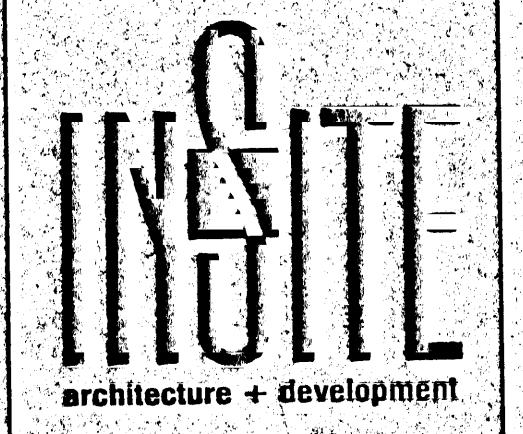
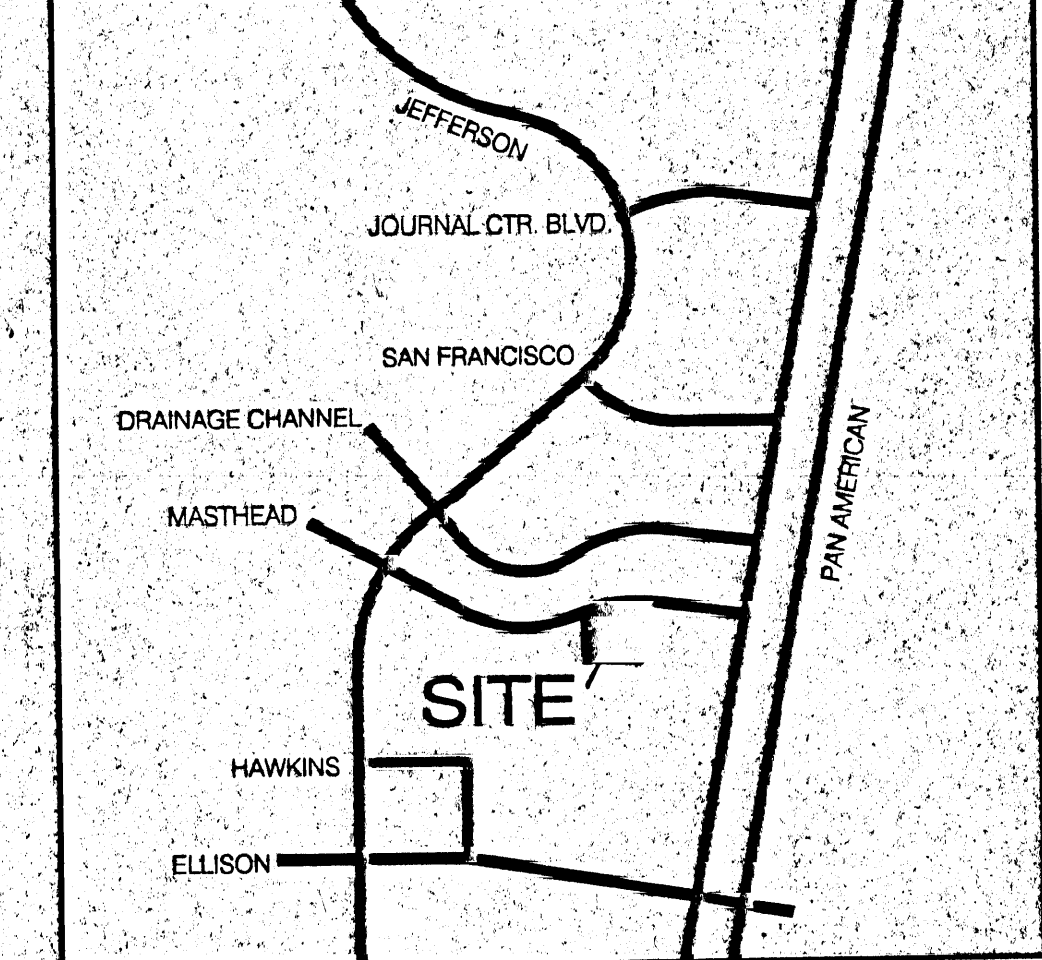


TRACT 4AA-5A-2A
JOURNAL CENTER
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

VICINITY MAP PG. D-17 1"=1000'



ADDRESS: 67 ROCK POINT PLACE NE
ALBUQUERQUE, NM 87122
TELEPHONE: (505) 858-0100
FAX: (505) 858-1098
KS email: ksight@57rock.com
JWC email: jwc@57rock.com
CONTRACTOR: DUNCAN BASS CONTRACTORS
3000 CARLETON BLVD, NE
ALBUQUERQUE, NM 87110
TELEPHONE: (505) 898-4529
FAX: (505) 898-4529

THIS DRAWING IS THE PROPERTY OF INSITE ARCHITECTURE + DEVELOPMENT AND SHALL NOT BE REPRODUCED OR USED IN ANY WAY WITHOUT EXPRESSED WRITTEN CONSENT

CONSULTANT 1: CONSULTANT
CONSULTANT 2: CONSULTANT
CONSULTANT 3: CONSULTANT
CONSULTANT 4: CONSULTANT
CONSULTANT 5: CONSULTANT

CURB RADIUS DATA

- R1 = 1'-0"
 - R2 = 3'-0"
 - R3 = 5'-0"
 - R4 = 10'-0"
 - R5 = 15'-0"
 - R6 = 20'-0"
 - R7 = 50'-0"
 - R8 = 62'-0"
 - R9 = 82'-0"
- RADIUS MEASURED TO OUTSIDE FACE OF CURB

LEGEND

- ☼ 20' TALL POLE LIGHT W/ 250 WATT METAL HALIDE LAMPING (FULL CUT-OFF, SHOE-BOX TYPE)
- ⊕ EXISTING FIRE HYDRANT
- Ⓜ NEW WATER METER

