0.47
C	0.13	0.00	0.00	97.80	2.20	1.31	0.01	608	0.01	629	0.44
TOTAL	0.89						0.14	6,267	0.25	10,779	3.92
PROPOSED CONDITIONS											
A	0.52	0.00	0.00	8.10	33.90	2.23	0.10	4,315	0.19	8,378	2.55
B	0.10	0.00	0.00	48.90	51.10	1.84	0.02	673	0.03	1,104	0.43
C	0.27	0.00	0.00	43.70	56.30	1.89	0.04	1,855	0.07	3,124	1.17
TOTAL	0.89						0.16	6,843	0.29	12,604	4.15

EXCESS PRECIP. 0.65 0.92 1.23 2.36 EI (in)  
 PEAK DISCHARGE 1.87 2.60 3.45 5.02 Qpi (cfs)

WEIGHTED E (in) = (EA)(A%) + (EB)(B%) + (EC)(C%) + (ED)(D%)  
 V6-hr (acre-ft) = (WEIGHTED E)(AREA)/12  
 V10-day (acre-ft) = V6-hr + (AD)(P10-day - P6-hr)/12  
 Q (cfs) = (QPA)(A) + (QPB)(B) + (QPC)(C) + (QPD)(D)

ZONE = 3  
 P6-hr (in) = 2.50  
 P24-hr (in) = 3.10  
 P10-day (in) = 4.90

DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY

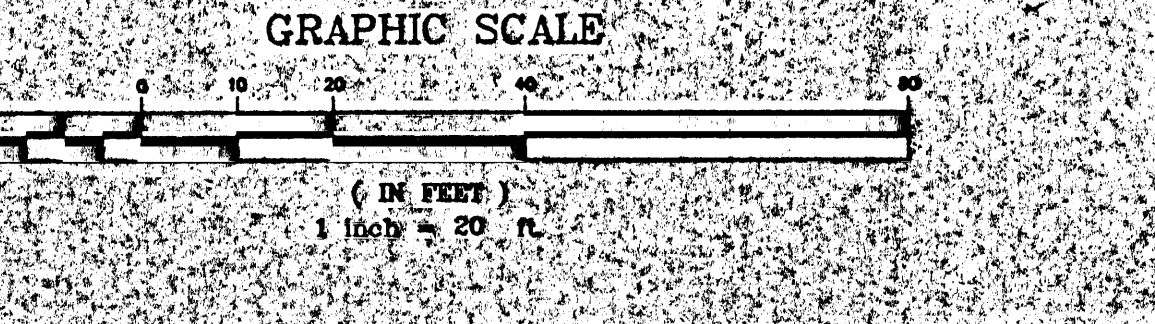
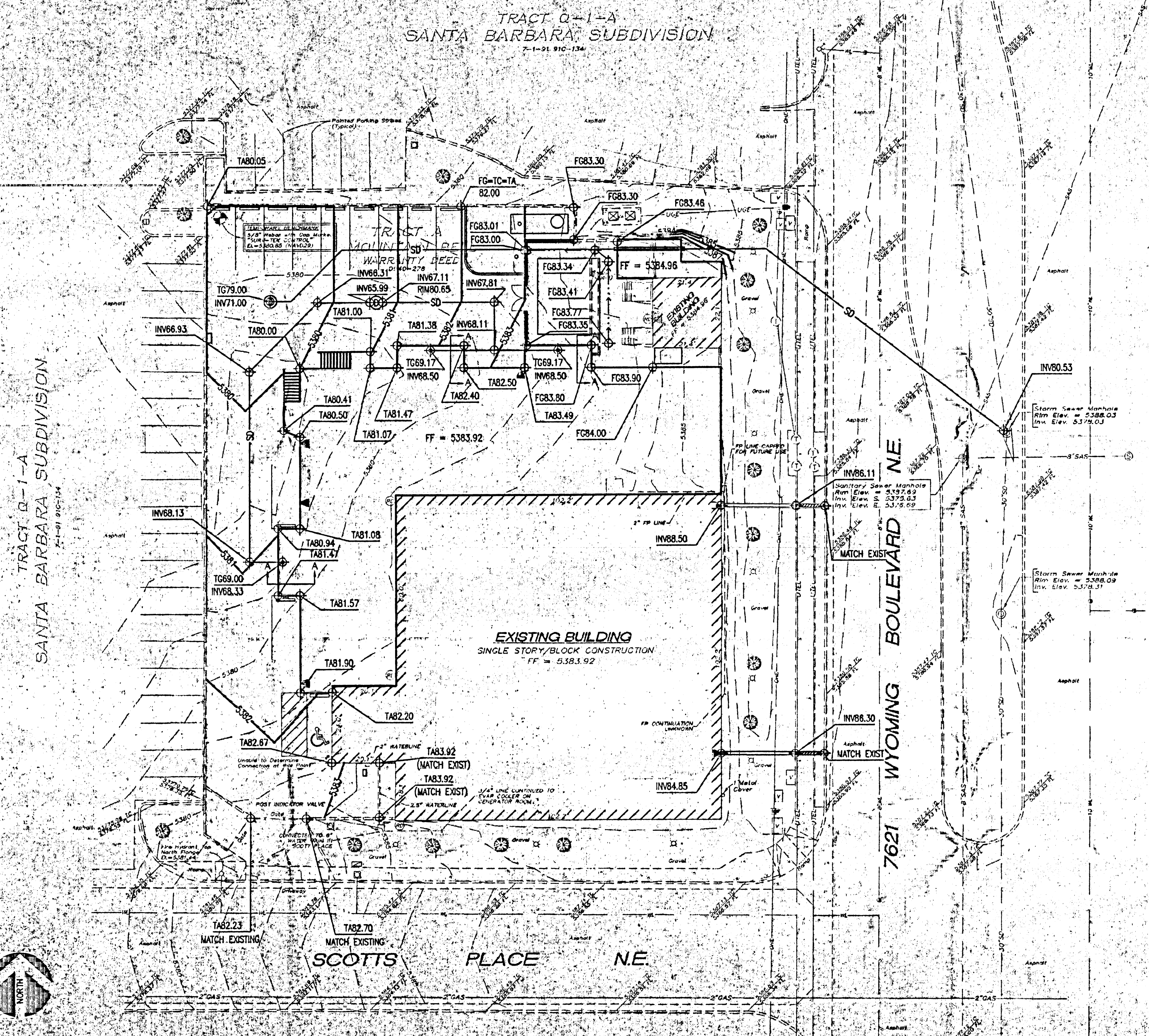
TITLE

PERMIT NO. MAP NO.

DESIGN APPROVAL: Hydrology Section Date

INSPECTION APPROVAL: Construction Section Date

ACCEPTANCE: Construction Section/Permits Date



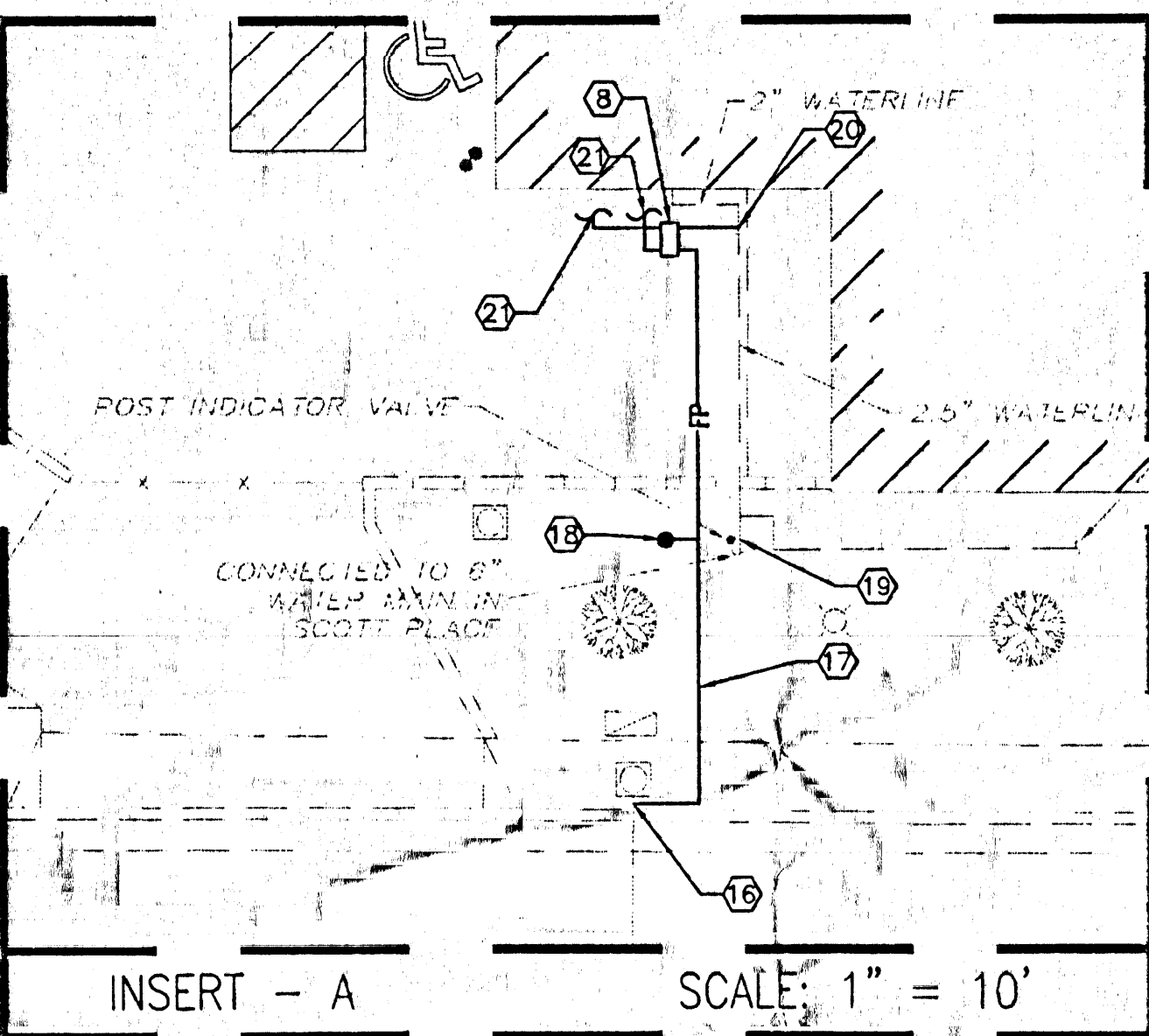
**CHAVEZ • GRIEVES CONSULTING ENGINEERS, INC.**  
 5830 JEFFERSON STREET N.E., ALBUQUERQUE, NEW MEXICO 87109  
 PHONE (505) 344-6800 FAX (505) 344-0708

**BPLW Architects & Engineers, Inc.** JOB NO. 21003.02  
 6200 UPTOWN BOULEVARD NE SUITE 400 ALBUQUERQUE, NEW MEXICO 87110 (505) 891-2759 CIVIL

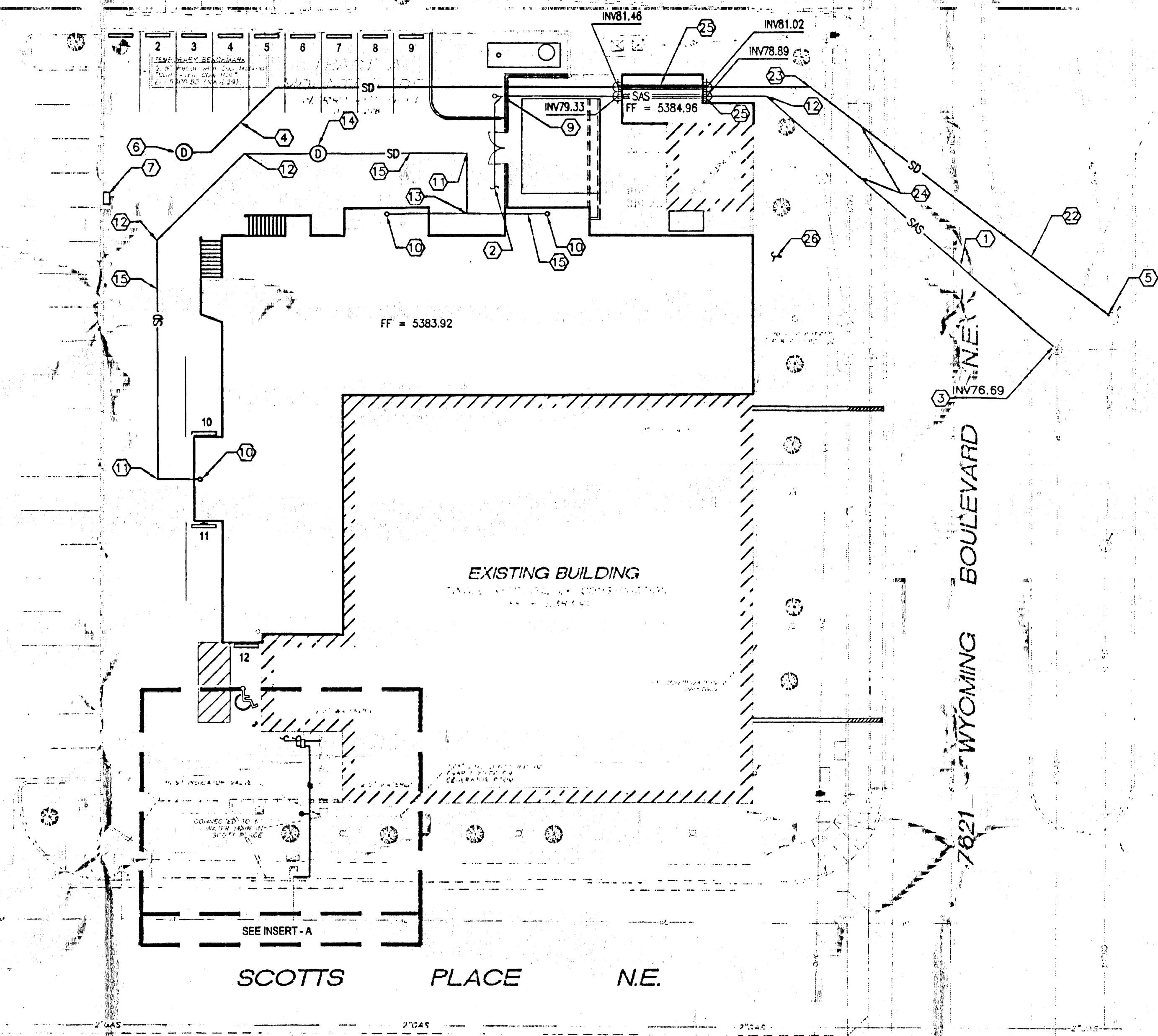
ALBUQUERQUE, NM  
 ACADEMY  
 BUILDING ADDITION  
 GRADING AND DRAINAGE PLAN

5A202-AC-SK004

B011610601.DWG  
 PDP FILE: C:\WORK\BPLW\BPLW\5A202-AC-SK004\5A202-AC-SK004.DWG  
 FILE: 5A202-AC-SK004.DWG  
 REV: 04/17/01  
 05/10/01



TRACT 9-1-A  
SANTA BARBARA SUBDIVISION



KEYED NOTES

- 1 INSTALL NEW 4" SAS LINE.
- 2 SEE MECHANICAL PLANS FOR CONTINUATION OF SAS LINE.
- 3 CONNECT NEW 4" SAS LINE TO EXISTING MANHOLE ON WYOMING BLVD.
- 4 INSTALL NEW 4" JOINTLESS POLY-PIPE PRESSURE STORM DRAIN LINE TO EXISTING MANHOLE ON WYOMING BLVD.
- 5 CONNECT NEW STORM DRAIN LINE TO EXISTING MANHOLE AT INVERT INDICATED ON SHEET C04.
- 6 INSTALL STORM DRAIN INLET PER DETAIL 7 ON SHEET C06.
- 7 INSTALL PUMP CONTROLS WITH HOA SWITCH, TIME-OUT METER, 3 FLOAT SWITCHES ON/OFF/ALARM, NEMA 3-R ENCLOSURE WITH SUPLEX OPERATION, AS SUPPLIED BY FLYGT OR APPROVED EQUAL.
- 8 INSTALL 2 SEPARATE REDUCED PRESSURE BACK FLOW PREVENTORS IN HEATED ENCLOSURE, ONE FOR FIRE PROTECTION LINE AND ONE FOR WATERLINE, PER CITY OF ALBUQUERQUE STD DWG 2385.
- 9 INSTALL SINGLE CLEANOUT ON SAS LINE.
- 10 INSTALL 2" FLOOR DRAIN, SLOPE AREA-WAY FLOOR TOWARDS DRAIN.
- 11 INSTALL 1-90° BEND.
- 12 INSTALL 1-45° BEND.
- 13 INSTALL 1-2"x2"x2" TEE.
- 14 INSTALL STORM DRAIN MANHOLE PER DETAIL 8 ON SHEET C06.
- 15 INSTALL 2" PVC PIPE AT A MINIMAL 2% SLOPE TOWARDS MANHOLE.
- 16 INSTALL NEW 2" FIRE PROTECTION LINE UPSTREAM OF WATER METER, SO LINE IS NOT METERED.
- 17 NEW 2" FIRE PROTECTION LINE.
- 18 INSTALL POST INDICATOR VALVE SALVAGED FROM EXISTING WATER LINE.
- 19 REMOVE POST INDICATOR VALVE FROM EXISTING WATER LINE AND SALVAGE.
- 20 REROUTE EXISTING WATER LINE AS INDICATED.
- 21 SEE MECHANICAL PLANS FOR CONTINUATION.
- 22 INSTALL 12" C-900 PIPE AS INDICATED.
- 23 INSTALL 1-45° BEND AND 1-12"x4" REDUCER.
- 24 VERIFY CLEARANCE FOR PIPE UNDER UTILITY VAULT.
- 25 INSTALL 12" PVC PIPE AS ENCASEMENT SLEEVE, WITH REDWOOD 2X4'S BANNED AROUND CARRIER PIPE. INSTALL AT INVERTS INDICATED ADJUST AS NECESSARY IN FIELD TO DRAIN TO THE EAST AT 2% MINIMUM.
- 26 CONNECT 3/4" WATERLINE TO EXISTING WATERLINE, SEE MECHANICAL PLANS FOR CONTINUATION.
- 27 INSTALL 6" PVC IN WALL AT INVERTS INDICATED ON SHEET C04, EPOXY IN WALL FOR DRAINAGE.

