

**BUILDING CRITERIA**

**PROJECT**  
APPLIED TECHNOLOGY ASSOCIATES, INC  
RESEARCH & PRODUCTION FACILITY EXPANSION  
1300 BRITT SE  
ALBUQUERQUE, NEW MEXICO

**OWNER**  
TLR INVESTORS, LLC  
1300 BRITT SE  
ALBUQUERQUE, NEW MEXICO

**ARCHITECT**  
CLAUDIO VIGIL ARCHITECTS  
1801 RIO GRANDE BOULEVARD, N.W.  
ALBUQUERQUE, NEW MEXICO

**LEGAL DESCRIPTION**  
LOT 1 & LOT 2, BLOCK 3, SANDIA RESEARCH PARK

**ZONING ATLAS MAP**  
M-21-Z

**ZONING CLASSIFICATION**  
SU1 FOR IP USES

**BUILDING TYPE**  
OFFICE, RESEARCH, & PRODUCTION EXPANSION

**NUMBER OF FLOORS**  
TWO FLOORS

**BUILDING HEIGHT**  
ALLOWABLE HEIGHT: 2 STORIES, 40 FEET  
ACTUAL HEIGHT: 2 STORIES, 37 FEET

**GROSS SQUARE FOOTAGE**

TOTAL GROSS SQUARE FOOTAGE	43,594 GSF
PHASE I EXISTING BUILDING	14,926 GSF
PHASE II ADDITION	2,816 GSF
PHASE III EXPANSION	25,852 GSF

**PARKING**

SPECIFIC USE	PARKING REQUIREMENT	GROSS AREA	NUMBER REQUIRED
PHASE I (EXISTING)			
OFFICE	1 SPACE/200 SF (FIRST FLOOR)	4,630 GSF	23
	1 SPACE/300 SF (SECOND FLOOR)	7,296 GSF	24
MANUFACTURING	1 SPACE /1000 SF	3,000 GSF	3
PHASE II ADDITION			
OFFICE	1 SPACE/300 SF (SECOND FLOOR)	1,408 GSF	5
MANUFACTURING	1 SPACE /1000 SF	1,408 GSF	1
PHASE III EXPANSION			
OFFICE	1 SPACE/200 SF (FIRST FLOOR)	1,627 GSF	8
	1 SPACE/300 SF (SECOND FLOOR)	9,569 GSF	32
MANUFACTURING	1 SPACE /1000 SF	11,332 GSF	11
WAREHOUSE	1 SPACE /2000 SF	3,324 GSF	2
<b>TOTAL REQUIRED = 109 LESS 10% REDUCTION FOR BUS ROUTE</b>			<b>98</b>
<b>TOTAL PROVIDED</b>			<b>101</b>

SPECIFIC USE	PARKING REQUIREMENT	NUMBER REQUIRED	NUMBER PROVIDED
HANDICAP SPACES	PER TABLE	4	8
MOTORCYCLE SPACES	PER TABLE	3	4
BICYCLE SPACES	1 SPACE/20 PARKING SPACES	5	8

**SITE LIGHTING**  
NEW SITE AREA LIGHTS SHALL BE POLE MOUNTED AND LIGHT PARKING AREAS WITHOUT SHINING ON TO ADJACENT SITES. PARKING LIGHTS - 20'-0" ABOVE PARKING LOT. SEE DETAIL B314a of 5

**TOTAL LOT AREA**  
44,033 SQUARE FEET, 1.01 ACRE (2.018 ACRES) TOTAL INCLUDING EXISTING ADJACENT LOT)

**NET LOT AREA**  
27,750 SQUARE FEET (63,902 S.F. TOTAL INCLUDING EXISTING ADJACENT LOT)

**TOTAL PARKING & PAVED AREA**  
24,402 SQUARE FEET (38,613 S.F. TOTAL INCLUDING EXISTING ADJACENT LOT)

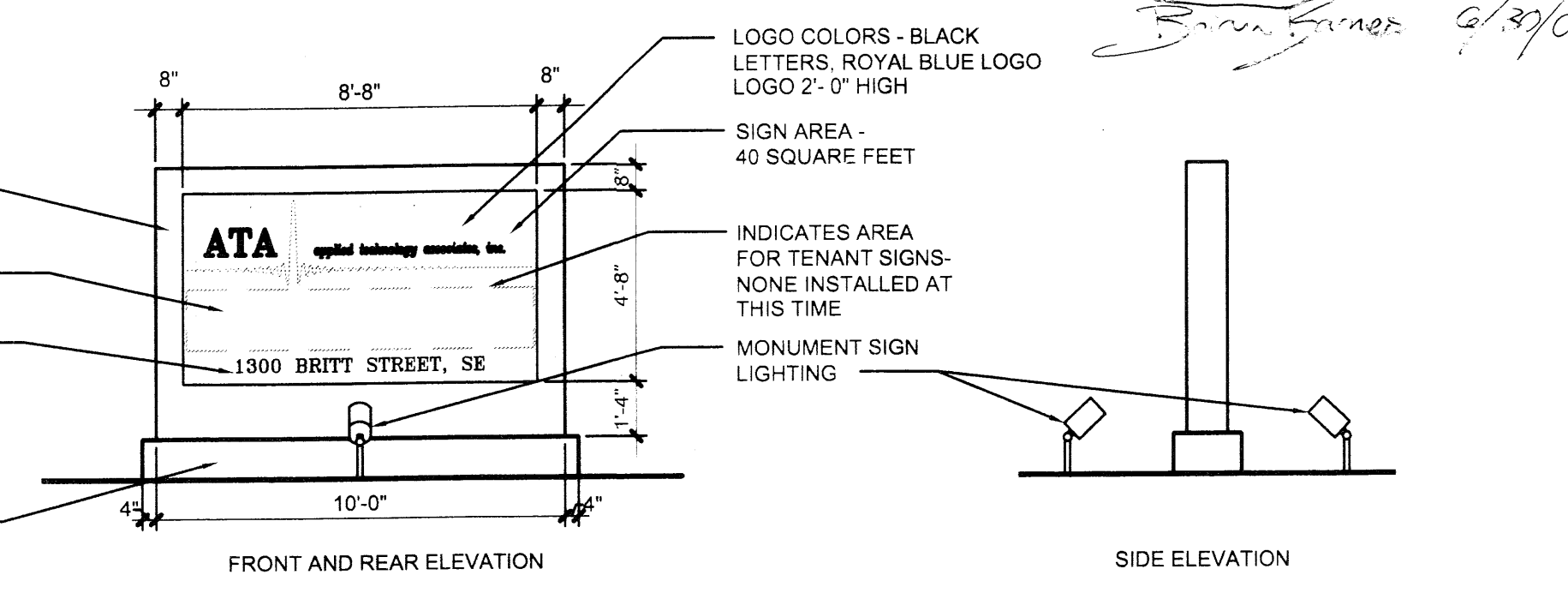
**TOTAL LANDSCAPE AREA REQUIRED**  
4,162 SQUARE FEET (9,585 S.F. TOTAL INCLUDING EXISTING ADJACENT LOT)

**TOTAL LANDSCAPE AREA PROVIDED**  
9,187 SQUARE FEET (17,591 S.F. TOTAL INCLUDING EXISTING ADJACENT LOT)

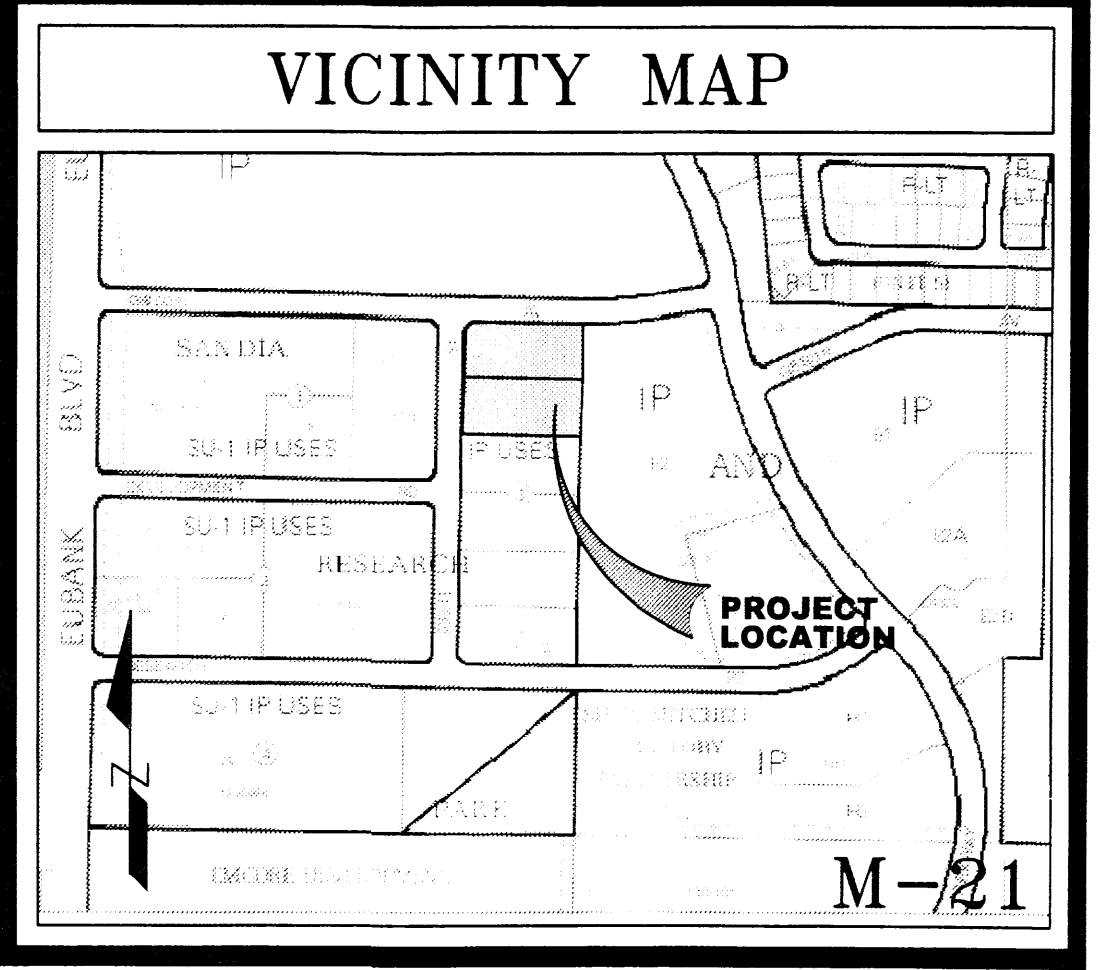
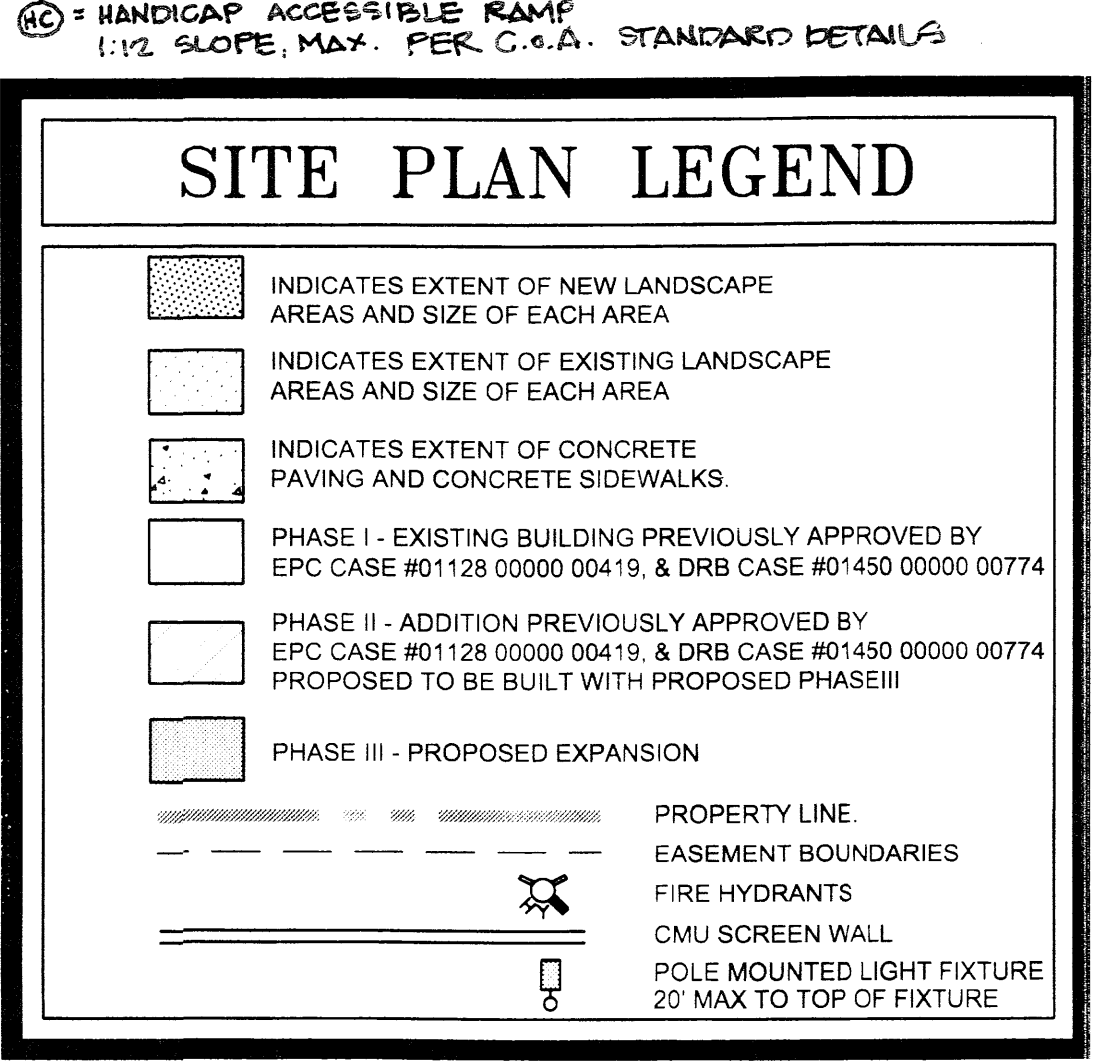
**LANDSCAPE TO PARKING AREA RATIO**  
1 TO 2.46 (1 TO 2.2 INCLUDING EXISTING ADJACENT LOT)