PROJECT # 1001169
Application # 01450-00000-00459

JOURNAL CENTER APPROVALS

SEE JOURNAL CENTER CORPORATION APPROVAL LETTER DATED APRIL 3, 2001

CITY APPROVALS

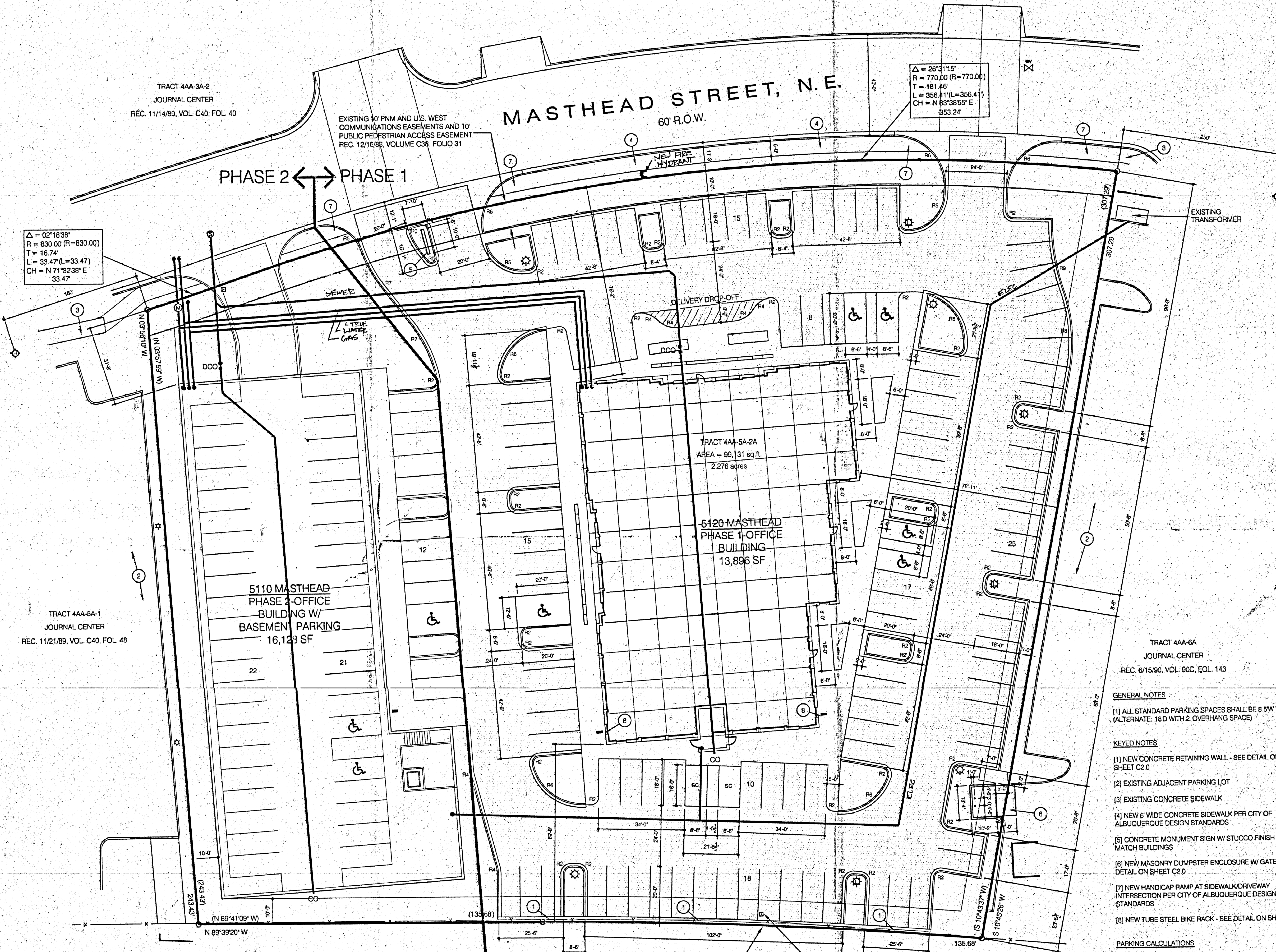
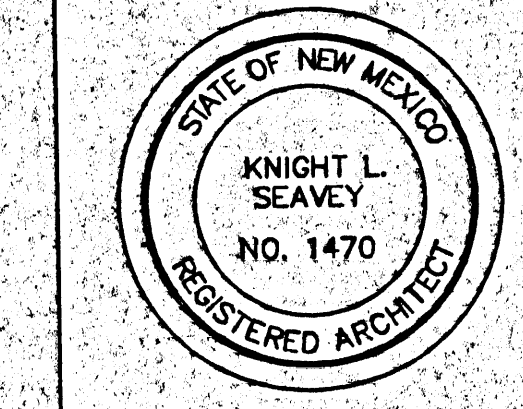
Planning Department 4/23/01
Transportation Development 4-18-01
Utility Development 4-18-01
Parks Department 4-18-01
Hydrology 4/18/01

SEE STAMP
FIRE MARSHALL

Approved on Condition of track accessibility from adjacent property
4.17.01

GRAPHIC SCALE
1 inch = 20 ft

TABLE WITH 2 COLUMNS: TITLE, DATE ISSUED, DATE, APPROVED BY, DISCIPLINE, CONSULTANT



TRACT 4AA-3A-2
JOURNAL CENTER
REC. 11/14/89, VOL. C40, FOL. 40

Δ = 02°18'38"
R = 630.00' (R=630.00)
T = 16.74'
L = 33.47' (L=33.47)
CH = N 71°32'38" E
33.47'

TRACT 4AA-5A-1
JOURNAL CENTER
REC. 11/21/89, VOL. C40, FOL. 48

TRACT A-2
ACADEMY FOR BOYS
REC. 2/21/75, VOL. C10, FOL. 69

Δ = 26°31'15"
R = 770.00' (R=770.00)
T = 181.46'
L = 356.41' (L=356.41)
CH = N 83°38'55" E
353.24'

Δ = 04°57'57"
R = 2000.00' (R=2000.00)
T = 86.73'
L = 173.34' (L=173.33)
CH = N 87°10'21" W
173.29'

Site Development Plan Approval
This plan is consistent with the concepts of the original Journal Center Site Plan approved by the Environmental Planning Commission on August 16, 1980 (AX-79-13, Z-79-80-2) and the IP zone.
It conforms with the comments rendered by the Development Review Board on April 18, 2001, as reflected in DRB Case # 1001169, under Application #01450-00000-00459.
Signature: [Signature] 4/23/01
Date

GENERAL NOTES

- (1) ALL STANDARD PARKING SPACES SHALL BE 8.5W X 20'D (ALTERNATE: 18'D WITH 2' OVER-HANG SPACE)

