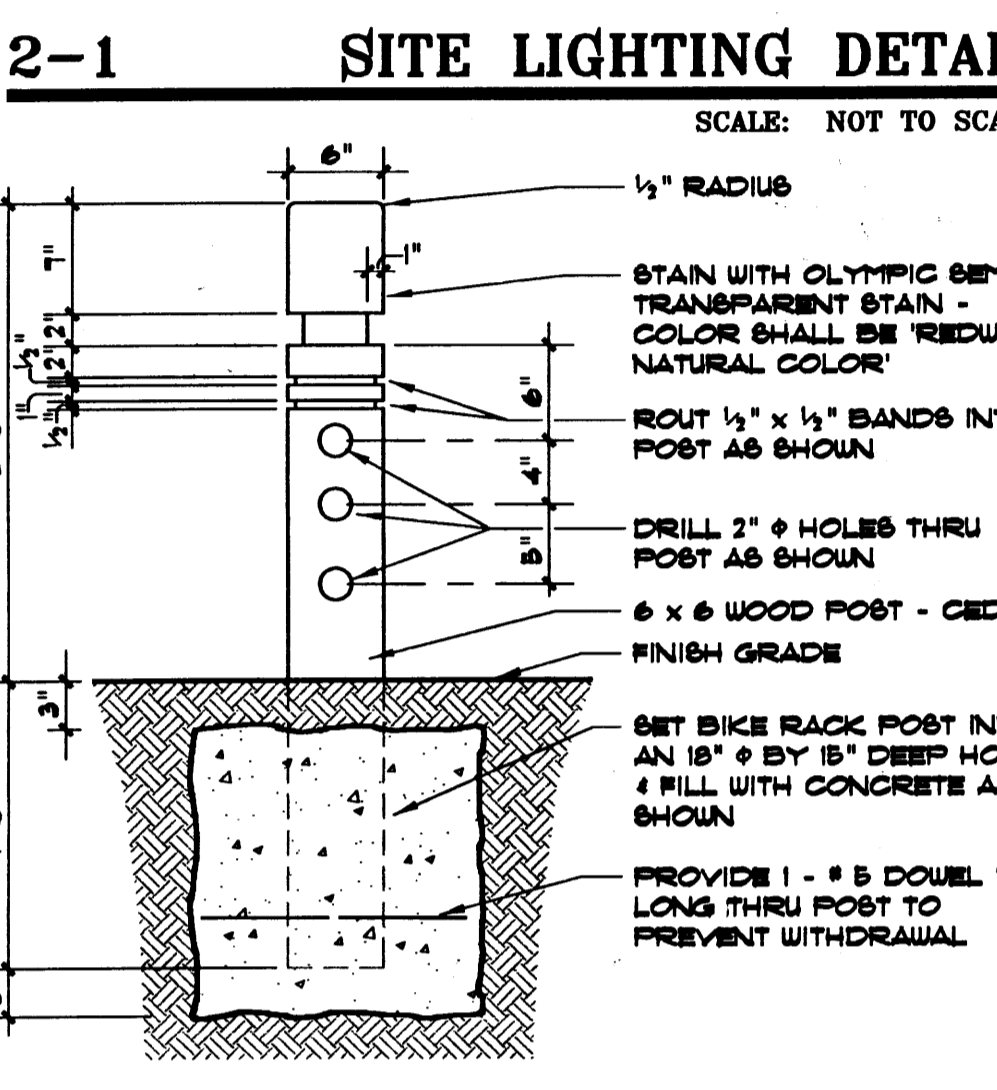


2-1 SITE LIGHTING DETAIL
SCALE: NOT TO SCALE

SITE LIGHTING SHALL BE LOCATED SO AS NOT TO GLARE ONTO ADJACENT SITES. LIGHTS SHALL BE LOCATED ON THE SITE AND ON THE BUILDING.

LIGHT SHALL NOT GLARE ONTO ANY PUBLIC RIGHT-OF-WAY AND SHALL NOT HAVE AN OFF-SITE LUMINANCE OF GREATER THAN 100 FOOT LAMBERTS.

SITE LIGHTING FOR PAD STRUCTURES IS TO MATCH THE SITE LIGHTING PROVIDED FOR THE MAIN PARKING AREAS. EXPOSED UNSHIELDED LIGHT FIXTURES ARE PROHIBITED. ALL LIGHT FIXTURES SHALL BE FULLY SHIELDED HORIZONTAL LAMPS, CUSTOM TYPE TO PREVENT FUGITIVE LIGHT BEYOND THE PROPERTY LINE. NO LIGHT SOURCE SHALL BE VISIBLE FROM THE SITE PERIMETER.



2-2 BIKE RACK POST
SCALE: 1" = 1'-0"

STAIN WITH OLYMPIC SEMI-TRANSPARENT STAIN - COLOR SHALL BE REDWOOD NATURAL COLOR.

ROUT 1/2" x 1/2" BANDS INTO POST AS SHOWN.

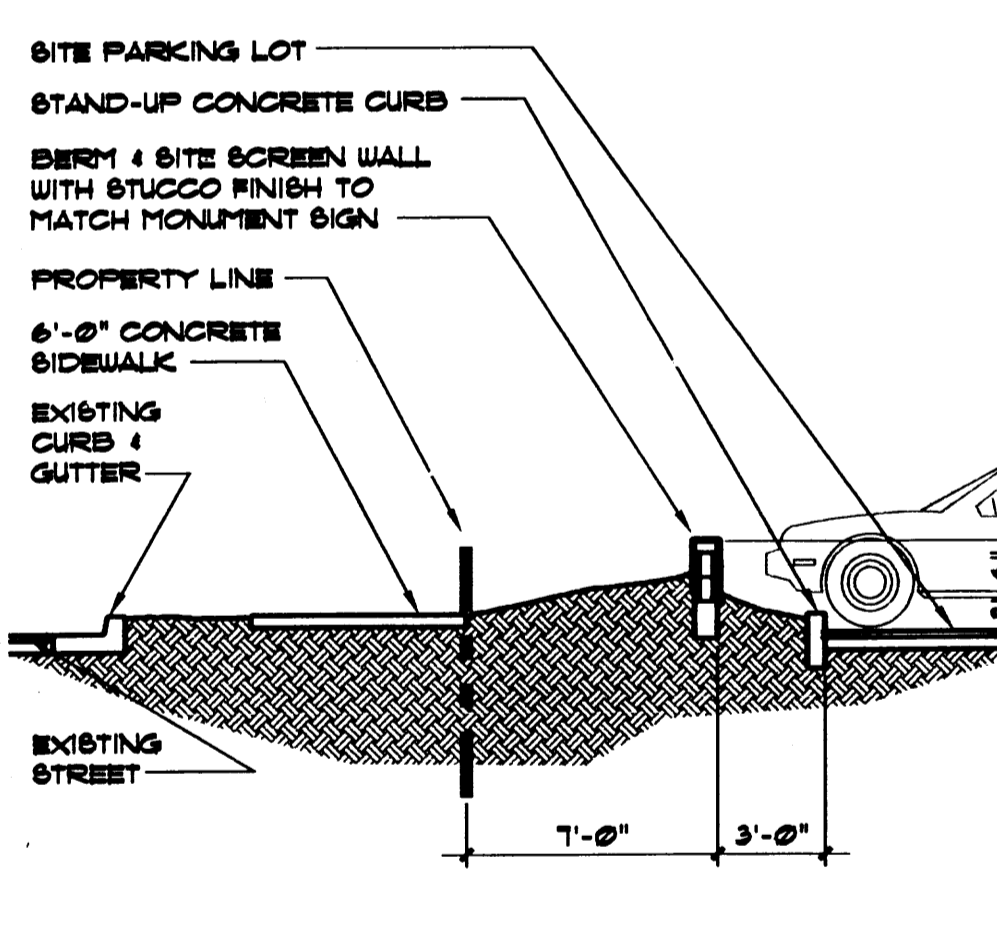
DRILL 2" Ø HOLES THRU POST AS SHOWN.

6 x 6 WOOD POST - CEDAR.

FINISH GRADE.

SET BIKE RACK POST INTO AN 18" Ø BY 15" DEEP HOLE & FILL WITH CONCRETE AS SHOWN.

PROVIDE 1" x 5" DOWEL 12" LONG THRU POST TO PREVENT WITHDRAWAL.



2-3 SCREEN WALL & BERM
SCALE: 3/16" = 1'-0"

STAND-UP CONCRETE CURB.