B1 SCALE: 1" = 20'-0"

A1 SCALE: 1/4" = 1'-0"



**EXISTING MONUMENT SIGN DETAIL**



**SIGNATURE BLOCK**

PROJECT NUMBER: 1001153  
APPLICATION CASE NUMBER:

IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES ( ) NO. IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC-RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i>	07/08/09
<i>[Signature]</i>	07/08/09
<i>[Signature]</i>	7/8/09
<i>[Signature]</i>	7/8/09
<i>[Signature]</i>	6/30/09
<i>[Signature]</i>	07/13/09

DRB CHAIRPERSON, PLANNING DEPARTMENT

**CLAUDIO VIGIL ARCHITECTS**

1801 Rio Grande Boulevard, N.W.  
Albuquerque, New Mexico  
Phone: (505) 842-1113  
Fax: (505) 842-1330

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**CONSULTANTS**

**PROFESSIONAL SEAL**



**ATA** applied technology associates, inc.

**RESEARCH & PRODUCTION FACILITY EXPANSION**

1300 BRITT, SE  
ALBUQUERQUE, NEW MEXICO

MARK	DATE	DESCRIPTION

PROJECT NUMBER: 08295  
DRAWING FILE: ata-10F5-sp  
DRAWN BY: ea  
CHECK BY: cav  
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DATE: JUNE 30, 2009

**PROPOSED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

SHEET NUMBER  
**1 OF 5**

PROJECT # 1001153

*Catalina Lehner 7-13-09*

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DRB SUBMITTAL  
 NOT FOR CONSTRUCTION

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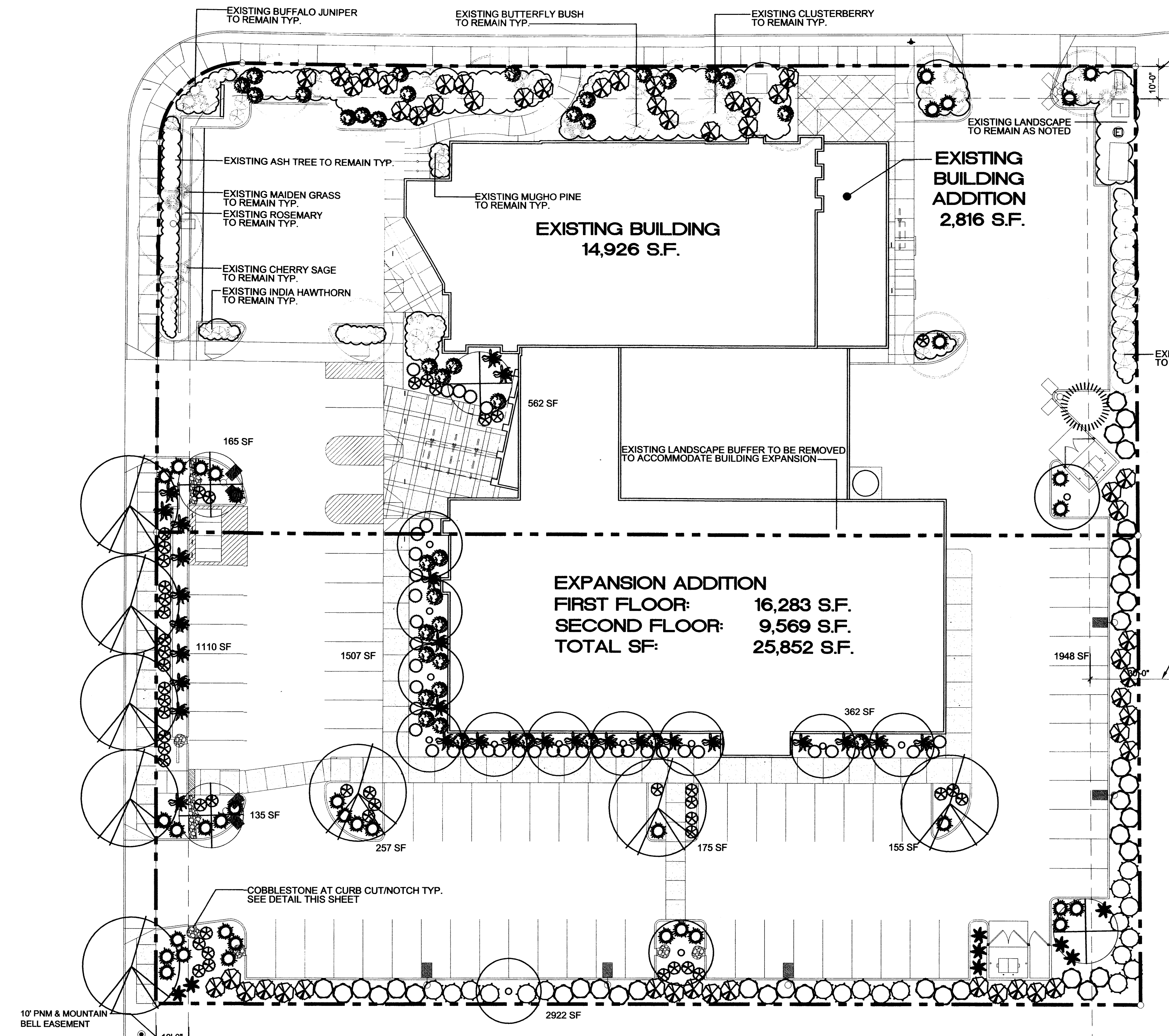
1300 BRITT SE  
 ALBUQUERQUE, NEW MEXICO

MARK	DATE	DESCRIPTION
-	-	-
-	-	-
-	-	-
3	7/8/09	DRB Comments
2	6/25/09	DRB Comments
1	5/21/09	DRB Comments

PROJECT NUMBER:	08295
DRAWING FILE:	ata-101-lp
DRAWN BY:	JC
CHECK BY:	JB
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DATE:	JANUARY 28, 2009

SHEET TITLE  
**PROPOSED LANDSCAPE PLAN**

SHEET NUMBER  
**2 of 5**



**PLANT LEGEND**

Qty	Symbol	Scientific Name Common Name	Installed Size	Mature Height/Spread	Landscape Coverage	Water Use	Drip Emitters Per Plant (see note)
4	⊕	<i>Crataegus crus galli</i> 'Crusader' 'Crusader' Cockspur Hawthorn	2" B&B	20'/25'		Medium	6-2 gph
8	⊗	<i>Pistachia chinensis</i> Chinese Pistache	2" B&B	60'/60'		Medium	6-2 gph
1	⊙	<i>Pinus flexilis</i> Limber Pine	2" B&B	30'/20'		Medium	6-2 gph
13	⊙	<i>Chilopsis linearis</i> Desert Willow	2" B&B	20'/25'		Low +	4-2 gph

**Shrubs/Groundcovers**

37	⊗	<i>Buddleia davidii</i> Butterfly Bush	5-Gal	5'/5'	20 sf=740 sf	Medium	2-2 gph
38	⊗	<i>Caryopteris clandonensis</i> Blue Mist	5-Gal	3'/3'	20x32 sf=640 sf	Medium	2-2 gph
50	⊗	<i>Cotoneaster parneyi</i> Clusterberry	5-Gal	8'/12'	26x50 sf=1300 sf	Medium	2-2 gph
46	⊗	<i>Rhaphiolepis indica</i> India Hawthorn	5-Gal	3'/4'	30 sf=1350 sf	Medium	2-2 gph
20	⊗	<i>Ericameria nauseosus</i> Chamisa	5-Gal	5'/5'	32 sf=640 sf	Low	2-1 gph
37	⊗	<i>Rhus trilobata</i> 'prostrata' Prostrate Sumac	5-Gal	2'/6"	30x50 sf=1500 sf	Low +	2-2 gph
41	⊗	<i>Salvia azurea grandiflora</i> Blue Sage	1-Gal	3'/3'	15 sf=615 sf	Medium	2-2 gph
28	⊗	<i>Rosmarinus officinalis</i> Rosemary	5-Gal	6'/6"	30 sf=840 sf	Low +	2-2 gph