KEYED NOTES

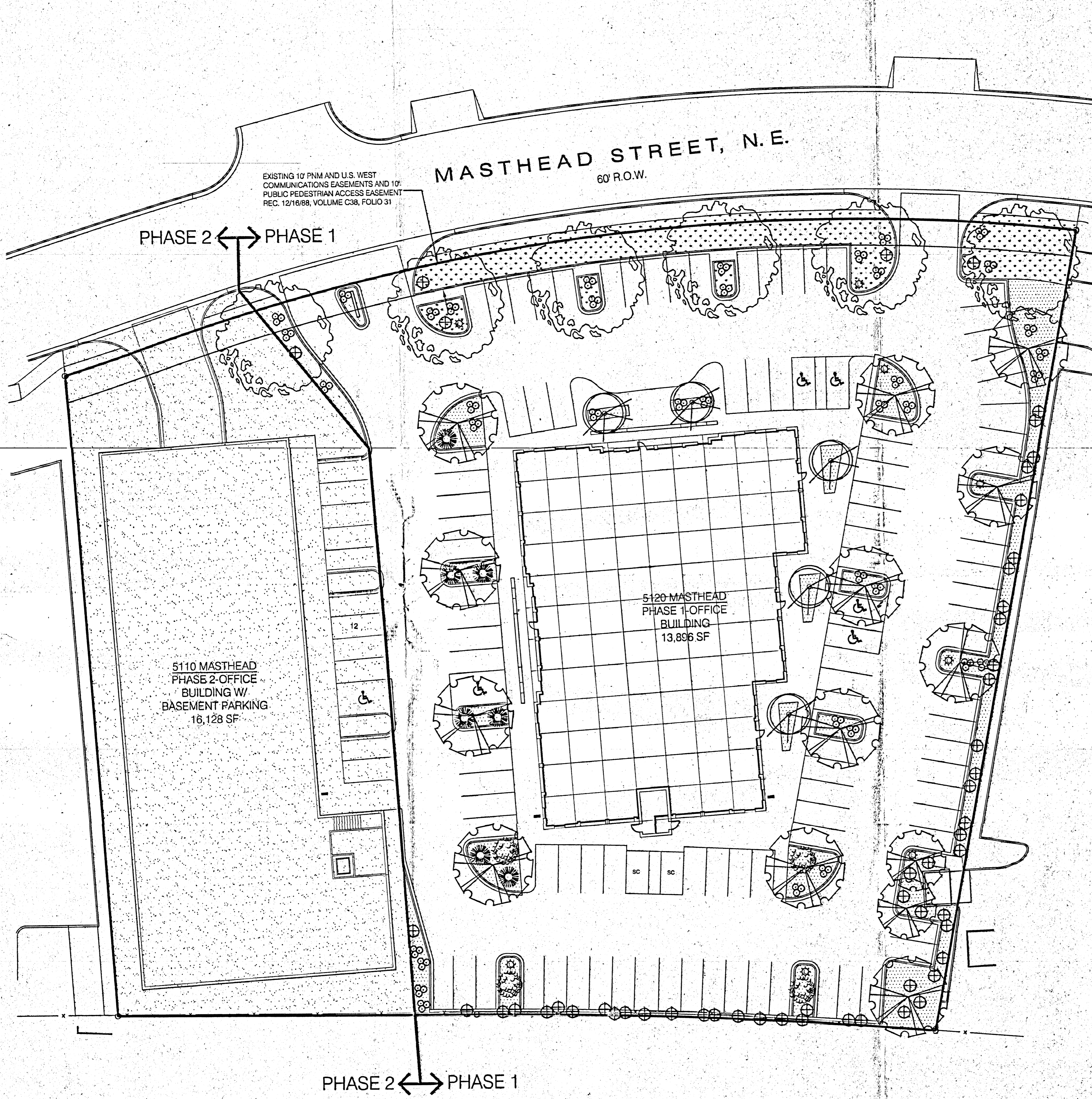
- (1) NEW CONCRETE RETAINING WALL - SEE DETAIL ON SHEET C2.0
- (2) EXISTING ADJACENT PARKING LOT
- (3) EXISTING CONCRETE SIDEWALK
- (4) NEW 6' WIDE CONCRETE SIDEWALK PER CITY OF ALBUQUERQUE DESIGN STANDARDS
- (5) CONCRETE MONUMENT SIGN W/ STUCCO FINISH TO MATCH BUILDINGS
- (6) NEW MASONRY DUMPSTER ENCLOSURE W/ GATES - SEE DETAIL ON SHEET C2.0
- (7) NEW HANDICAP RAMP AT SIDEWALK/DRIVEWAY INTERSECTION PER CITY OF ALBUQUERQUE DESIGN STANDARDS
- (8) NEW TUBE STEEL BIKE RACK - SEE DETAIL ON SHEET C2.0

PARKING CALCULATIONS

PHASE 1
GROSS BUILDING AREA: 13,896 SF
NET LEASABLE AREA: 13,384 SF
PARKING SPACES REQUIRED: 67
PARKING SPACES PROVIDED: 108
HC PARKING SPACES REQUIRED: 4
HC PARKING SPACES PROVIDED: 5
BIKE RACK SPACES REQUIRED: 5
BIKE RACK SPACES PROVIDED: 6

PHASES 1 & 2
GROSS BUILDING AREA: 13,896 + 16,128 = 30,024 SF
NET LEASABLE AREA: 13,384 + 15,532 = 28,916 SF
PARKING SPACES REQUIRED: 145
PARKING SPACES PROVIDED: 163
HC PARKING SPACES REQUIRED: 8
HC PARKING SPACES PROVIDED: 8
BIKE RACK SPACES REQUIRED: 7
BIKE RACK SPACES PROVIDED: 9

AFD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
Signature: [Signature] 4/23/01
SIGNATURE & DATE



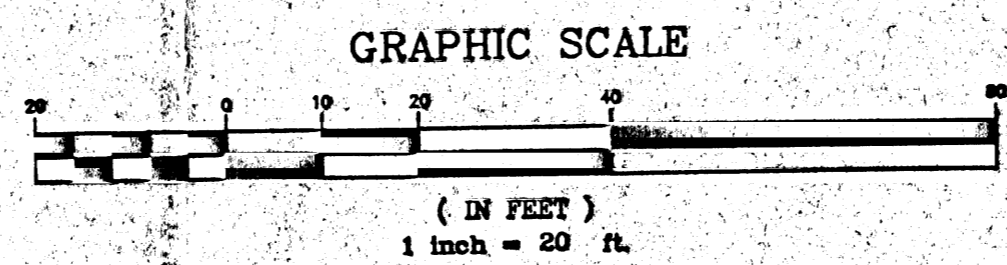
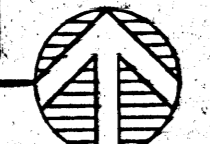
EXISTING 10' PNM AND U.S. WEST COMMUNICATIONS EASEMENTS AND 10' PUBLIC PEDESTRIAN ACCESS EASEMENT REC. 12/16/88, VOLUME C38, FOLIO 31