BID SET  
BUILDING ADDITION  
ISSUE #1  
CASE# 0158284  
DATE: 5-10-01

TS | AF | BPLW

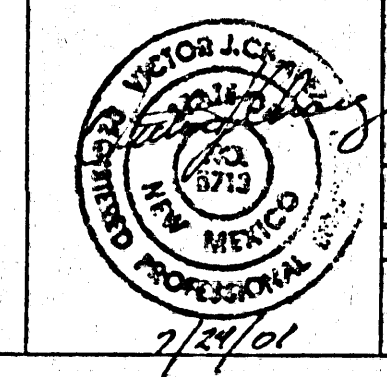
BID SET  
BUILDING ADDITION  
ISSUE #2  
CASE# 0158284  
DATE: 7-17-01

BO | JK | BPLW

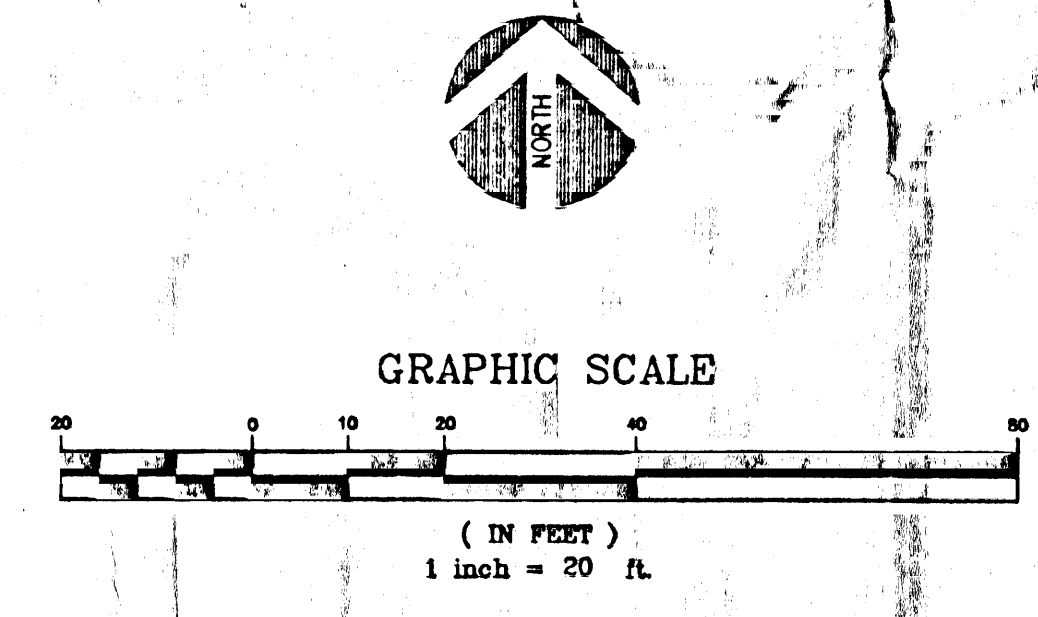
**CHAVEZ - GRIEVES**  
CONSULTING ENGINEERS, INC.  
3639 JEFFERSON STREET N.E. • ALBUQUERQUE, NEW MEXICO 87109  
PHONE (505) 344-4000 • FAX (505) 343-8759

DESIGN BY: TS	<b>BPLW</b> Architects & Engineers, Inc.	JOB No. 21003.02	No. of Sheets 6
CHECKED BY: BP		6200 UPTOWN BOULEVARD NE - SUITE 400 ALBUQUERQUE, NEW MEXICO 87110 (505) 881-2759	CIVIL
DATE: 05/10/01			

ALBUQUERQUE, NM  
ACADEMY  
BUILDING ADDITION  
UTILITY PLAN



Manager - Real Estate Engineering  
GUEST COMMUNICATIONS  
Business Resources - Real Estate  
Albuquerque, New Mexico  
5A202-AC-SK005



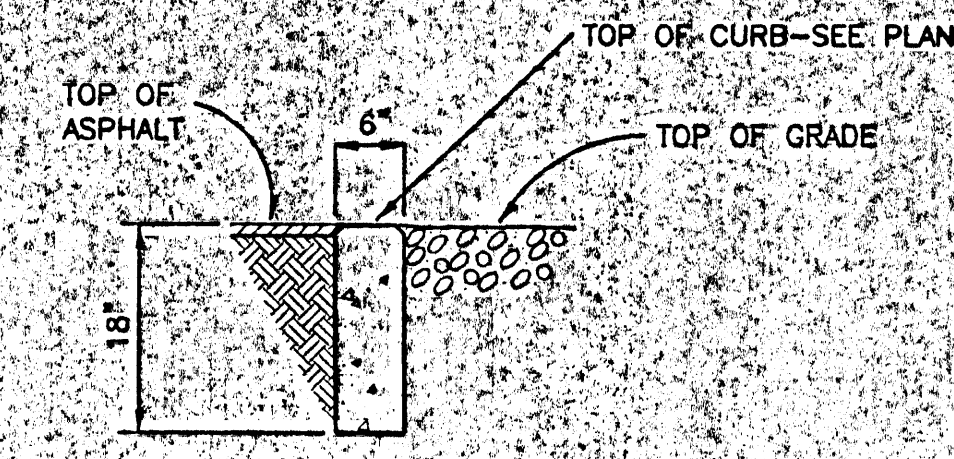
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JOB NO: 801-161-01  
FILE: 801161C001.DWG  
DATE: 07/17/01  
REV:

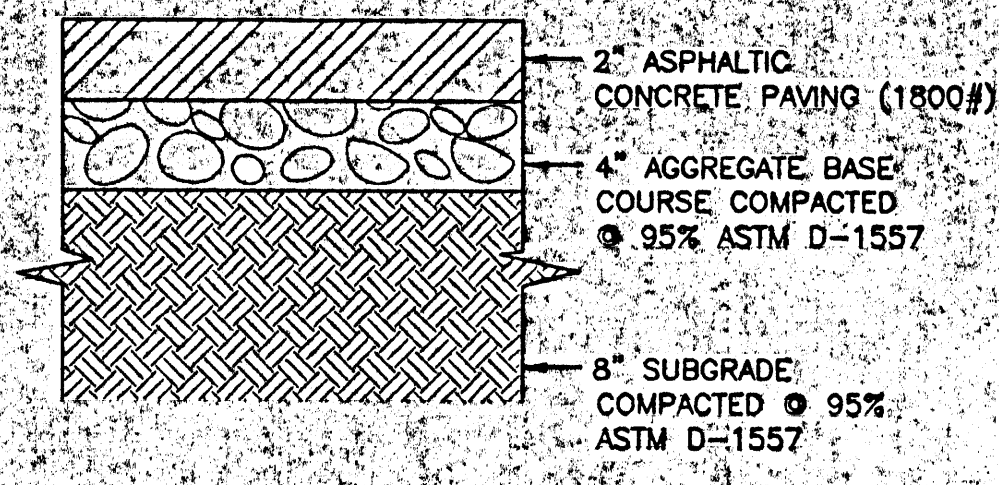
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**CONSTRUCTION NOTES:**

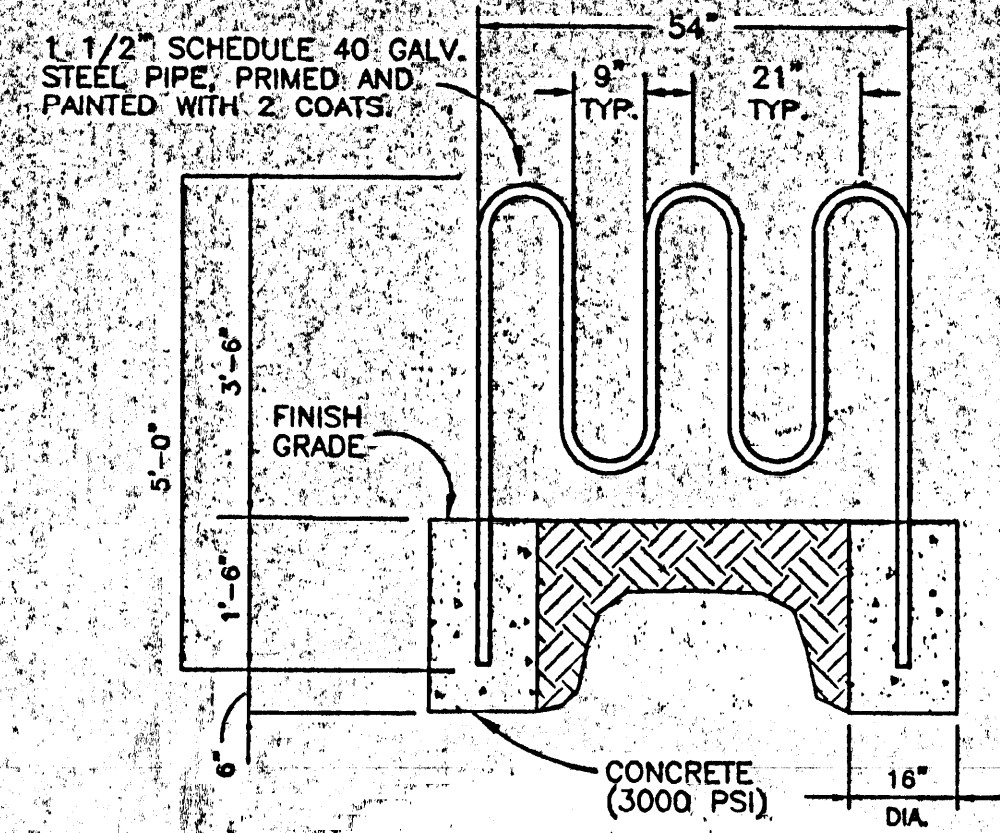
1. USE 4000 PSI PCC AT 28 DAYS.
2. PROVIDE CONTRACTION JOINTS @ 8' O.C.
3. ALL EXPOSED CONCRETE CORNERS TO HAVE 3/4" RADIUS.



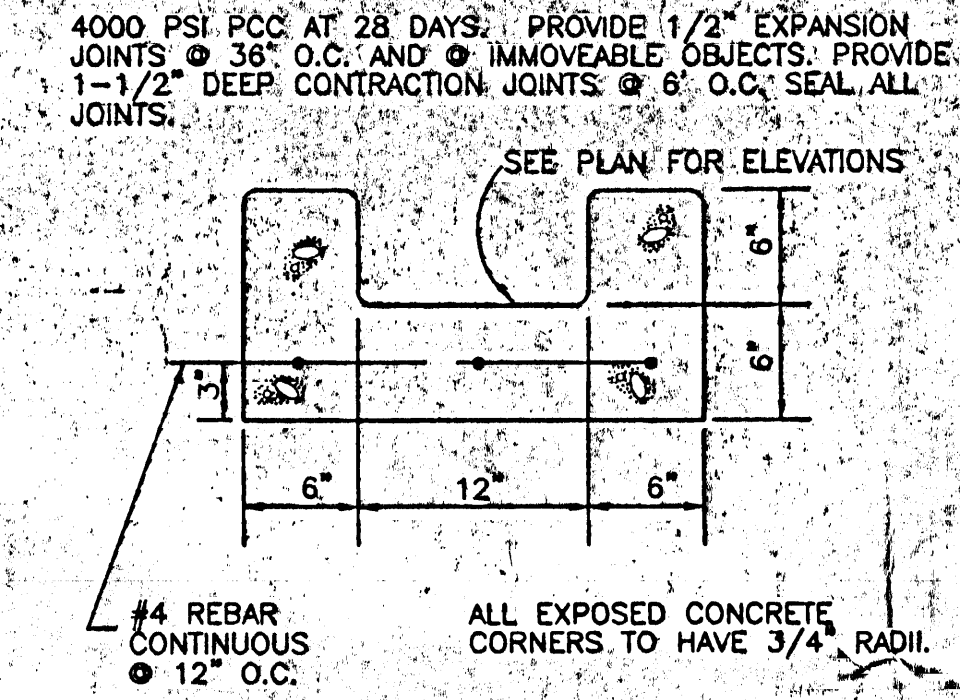
1 CUT OFF WALL NTS



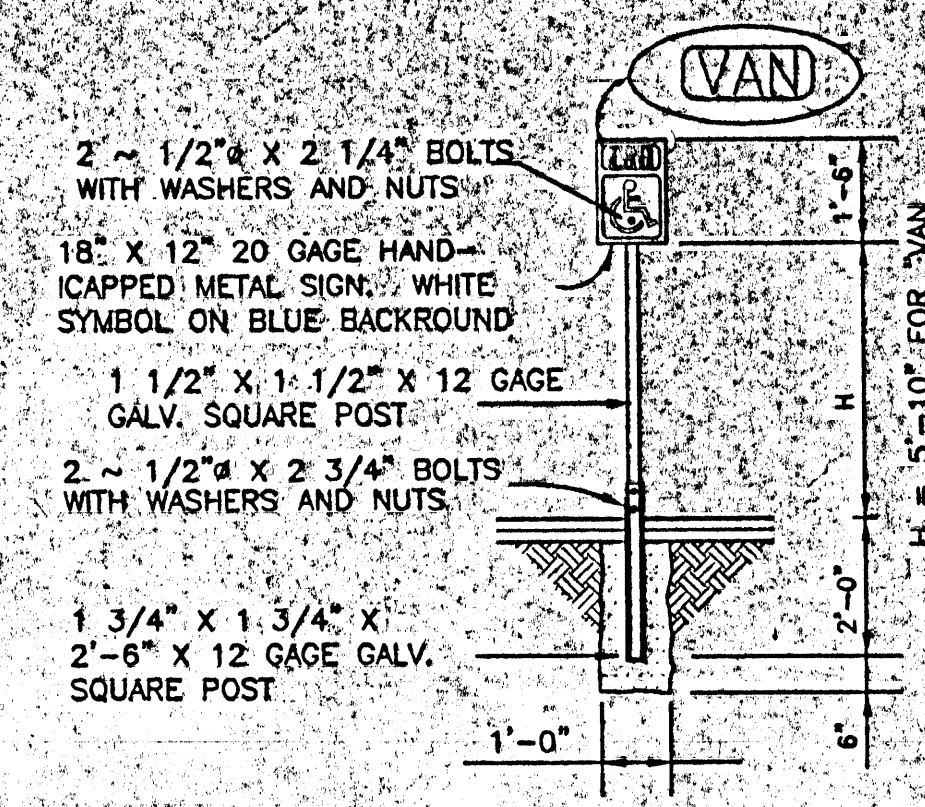
2 PAVING SECTION (PER GEOTECH REPORT) NTS