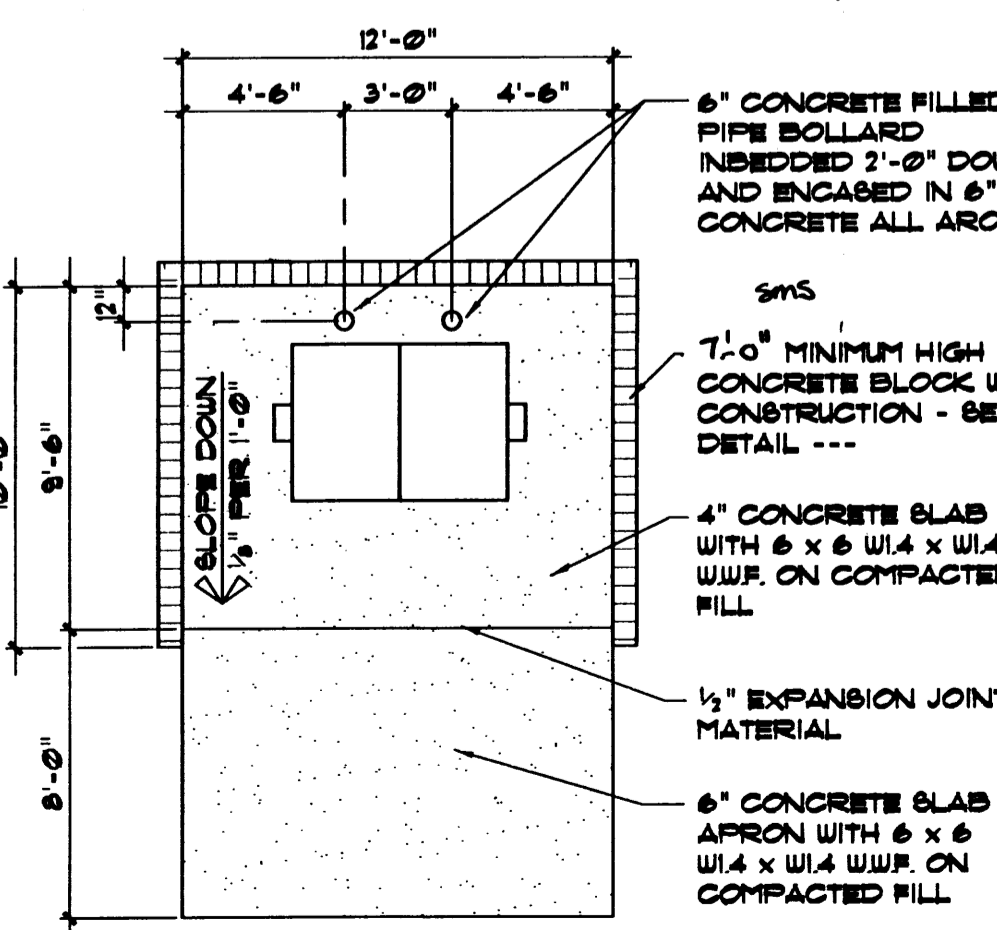
BERM & SITE SCREEN WALL WITH STUCCO FINISH TO MATCH MONUMENT SIGN.

PROPERTY LINE.

6'-0" CONCRETE SIDEWALK.

EXISTING CURB & GUTTER.

EXISTING STREET.



2-5 TRASH ENCLOSURE
SCALE: 3/16" = 1'-0"

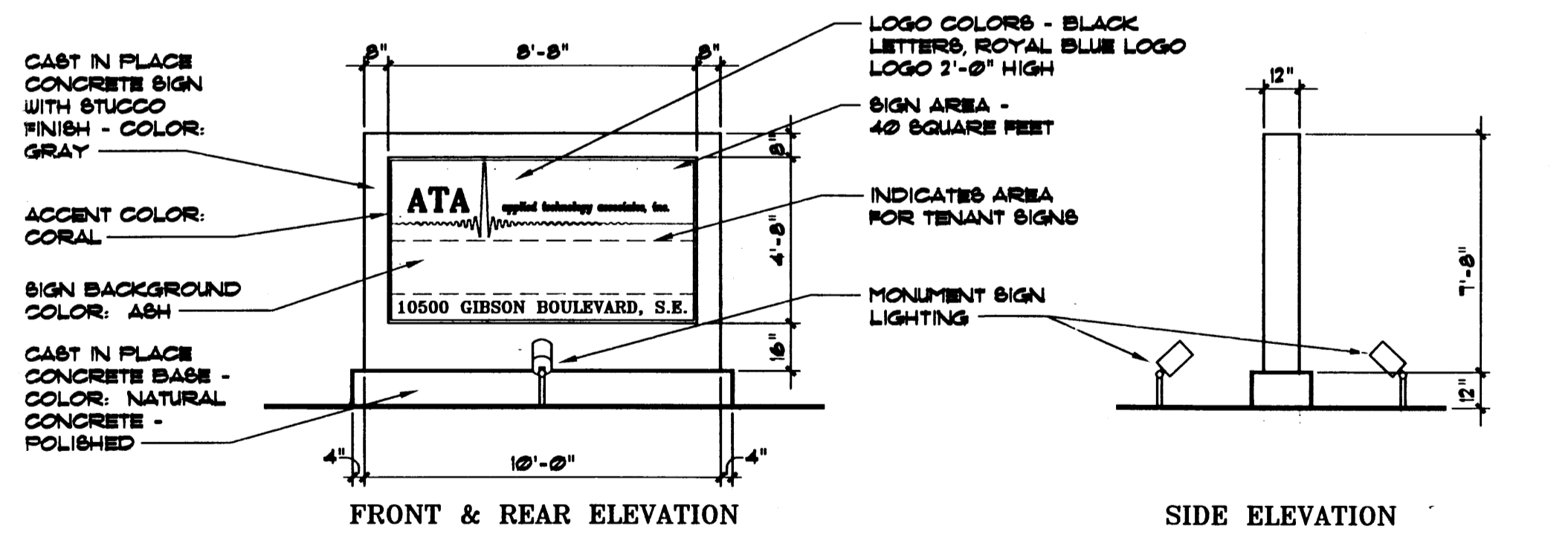
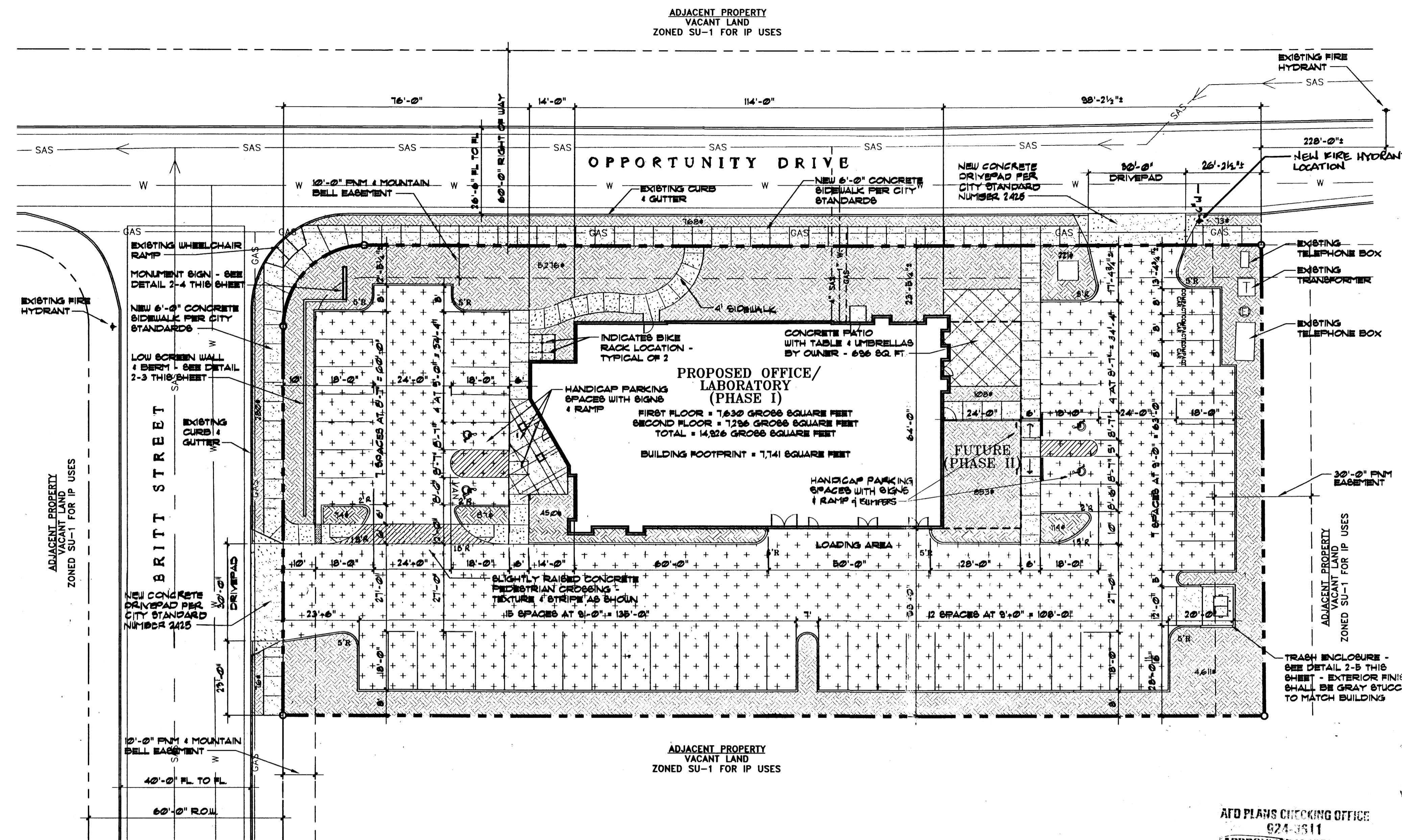
6" CONCRETE FILLED PIPE BOLLARD IMBEDDED 2'-0" DOWN AND ENCASED IN 6" CONCRETE ALL AROUND.