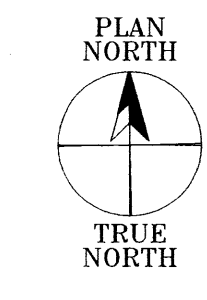
**Ornamental Grasses**

8	⊗	<i>Nolina microcarpa</i> Beargrass	5-Gal	5'/6"	18 sf=144 sf	Low+	2-1 gph
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Total landscape coverage=7,769 sf

**PLANT LEGEND/EXISTING**

Symbol	Scientific Name Common Name	Scientific Name Common Name
⊕	<i>Fraxinus Modesto</i> Ash	
⊗	<i>Buddleia davidii</i> Butterfly Bush	<i>Miscanthus</i> Maiden Grass
⊗	<i>Salvia greggii</i> Cherry Sage	<i>Rosmarinus</i> Rosemary
⊗	<i>Cotoneaster parneyi</i> Clusterberry	<i>Pinus mugo</i> Mugho Pine
⊗	<i>Rhaphiolepis indica</i> India Hawthorn	<i>Juniperus sabina</i> Buffalo Juniper
⊗	<i>Ericameria nauseosus</i> Chamisa	



LANDSCAPE PLAN

L1 SCALE: 1" = 20'-0"

**LANDSCAPE DATA**

GROSS LOT AREA	44,033 SF
LESS BUILDING(S)	16,283 SF
NET LOT AREA	27,750 SF
REQUIRED LANDSCAPE 15% OF NET LOT AREA	4,162 SF
PROPOSED LANDSCAPE PERCENT OF NET LOT AREA	33%
HIGH WATER USE TURF NONE PROPOSED	
REQUIRED TREE DENSITY PROVIDED AT 1 TREE PER 1,500 SF OF LANDSCAPE AREA (9,298 SF LANDSCAPE AREA/1,500 SF)	7 MIN.
REQUIRED STREET TREES PROVIDED AT 30' O.C. SPACING STREET	5
REQUIRED PARKING LOT TREES PROVIDED AT 1 PER 6 SPACES (72 SPACES/6)	12
TOTAL REQUIRED TREES	24
TOTAL PROPOSED TREES (2" CAL.)	26
REQUIRED LANDSCAPE COVERAGE 75% LIVE VEGETATIVE MATERIAL (9,298 SF x 75%)	6,973 SF MIN.
PROVIDED LANDSCAPE COVERAGE	7,769 SF (83%)

**NOTE**

MAINTENANCE OF LANDSCAPE AND IRRIGATION IS THE RESPONSIBILITY OF THE OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM SUPPLIED BY EXTENDING EXISTING DRIP IRRIGATION SYSTEM AND PROTECTED WITH EXISTING REDUCED PRESSURE BACKFLOW PREVENTER (WILKINS MODEL 975) PER CITY OF ALBUQUERQUE

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE AND POLLEN ORDINANCE

THIS PLAN SHALL PROVIDE AT MINIMUM 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY

LANDSCAPE AREAS TO BE MULCHED WITH SANTA FE BROWN CRUSHER FINES GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC

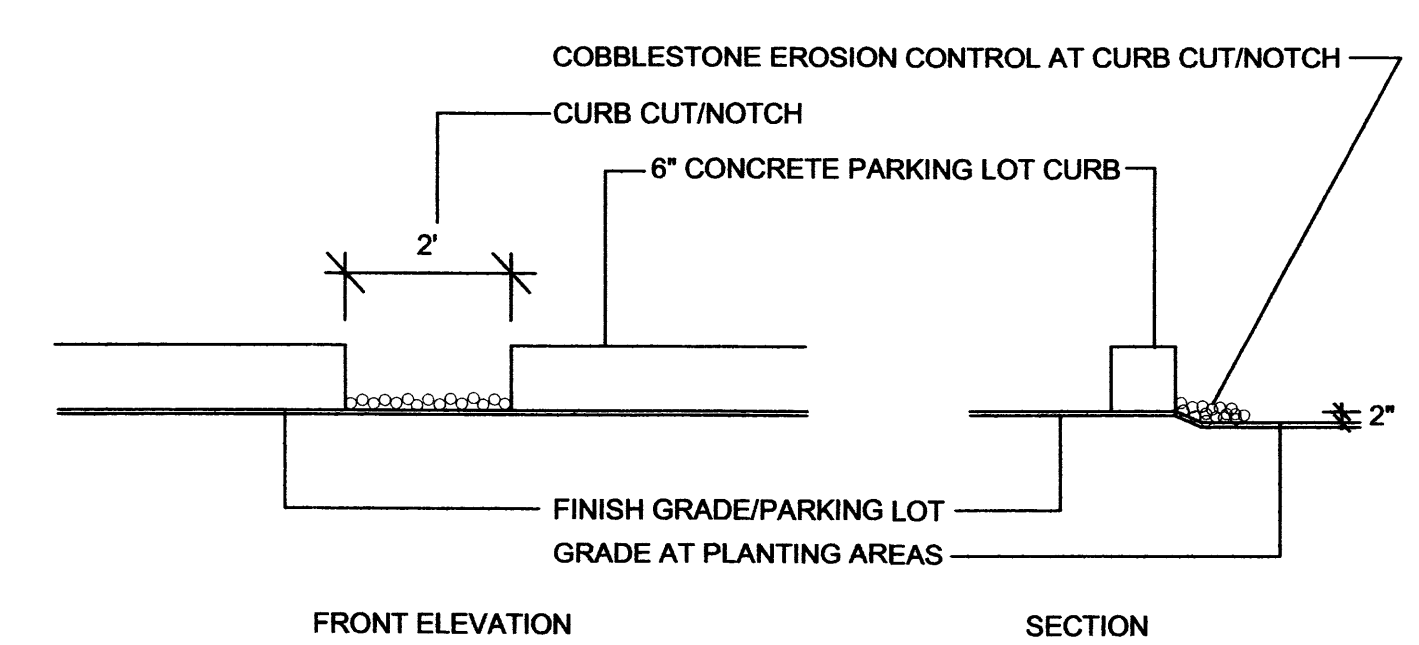
APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE

TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS

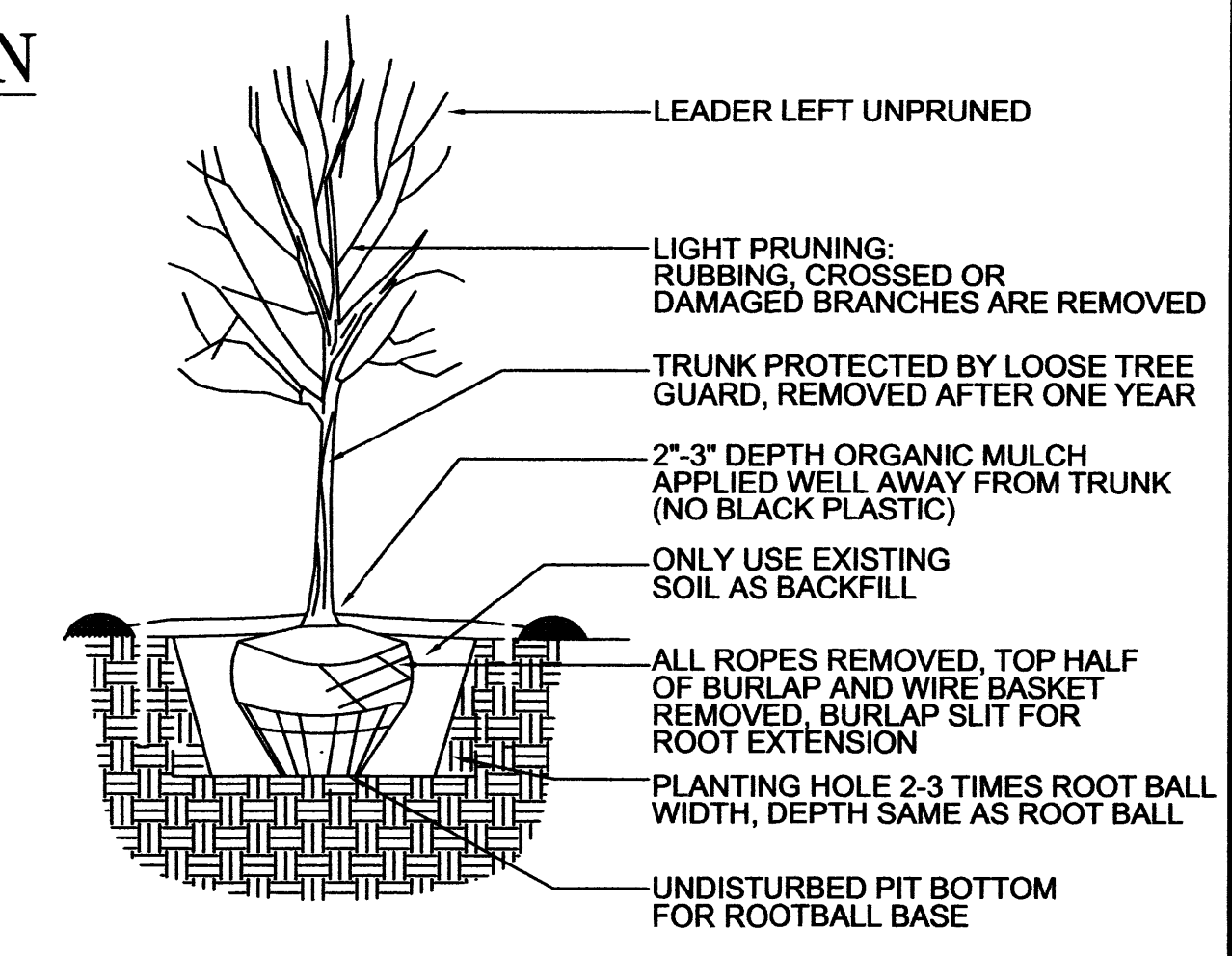
NO PARKING SPACE SHALL BE MORE THEN 50' FROM A TREE.