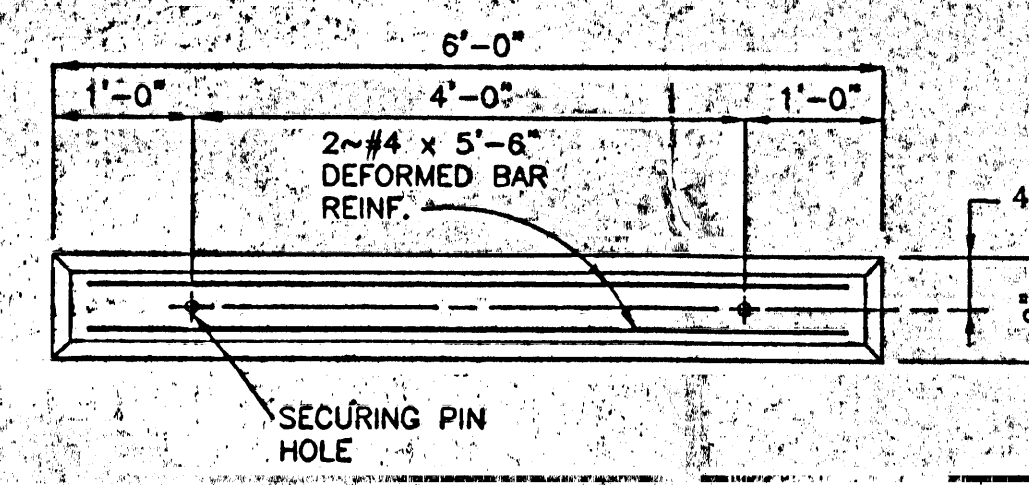
3 BIKE RACK DETAIL NTS



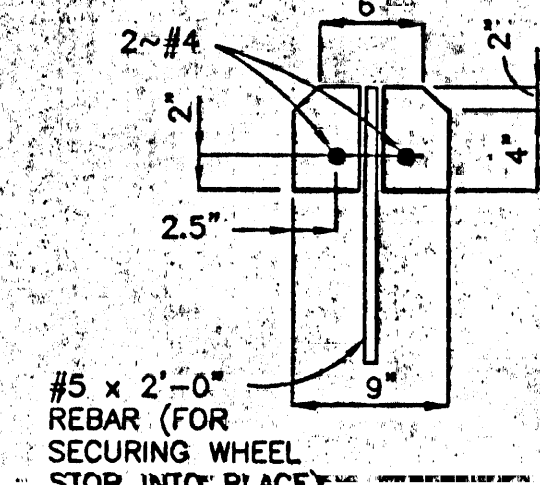
4 CONCRETE TROUGH NTS



5 HANDICAPPED SIGNING DETAIL NTS



PLAN



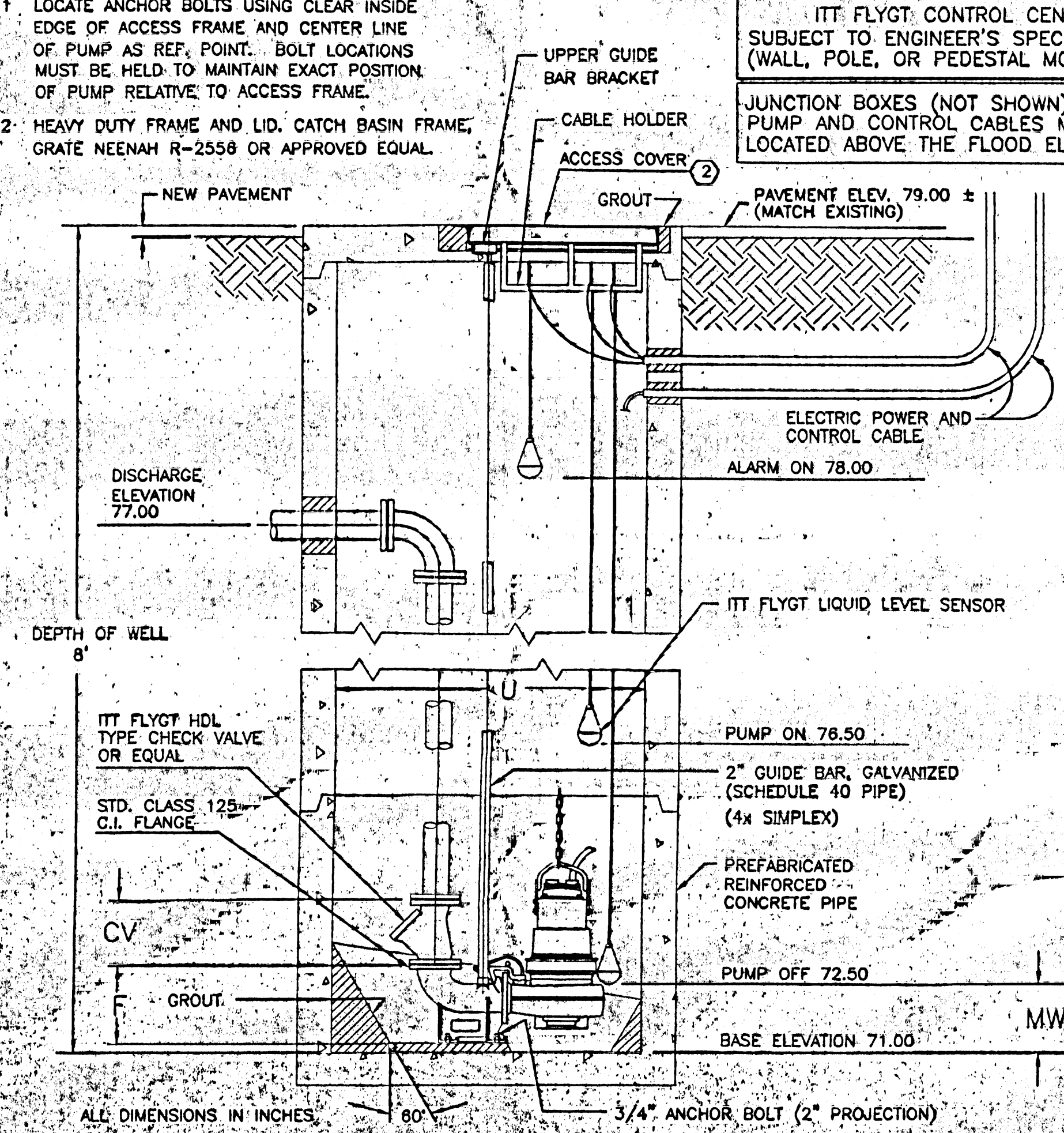
SECTION

6 PRE-CAST CONCRETE WHEEL STOP NTS

**NOTES:**

1. LOCATE ANCHOR BOLTS USING CLEAR INSIDE EDGE OF ACCESS FRAME AND CENTER LINE OF PUMP AS REF. POINT. BOLT LOCATIONS MUST BE HELD TO MAINTAIN EXACT POSITION OF PUMP RELATIVE TO ACCESS FRAME.
2. HEAVY DUTY FRAME AND LID, CATCH BASIN FRAME, GRATE NEENAH R-2558 OR APPROVED EQUAL.

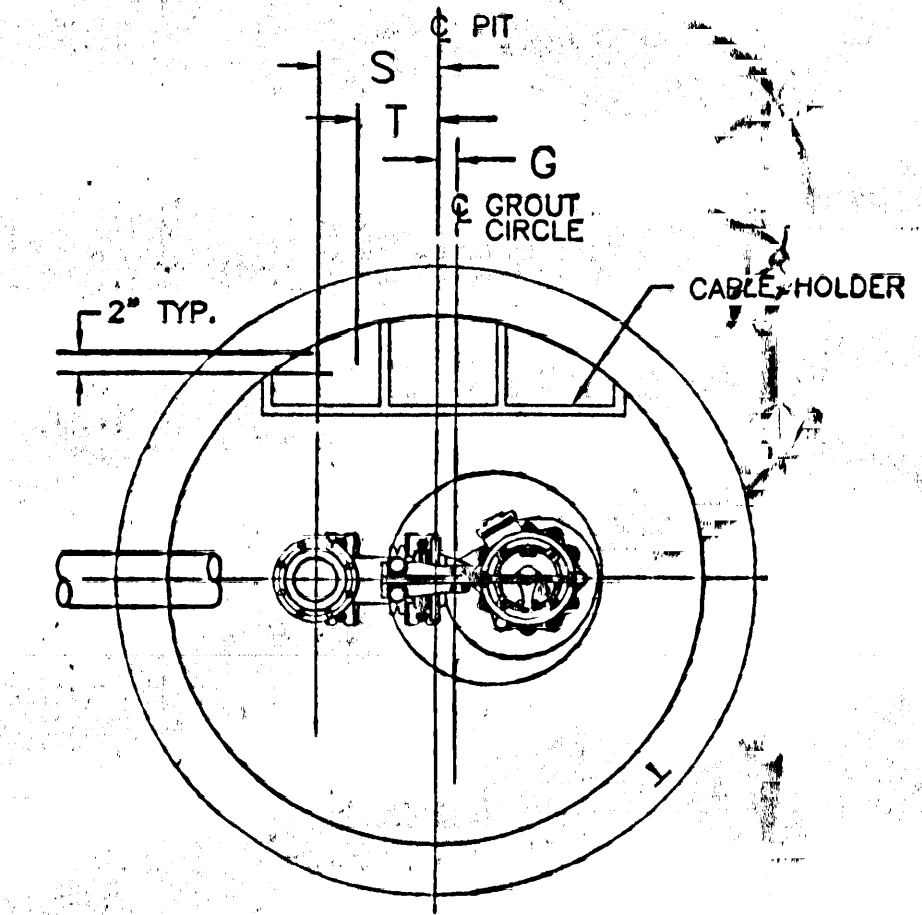
ITT FLYGT CONTROL CENTER SUBJECT TO ENGINEER'S SPECIFICATIONS (WALL, POLE, OR PEDESTAL MOUNTING)  
 JUNCTION BOXES (NOT SHOWN) FOR THE PUMP AND CONTROL CABLES MUST BE LOCATED ABOVE THE FLOOD ELEVATION.