7'-0" MINIMUM HIGH CONCRETE BLOCK WALL CONSTRUCTION - SEE DETAIL ---.

4" CONCRETE SLAB WITH 6 x 6 W/4 x W/4 W/IF ON COMPACTED FILL.

1/2" EXPANSION JOINT MATERIAL.

6" CONCRETE SLAB AFRON WITH 6 x 6 W/4 x W/4 W/IF ON COMPACTED FILL.



EXTERIOR FINISHES

EXTERIOR BUILDING FINISHES SHALL BE:

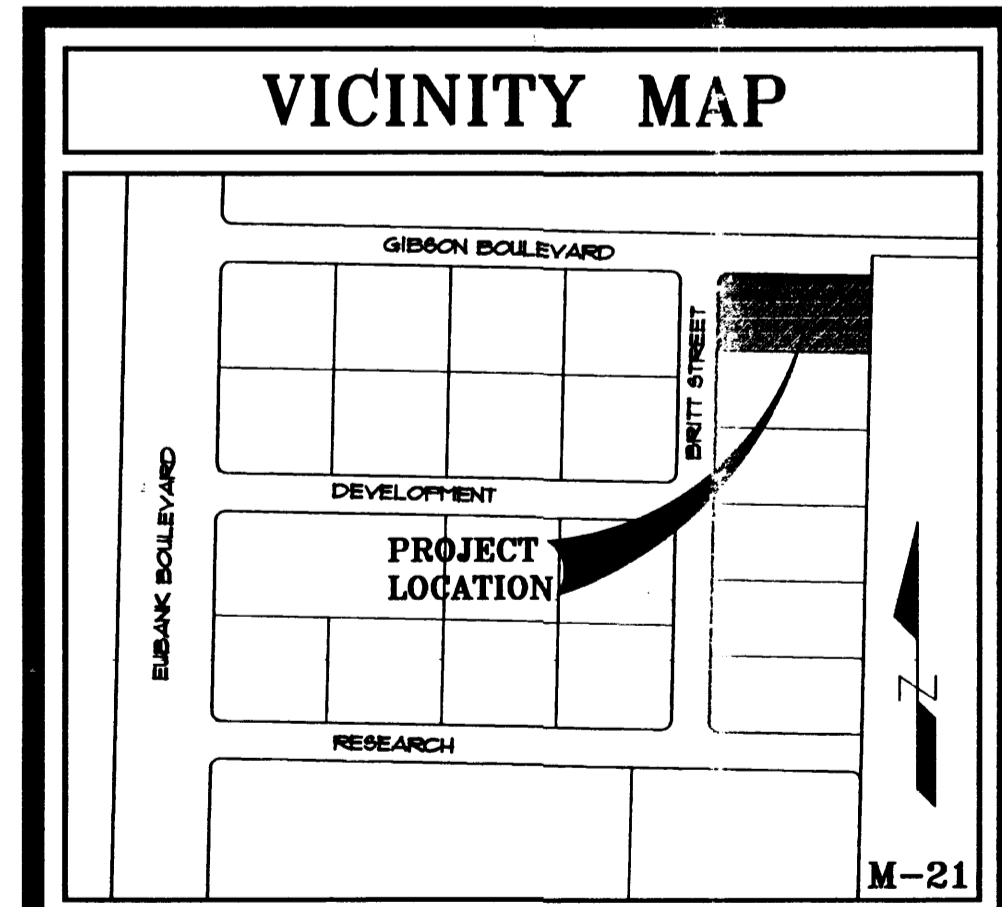
STUCCO: COLOR # ONE - GRAY
COLOR # TWO - CORAL
COLOR # THREE - ASH

BRICK AT ENTRY STRUCTURE: ROSE BLEND

DOOR AND FRAMES: GRAY

STOREFRONT FRAMES: CLEAR ANODIZED ALUMINUM

WINDOW GLAZING: BLUE GREEN TINTED



SITE PLAN LEGEND

INDICATES EXTENT OF LANDSCAPE AREAS AND SIZE OF EACH AREA.

INDICATES EXTENT OF ASPHALTIC CONCRETE PAVING. SEE SPECIFICATIONS.

INDICATES EXTENT OF CONCRETE PAVING AND CONCRETE SIDEWALKS.

PROPERTY LINE

EASEMENT BOUNDARIES.

SIGNATURE BLOCK

PROJECT NUMBER: 1001153
E.P.C. CASE NO. 01128 00000 00419
D.R.B. CASE NO. 21452 00000 00174

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL FINANCING COMMISSION (EFC) ON MAY 18, 2001, AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH:

SITE DEVELOPMENT PLAN

Rubén D. ... 7/27/01
TRAFFIC ENGINEER, TRANSPORTATION DIVISION DATE

Adriana E. ... 6/15/01
PARKS & RECREATION DEPARTMENT DATE

Roger A. ... 6/14/01
PUBLIC WORKS, WATER UTILITIES DIVISION DATE

Loren E. ... 6/14/01
CITY ENGINEER, ENGINEERING DIVISION / AMAFCA DATE

Tim ... 6/14/01
SOLID WASTE DEPARTMENT / REFUSE DATE

APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL.

James ... 7/27/01
CITY PLANNER / ALBUQUERQUE DATE

PROJECT INFORMATION

PROJECT: APPLIED TECHNOLOGY ASSOCIATES, INC.
LOCATION: 12500 GIBSON BOULEVARD, S.E. ALBUQUERQUE, NEW MEXICO

OWNER: APPLIED TECHNOLOGY ASSOCIATES, INC.
1801 RIO GRANDE BOULEVARD, S.E. ALBUQUERQUE, NEW MEXICO

ARCHITECT: CLAUDIO VIGIL ARCHITECTS
1801 RIO GRANDE BOULEVARD, N.W., SUITE 2 ALBUQUERQUE, NEW MEXICO

LEGAL DESCRIPTION: LOT ONE, BLOCK 3, BANDIA RESEARCH PARK.

ZONING ATLAS MAP: M-21-Z
CURRENT ZONING CLASSIFICATION: SU-1 FOR IP USES.

PROPOSED ZONING CLASSIFICATION: SU-1 FOR IP USES.

BUILDING FUNCTION: NEW OFFICE BUILDING, RESEARCH AND DEVELOPMENT AREA.

CONSTRUCTION TYPE: TYPE V-N CONSTRUCTION

ALLOWABLE AREA:
TYPE V-N CONSTRUCTION AND B 4-F-1 OCCUPANCIES = 5,000 SQ. FT.
INCREASE FOR MULTI STORY BUILDING = x2
TOTAL = 10,000 SQ. FT.
INCREASE FOR SEPARATION ON 3 SIDES = +100%
TOTAL ALLOWABLE AREA = 37,000 SQ. FT.

TOTAL BUILDING AREA: FIRST FLOOR = 7,630 SQ. FT.
SECOND FLOOR = 7,296 SQ. FT.
TOTAL BUILDING AREA = 14,926 SQUARE FEET

TOTAL GROSS AREA: 43,933 SQUARE FEET, 1,026 ACRES

NET LOT AREA: 36,152 SQUARE FEET

TOTAL PARKING/PAVED AREA: 2,045 SQ. FT.

TOTAL LANDSCAPE AREA REQUIRED: 5,423 SQ. FT.

TOTAL LANDSCAPE AREA PROVIDED: 12,148 SQ. FT.

PERCENTAGE OF SITE LANDSCAPED: 29 PERCENT

LANDSCAPE TO PARKING AREA RATIO: 1 TO 1.61

PARKING ANALYSIS:

PHASE ONE:
1st FLOOR OFFICE AREA - 4,600/200 = 23 PARKING SPACES
1st FLOOR LAB (MANUFACTURING) - 3,000/1000 = 3 PARKING SPACES
2nd FLOOR OFFICE AREA - 7,296/300 = 24 PARKING SPACES
TOTAL PHASE ONE = 50 PARKING SPACES

PHASE TWO:
1st FLOOR LAB (MANUFACTURING) - 1536/1000 = 2 PARKING SPACES
2nd FLOOR OFFICE AREA - 1536/300 = 5 PARKING SPACES
TOTAL PHASE TWO = 7 PARKING SPACES

TOTAL PARKING SPACES REQUIRED = 57 PARKING SPACES
TOTAL PARKING SPACES PROVIDED = 55 PARKING SPACES (INCLUDES 4 HANDICAP PARKING SPACES AND 3 SMALL CAR PARKING SPACES)

PARKING SPACE SIZES:

REGULAR CAR SPACES = 8'-0" x 18'-0" WITH A 2'-0" OVERHANG AND 1'-0" AISLE

SMALL CAR SPACES = 8'-0" x 15'-0" WITH A 2'-0" OVERHANG AND 1'-0" AISLE

HANDICAP SPACES = 8'-7" x 18'-0" WITH A 2'-0" OVERHANG AND A 9'-0" AISLE BETWEEN OR A 9'-0" AISLE

BICYCLE SPACES:

REQUIRED PARKING SPACES - 57/20 = 2.85 BICYCLE SPACES
BICYCLE SPACE REQUIRED = 3 BICYCLE SPACES
BICYCLE SPACES PROVIDED = 4 BICYCLE SPACES
(2 BIKE RACK POSTS AT 2 BICYCLES PER POST)

SITE LIGHTING: SEE DETAIL 2-1 THIS SHEET.