PHASE 2 ← PHASE 1

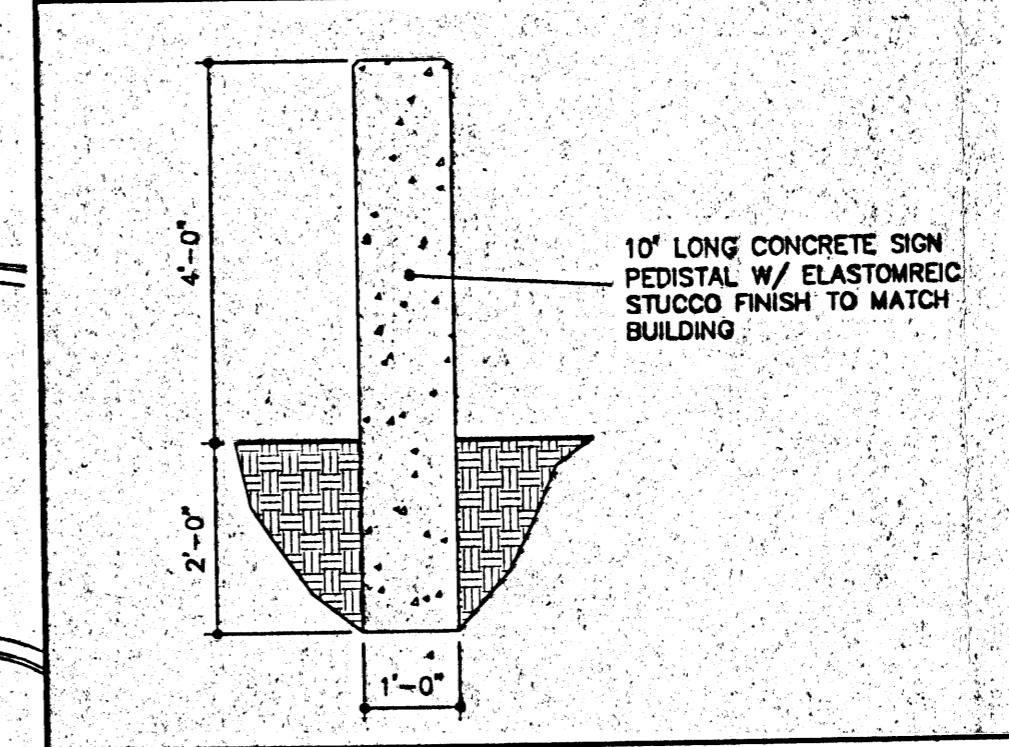
PHASE 2 ← PHASE 1

LANDSCAPE PLAN

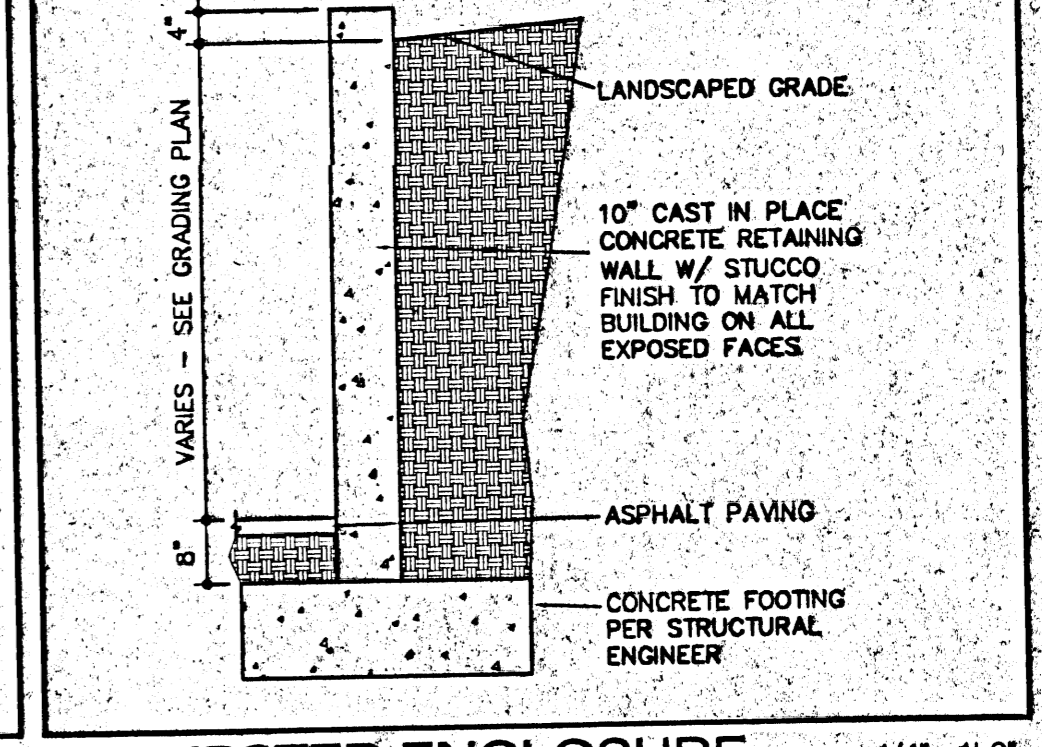
SCALE: 1"=20'



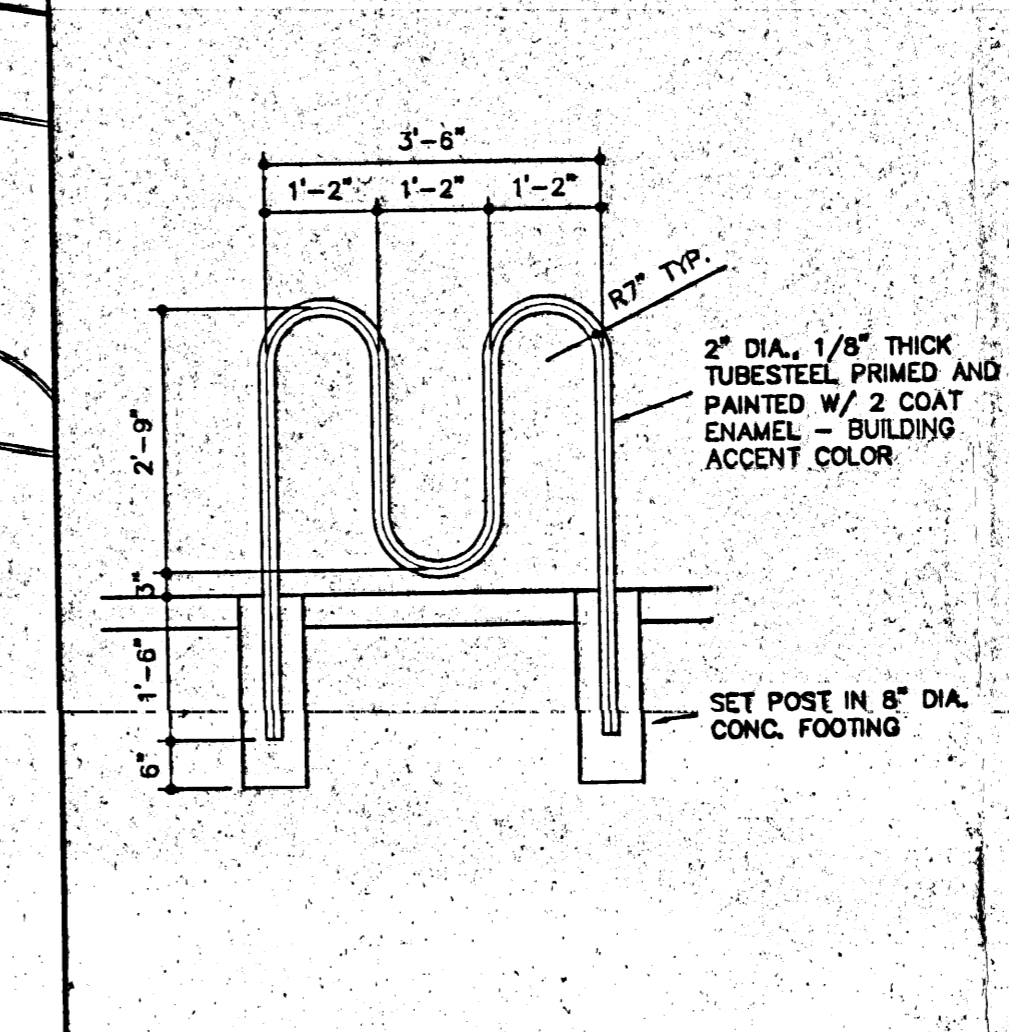
MONUMENT SIGN SECTION 1/2"=1'-0"