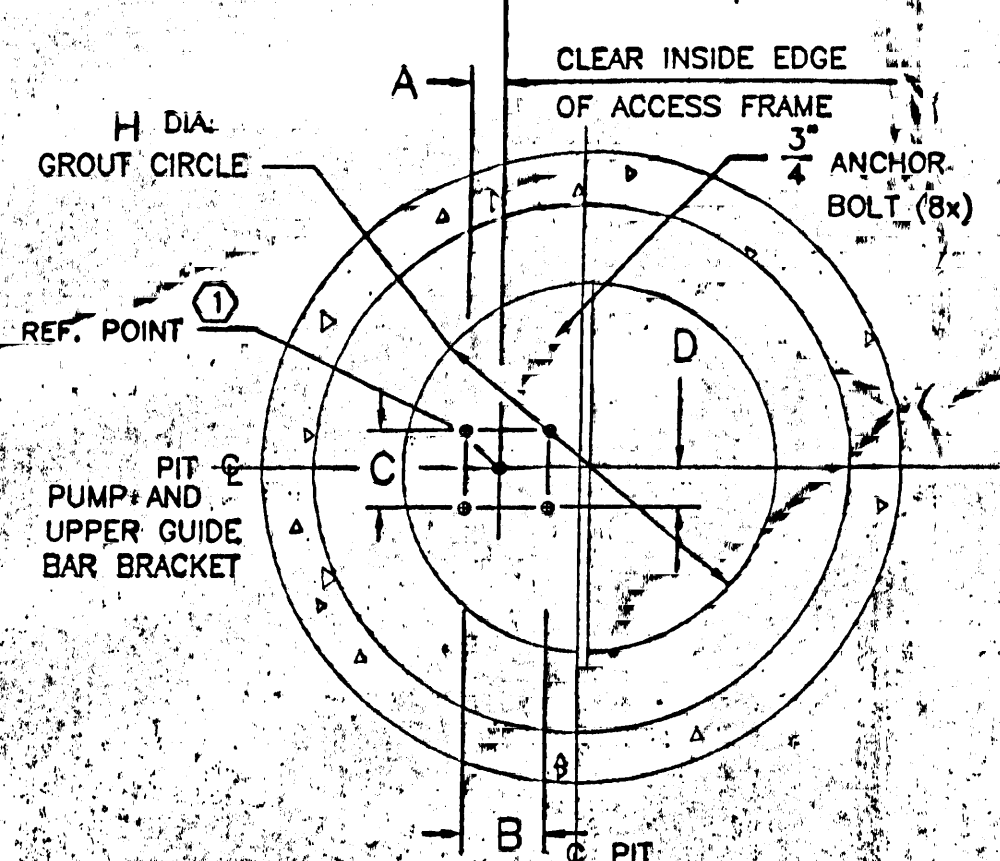
DIMENSIONAL CHART STATION

NOM. SIZE	VERSION	A	B	C	D	F	G	H	R	S	T	U	CV	MW
4"	STD	2	3	4	7	3	6	15	1	39	17	10	60	11-13

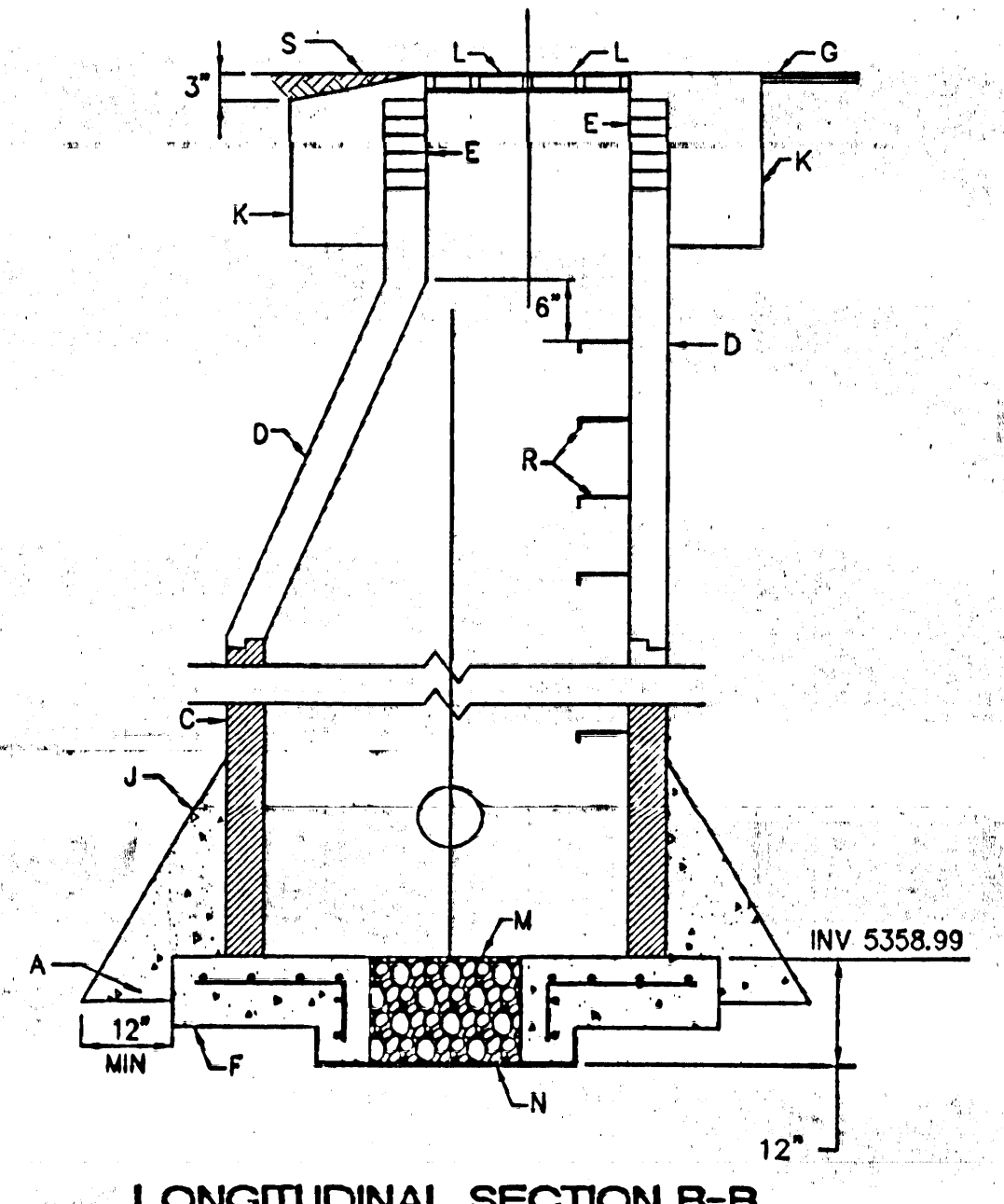
7 STORM WATER PUMP STATION NTS



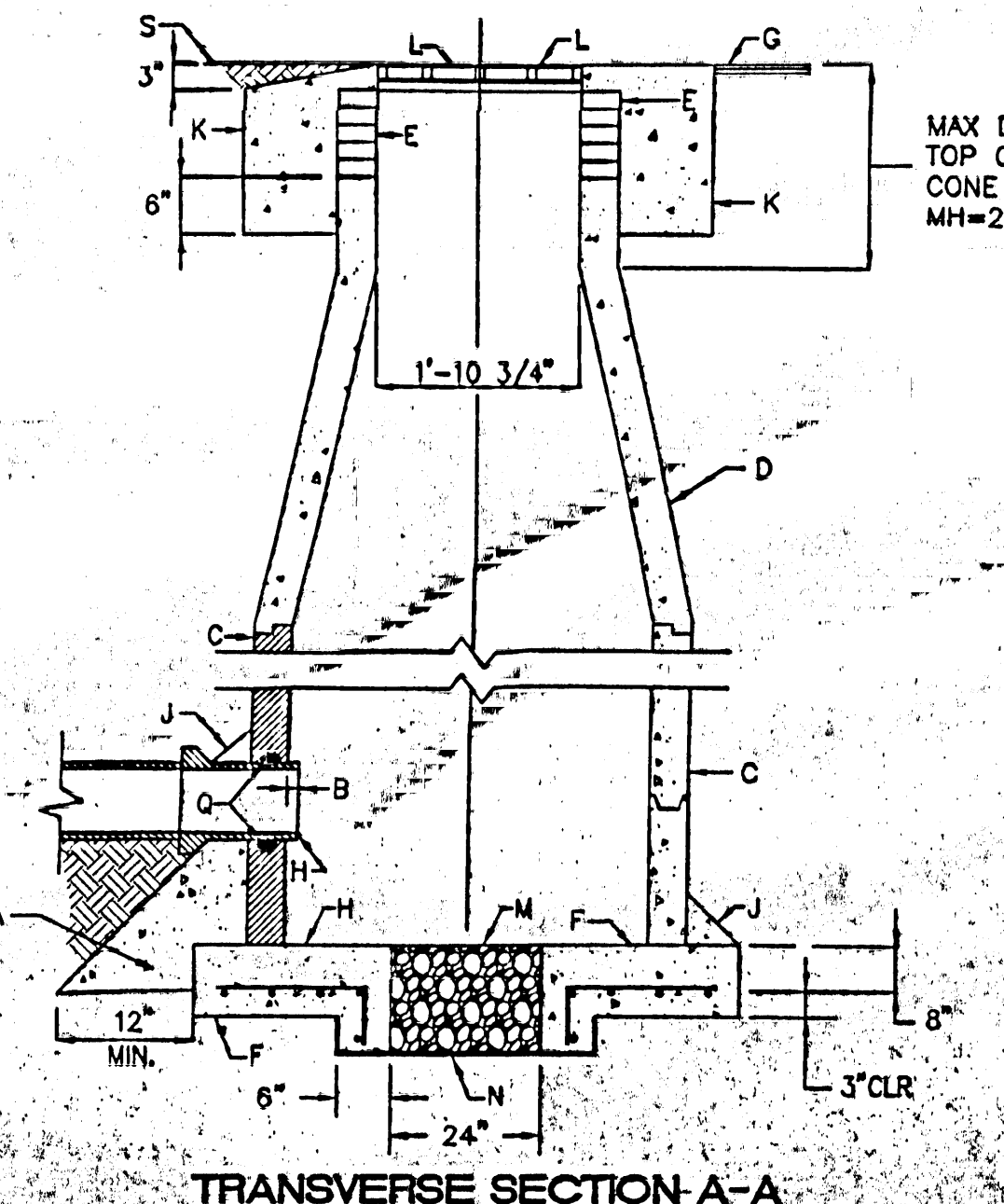
TOP VIEW



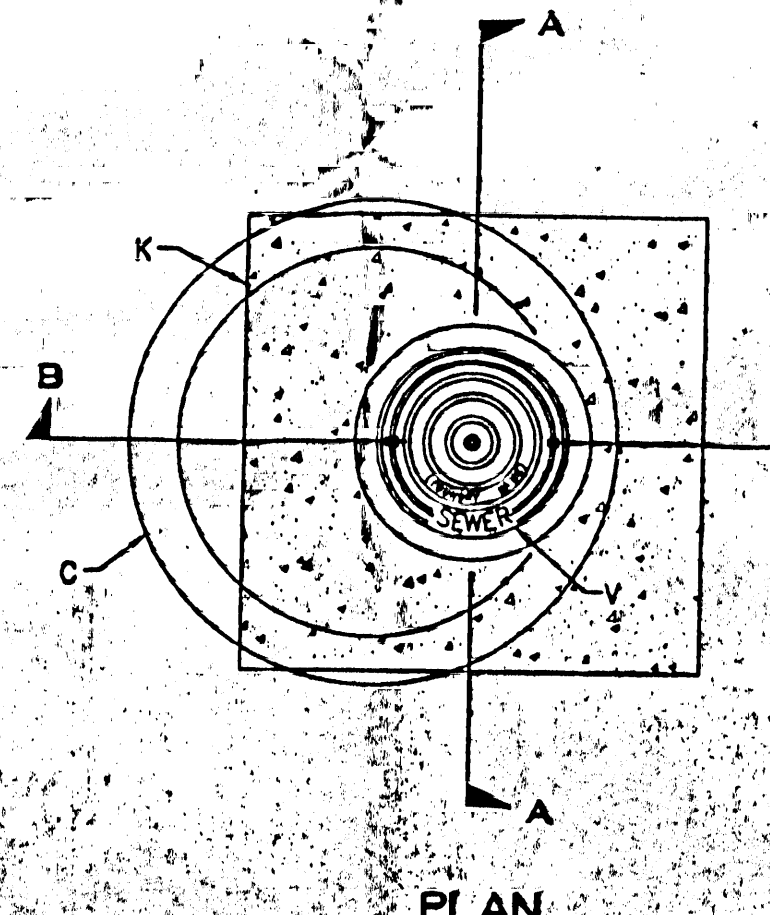
BASE SECTION



LONGITUDINAL SECTION B-B



TRANSVERSE SECTION A-A



PLAN

8 TYPE 'E' MANHOLE NTS

**GENERAL NOTES:**

1. USE NON-SHRINK GROUT FOR JOINTS, FILLETS, AND PENETRATIONS.
2. COMPACT ALL BACKFILL AROUND MANHOLE TO 95% ASTM D-1557.
3. POSITION MANHOLE OPENING OVER THE UPSTREAM SIDE OF MAIN LINE.
4. USE TYPE "C" MANHOLE FOR DEPTHS OF 6' OR LESS MEASURED FROM INVERT TO RIM. MAY USE TYPE "C" MANHOLE OR TYPE "E" MH FOR DEPTHS GREATER.

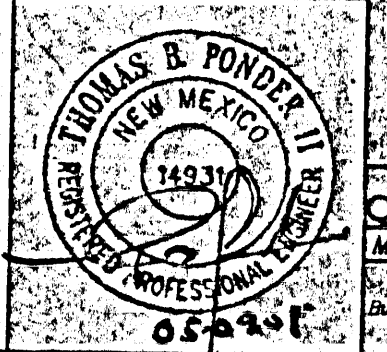
**CONSTRUCTION NOTES:**

- A. CONCRETE PIPE SUPPORTS SHALL EXTEND OUTSIDE OF MANHOLE TO BELL OF FIRST JOINT AND SHALL CRADLE PIPE. (NOT APPLICABLE FOR FLEXIBLE PIPE)
- B. PIPE PENETRATION INTO MANHOLE SHALL BE FLUSH TO 2" MAXIMUM.
- C. PRECAST CONCRETE BARREL.
- D. PRECAST REINFORCED CONCRETE ECCENTRIC CONE.
- E. GRADE MS BRICKS FOR ADJUSTMENT OF MANHOLE FRAME (FOUR COURSES MAXIMUM) 1/2" MORTAR PLASTER OVER INSIDE OF BRICKS OR PRECAST CONCRETE ADJUSTMENT RINGS.
- F. CAST IN PLACE CONCRETE BASE WITH #4 BARS @ 6" O.C.E.W. FOR MANHOLE DEPTH OF 18' OR GREATER, #4 BARS @ 12" O.C.E.W. FOR MANHOLE DEPTH OF LESS THAN 18'.
- G. TOP OF PAVEMENT.
- H. INVERT ELEVATION AS SHOWN.
- J. 8" GROUT FILLET ON UPPER HALF OF PIPE AND AROUND BASE.
- K. 5'X5' SQUARE OR 5' DIA. CIRCULAR CONCRETE PAD (COLLAR), 4000 PSI PCC.
- L. HEAVY DUTY FRAME AND LID COVER.
- M. 3/4" GRAVEL TO FILL DRAIN AREA.
- N. FILTER FABRIC.
- P. NOT USED.
- Q. APPROVED WATERSTOP TO BE COMPATIBLE WITH TYPE OF PIPE.
- R. NON-CORROSIVE ALUMINUM OR POLYPROPYLENE STEPS.
- S. IN UNPAVED AREAS SET FRAME TO GRADE AND SLOPE TO TOP OF PAD.
- V. "STORM" OR "SEWER" CAST ON LID AS APPROPRIATE.

**CHAVEZ - GRIEVES CONSULTING ENGINEERS, INC.**  
 5638 IFFERSON STREET N.E., ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 344-8090 • FAX (505) 343-8758

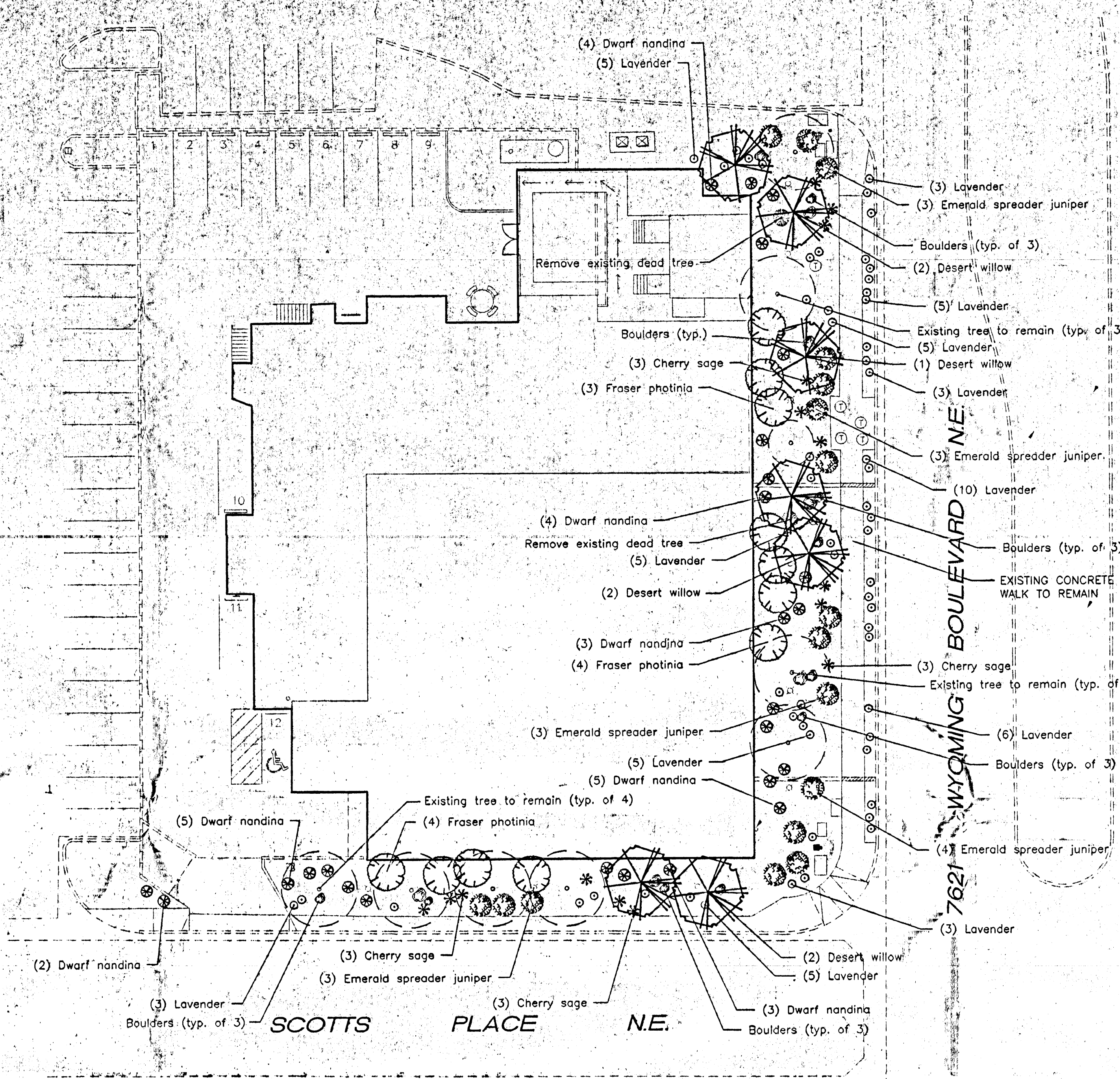
DESIGNED BY	TS	Job No.	21003.02	No. of Sheets	6
CHECKED BY	BP	Client	BPLW Architects & Engineers, Inc. 6200 UPTOWN BOULEVARD NE - SUITE 400 ALBUQUERQUE, NEW MEXICO 87110 (505) 881-2755	Discipline	CIVIL
DATE	05/10/01	Scale			