CITY REFERENCE NUMBERS:

PROJECT NUMBER: 1001153
E.P.C. CASE NUMBER: 01128 00000 00419

0 20' 50' 75' 100'

NORTH

SITE PLAN

MAY 31, 2001 SCALE: 1" = 20'-0" (U,N,O)

CLAUDIO VIGIL ARCHITECTS

APPLIED TECHNOLOGY ASSOCIATES

RESEARCH & PRODUCTION FACILITY

10500 GIBSON BOULEVARD, S.E. ALBUQUERQUE, NEW MEXICO

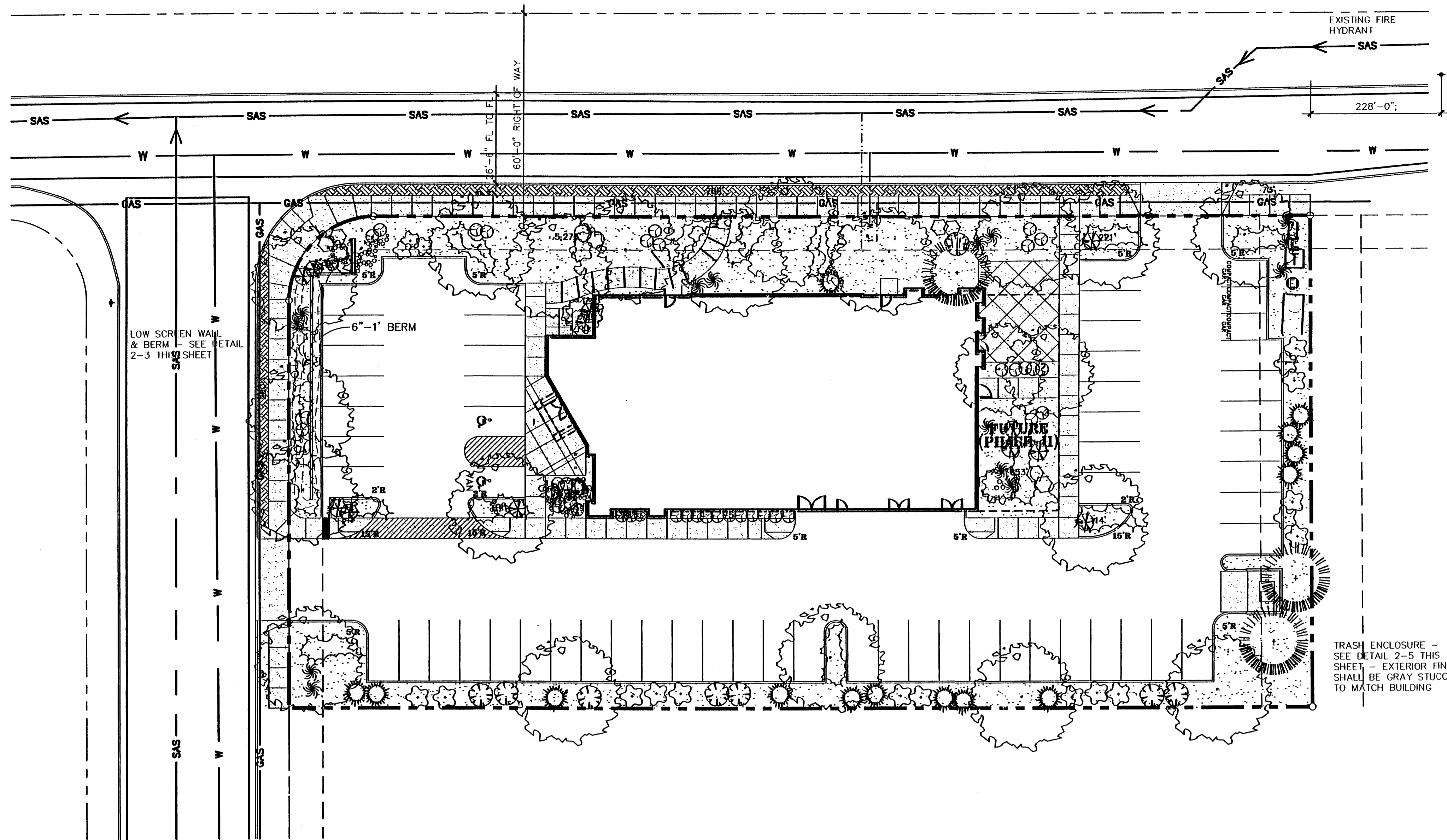
SHEET 1 of 3


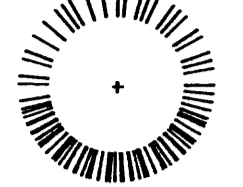





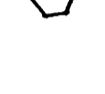
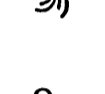


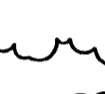

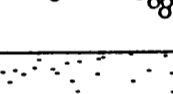
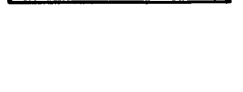
PROJECT NUMBER 01075

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-  HONEYLOCUST (H) / 21
Gleditsia triacanthos inermis
2" Cal.
-  AUSTRIAN PINE (H) 3
Pinus nigra
6"-8"
-  WASHINGTON HAWTHORN (H)/ 2
FLOWERING PEAR
Crataegus phaenopyrum
Pyrus calleryana
15 Gal.
-  INDIA HAWTHORN (M) 12
Raphiolepis indica
5 Gal.
-  BUTTERFLY BUSH (M) 14
Buddleia spp.
1 Gal.
-  ROSEMARY (M) 12
Rosmarinus officinalis
5 Gal.
-  BLUE MIST (M) 3
Caryopteris x clanodensis
1 Gal.
-  AUTUMN SAGE (M) 7
Salvia greggii
2 Gal.
-  MAIDENCRASS (M) 14
Miscanthus sinensis
1 Gal.
-  ROCK COTONEASTER (M) 20
Cotoneaster spp.
1 Gal.
-  CHAMISA (L) 8
Chrysothamnus nauseosus
1 Gal.
-  LAVENDER (M) 40
Lavandula spp.
1 Gal.
-  TAM JUNIPER (M) 33
Juniperus sabina
5 Gal.
-  OVERSIZED GRAVEL
& BOULDERS
-  TYPICAL LIGHT GRAY CRUSHER FINES
WITH FILTER FABRIC

TRASH ENCLOSURE -
SEE DETAIL 2-5 THIS
SHEET - EXTERIOR FINISH
SHALL BE GRAY STUCCO
TO MATCH BUILDING

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque, Water Conservation Landscaping and Water Waste Ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping, and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

LANDSCAPE CALCULATIONS

| NET LANDSCAPE AREA | | |
|-----------------------------|-----|-------------|
| TOTAL LOT AREA | 0 | square feet |
| TOTAL BUILDINGS AREA | 0 | square feet |
| OFFSITE AREA | 0 | square feet |
| NET LOT AREA | 0 | square feet |
| LANDSCAPE REQUIREMENT | 15% | |
| TOTAL LANDSCAPE REQUIREMENT | 0 | square feet |
| TOTAL LANDSCAPE PROVIDED | 0 | square feet |
| TOTAL BED PROVIDED | 0 | square feet |
| TOTAL SOD PROVIDED | 0 | square feet |
| TOTAL NATIVE SEED PROVIDED | 0 | square feet |

SEE SHEET 1 OF 3

NORTH

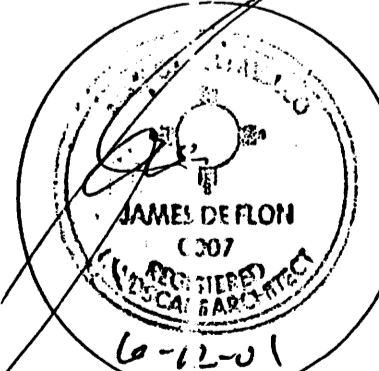
LANDSCAPE PLAN
 MAY 31, 2001 SCALE: 1" = 20'-0" (U,N,O)

The Hilltop
 LANDSCAPE ARCHITECTS & CONTRACTORS

Cont. Lic. #26458
 7909 Edith N.E.
 Albuquerque, NM 87184
 Ph. (505) 898-9690
 Fax (505) 898-7737
 it@hilltoplandscaping.com