**NOTE**

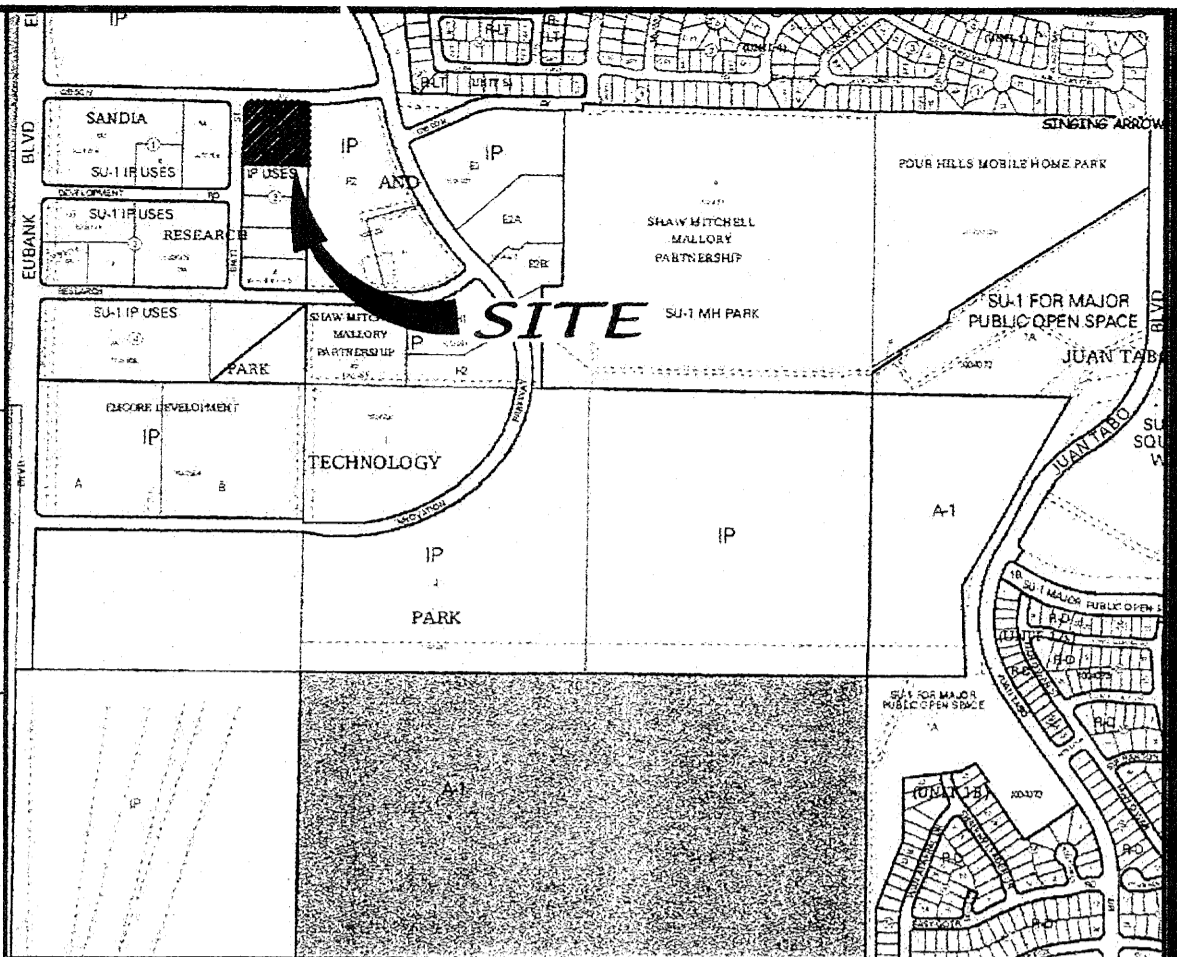
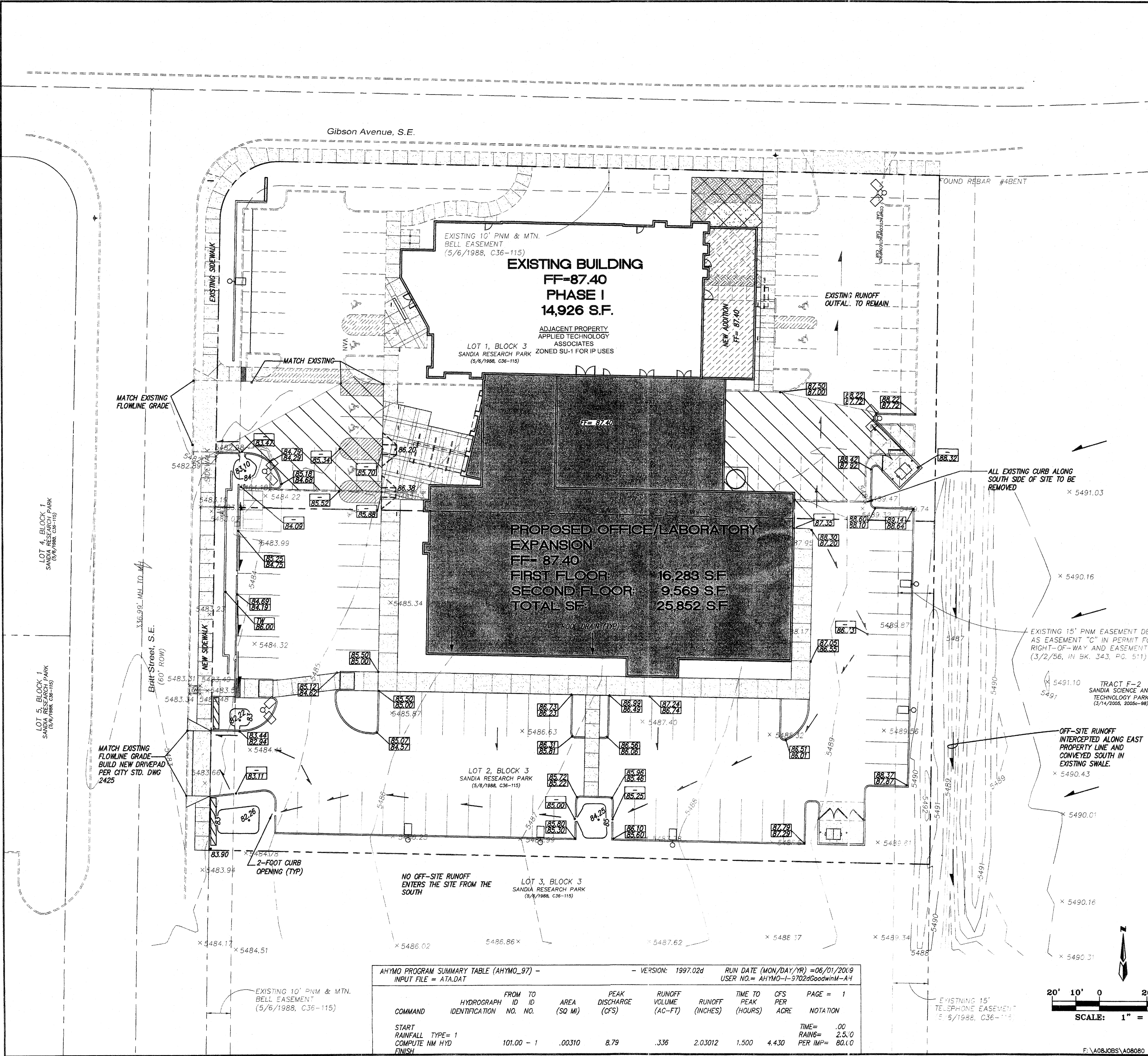
DRIP SYSTEM RUN CYCLES:  
 ESTABLISHMENT AND SUMMER:  
 1 HOUR/4 DAYS A WEEK  
 SPRING:  
 1 HOUR/2-3 DAYS A WEEK  
 FALL:  
 1 HOUR/2-3 DAYS A WEEK  
 WINTER:  
 1 HOUR/2 DAYS PER MONTH



CURB CUT/NOTCH DETAIL



TREE PLANTING DETAIL PER COA FORESTER



VICINITY MAP ZONE MAP: M-21-Z

**LEGAL DESCRIPTION**  
 LOTS 1 AND 2, BLOCK 3, SANDIA RESEARCH PARK, ALBUQUERQUE, BERNILLO COUNTY NEW MEXICO

**GRADING and DRAINAGE PLAN NARRATIVE**  
 THIS PROJECT CONSISTS OF ADDING LOT 2 TO THE EXISTING BUILDING ON LOT 1 (BOTH TOTAL 2.01 ACRES). PER AHYMO THE TWO LOTS GENERATE 8.79 CFS WHICH DISCHARGES DIRECTLY INTO ADJOINING STREETS. THE SUBJECT SITE IS LOCATED WITHIN THE SANDIA SCIENCE AND TECH PARK WHICH WAS PLATTED IN 1988. IN 1989 SMITH ENGINEERING DESIGNED THE SOUTH EUBANK STORM DRAIN SYSTEM, WHICH WAS INSTALLED TO HELP ADDRESS RUNOFF DISCHARGING FROM THE TECH PARK. SMITH'S PLAN DICTATED THAT SOME OF THE LARGER UNDEVELOPED LOTS BE REQUIRED TO INSTALL INDIVIDUAL, ON-SITE DETENTION PONDS, WHILE THE SMALLER LOTS WERE ALLOWED FREE DISCHARGE, OF WHICH THIS SUBJECT LOT IS A PART. THE EXISTING SITE FALLS DOWN FROM EAST TO WEST AT ABOUT A 3% GRADE. THE PROPERTY TO THE EAST OF THE SITE IS VACANT AND ITS RUNOFF IS HEADING TOWARDS THE SUBJECT SITE AND IS DIVERTED SOUTH TO AN EXISTING POND LOCATED ON THAT OFF-SITE NEIGHBOR. DEVELOPED RUNOFF FROM THE SUBJECT SITE IS PLANNED TO DISCHARGE DIRECTLY INTO THE ADJOINING BRITT STREET.

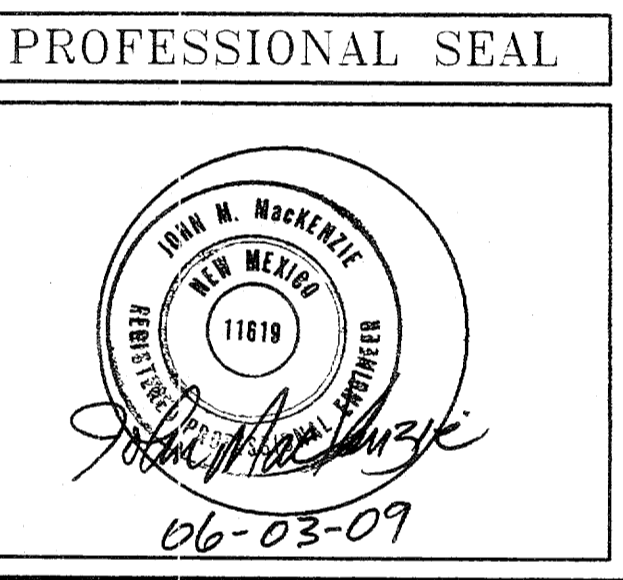


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**CONSULTANTS**  
 dmj MARK GOODWIN & ASSOCIATES, P.A.  
 CONSULTING ENGINEERS  
 P.O. BOX 90606  
 ALBUQUERQUE, NEW MEXICO 87198  
 (505) 838-2200, FAX (505) 717-8539



**ATA** applied technology associates, inc.  
**RESEARCH & PRODUCTION FACILITY EXPANSION**  
 1300 BRITT STREET, SE  
 ALBUQUERQUE, NEW MEXICO

MARK	DATE	DESCRIPTION
JMM	1-28-09	REVISED GRADING PLAN

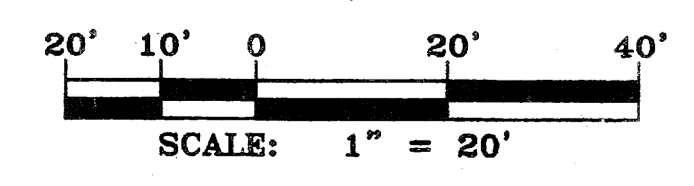
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DRAWING FILE:	ata-c101-99
DRAWN BY:	eb
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DATE:	JANUARY 2, 2009