ALBUQUERQUE, NM  
 ACADEMY BUILDING ADDITION  
 CIVIL DETAILS



QUEST  
 Manager - Real Estate Engineering  
 5A202-AC-SK006

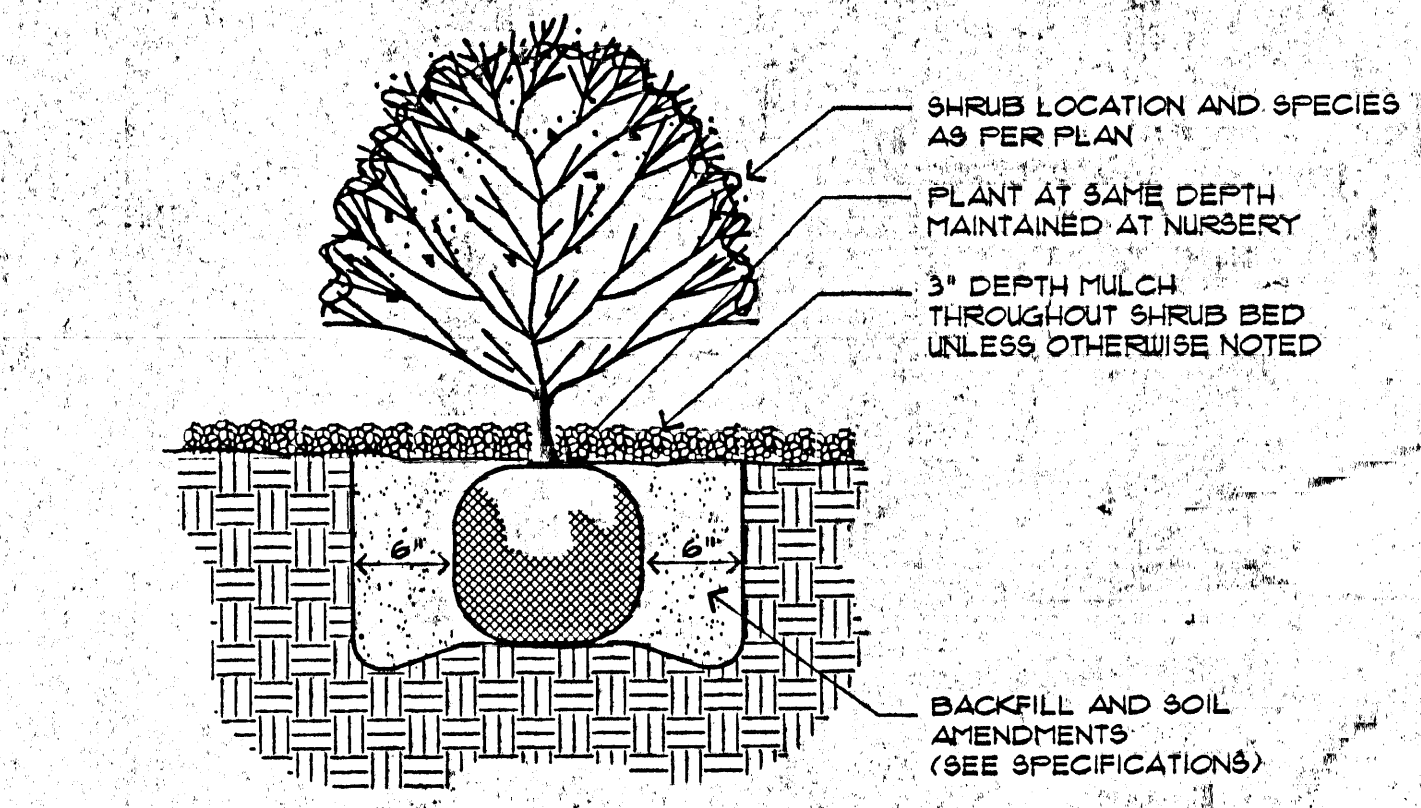
BID SET  
 BUILDING ADDITION  
 ISSUE #1  
 CASE# 0158284  
 DATE: 5-10-01  
 FTS AC BPLW



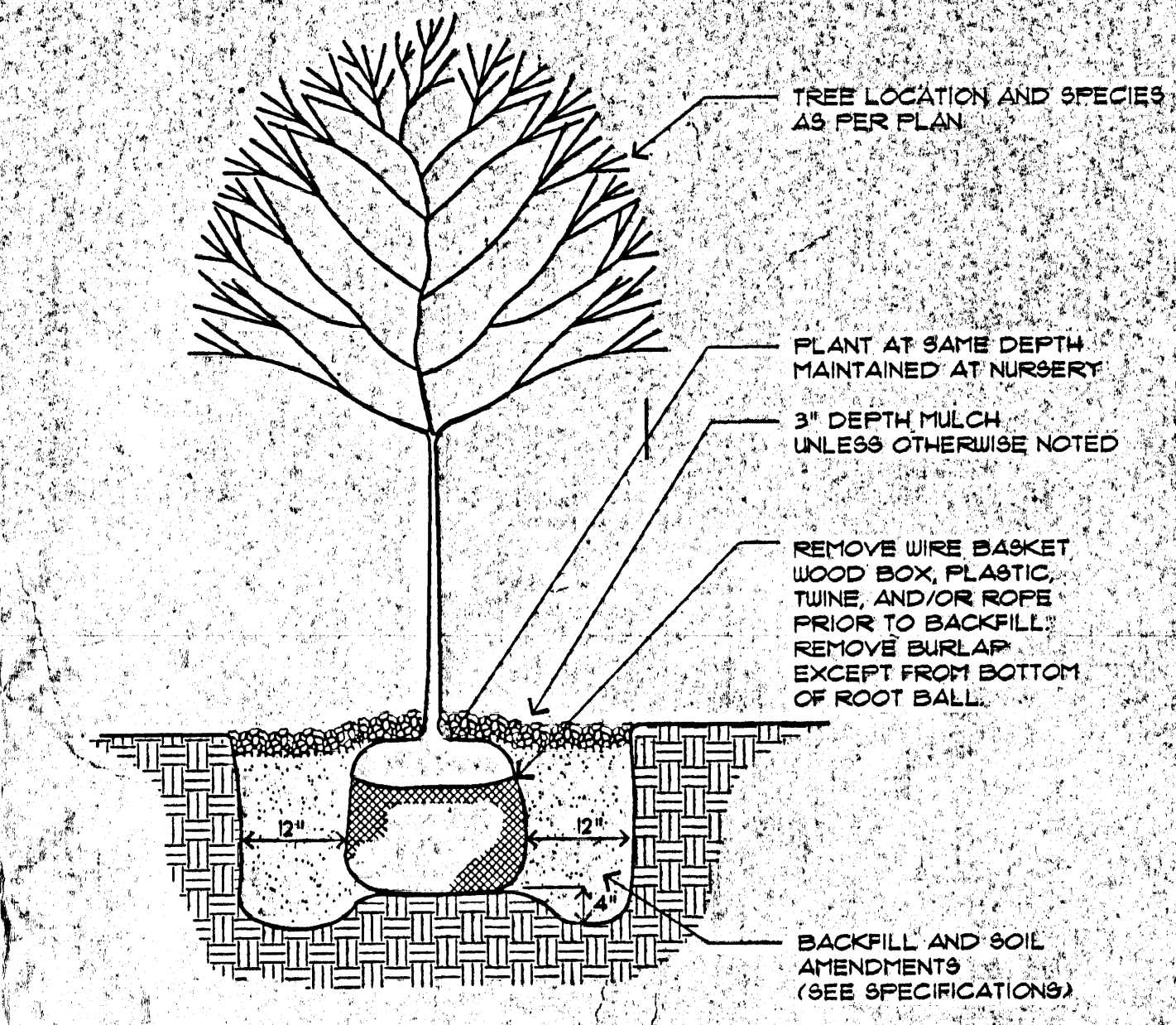
**PLANTING NOTES**

- IN CASE OF DISCREPANCY IN PLANT QUANTITIES SHOWN ON THE PLANT LIST AND THOSE SHOWN ON THE PLANTING PLANS, THE QUANTITIES SHOWN ON THE PLAN SHALL GOVERN.
- QUANTITIES SHOWN ON THE PLANT LIST ARE ESTIMATES ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID AND INSTALLATION. NO ADDITIONAL PAYMENT WILL BE MADE FOR ANY DISCREPANCIES IN QUANTITIES BETWEEN THE PLANTING PLAN AND THE PLANT LIST.
- CONTRACTOR SHALL REMOVE AND STOCKPILE EXISTING COBBLES ADJACENT TO BUILDING AND EXISTING GRAVEL MULCH IN BALANCE OF PLANTING BEDS. CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING WEED BARRIER FABRIC. CONTRACTOR SHALL REPLACE EXISTING COBBLE TO ITS ORIGINAL LOCATION ADJACENT TO BUILDING AND REPLACE EXISTING GRAVEL MULCH TO ITS ORIGINAL LOCATION THROUGHOUT BALANCE OF PLANTING BEDS. COBBLES AND GRAVEL SHALL BE AMENDED W/ ADDITIONAL COBBLES AND/ OR GRAVEL AS REQUIRED TO PROVIDE A MIN. 3" DEPTH OF MULCH. PRIOR TO PLACING COBBLES AND GRAVEL, CONTRACTOR SHALL INSTALL WEED BARRIER FABRIC. THE WEED BARRIER SHALL BE MIN. 3.5 OZ. LOYEN, NEEDLE PUNCHED POLYPROPYLENE (DENSITY OF EQUAL). OVERLAY ENDS 3" TURN DOWN PERIMETER EDGES & 1" BELOW THE TOP OF ADJACENT CURBS, WALKS, ETC.
- THE CONTRACTOR SHALL PRUNE LOWER BRANCHES OF DECIDUOUS TREES TO 6 FEET ABOVE FINISH GRADE.
- TREES AND SHRUBS SHALL BE PLANTED PER DETAILS A, B, C & D/ LOT.
- CONTRACTOR SHALL PROTECT EXISTING TREES FROM DAMAGE DUE TO CONSTRUCTION. OPERATIONS. CONTRACTOR SHALL TAKE EXTRA CARE WHEN ROTOTILLING SOIL TO ENSURE THAT EXISTING ROOTS ARE NOT DAMAGED. DO NOT ROTOTILL IN AREAS WHERE ROOTS ARE IN THE 8' ROTOTILL ZONE. THE CONTRACTOR SHALL REPLACE TREES DAMAGED IN ACCORDANCE WITH SPECIFICATION SECTION 02132.
- BOULDERS SHALL BE 8CF-PCP MOSS ROCK INSTALLED PER DETAIL E/ LOT.

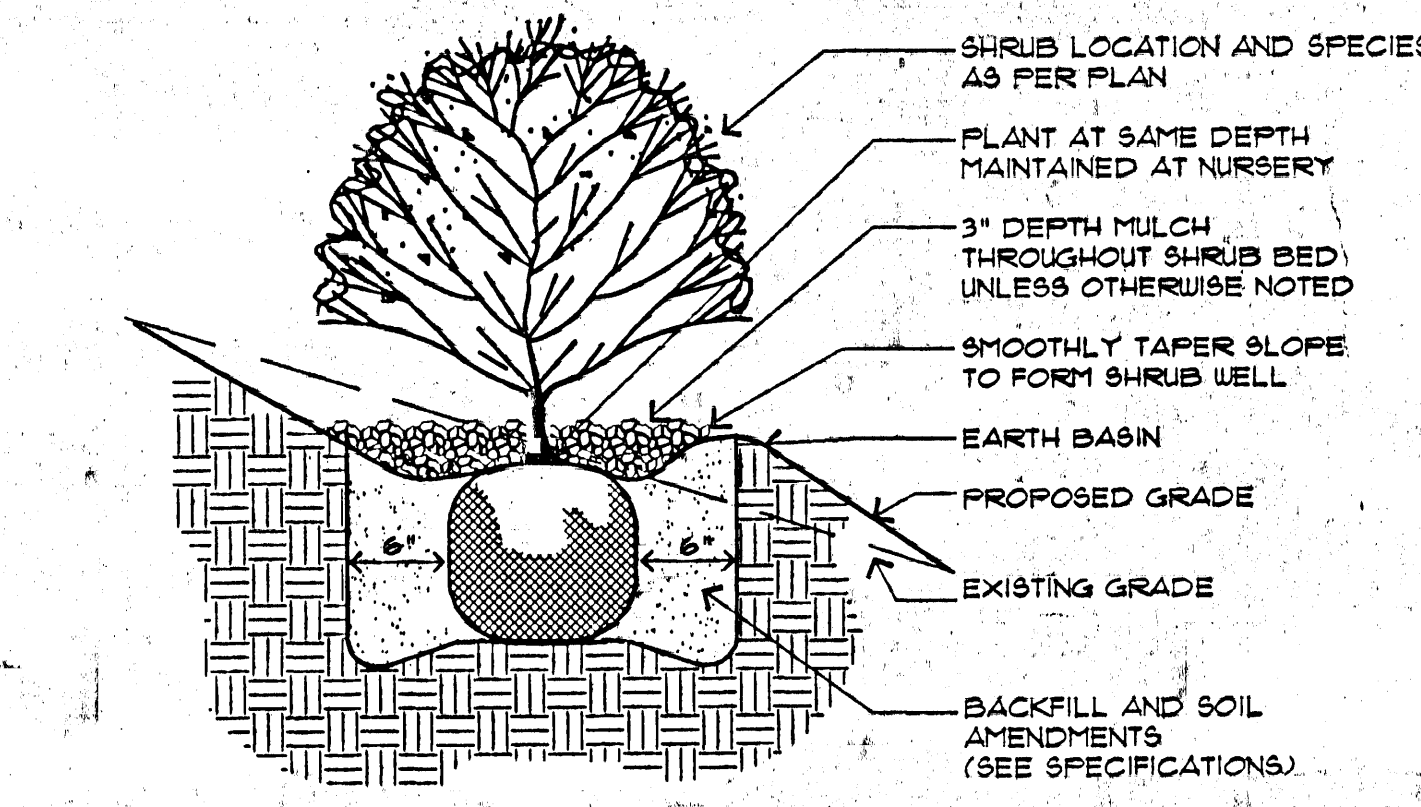
COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE
<b>TREES</b>			
Desert willow	Chilopsis linearis	1	10'-12" H.
<b>SHRUBS</b>			
Cherry sage	Salvia greggii	18	5 Gal.
Emerald spreader juniper	Juniperus horizontalis 'Emerald Spreader'	11	5 Gal.
Dwarf nandina	Nandina domestica 'Compacta'	26	5 Gal.
Lavender	Lavandula angustifolia 'Hidcote'	59	5 Gal.
Photinia	Photinia fraseri 'Indian Princess'	11	5 Gal.



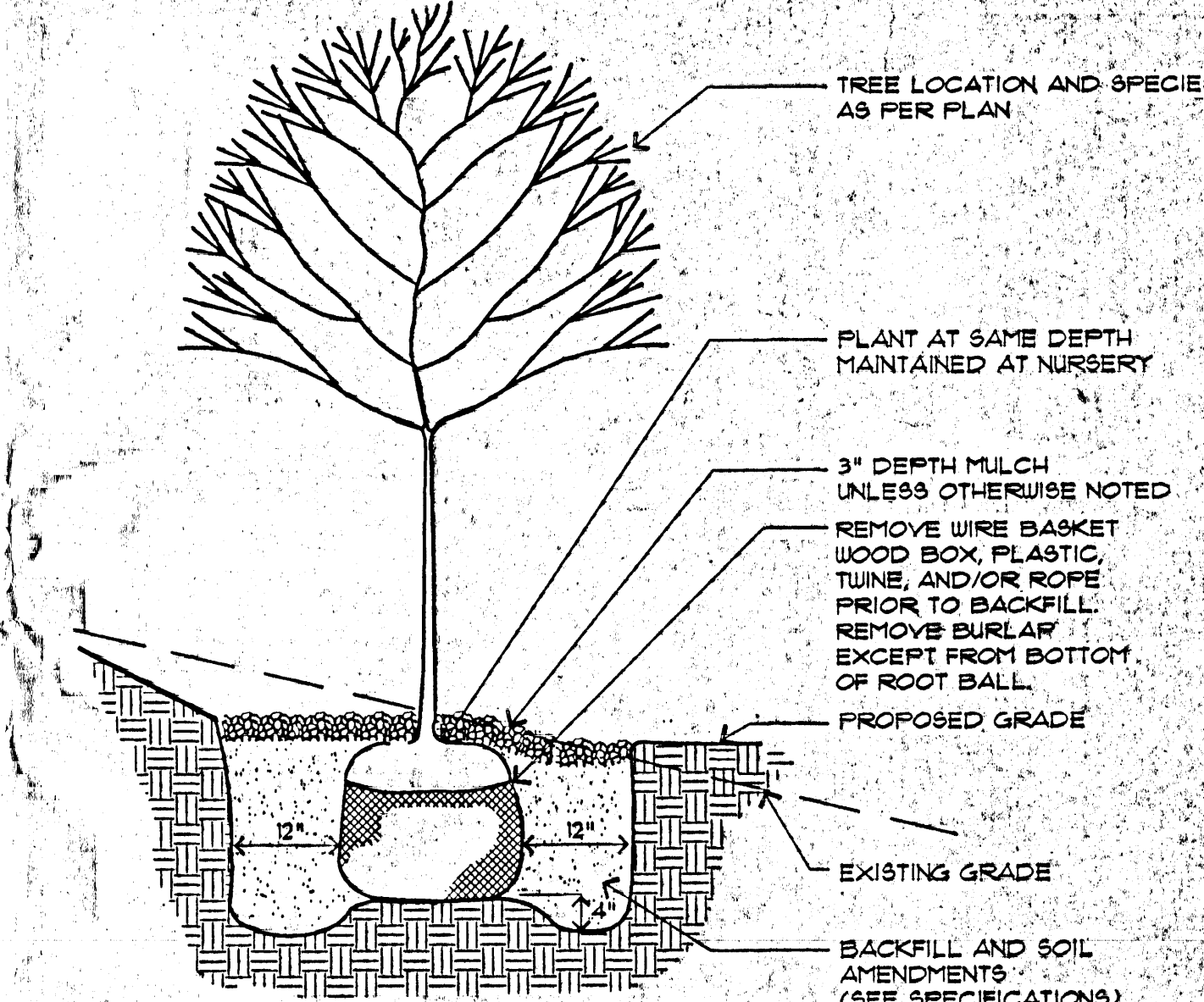
**A SHRUB PLANTING DETAIL**  
MCD-0004 11/01/95 N.T.S.