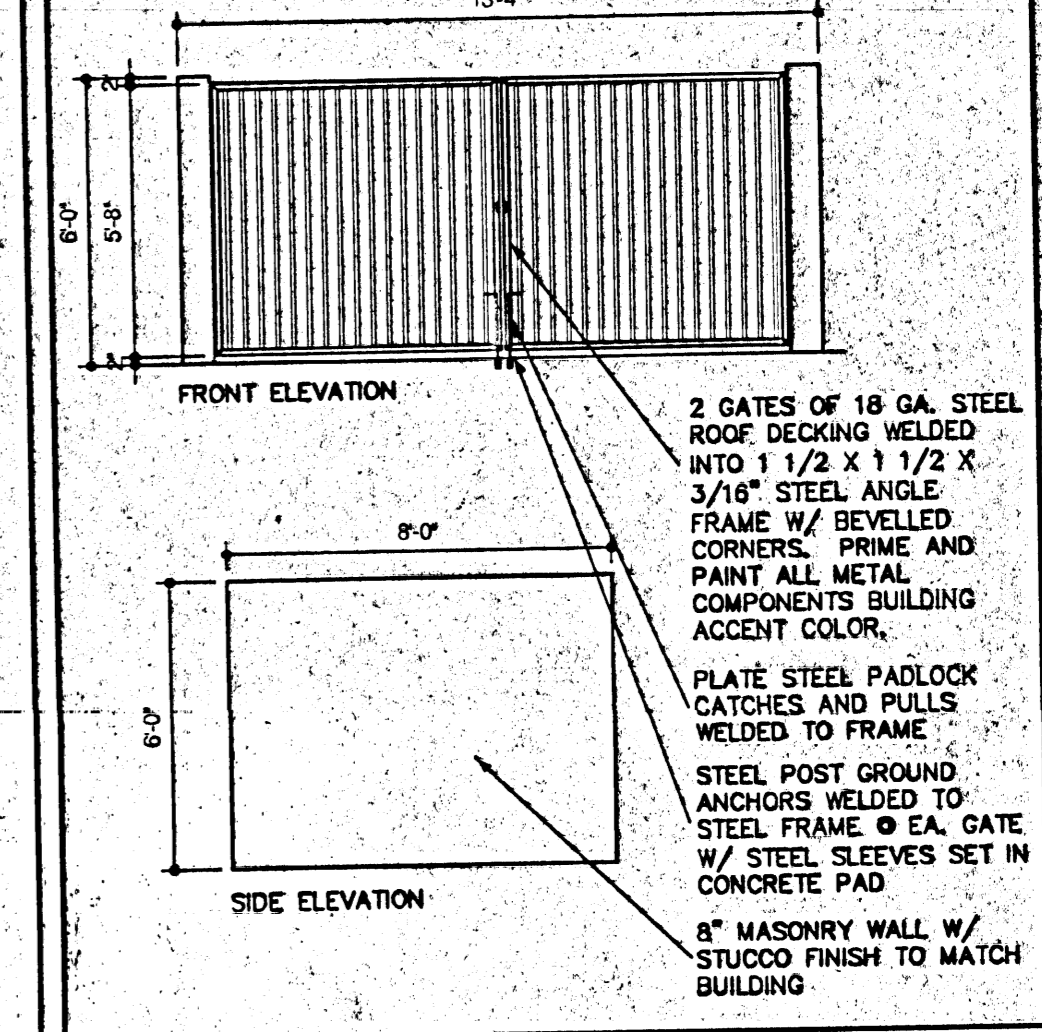
RETAINING WALL SECTION 1/2"=1'-0"



BIKE RACK DETAIL 1/2"=1'-0"



DUMPSTER ENCLOSURE 1/4"=1'-0"



LANDSCAPE LEGEND/ PLANT LIST

	ARIZONA SYCAMORE (6)	2.5 GAL
	COCKSPUR HAWTHORN (14)	1.5" CAL TRIPLE TRUNK [TYPICAL]
	AMUR MAPLE	2.5 CAL
	DESERT WILLOW (5)	2.5 CAL
	RUSSIAN SAGE (4)	5 GAL
	MUGO PINE (7)	5 GAL
	ROSEMARY (32)	1 GAL
	APACHE PLUME (6)	1 GAL
	RHAPHIOLEPIS (54)	5 GAL (18" MIN. HT.)
	CRATAEGUS CURS-GALE	1.5" CAL TRIPLE TRUNK [TYPICAL]
	ACER GINNALA	2.5 CAL
	CHILOPSIS LINEARIS	2.5 CAL
	PEROVSKIA ATRIPLICIFOLIA	5 GAL
	PINUS MUGO	5 GAL
	ROSMARINUS	1 GAL
	FALLUGIA PARADOXA	1 GAL
	RHAPHIOLEPIS	5 GAL (18" MIN. HT.)
	CRUSHER FINES 'SANTA ANA TAN'	
	NATIVE SEED MIX [GRAMA/BUFFALO] 2#/1000 SF [TEMP]	
	K-31 SOD	



ADDRESS: 57 ROCK POINT PLACE NW, ALBUQUERQUE, NM 87122
 TELEPHONE: (505) 858-0100
 FAX: (505) 858-1008
 KS email: ksh@insite7.com
 JWC email: jwc@insite7.com
 CONTRACTOR: DUNCAN ELDON CONTRACTORS, 3280 CARLISLE BLVD, NE, ALBUQUERQUE, NM 87110
 TELEPHONE: (505) 858-4329
 FAX: (505) 858-4328

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CONSULTANT 1:	CONSULTANT
CONSULTANT 2:	CONSULTANT
CONSULTANT 3:	CONSULTANT
CONSULTANT 4:	CONSULTANT
CONSULTANT 5:	CONSULTANT

GENERAL NOTES:
 [1] MAINTENANCE OF ALL LANDSCAPING SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
 [2] ALL LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC IRRIGATION SYSTEM, SCHED. 40 PIPING.