SHEET TITLE  
**GRADING & DRAINAGE PLAN**

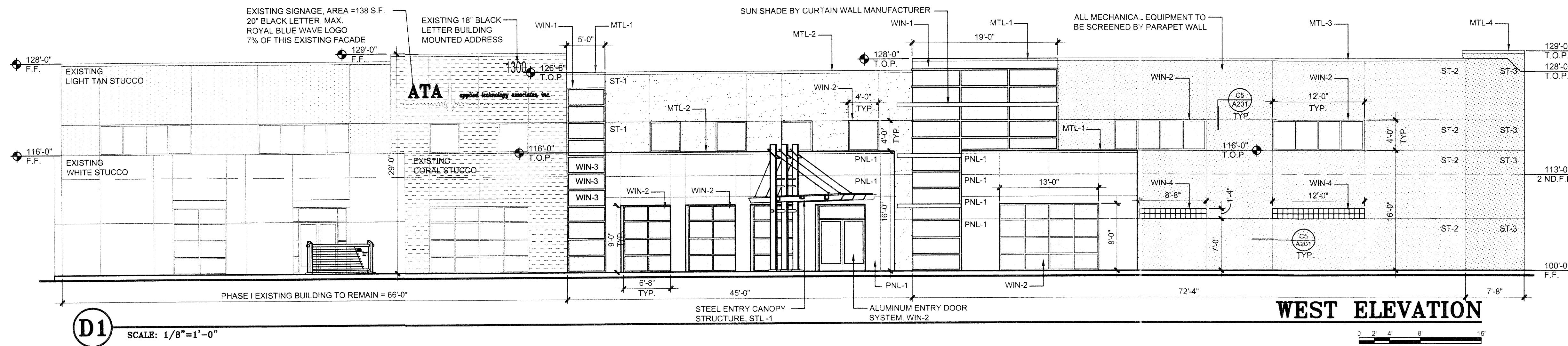
SHEET NUMBER  
**3 of 5**

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START	RAINFALL TYPE = 1										
COMPUTE	NM HYD	101.00	-1	.00310	8.79	.336	2.03012	1.500	4.430		
FINISH											TIME = .00 RAINING = 2.5, 0 PER IMP = 80.0



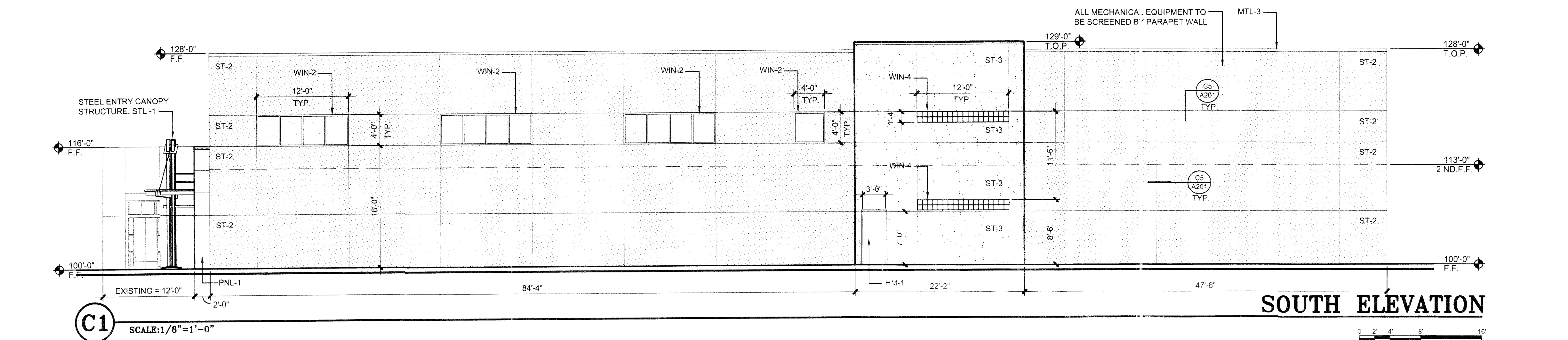
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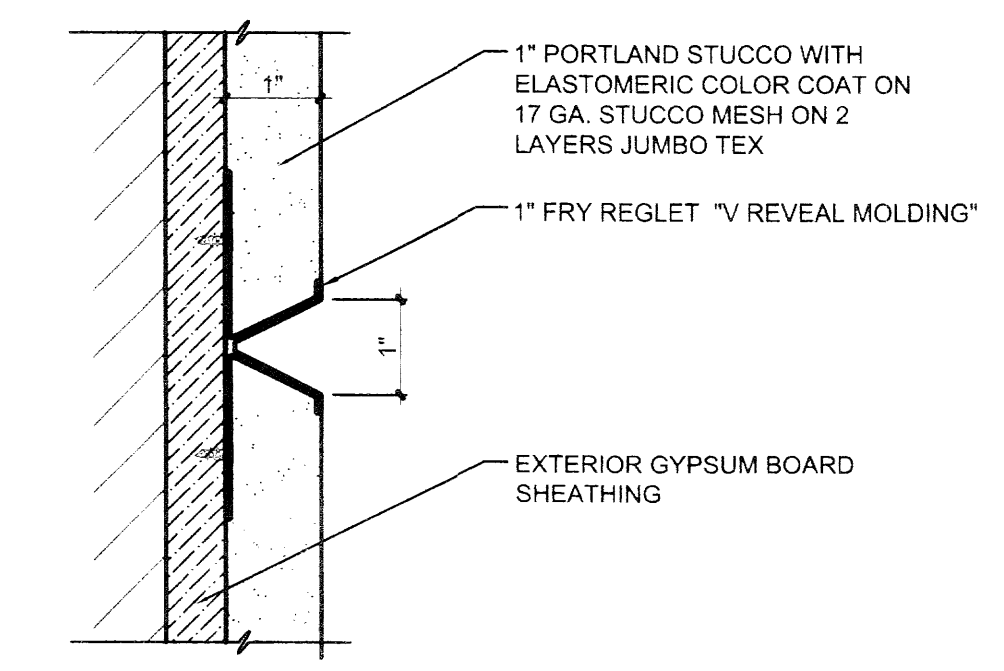
**D1** SCALE: 1/8"=1'-0"

**EXTERIOR FINISH LEGEND**

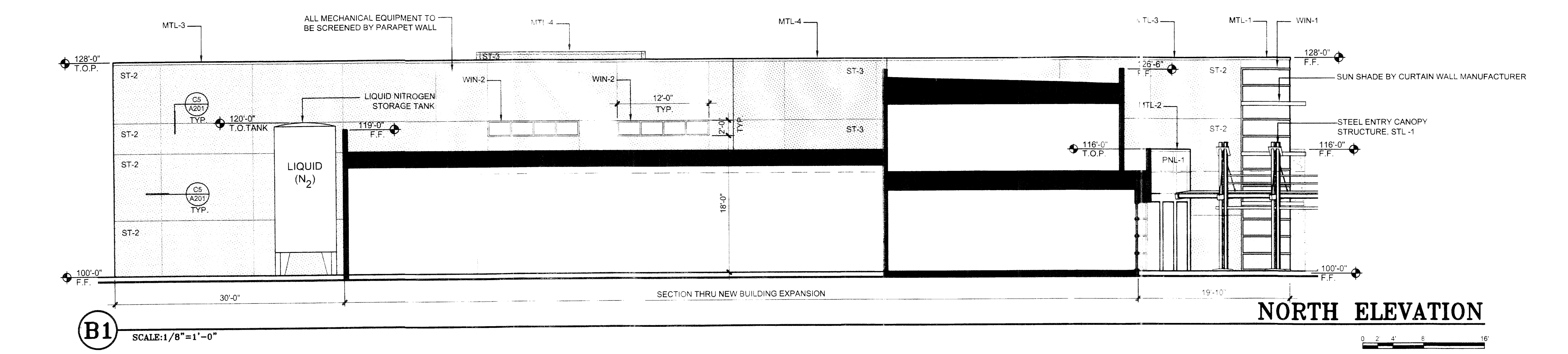
- ST-1: 1" PORTLAND STUCCO WITH ELASTOMERIC COLOR COAT COLOR: WHITE TO MATCH EXISTING
- ST-2: 1" PORTLAND STUCCO WITH ELASTOMERIC COLOR COAT COLOR: LIGHT TAN TO MATCH EXISTING
- ST-3: 1" PORTLAND STUCCO WITH ELASTOMERIC COLOR COAT COLOR: CORAL TO MATCH EXISTING
- PNL-1: ALUMINUM CLAD BUILDING PANEL SYSTEM COLOR: PLATINUM GREY
- WIN-1: ALUMINUM CURTAIN WALL SYSTEM, VISTA WALL COLOR: CLEAR ANODIZED ALUMINUM, W/ BLUE GREEN TINTED GLAZING
- WIN-2: ALUMINUM STOREFRONT SYSTEM, VISTA WALL COLOR: CLEAR ANODIZED ALUMINUM, W/ BLUE GREEN TINTED GLAZING
- WIN-3: NEW SPANDREL PANEL COLOR: TO MATCH EXISTING
- WIN-4: GLASS BLOCK COLOR: TO MATCH EXISTING
- MTL-1: METAL COPING CAP COLOR: GALVANIZED ALUMINUM FINISH
- MTL-2: METAL COPING CAP COLOR: WHITE. COLOR TO MATCH ADJACENT SURFACE
- MTL-3: METAL COPING CAP COLOR: LIGHT TAN. COLOR TO MATCH ADJACENT SURFACE
- MTL-4: METAL COPING CAP COLOR: CORAL. COLOR TO MATCH ADJACENT SURFACE
- STL-1: PAINTED STEEL FEATURE COLOR: MEDIUM GREY
- HM-1: HOLLOW METAL DOOR AND FRAME COLOR: MEDIUM GREY



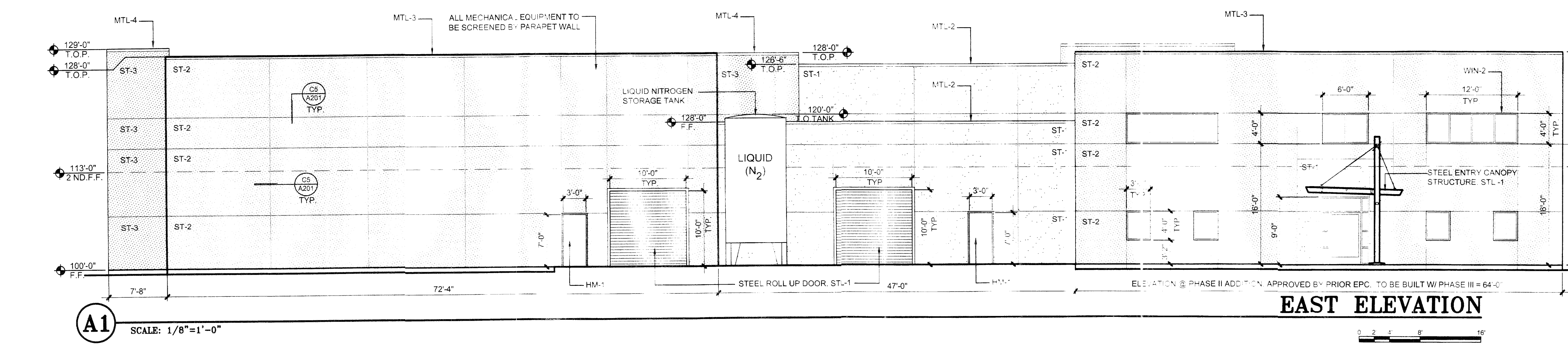
**C1** SCALE: 1/8"=1'-0"