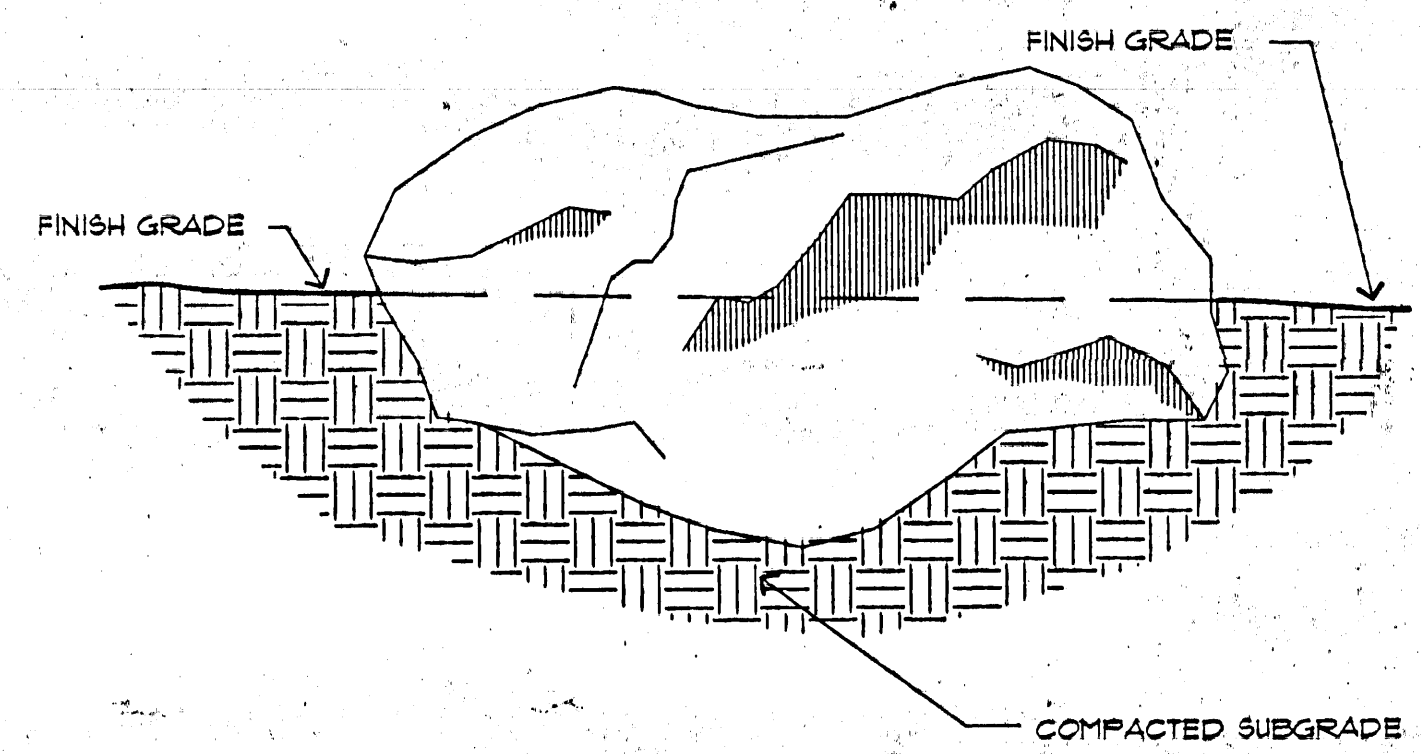
**B TREE PLANTING DETAIL**  
MCD-0002 11/01/95 N.T.S.



**C SHRUB PLANTING DETAIL - ON SLOPE**  
MCD-0003 11/01/95 N.T.S.

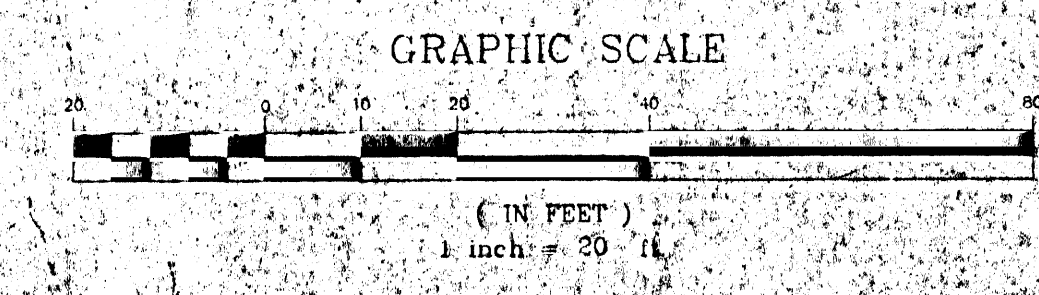


**D TREE PLANTING DETAIL - ON SLOPE**  
MCD-0003 11/01/95 N.T.S.



**E LANDSCAPE BOULDER**  
MCD-0001 11/01/95 N.T.S.

NOTE:  
1/3 TO 1/2 OF ROCK SHALL BE BURIED.

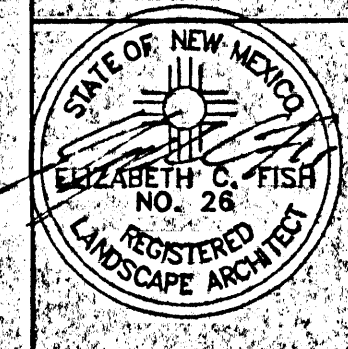


MORROW REARDON WILKINSON, LTD. LANDSCAPE ARCHITECTS  
210 LA VETA NE, ALBUQUERQUE, NM 87108  
505.263.0204 FAX 505.263.0207  
mrf@mrwm.com

CHAVEZ-GRIEVES CONSULTING ENGINEERS, INC.  
808 JEFFERSON STREET NE • ALBUQUERQUE, NEW MEXICO 87109  
PHONE (505) 344-0280 • FAX (505) 343-0788

DATE: 5-29-01	BY: LH	CHECKED: BPLW	PROJECT: 6200 UPTOWN BOULEVARD NE, SUITE 400, ALBUQUERQUE, NEW MEXICO 87110 (505) 951-2759 ARCH	JOB NO.: 21003.02	NO. OF SHEETS: 2
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ALBUQUERQUE, NM  
ACADEMY  
BUILDING ADDITION  
PLANTING PLAN



Manager - Real Estate Engineering  
ONEST COMMUNICATIONS  
Specialty Resources and Real Estate  
Albuquerque, New Mexico  
5A202-AC-LO1