LANDSCAPE AREA CALCULATIONS
 PHASE 1
 TOTAL SITE AREA: 70,413 SF
 BUILDING AREA: 13,896 SF
 PAVED AREA: SF 46,343
 LANDSCAPE PLANTER AREA: 17,174 SF (19.0% OF NET)
 LANDSCAPE AREA REQUIRED: SF (15% OF NET)
 TURF AREA 3,396 SF (19.7% OF LANDSCAPED)

PHASES 1 & 2
 TOTAL SITE AREA: 99,131 SF
 BUILDING AREA: 30,024 SF (30%)
 PAVED AREA: SF 51,752 (52%)
 LANDSCAPE PLANTER AREA: 17,355 SF (25.1% OF NET)
 LANDSCAPE AREA REQUIRED: SF (15% OF NET)
 TURF AREA 3,396 SF (19.6% OF LANDSCAPED)

PHASE 2 NOTE: SIMILAR PALETTE AND SPACING TO BE EMPLOYED IN PHASE 2. WEST EDGE OF PROPERTY IS WEST SLOPING AND WILL BE PLANTED W/ APACHE PLUME, DESERT WILLOW AND OTHER LOW WATER NATIVE PLANTINGS IN A 3" GRAVEL BED.

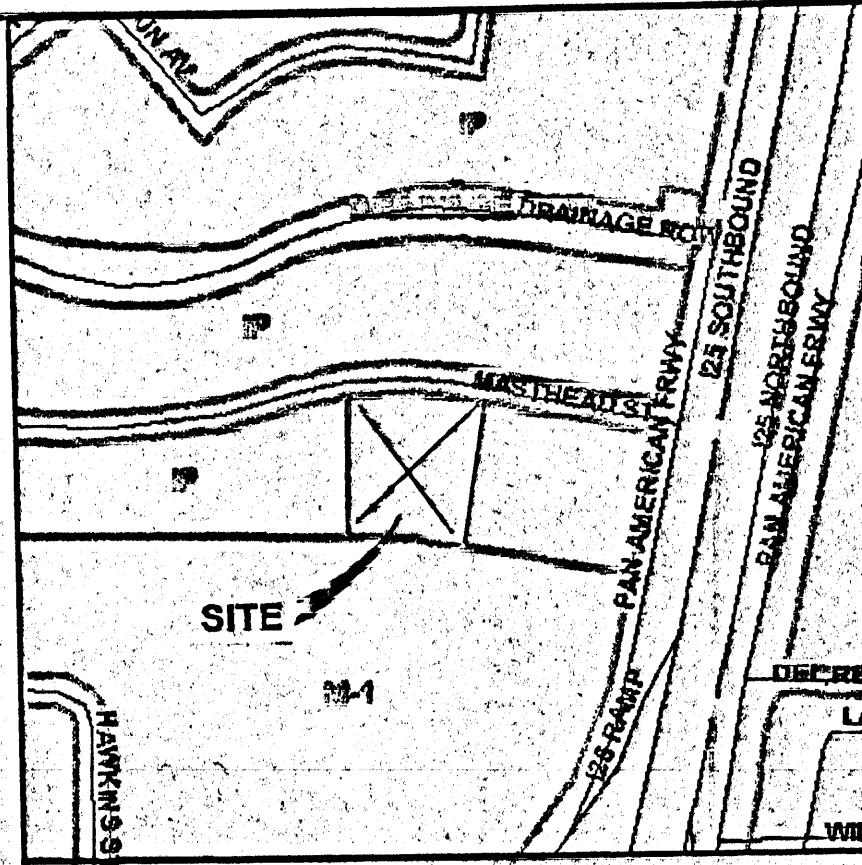
TITLE:	LANDSCAPE PLAN
DATE ISSUED:	4/13/01
UPDATED:	06/06/00
EDITION:	000 SUBMITTAL
PROJECT ID:	MASTHEAD
FILE:	MAST-C1.DWG
FILE PATH:	C:\ACTIVE\MASTHEAD\DWGS
CREATED BY:	JWC
SCALE:	1"=20'
DISCIPLINE:	CIVIL
CONSULTANT:	INSITE



G2.0

TRACT 4AA-3A-2
JOURNAL CENTER
REC. 11/14/89, VOL. C40, FOL. 40

LOCAL BENCH MARK
Masthead Street N.E.
60' R.O.W.



JC Engineering
1924 Rosales Dr. NE, Rio Rancho, NM 87124-5532
(505) 887-3202 Fax (505) 887-3202 jcalley@juno.com

LOCATION MAP -- D-17

LOCAL BENCH MARK
P.K. NAIL IN ASPHALT PAVEMENT ON MASTHEAD STREET AS INDICATED IN PLAN. ELEV 5164.46

PROJECT BENCH MARK
ACS "1-25-14, 1969" STANDARD NMSHC BRASS CAP AS INDICATED IN PLAN. ELEV 5196.73

LEGAL DESCRIPTION
TRACT 4AA-5A-2A OF THE JOURNAL CENTER, CONTAINING 2.278 ACRES.

SURVEY INFORMATION
SURVEY PERFORMED BY PRECISION SURVEYS, FEBRUARY, 1998

LEGEND

- TC65.94 PROPOSED SPOT ELEVATION
- TS65.00 FUTURE SPOT ELEVATION
- EXISTING SPOT ELEVATION
- 5173 EXISTING CONTOUR
- DIRECTION OF FLOW
- EMBANKMENT SLOPE
- WATER BLOCK
- TRACT BOUNDARY/R.O.W.
- NEW PHASE 1 BUILDING
- EXISTING PAVEMENT EDGE
- NEW PAVEMENT EDGE
- PHASE 2 BUILDING
- PHASE 2 UNDERGROUND PARKING
- EXISTING PAVEMENT EDGE TO BE REMOVED
- RD ROOF DRAIN

ABBREVIATIONS

- 3"VG 3" VALLEY GUTTER
- FF FINISHED FLOOR (CONC.)
- FG FINISHED GROUND
- FL FLOW LINE
- TA TOP OF ASPHALT
- TC TOP OF CURB OR CONCRETE
- TS TOP OF SIDEWALK
- 4"R 4" ROLL CURB
- 6"C 6" CURB FACE
- TR-C TRANSITION CURB FACE HEIGHT
- RD ROOF DRAIN (SEE ARCH. FOR SIZE)
- 0"C 0" CURB FACE (SIDEWALK FLUSH W/PAVEMENT)