**C5** SCALE: 6" = 1'-0"



**B1** SCALE: 1/8"=1'-0"



**A1** SCALE: 1/8"=1'-0"

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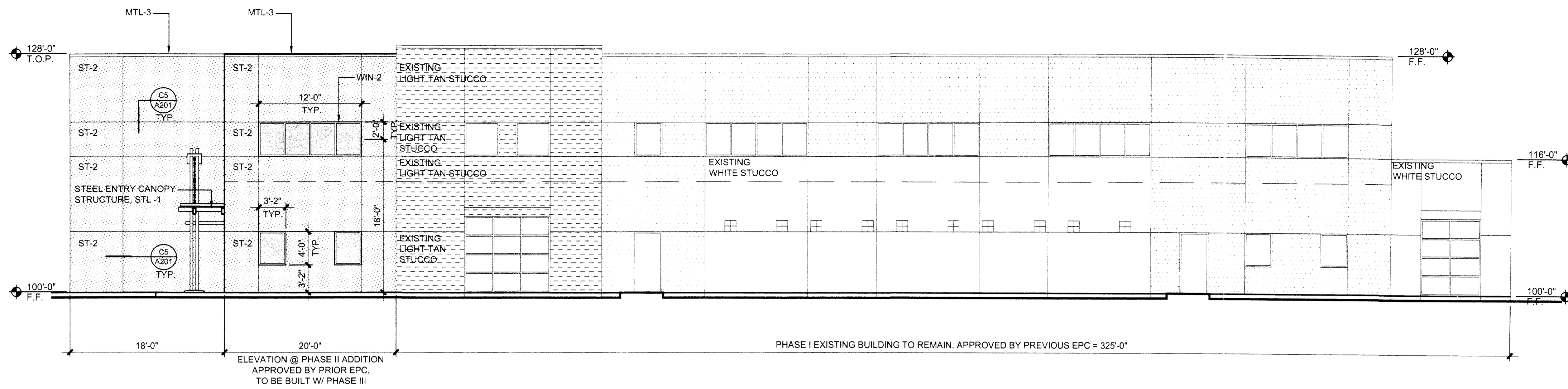
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MARK	DATE	DESCRIPTION

PROJECT NUMBER: 08295  
DRAWING FILE: ata-4of5-elev  
DRAWN BY: ea  
CHECK BY: cav  
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DATE: JUNE 30, 2009

SHEET TITLE  
**EXTERIOR ELEVATIONS**

SHEET NUMBER  
**4 OF 5**



**NORTH ELEVATION**

**EXTERIOR FINISH LEGEND**

- ST-1: 1" PORTLAND STUCCO WITH ELASTOMERIC COLOR COAT COLOR: WHITE TO MATCH EXISTING
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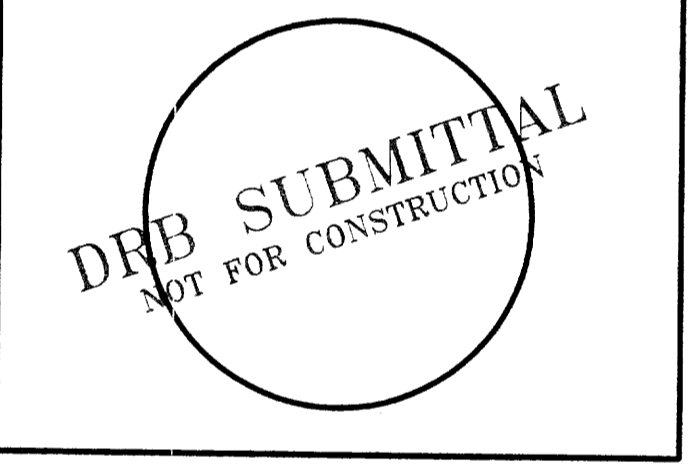


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1300 BRITT SE  
ALBUQUERQUE, NEW MEXICO

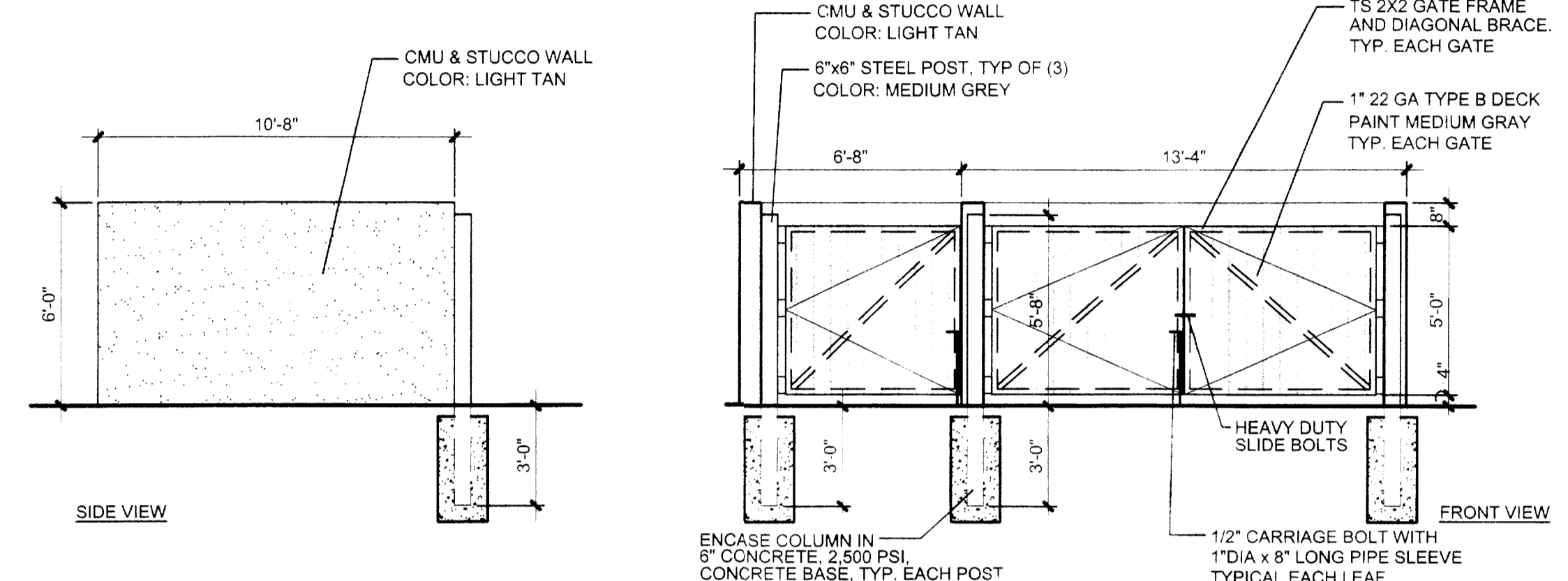
MARK	DATE	DESCRIPTION

PROJECT NUMBER: 08295  
DRAWING FILE: ata-4a05-elev  
DRAWN BY: ea  
CHECK BY: cav  
COPYRIGHT: CLAUDIO VIGIL ARCHITECTS 2007  
DATE: JUNE 30, 2009