EPC APPROVAL  
BUILDING ADDITION  
ISSUE #1  
CASE # 0158284  
DATE: 3-29-01  
LH RB BPLW

EPC APPROVAL  
BUILDING ADDITION  
ISSUE #2  
CASE # 0158284  
DATE: 5-21-01  
JSPI ECR BPLW

EPC APPROVAL  
BUILDING ADDITION  
ISSUE #3  
CASE # 0158284  
DATE: 7-02-01  
JSPI ECR BPLW

EPC APPROVAL  
BUILDING ADDITION  
ISSUE #4  
CASE # 0158284  
DATE: 7-12-01  
JSPI ECR BPLW

5A202-AC-LO1  
JOB NO. 60-181-01  
FILE NO. 0200000000  
DATE: JULY 17, 2001  
REV. 02/06/01

EPC APPROVAL  
BUILDING ADDITION  
ISSUE #1  
CASE# 0158284  
DATE: 3-29-01

LH | RB | BPLW

EPC APPROVAL  
BUILDING ADDITION  
ISSUE #2  
CASE# 0158284  
DATE: 5-21-01

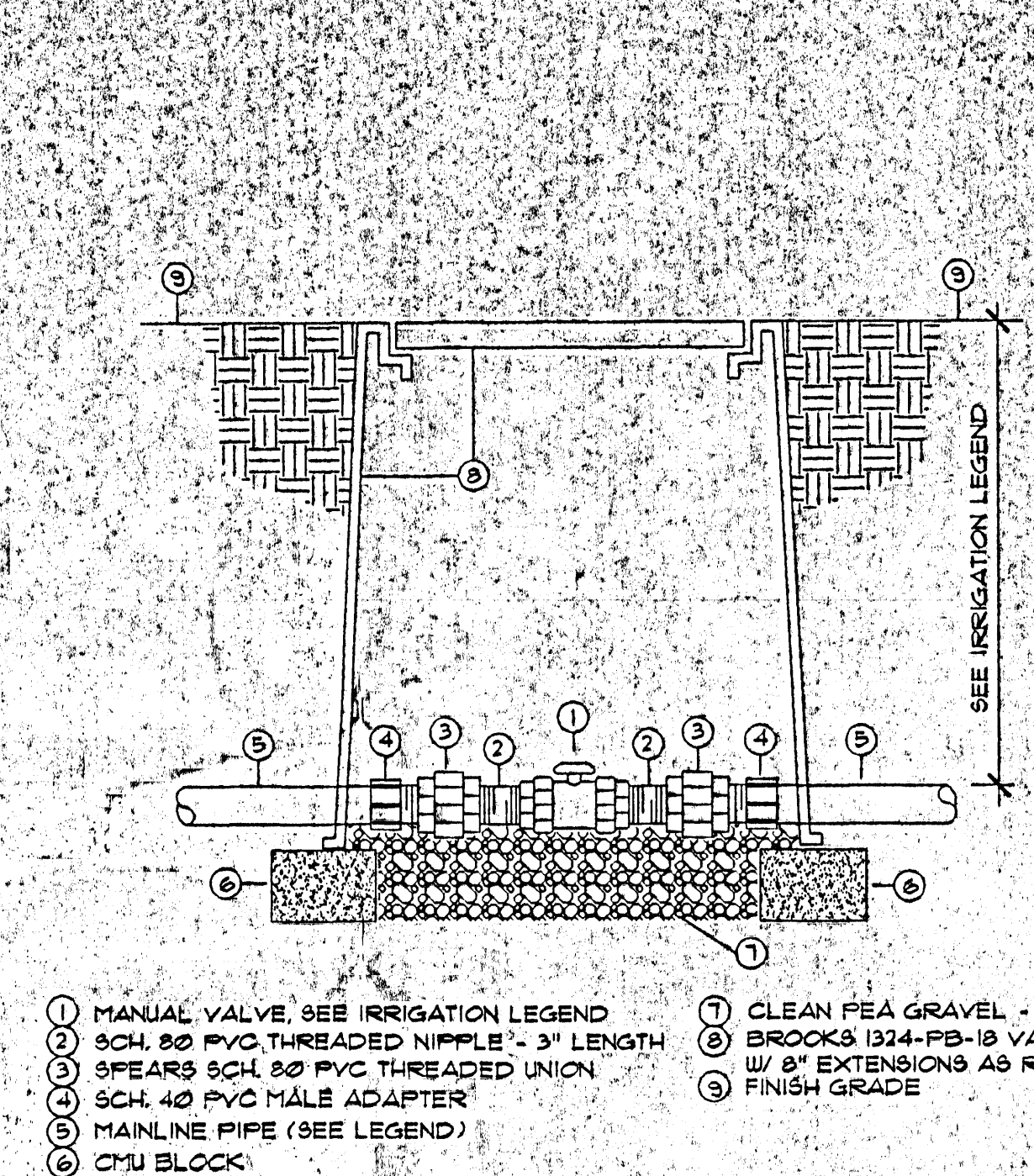
JSPI | ECR | BPLW

EPC APPROVAL  
BUILDING ADDITION  
ISSUE #3  
CASE# 0158284  
DATE: 7-02-01

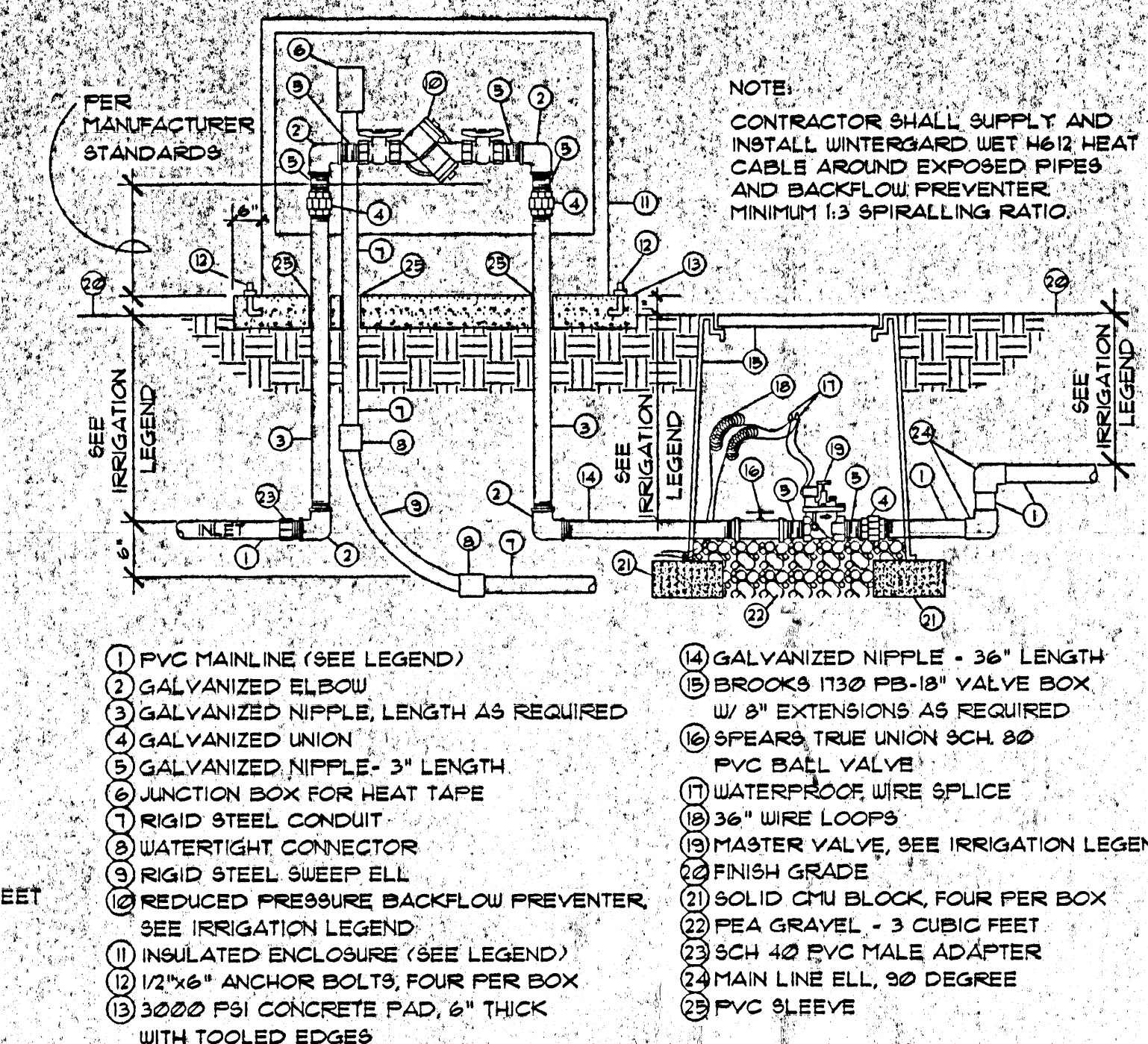
JSPI | ECR | BPLW

EPC APPROVAL  
BUILDING ADDITION  
ISSUE #4  
CASE# 0158284  
DATE: 7-12-01

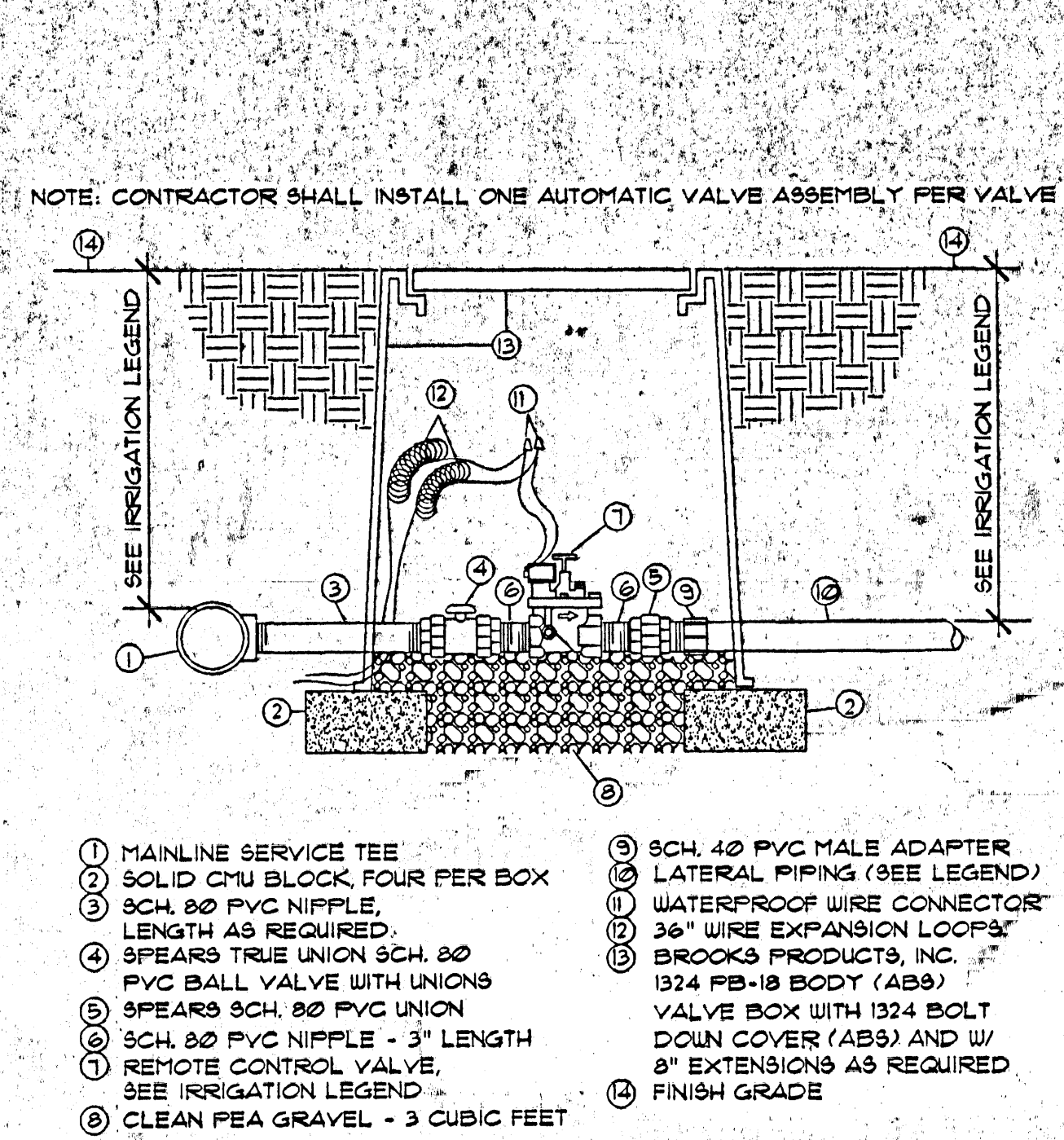
ARU | ECR | BPLW



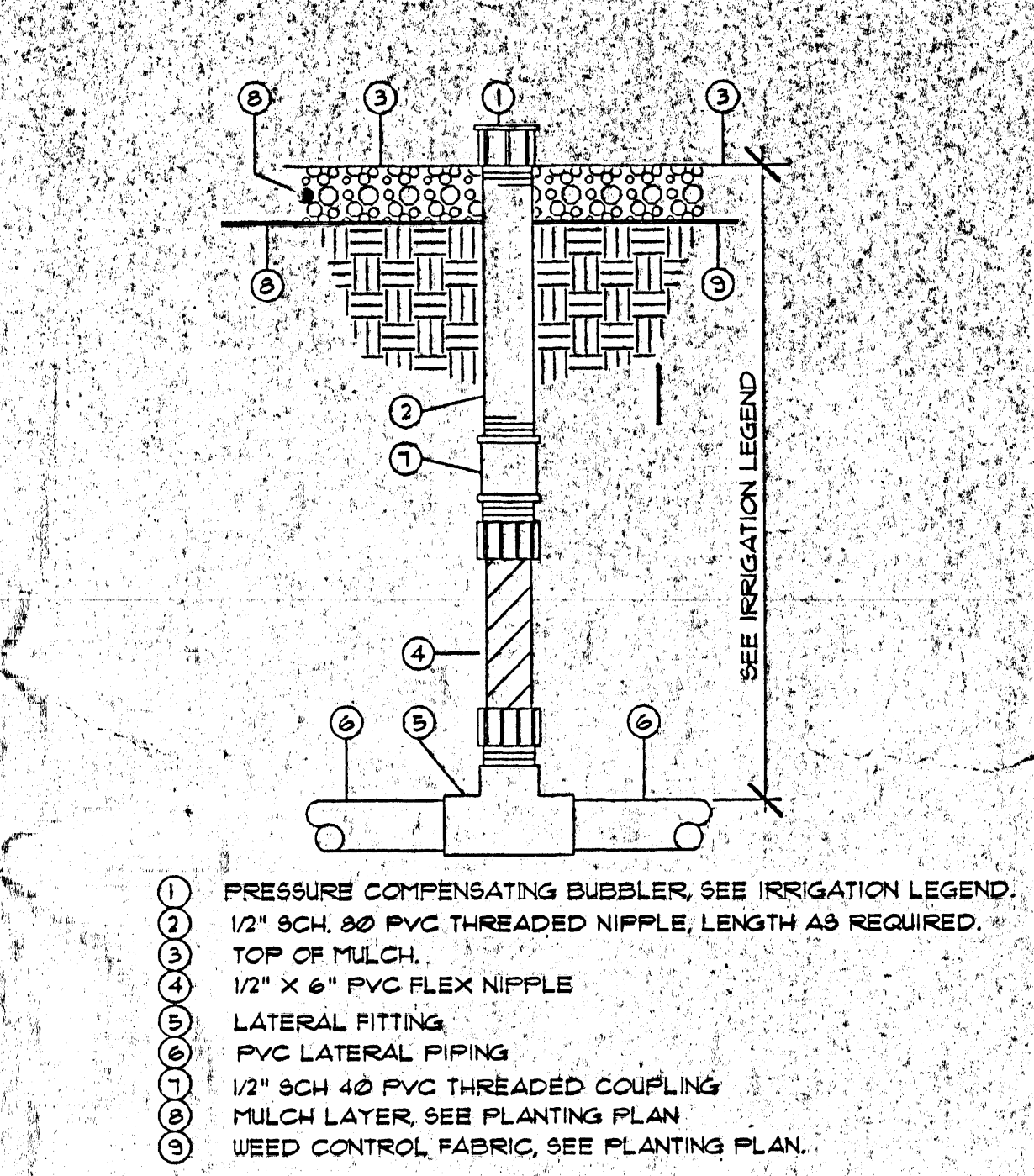
**A** MANUAL VALVE ASSEMBLY  
L02



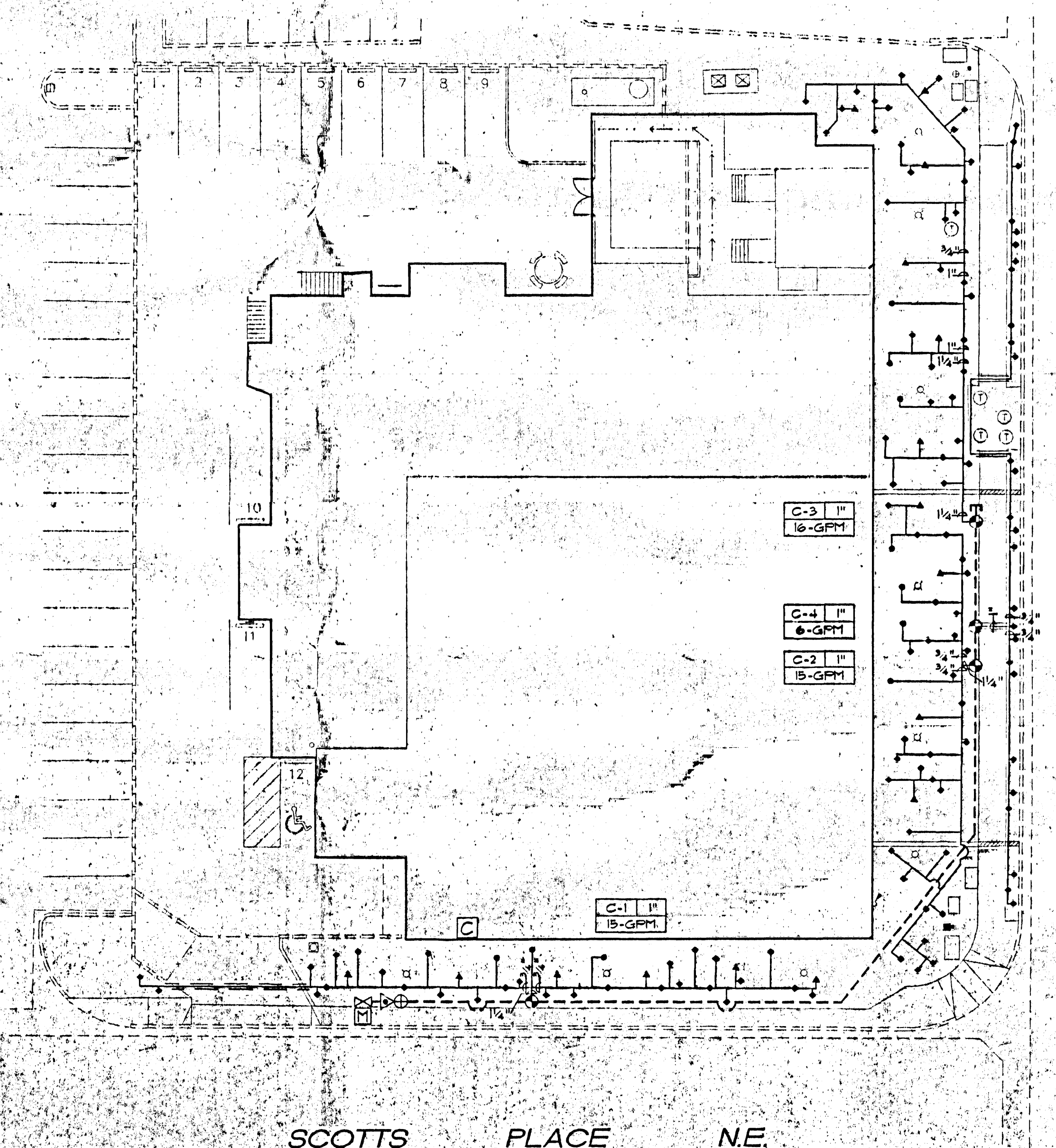
**B** BACKFLOW PREVENTER & MASTER VALVE ASSEMBLY  
L02



**C** REMOTE CONTROL VALVE ASSEMBLY  
L02



**D** BUBBLER ASSEMBLY  
L02



SCOTTS PLACE NE

7621 WYOMING BOULEVARD NE

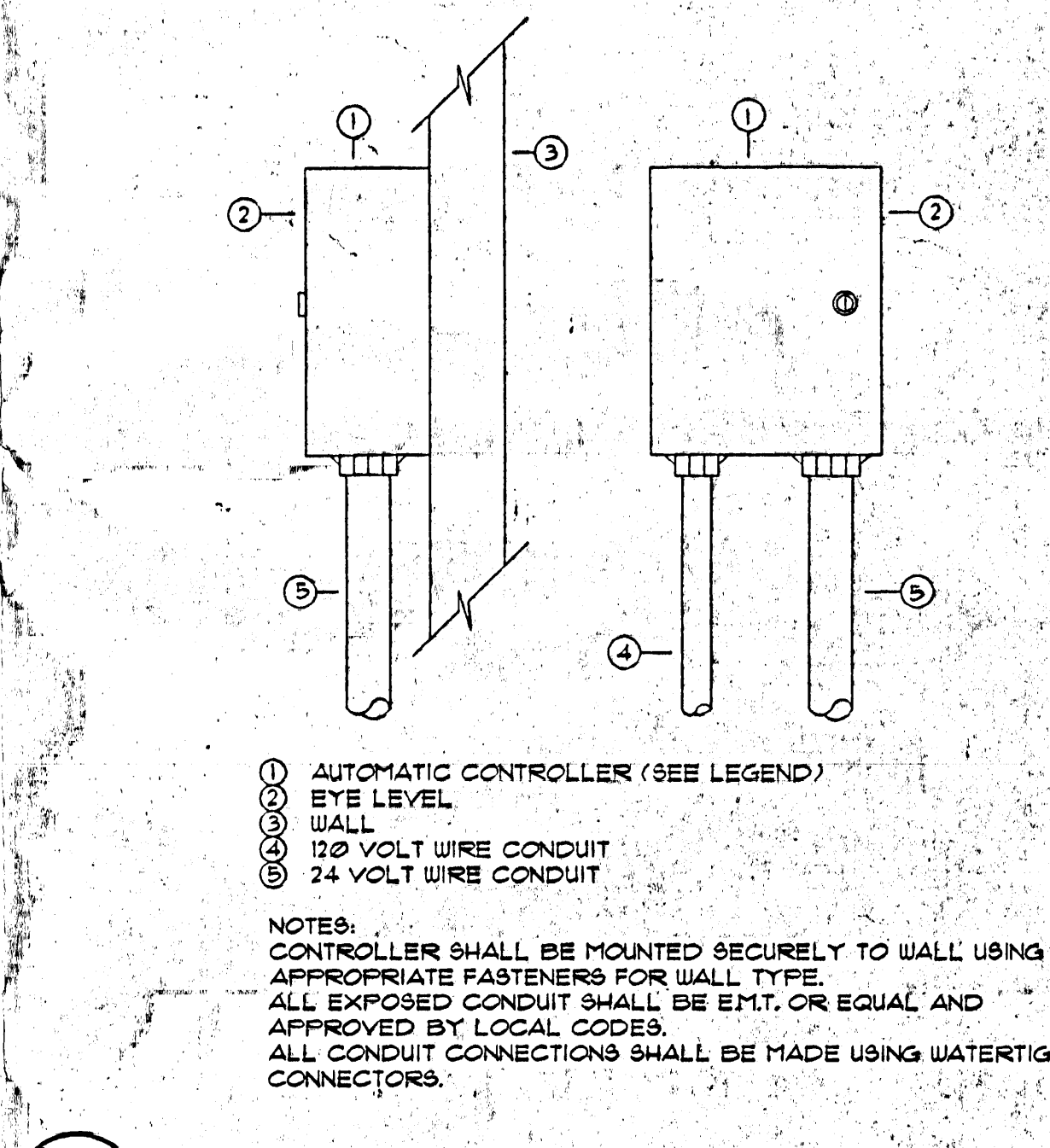
**IRRIGATION LEGEND**

- EXISTING WATER METER, SIZE 1" (MINIMUM)
- POINT OF CONNECTION, SPEARS TRUE-UNION, SCH 80 PVC BALL VALVE, SIZE 1/4", CONNECT TO DOMESTIC WATER LINE "DOWN-STREAM" OF EXISTING WATER METER. SEE DETAIL A/L02
- 24-VOLT IRRIGATION WIRE SLEEVE PIPING, CLASS 200, SDR-21, BELL-END, SOLVENT WELD PVC, SEE NOTE NO. 2 BELOW
- IRRIGATION MAIN LINE, SCH 40, BELL-END, SOLVENT WELD PVC, SIZE 1/4", DEPTH OF BURY 28" FOR CONTINUOUS PRESSURE IRRIGATION MAIN AND 18" FOR NON-CONTINUOUS
- LATERAL PIPING, SCH 40, BELL-END, SOLVENT WELD PVC, SIZE AS SHOWN ON PLAN. DEPTH OF BURY, 18", SIZES NOT SHOWN ON PLAN SHALL BE 3/4"
- BACKFLOW PREVENTER AND MASTER VALVE ASSEMBLY, FEBCO 860, 1" REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER WITH BALL VALVES IN HOT BOX MODEL NO. 1 HEATED AND INSULATED BACKFLOW ENCLOSURE WITH WEATHERMATIC 10240-FCR PRESSURE REGULATING 24-VOLT MASTER VALVE, SIZE 1". SEE DETAIL B/L02
- REMOTE CONTROL VALVE ASSEMBLY, WEATHERMATIC 1024-FCR PLASTIC BODY 24-VOLT AUTOMATIC VALVE, SIZE AS SHOWN ON PLAN. SEE DETAIL C/L02
- SOLVENT WELD CAP, SCH 40 PVC, SIZE SAME AS IRRIGATION MAIN LINE.
- PRESSURE COMPENSATING BUBBLER ASSEMBLIES, RAIN BIRD 1400 SERIES, AS FOLLOWS: SEE DETAIL D/L02