KEYED CONSTRUCTION NOTES

- NEATLY SAWCUT AND REMOVE EXISTING CURB AND GUTTER. MATCH EXISTING ELEVATION. INSTALL PRIVATE ENTRANCE PER COA STD DWG 2426, WITH CONCRETE VALLEY GUTTER AND FILETS, AND WITH HANDICAP RAMPS.
- INSTALL 6' WIDE SIDEWALK IN R.O.W. PER COA STD DWG 2430.
- INSTALL 3'-6" WIDE CHANNEL, 6" DEEP.
- INSTALL 2' WIDE CHANNEL, 6" DEEP.
- INSTALL RETAINING WALL PER STRUCTURAL DETAILS. TOP OF WALL SHALL BE AT LEAST 6" HIGHER THAN OFF-SITE GROUND.
- GROUND SLOPES STEEPER THAN 4:1 SHALL BE STABILIZED WITH A GROUND COVER (VEGETATION OR A HARD SURFACE OR ROCK) THAT WILL PREVENT EROSION.
- THE PHASE 2 PORTION OF THE SITE IS TO REMAIN UNDISTURBED.
- LIMIT OF PHASE 1 GRADING.
- REMOVE EXISTING PAVEMENT.

WORK WITHIN C.O.A. RIGHT-OF-WAY

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION, AS CURRENTLY UPDATED.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL PERTINENT EXISTING UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- THREE WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (765-2551) PRIOR TO OCCUPYING RIGHT-OF-WAY. SEE SECTION 19 OF THE SPECIFICATIONS. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED IN KIND BY CONTRACTOR TO LOCATION AND IN KIND AS EXISTING OR AS INDICATED BY THIS PLAN SET.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
- TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE CITY ENGINEER.
- SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- IF CURB IS DEEPENED FOR A DRIVEPAD OR A HANDICAP RAMP, THE DRIVEPAD OR RAMP SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF THE CURB AND GUTTER.
- ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.

PROPERTY CURVE DATA

NO.	DELTA	RADIUS	LENGTH	TANGENT
1	02°18'38"	830.00'	33.47'	18.74'
2	26°31'15"	770.00'	358.41'	181.46'
3	04°57'57"	2000.00'	173.34'	86.73'

TRACT A-2
ACADEMY FOR BOYS
REC. 2/21/75, VOL. C10, FOL. 89

ACS "1-25-14, 1969" STANDARD NMSHC BRASS CAP (FOUND IN PLACE).
NEW MEXICO STATE PLANE GRID COORDINATES (CENTRAL ZONE)
X=399,828.26 (NAD 1927)
Y=1,514,860.92
EL=5196.73
G-C=0.99996298
DELTA ALPHA=-0°11'35"

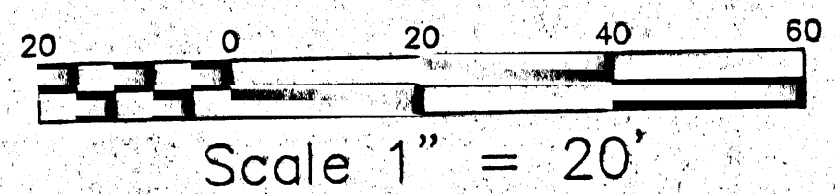
April 17, 2001 Masthead-C3.dwg

REG. 11/21/89, VOL. C40, FOL. 48
JOURNAL CENTER
TRACT 4AA-5A-1
ITI SITE

FUT. GARAGE
FF5159.70
(BELOW)

PHASE 1 BLDG
FF5169.70

HEWLETT PACKARD SITE
TRACT 4AA-6A
JOURNAL CENTER
REC. 6/15/90, VOL. 90C, FOL. 143



REVISIONS

NO.	DATE	BY	DESCRIPTION

APPROVALS

SIGNATURE	DEPT.	DATE

PROJECT
MASTHEAD
TRACT 4AA-5A-2A

CLIENT
InSite Architecture & Development

SHEET TITLE
GRADING PLAN

SHEET NO.
C3.0

GENERAL NOTES

THE IMPROVEMENTS, AS SHOWN ON THESE PLANS, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1987 EDITION, AS PREPARED BY THE NEW MEXICO CHAPTER, AMERICAN PUBLIC WORKS ASSOCIATION AND THE PROJECT SPECIFICATIONS.

STANDARD DRAWINGS REFER TO STANDARD DRAWINGS FOR THE CITY OF ALBUQUERQUE UNLESS OTHERWISE NOTED.

THE CONTRACTOR AGREES THAT HE SHALL ASSUME THE SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER, ENGINEER AND THE CITY HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER, ENGINEER OR THE CITY.

NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT THE WRITTEN APPROVAL OF THE OWNER AND THE ENGINEER. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION METHODS OR TECHNIQUES OR FOR THE PROSECUTION OF THE WORK AS SHOWN ON THESE PLANS. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR OTHER PERSONS PERFORMING ANY OF THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH CONTRACT DOCUMENTS.

IF A TRAFFIC CONTROL PLAN IS NOT PROVIDED WITH THIS PLAN SET, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ONE IF REQUIRED BY GOVERNING AUTHORITIES.

THE CONTRACTOR SHALL DESIGNATE AT LEAST ONE EMERGENCY CONTACT PERSON, AND SHALL PROVIDE TELEPHONE NUMBERS WHERE THIS PERSON CAN BE CONTACTED AT ANY TIME. THIS INFORMATION SHALL BE PROVIDED TO THE OWNER, THE ENGINEER AND THE CITY OF RIO RANCHO DEPARTMENT OF PUBLIC SAFETY.

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS, INCLUDING TOP SOIL DISTURBANCE PERMIT, PRIOR TO START OF CONSTRUCTION.

ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.

THE CONTRACTOR SHALL NOT INSTALL ITEMS AS SHOWN ON THESE PLANS WHEN IT IS APPARENT THAT FIELD CONDITIONS ARE DIFFERENT THAN SHOWN IN THE DESIGN. SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER. IN THE EVENT THE CONTRACTOR DOES NOT NOTIFY THE ENGINEER, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY AND EXPENSE FOR ANY REVISIONS NECESSARY.

EXISTING SITE IMPROVEMENTS WHICH ARE DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE. REPAIRS SHALL BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION OF THE REPAIRS. REPAIRS SHALL BE ACCEPTED BY THE OWNER PRIOR TO FINAL PAYMENT.

EXISTING FENCING THAT IS NOT DESIGNATED FOR REMOVAL SHALL NOT BE DISTURBED. ANY FENCING THAT IS DESIGNATED FOR REMOVAL OR ALTERED BY THE CONTRACTOR SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IF THE CONTRACTOR WOULD LIKE TO REMOVE FENCING TO FACILITATE CONSTRUCTION OPERATIONS, THIS MAY BE DONE WITH THE OWNER'S PERMISSION, AND THE CONTRACTOR SHALL RESTORE THE FENCE TO ITS ORIGINAL CONDITION PRIOR TO THE CLOSE OF THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR SECURITY OF THE SITE UNTIL THE FENCE IS REPLACED.