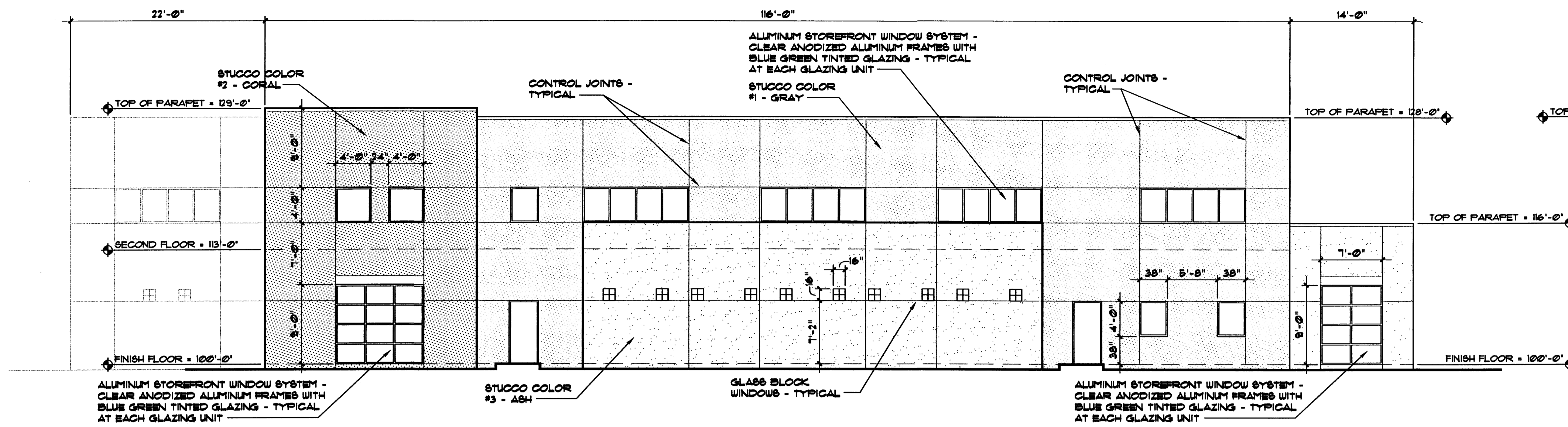
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 RESEARCH & PRODUCTION FACILITY
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 ALBUQUERQUE, NEW MEXICO

 SHEET
 2
 PROJECT NUMBER
 01075

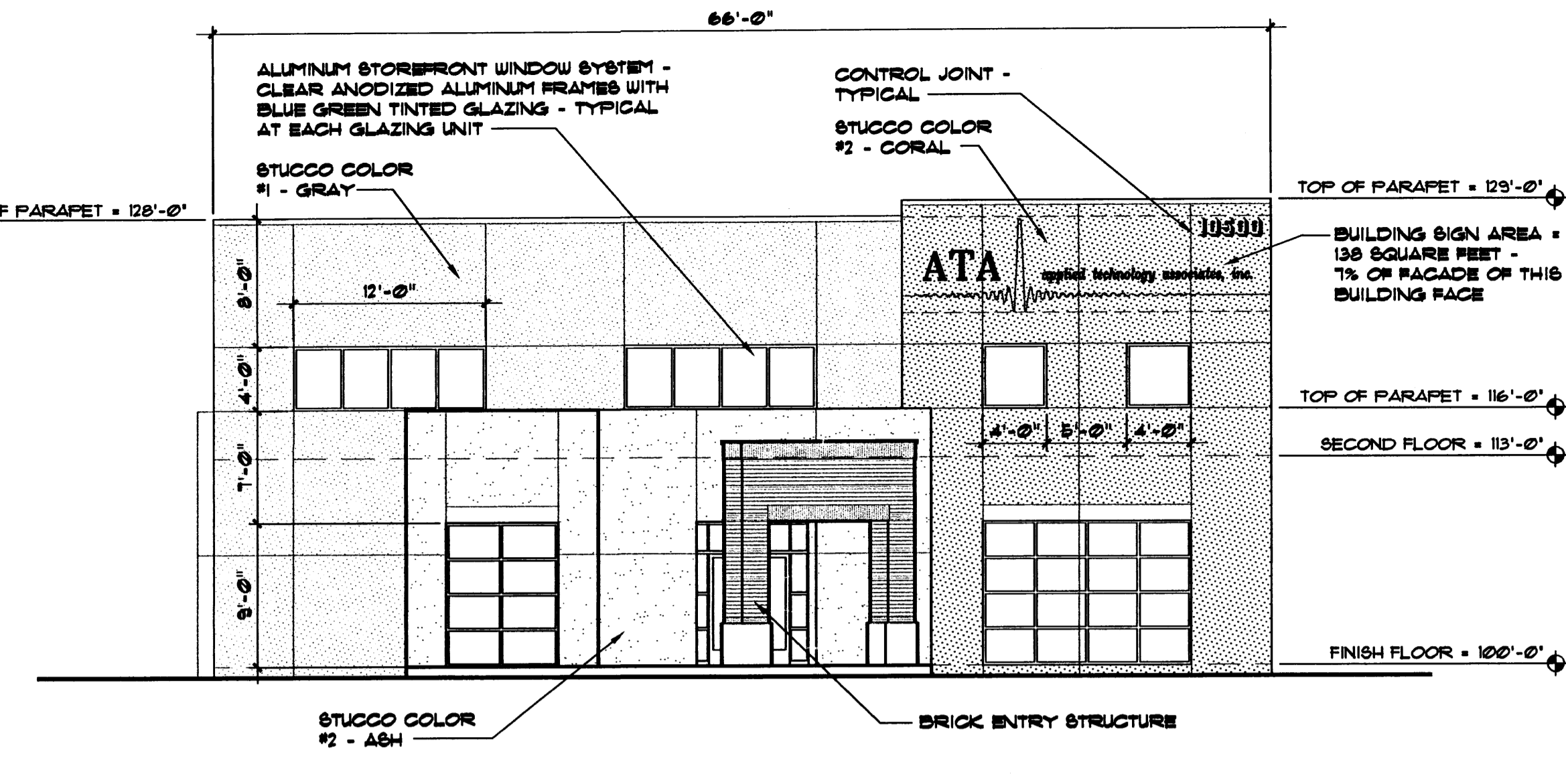
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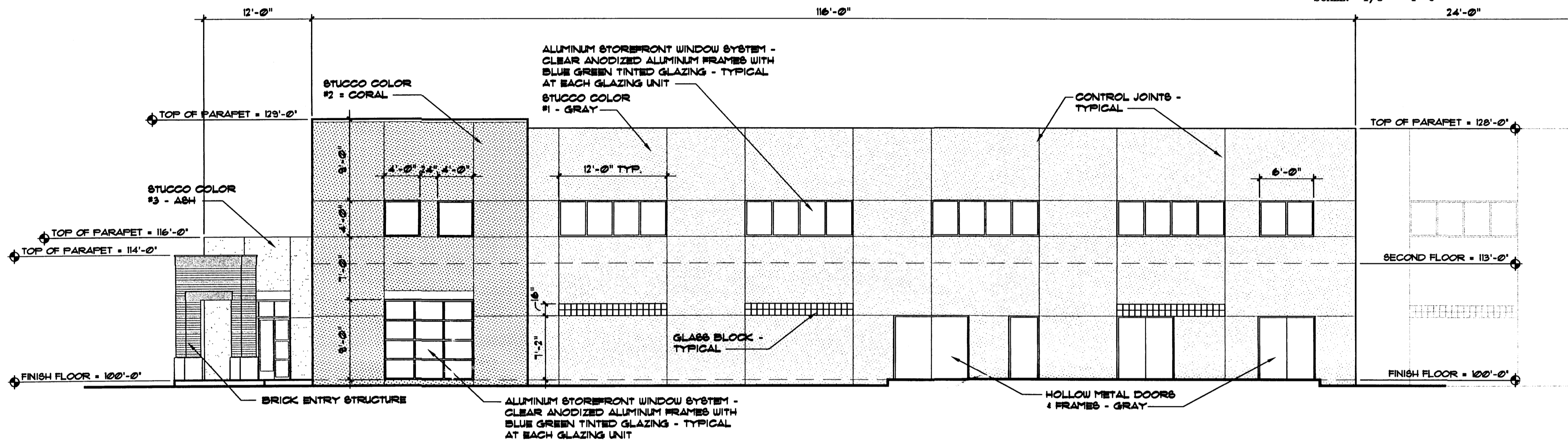
NORTH ELEVATION

SCALE: 1/8" = 1'-0"