MODEL NO.	GPM	PSI
1401	25	3.0
1402	30	3.0
1404	100	3.0

- IRRIGATION CONTROLLER, IRRITROL MC-4-B-PLUS, FOUR STATION WALL MOUNT CONTROLLER WITH INTERNAL TRANSFORMER AND LOCKING METAL CABINET, ATTACH TO WALL WITH APPROPRIATE FASTENERS. SEE DETAIL E/L02

- IRRIGATION NOTES**
- CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO CONSTRUCT PROPOSED IRRIGATION SYSTEM IN ACCORDANCE WITH PLANS, WRITTEN SPECIFICATIONS AND DETAILS.
  - THE CONTRACTOR SHALL MECHANICALLY BORE UNDER EXISTING PAVING AS REQUIRED TO INSTALL IRRIGATION SLEEVES. CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES PRIOR TO BORING OPERATIONS. REPAIR TO ANY DAMAGED UTILITIES SHALL BE AT THE EXPENSE OF THE CONTRACTOR.
  - THIS SYSTEM WAS DESIGNED AT A MINIMUM STATIC PRESSURE OF 85 PSI AT THE POINT OF CONNECTION. CONTRACTOR SHALL VERIFY ACTUAL PSI AND DELIVER RESULTS TO LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. IN THE EVENT THE ACTUAL PSI IS LESS THAN 85 PSI THE CONTRACTOR SHALL RECEIVE DIRECTION FROM LANDSCAPE ARCHITECT REGARDING DESIGN MODIFICATIONS IF NECESSARY.
  - THE CONTRACTOR SHALL PROVIDE AND INSTALL 120-VOLT SERVICE FROM EXISTING TO PROPOSED IRRIGATION CONTROLLER AND BACKFLOW PREVENTER ENCLOSURE. WORK AND MATERIALS SHALL MEET LOCAL CODES AND THE NATIONAL ELECTRIC CODE.
  - CONTRACTOR SHALL REMOVE EXISTING IRRIGATION MANUAL VALVE, AUTOMATIC VALVE, BACKFLOW PREVENTER VALVE BOXES, BUBBLER HEADS AND RISERS. EXISTING LATERAL PIPING SHALL BE ABANDONED IN PLACE.
  - AFTER REMOVING EXISTING IRRIGATION EQUIPMENT THE CONTRACTOR SHALL REPLACE SECTION OF EXISTING DOMESTIC WATER MAIN TO MATCH EXISTING AND REPAIR ANY LEAKS DISCOVERED NEAR EXISTING IRRIGATION VALVE BOX ADJACENT TO EXISTING WATER METER.
  - CONTRACTOR SHALL REMOVE EXISTING 1/2" 24-VOLT ELECTRICAL CONDUIT ON EXTERIOR OF SOUTH WALL (FROM EXISTING CONTROLLER) AND REPLACE WITH SHORT CONDUIT FROM EXISTING LB STRAIGHT DOWN AND EXTENDED 18" BELOW TOP OF PLANTING BED. INSTALL 1/2" SWEEP ELL AT BASE AND ATTACH NEW 1/2" CONDUIT TO WALL WITH APPROPRIATE FASTENERS.
  - CONTRACTOR SHALL REMOVE EXISTING IRRIGATION CONTROLLER LOCATED AT SAME LOCATION AS PROPOSED IRRIGATION CONTROLLER.



**E** AUTOMATIC CONTROLLER  
L02

MORROW REARDON WILKINSON, LTD.  
LANDSCAPE ARCHITECTS  
210 LA VETA NE, ALBUQUERQUE, NM 87108  
505.269.2268 FAX 505.269.9377  
mrw@mrwam.com

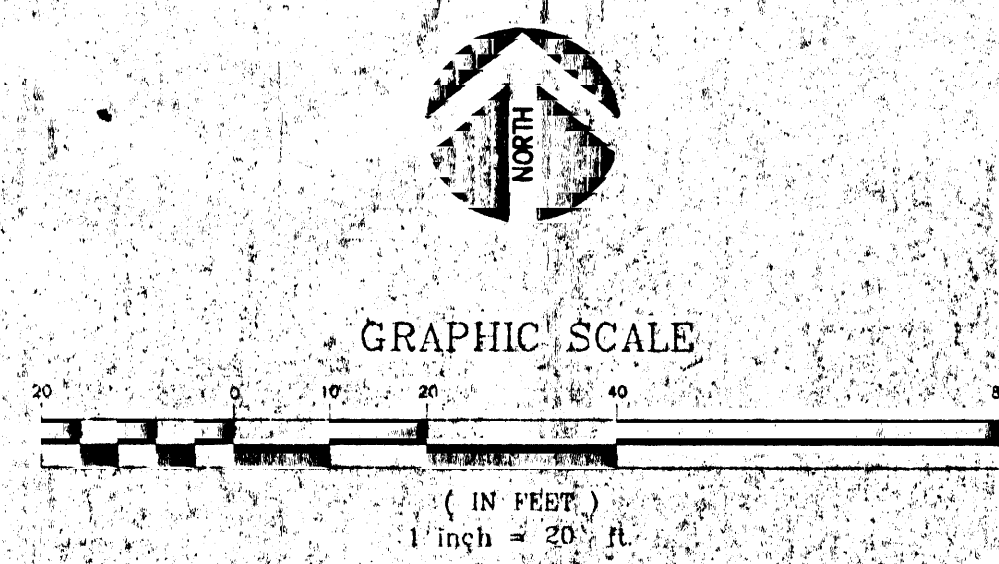
CHAVEZ • GRIEVES  
CONSULTING ENGINEERS, INC.  
1600 ATTORNEY STREET N.E. • ALBUQUERQUE, NEW MEXICO 87108  
PHONE (505) 344-0280 • FAX (505) 343-8759

DATE: 5-29-01	BY: BPLW	CHECKED: LH	NO. OF SHEETS: 2
BPLW Architects & Engineers, Inc.			21003.02
6200 UPTOWN BOULEVARD NE - SUITE 400 ALBUQUERQUE, NEW MEXICO 87110 (505) 881-2753			ARCH

ALBUQUERQUE, NM  
ACADEMY  
BUILDING ADDITION  
IRRIGATION PLAN

STATE OF NEW MEXICO  
REGISTERED LANDSCAPE ARCHITECT  
NO. 26  
Manager - Real Estate Engineering  
ONEST CONSULTANCY  
Business Resources - Real Estate  
Albuquerque, New Mexico

54202-AC-L02



54202-AC-L02

FOR FILE ONLY  
NO. 100-10100  
DATE: 5/29/01  
REV: 05/29/01

NAME: 3201-IRRDUG; DATE: JULY 11, 2001; TIME: 10:35 AM; PLOT 11 VIEW SHEET 1 BASE REV: 3-25-01 ECR/VL/STAL

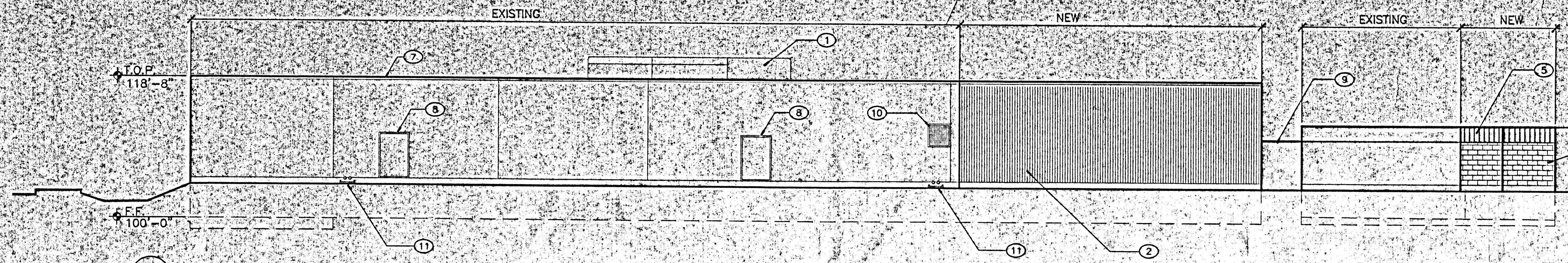


BID SET  
 BUILDING ADDITION  
 ISSUE #1  
 CASE# 0158284  
 5-10-01

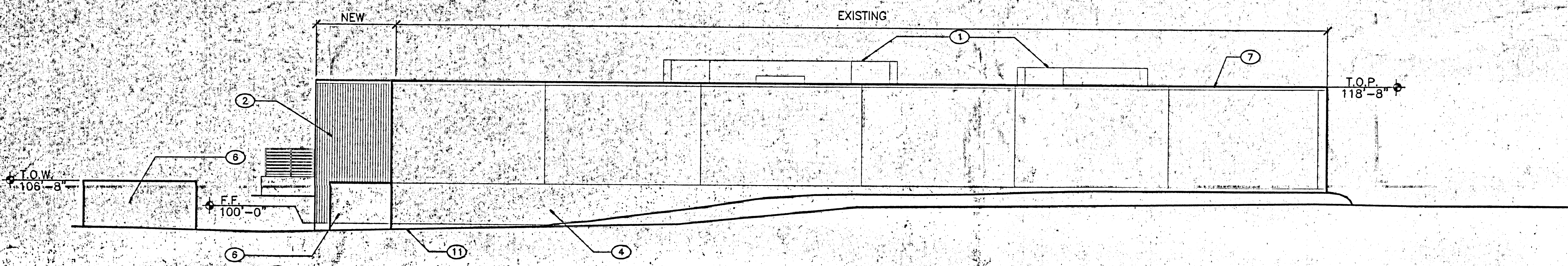
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 BUILDING ADDITION  
 ISSUE #2  
 CASE# 0158284  
 5-18-01

**KEYED NOTES:**

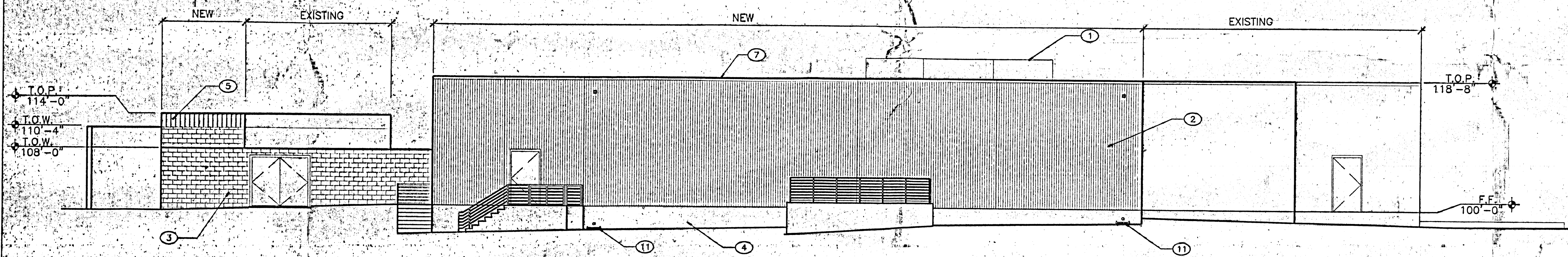
1. REMOVE EXISTING MECHANICAL COMPLETELY
2. FLUTE-FACE CONCRETE BLOCK; COLOR: BROWN (VERIFY IN FIELD) TO MATCH EXISTING
3. STANDARD CONCRETE BLOCK
4. EXPOSED CONCRETE
5. METAL FASCIA
6. EXISTING FLUTE-FACE CONCRETE BLOCK WALL
7. METAL CAP
8. EXISTING WINDOW
9. EXISTING WALL
10. LOUVER WITH SECURITY BAR; SEE DETAIL 14/A11
11. CONCRETE SPLASH BLOCK



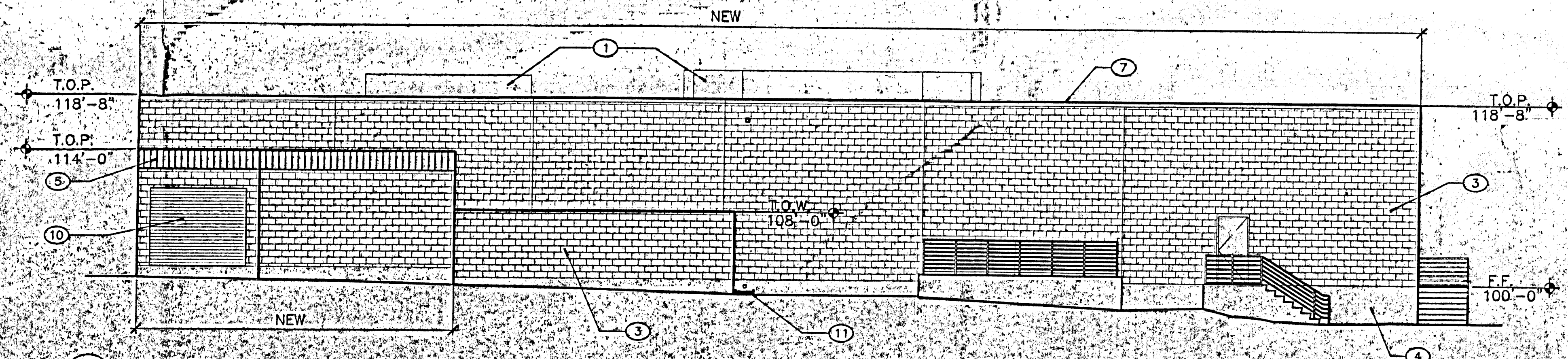
**EAST ELEVATION**  
 SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION**  
 SCALE: 1/8" = 1'-0"



**WEST ELEVATION**  
 SCALE: 1/8" = 1'-0"



**NORTH ELEVATION**  
 SCALE: 1/8" = 1'-0"

DESIGNED BY: NN	<b>BPLW</b> Architects & Engineers, Inc.	Job No. 21003.02	No. of Sheets 11
CHECKED BY: LH	6200 UPTOWN BOULEVARD, NE - SUITE 400 ALBUQUERQUE, NEW MEXICO 87110 (505) 881-2759	ARCH. 11	
DATE: 5/10/01			

**WILLIAM PAUL WATERS**  
 REGISTERED ARCHITECT

**ALBUQUERQUE, NM**  
**ALBUQUERQUE ACADEMY**  
**BUILDING ADDITION**  
 EXTERIOR ELEVATIONS

Manager - Real Estate Engineering  
 WEST COMMUNICATIONS  
 General Contractor - Paul Stone  
 Albuquerque, NM

5A202-AC-SKA06

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