**SHEET TITLE**  
**EXTERIOR ELEVATIONS**

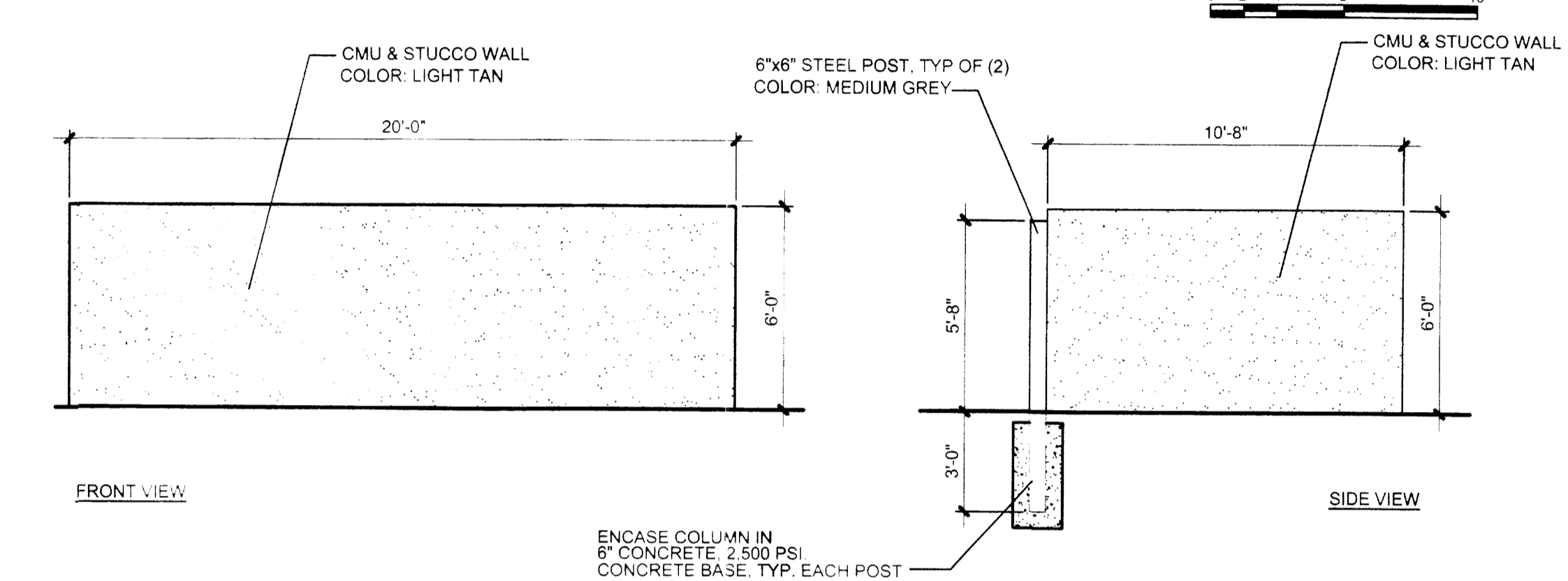
SHEET NUMBER  
**4a OF 5**

**D1** SCALE: 1/8" = 1'-0"



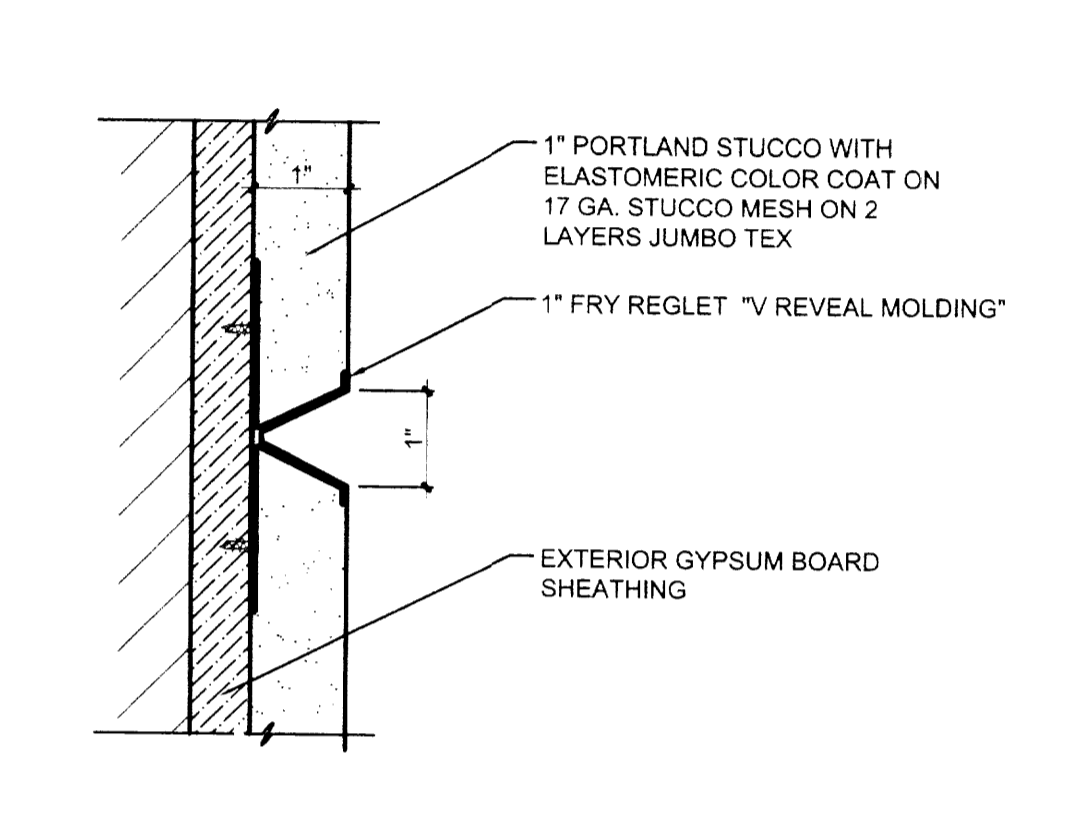
**TRASH/RECYCLING ENCLOSURE ELEVATIONS**

**C2** SCALE: 1/4" = 1'-0"



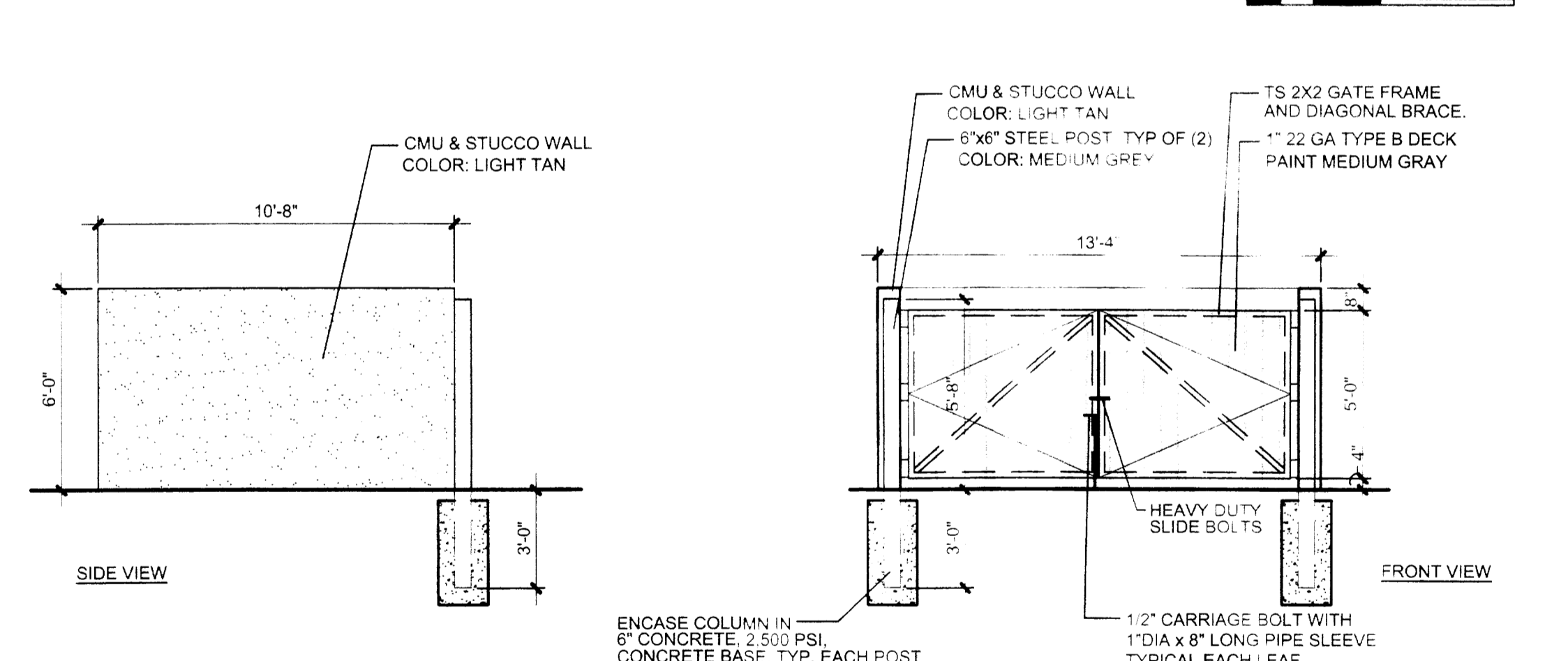
**TRASH/RECYCLING ENCLOSURE ELEVATIONS**

**C5** SCALE: 6" = 1'-0"



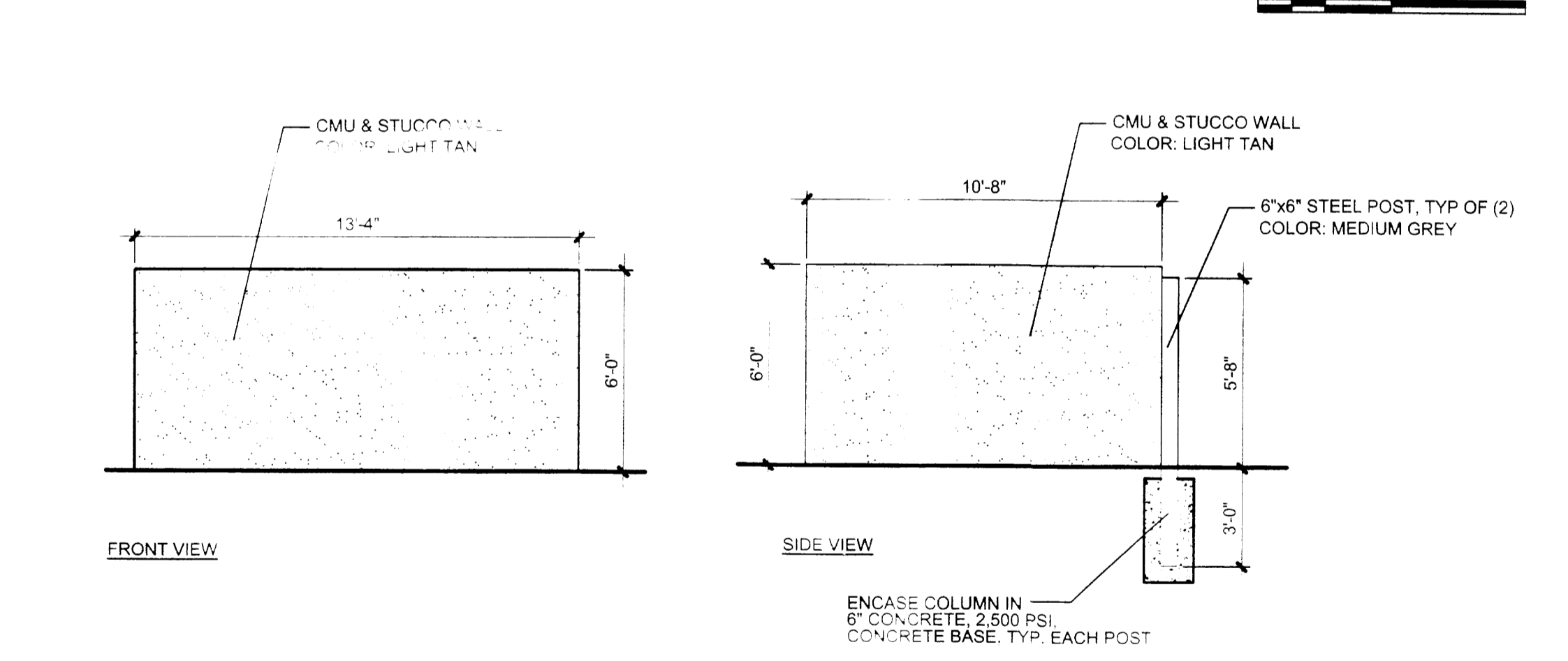
**REVEAL DETAIL**

**C1** SCALE: 1/4" = 1'-0"



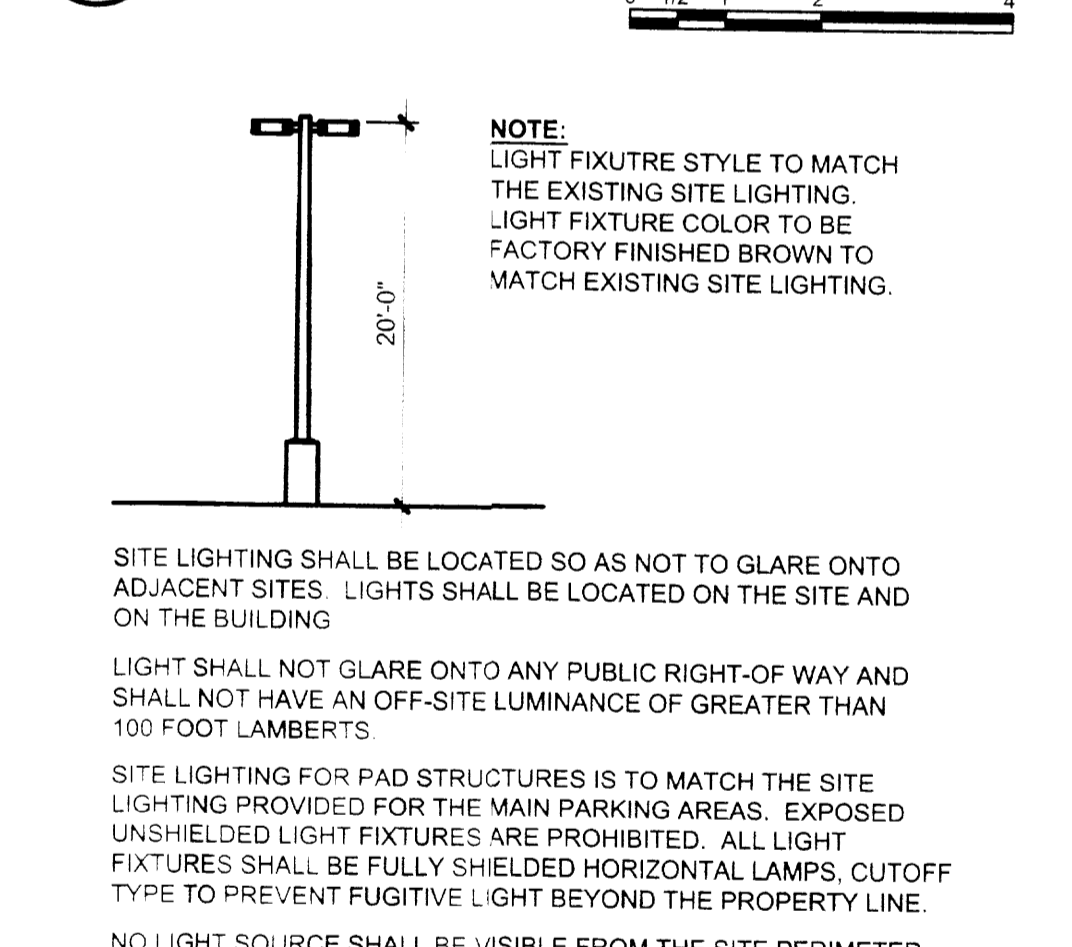
**TRASH/RECYCLING ENCLOSURE ELEVATIONS**