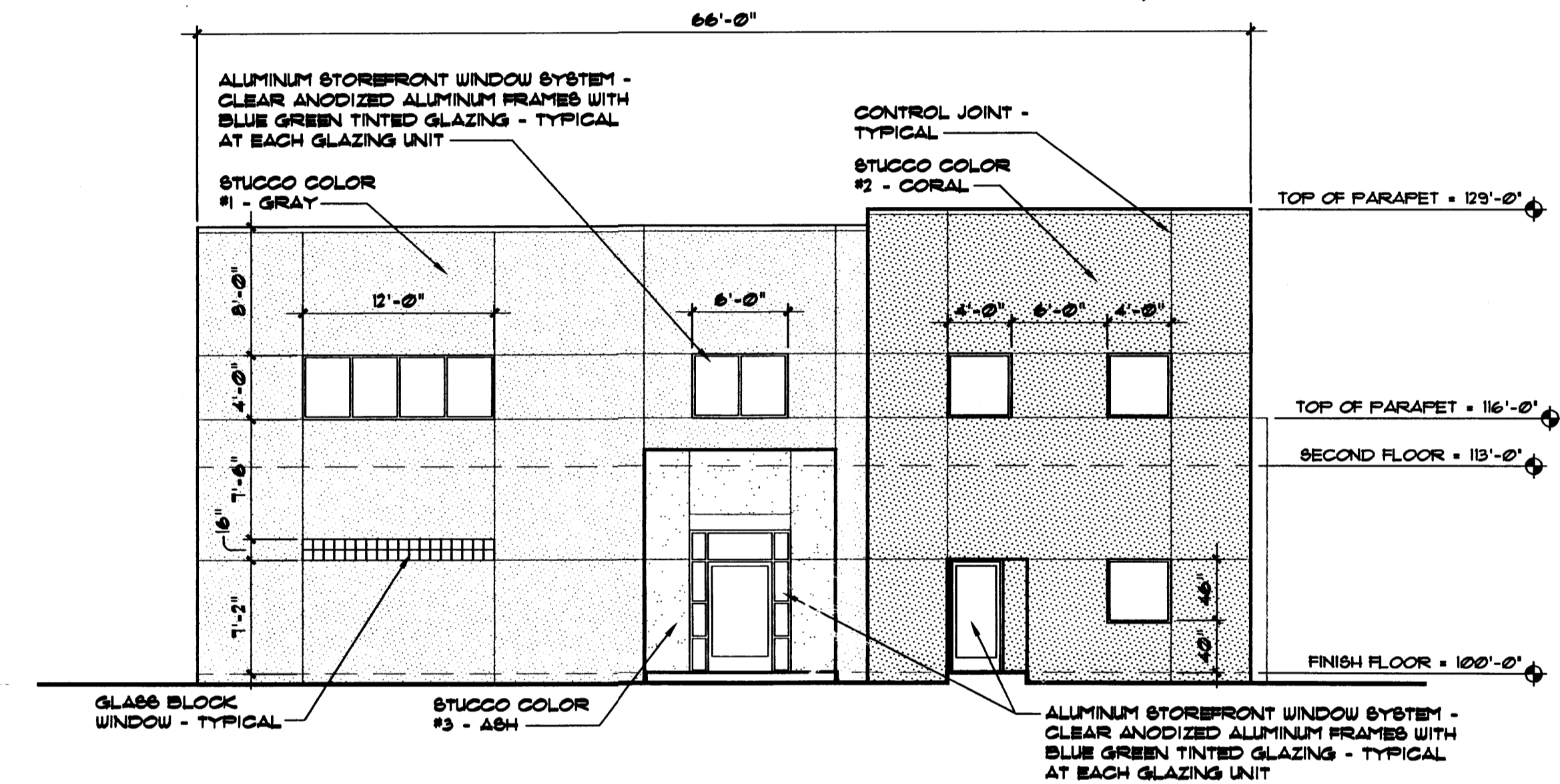
WEST ELEVATION

SCALE: 1/8" = 1'-0"



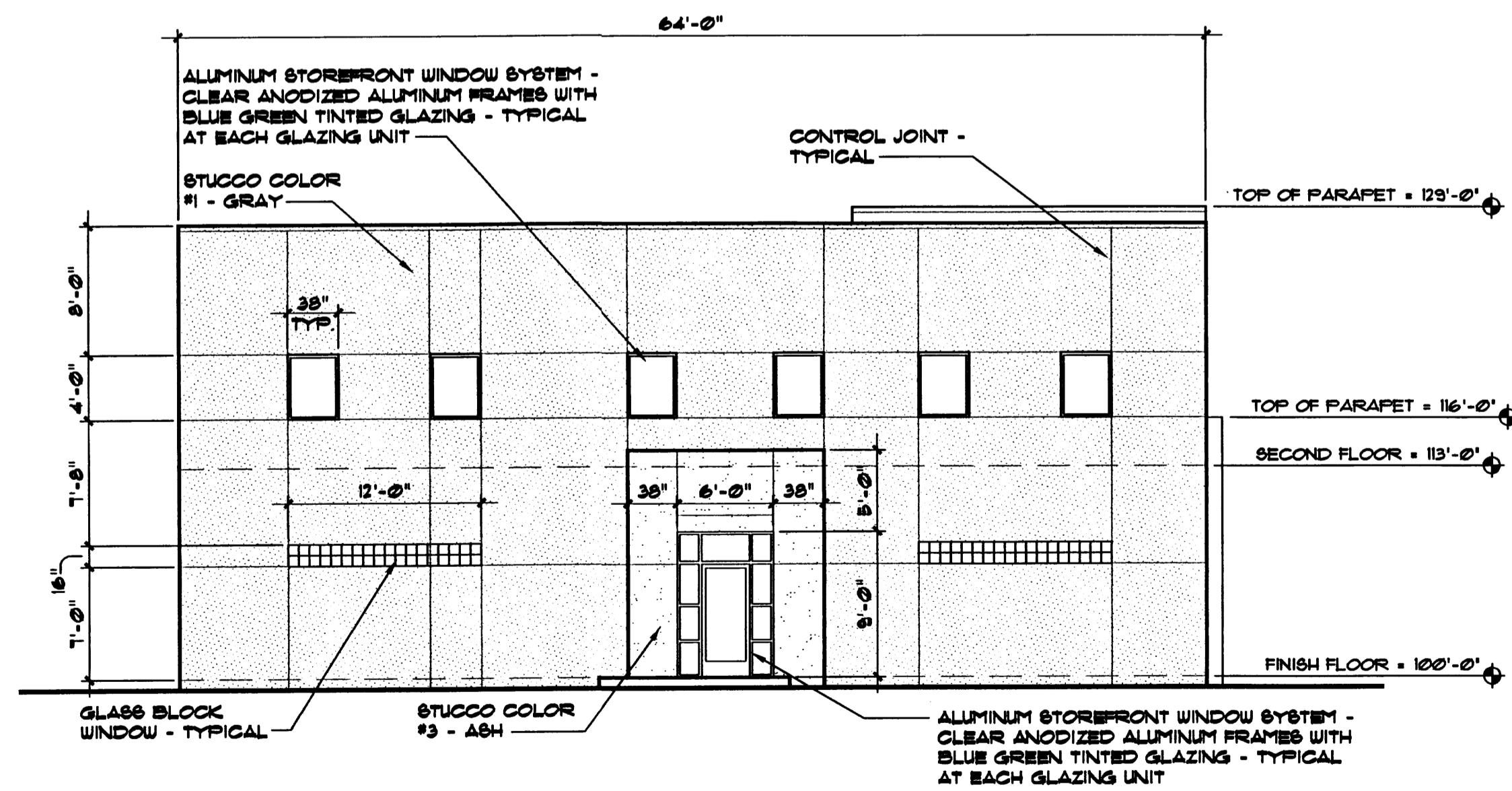
SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

SCALE: 1/8" = 1'-0"



PHASE 2 EAST ELEVATION


SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATIONS

JUNE 5, 2001 SCALE: 1/8" = 1'-0" (U.N.O.)

GENERAL NOTES

1. THE CONTRACTOR SHALL PLACE THE BUILDING ADDRESS IN A LOCATION WHERE IT IS VISIBLE AND CLEARLY LEGIBLE FROM THE STREET OR ACCESS. SEE WEST ELEVATION FOR LOCATION.
2. NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE INSTALLED ON THIS BUILDING. ANY FUTURE COMMUNICATIONS ANTENNA SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
3. ALL ROOFTOP EQUIPMENT SHALL BE BELOW THE TOP OF THE PARAPET OR SCREENED FROM VIEW FROM THE PROPERTY LINES OF THE SITE WITH ROOFTOP WALLS THAT ARE PAINTED TO MATCH THE PREDOMINANT BUILDING COLOR. ALL ROOFTOP EQUIPMENT AND ROOF PENETRATIONS SHALL BE PAINTED TO MATCH THE PREDOMINANT BUILDING COLOR. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH THE TOP OF THE EQUIPMENT BELOW THE TOP OF THE SCREEN WALL.



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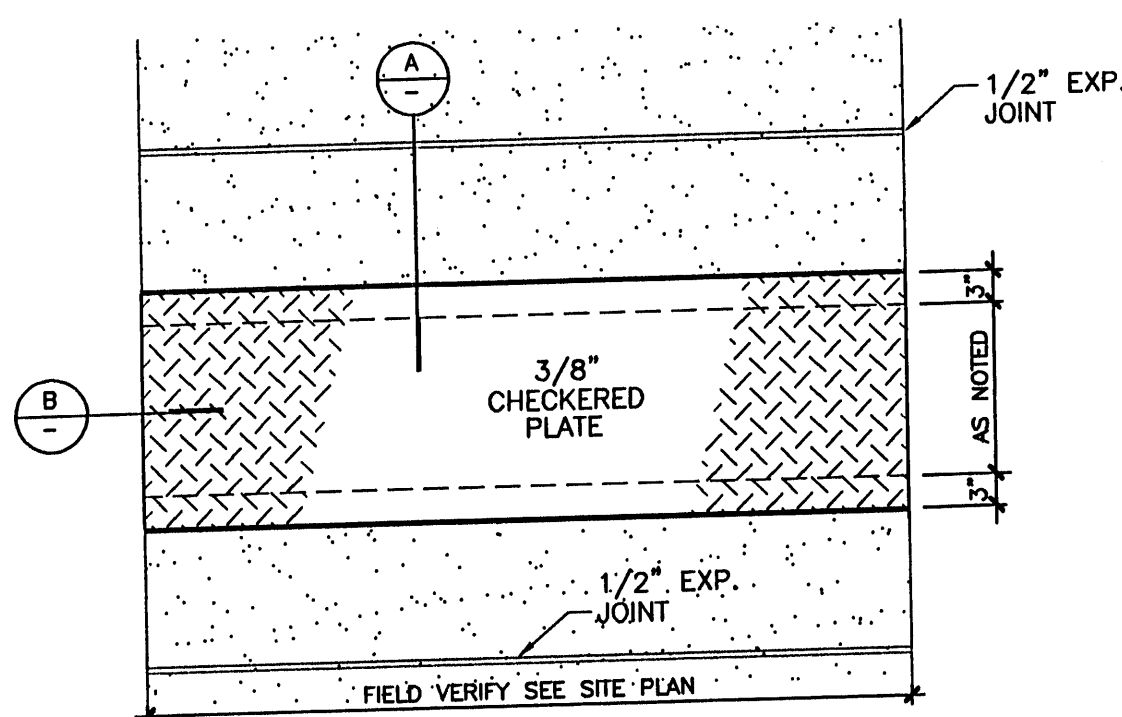
SHEET
3
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3

PROJECT NUMBER
01075

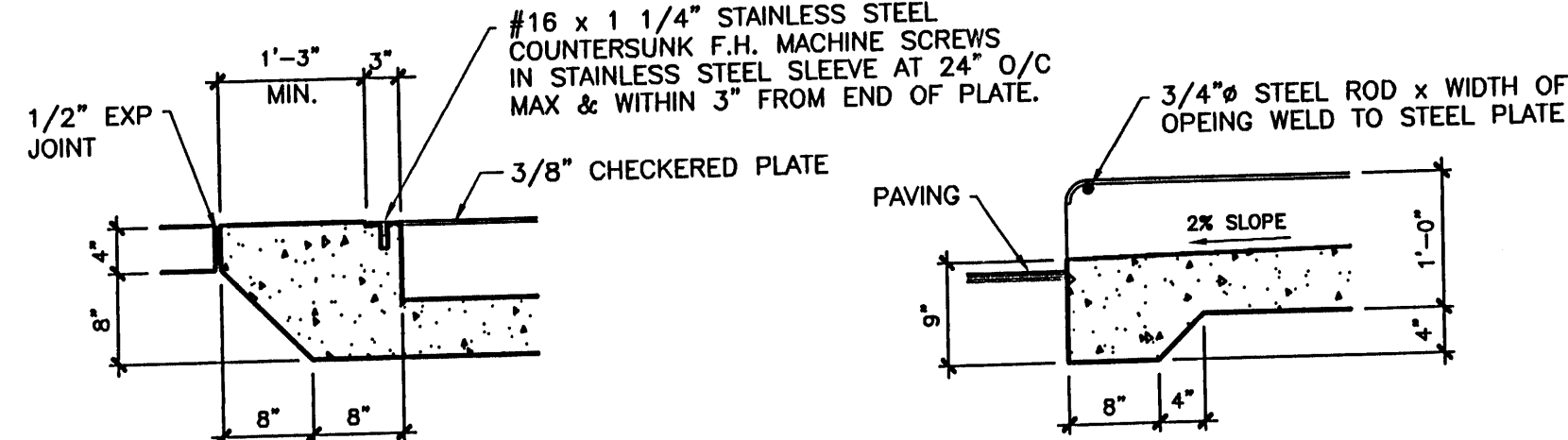
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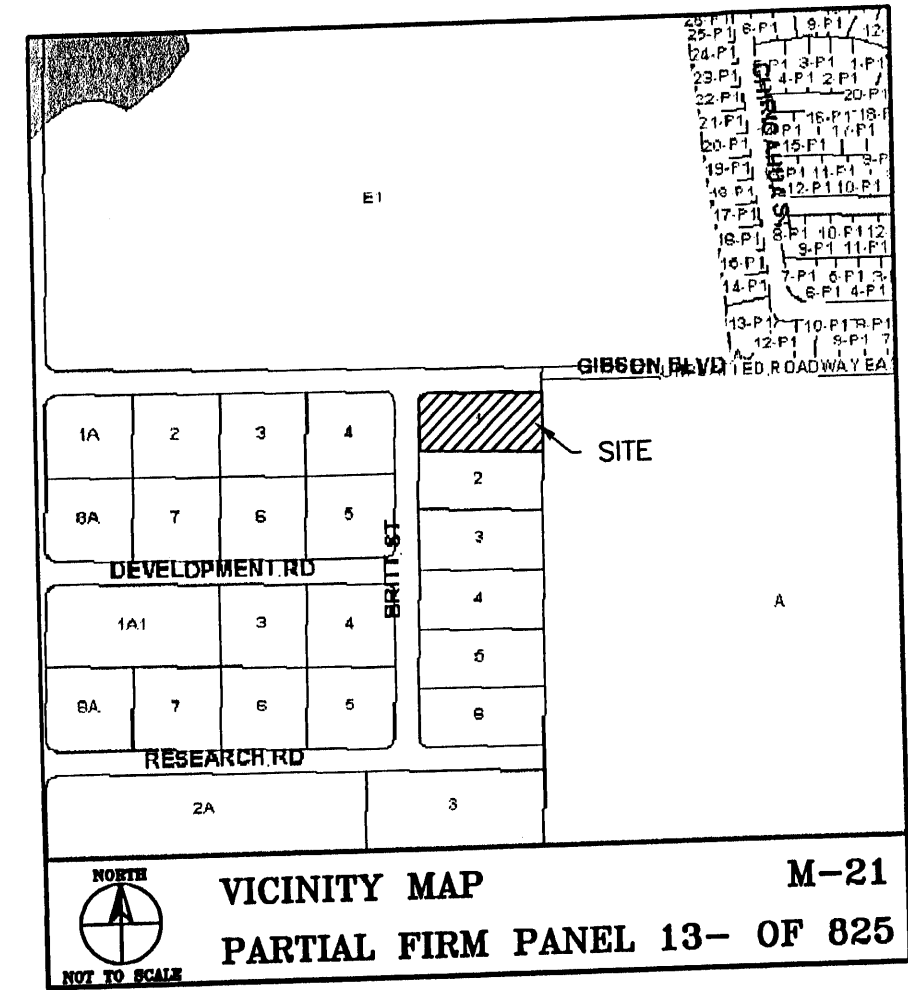
PLAN
3/8"=1'-0"



A SECTION
3/4"=1'-0"

B SECTION
3/4"=1'-0"

SIDEWALK CULVERT
AS NOTED



VICINITY MAP
PARTIAL FIRM PANEL 13- OF 825

GRADING AND DRAINAGE PLAN
LOT 1 BLOCK 3 SANDIA RESEARCH PARK

DRAINAGE PLAN

THE FOLLOWING ITEMS CONCERNING THE LOT 1 BLOCK 3 SANDIA RESEARCH PARK GRADING AND DRAINAGE PLAN ARE CONTAINED HEREON:

1. VICINITY MAP
2. GRADING PLAN
3. CALCULATIONS

THE PROPOSED IMPROVEMENTS, AS SHOWN BY THE VICINITY MAP, ARE LOCATED AT THE SOUTHEAST CORNER OF THE INTERSECTION OF OPPORTUNITY (GIBSON BOULEVARD) AND BRITT STREET THE SITE IS UNDEVELOPED. THE LAND SLOPES TO THE NORTHWEST AT AN APPROXIMATE SLOPE OF 2.3%. THE SITE IS NOT WITHIN A FLOOD HAZARD ZONE.

THE SITE IS HIGHER THAN THE STREETS TO THE NORTH AND WEST. A EARTHEN SWALE HAS BEEN GRADED ALONG THE SOUTH PROPERTY LINE PREVENTING FLOWS FROM THAT DIRECTION. A BERM HAS BEEN GRADED APPROXIMATELY 60 FEET EAST OF THE EAST PROPERTY LINE PREVENTING OFF SITE FLOWS FROM THE LANDS TO THE EAST. THEREFORE OFF SITE FLOWS ARE CONSIDERED INSIGNIFICANT.