**B2** SCALE: 1/4" = 1'-0"



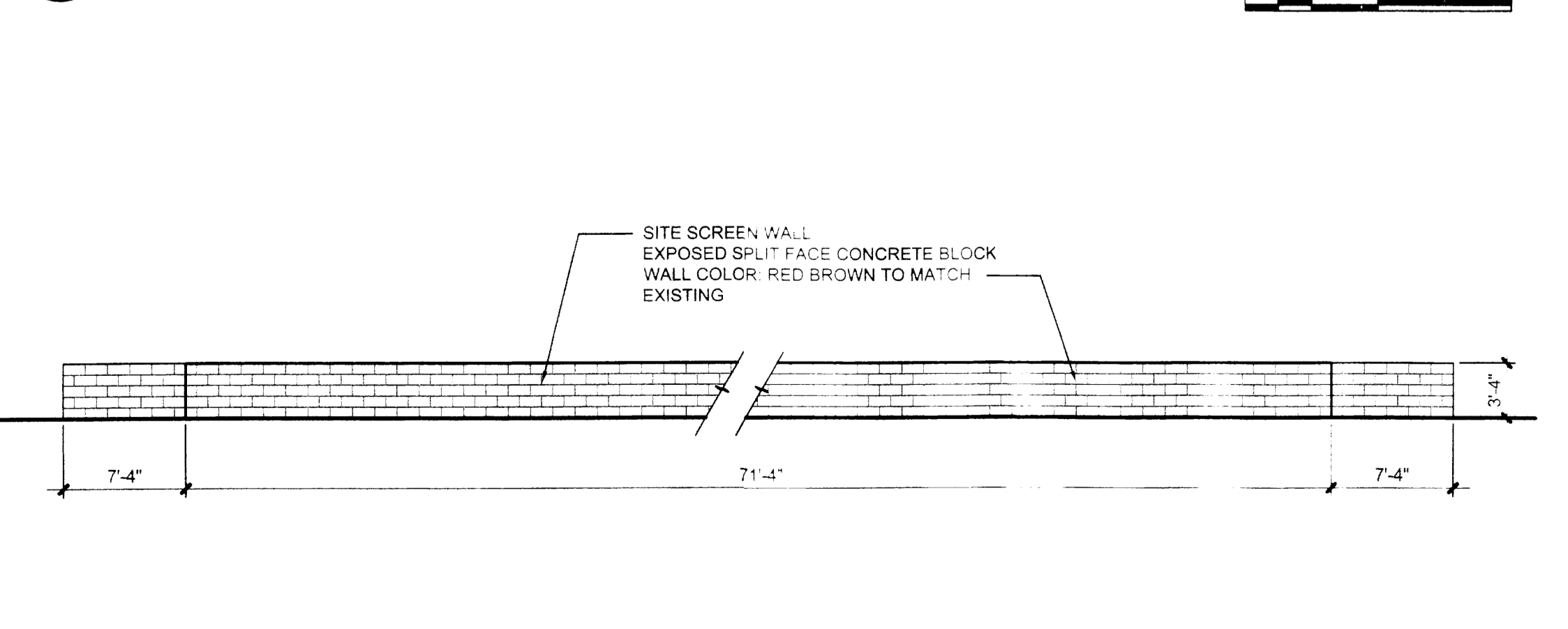
**RELOCATED TRASH ENCLOSURE ELEVATIONS**

**B3** SCALE: NOT TO SCALE



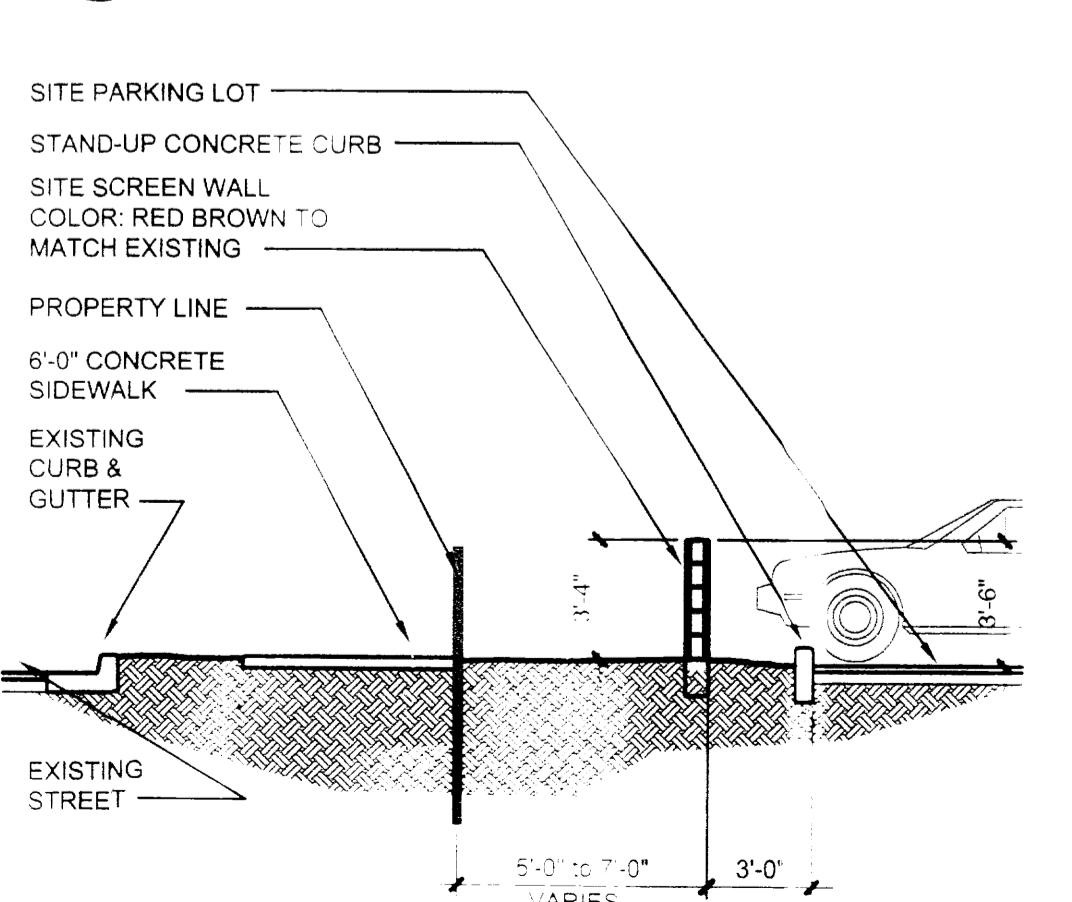
**SITE LIGHTING DETAIL**

**B1** SCALE: 1/4" = 1'-0"



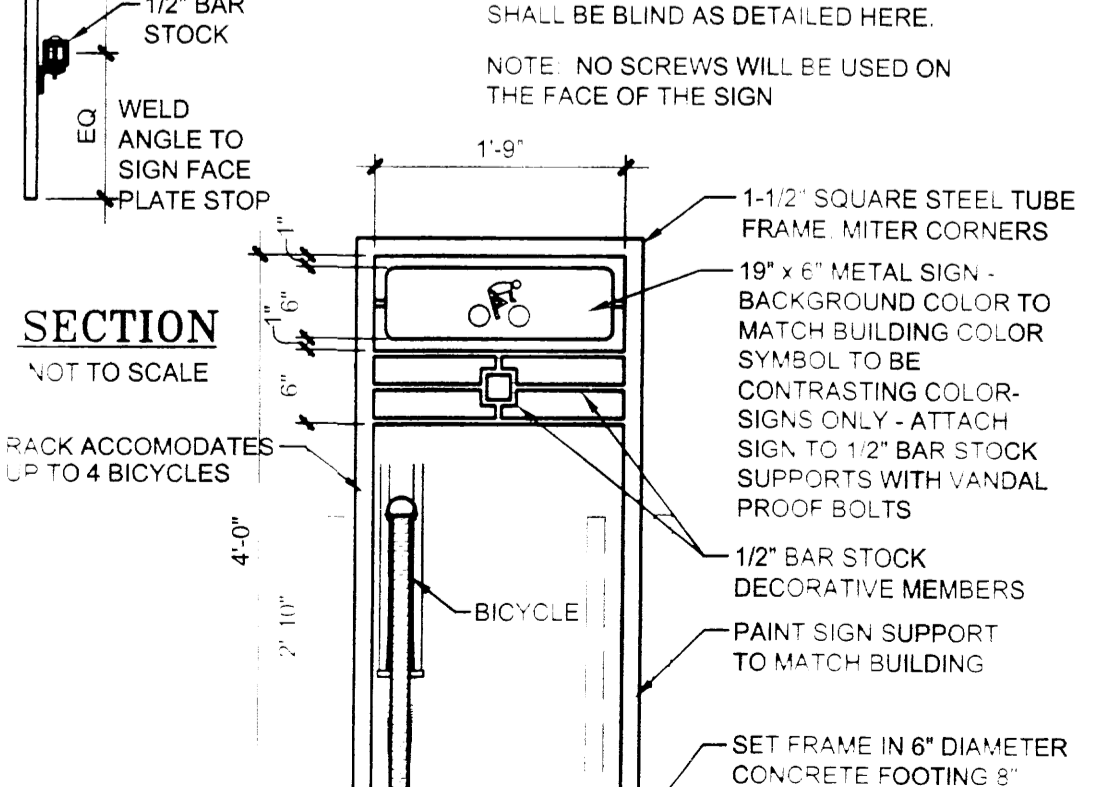
**RELOCATED TRASH ENCLOSURE ELEVATIONS**

**A1** SCALE: 1/8" = 1'-0"



**SITE SCREEN WALL**

**A3** SCALE: 3/16" = 1'-0"



**SCREEN WALL & BERM**

**A4** SCALE: 3/4" = 1'-0"



**BIKE RACK**

**A5** SCALE: 3/8" = 1'-0"



**FEATURE WALL**