THE GRADING PLAN SHOWS:

- THE EXISTING AND PROPOSED GRADES, INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1'-0" INTERVALS.
- CONTINUITY BETWEEN EXISTING AND PROPOSED ELEVATIONS.
- THE LIMIT AND CHARACTER OF EXISTING IMPROVEMENTS, AND
- THE LIMIT AND CHARACTER OF THE PROPOSED IMPROVEMENTS.

THE PROPOSED IMPROVEMENTS CONSIST OF A NEW OFFICE BUILDING WITH ASSOCIATED PARKING AND LANDSCAPING. THE MASTER PLAN PREPARED BY SMITH ENGINEERING FOR THE SUBDIVISION HAS ESTABLISHED DISCHARGE FROM THIS SITE TO GIBSON BOULEVARD.

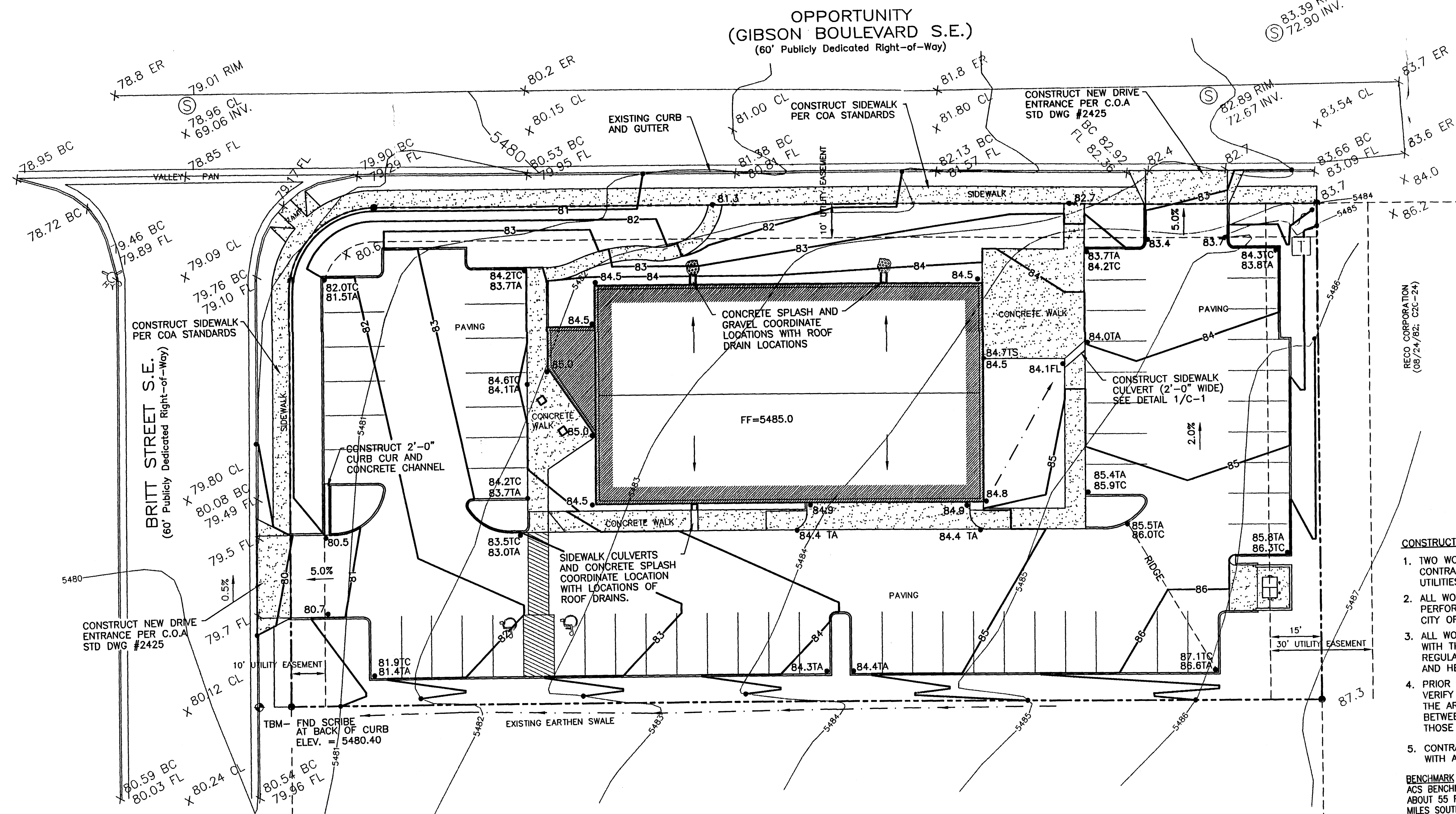
THE SITE LIES WITHIN SUBBASIN 605R (ADDENDA 2 DATED 1998). THE ESTABLISHED DISCHARGE RATE FOR THIS SUBBASIN IS 4.41 CFS PER ACRE (82 CFS/18.6 ACRES). THE PROPOSED RATE OF RUNOFF IS 4.34 CFS.

THE CALCULATIONS ANALYZE THE EXISTING AND PROPOSED CONDITIONS FOR THE 6-HOUR, 100 YEAR RAINFALL EVENT. THE ANALYSIS IS IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL VOLUME II. AS SHOWN BY THESE CALCULATIONS.

CALCULATIONS
PRECIPITATION ZONE = 3
TOTAL SITE AREA = 1.008 ACRES

EXISTING CONDITIONS
LAND TREATMENT A=100%
E = 0.66(1.00) = 0.66 INCHES
V = 0.66(1.008) / 12 = 0.055 ACRE FEET
Q = 1.87(1.00)(1.008) = 1.88 CFS

DEVELOPED CONDITIONS
LAND TREATMENT B=29% D=71%
E = 0.912(0.29) + 2.36(0.71) = 1.94 INCHES
V = 1.94(1.008) / 12 = 0.168 ACRE FEET
Q = [2.60(0.29) + 5.02(0.71)](1.008) = 4.34 CFS
INCREASE IN VOLUME OF RUNOFF = 0.107 ACRE FT
INCREASE IN RATE OF RUNOFF = 2.46 CFS



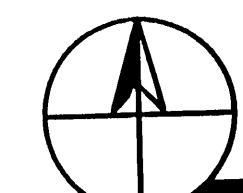
CONSTRUCTION NOTES

1. TWO WORKING DAY PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CALL FOR LOCATION OF EXISTING UTILITIES.
2. ALL WORK WITHIN THE CITY RIGHT OF WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE CITY OF ALBUQUERQUE STANDARD AND PROCEDURE.
3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS, LAWS, AND RULES CONCERNING SAFETY AND HEALTH.
4. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY THE EXISTING SITE CONDITIONS AND INFORM THE ARCHITECT / ENGINEER OF ANY DISCREPANCY BETWEEN THE INFORMATION SHOWN THE PLANS AND THOSE OF THE EXISTING SITE.
5. CONTRACTOR SHALL PROVIDE THE ARCHITECT / ENGINEER WITH AN AS BUILT SURVEY FOR ENGINEER'S CERTIFICATION.

BENCHMARK
ACS BENCHMARK 7-L20, LOCATED ALONG AN ELECTRIC POWER LINE, ABOUT 55 FEET WEST OF THE CENTERLINE OF EUBANK BLDV., 0.95 MILES SOUTH OF THE INTERSECTION WITH CENTRAL AVE. ELEVATION 5468.80

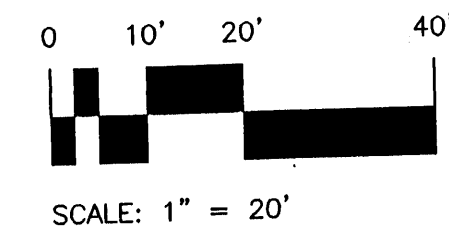
LEGAL DESCRIPTION
LOT 1, BLOCK 3 SANDIA RESEARCH PARK

SURVEY
THE EXISTING TOPOGRAPHY WAS PREPARED BY SURVEYS SOUTHWEST LTD DATED 20TH OF MARCH 2001.



GRADING PLAN

MARCH 29, 2001 SCALE: 1" = 20'-0"



LEGEND:

- x 78.96 EXISTING SPOT ELEVATION
- 51.00 NEW SPOT ELEVATION
- 51- EXISTING CONTOUR
- 51- NEW CONTOUR
- SWALE
- ✓ VERIFIED ELEVATION
- 64.0- AS BUILT ELEVATION
- BASIN BOUNDARY
- PROPERTY LINE
- EP EXISTING PAVING
- FL FLOW LINE
- GND GROUND
- INV INVERT
- TA TOP OF ASPHALT
- TC TOP OF CURB
- TG TOP OF GRATE
- TS TOP OF CONCRETE SLAB
- TW TOP OF WALL
- TBM TEMPORARY BENCH MARK
- GRAVEL

CLAUDIO VIGIL ARCHITECTS
APPLIED TECHNOLOGY ASSOCIATES
GIBSON/BRITT
ALBUQUERQUE, NEW MEXICO

SHEET C-1
PROJECT NUMBER 00230

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