THE CONTRACTOR SHALL USE THE DESIGNATED STAGING AREA FOR STORAGE OF EQUIPMENT AND MATERIAL. NO MATERIAL OR EQUIPMENT MAY BE STORED OR LEFT ONSITE AT ANY OTHER LOCATION. THE OWNER ASSUMES NO LIABILITY FOR CONTRACTOR'S EQUIPMENT AND MATERIAL IN THE STAGING AREA. SECURITY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. IF NO STAGING AREA IS DESIGNATED ON THESE PLANS, AN OFF SITE STAGING AREA SHALL BE PROVIDED AT THE CONTRACTOR'S EXPENSE, OR THE CONTRACTOR MAY NEGOTIATE WITH THE OWNER TO USE AN ONSITE AREA.

ALL STATIONING REFERS TO THE CENTERLINE OF THE RIGHT-OF-WAY UNLESS OTHERWISE NOTED. STATIONING OF CHANNELS OR PIPES IN DRAINAGE EASEMENTS REFERS TO THE CENTERLINE OF CHANNEL OR PIPE, UNLESS OTHERWISE NOTED.

CHANGES TO CONSTRUCTION PLANS MUST BE APPROVED BY THE ENGINEER.

GRADING

IF EARTHWORK QUANTITIES ARE SHOWN ON THESE PLANS, THEY ARE FOR INFORMATION ONLY. THE CONTRACTOR SHALL COMPUTE HIS OWN QUANTITIES FOR NEGOTIATION PURPOSES, OTHERWISE PAYMENT FOR EARTHWORK WILL BE BASED ON THE ENGINEER'S ESTIMATED QUANTITIES.

WHERE C.M.U. PRIVACY WALLS OR RETAINING WALLS ARE INSTALLED, WEEP HOLES SHALL BE PROVIDED IN THE PORTION OF THE WALL BELOW GRADE, TO RELIEVE POTENTIAL HYDROSTATIC PRESSURE, BY ELIMINATING THE MORTAR FROM ALTERNATING VERTICAL JOINTS IN EVERY OTHER COURSE OF BLOCK BELOW GRADE. IN WALLS ADJACENT TO STREETS OR DRAINAGE CHANNELS, HOLES FOR SURFACE RUNOFF SHALL BE PROVIDED AT APPROPRIATE INTERVALS ABOVE GRADE FOR EACH LOT. THESE SURFACE RUNOFF HOLES SHALL BE FORMED BY TURNING ONE BLOCK CROSSWAYS IN THE LOCATION NORMALLY OCCUPIED BY ONE BLOCK.

SOILS

UNLESS OTHERWISE SPECIFIED, SUBGRADE SOILS AND STRUCTURAL FILL MATERIALS SHALL BE COMPACTED TO THE FOLLOWING PERCENTAGES OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557.

MATERIALS	PERCENT (%) COMPACTION
STRUCTURAL FILL IN THE BUILDING AREA	95
SUB BASE FOR SLAB SUPPORT	95
MISCELLANEOUS BACK FILL BELOW STRUCTURAL FILL OR ROAD PAVEMENT	95
MISCELLANEOUS BACK FILL BELOW UNPAVED, NON-BUILDING AREAS	90
ROAD PAVEMENT SUBGRADE	95
SIDEWALK SUBGRADE	90
CURB AND GUTTER SUBGRADE	95

EROSION CONTROL/ENVIRONMENTAL PROTECTION/STORM WATER POLLUTION PREVENTION PLAN

THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL PREPARE AND OBTAIN ANY NECESSARY DUST OR EROSION CONTROL PERMITS FROM REGULATORY AGENCIES.

THE CONTRACTOR SHALL PROMPTLY REMOVE ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY TO KEEP IT FROM WASHING OFF THE PROJECT SITE.

THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO OTHER PROPERTY BY CONSTRUCTING TEMPORARY EROSION CONTROL BERMS OR INSTALLING SILT FENCES AT THE PROPERTY LINES AS INDICATED ON THE STORM WATER POLLUTION PREVENTION PLAN.

THE CONTRACTOR SHALL MITIGATE EROSION OF TEMPORARY OR PERMANENT DIRT SWALES BY INSTALLING STRAW BALE DIKES OR SILT FENCES IN THE SWALES PERPENDICULAR TO THE DIRECTION OF FLOW, AND AT APPROPRIATE INTERVALS.

THE CONTRACTOR SHALL WET THE SOIL AS NEEDED TO KEEP IT FROM BLOWING. WATERING, AS REQUIRED FOR CONSTRUCTION AND DUST CONTROL, SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO MEASUREMENT OR PAYMENT SHALL BE MADE THEREFOR. CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS REQUIRED.

ANY AREAS DISTURBED BY CONSTRUCTION AND NOT COVERED BY LANDSCAPING OR AN IMPERVIOUS SURFACE SHALL BE REVEGETATED WITH NATIVE GRASS SEEDING. THIS SHALL NOT INCLUDE RESIDENTIAL LOTS WHICH ARE TO BE OCCUPIED WITHIN TWELVE MONTHS.

THE CONTRACTOR SHALL PROPERLY HANDLE AND DISPOSE OF ALL ASPHALT REMOVED FROM THE PROJECT BY HAULING TO AN APPROVED LANDFILL IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW MEXICO SOLID WASTE ACT.

ALL WASTE PRODUCTS FROM THE CONSTRUCTION SITE, INCLUDING ITEMS DESIGNATED FOR REMOVAL, CONSTRUCTION WASTE, CONSTRUCTION EQUIPMENT WASTE PRODUCTS (OIL, GAS, TIRES, ETC.) GARBAGE, GRUBBING, EXCESS CUT MATERIAL, VEGETATIVE DEBRIS, ETC. SHALL BE APPROPRIATELY DISPOSED OF OFF SITE AT NO ADDITIONAL COST TO THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMITS REQUIRED FOR HAUL OR DISPOSAL OF WASTE PRODUCTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE WASTE DISPOSAL SITE COMPLIES WITH GOVERNMENT REGULATIONS REGARDING THE ENVIRONMENT, ENDANGERED SPECIES AND ARCHAEOLOGICAL RESOURCES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANUP AND REPORTING OF SPILLS OF HAZARDOUS MATERIALS ASSOCIATED WITH THE CONSTRUCTION SITE. HAZARDOUS MATERIALS INCLUDE GASOLINE, DIESEL FUEL, MOTOR OIL, SOLVENTS, CHEMICALS, PAINTS, ETC. WHICH MAY BE A THREAT TO THE ENVIRONMENT. THE CONTRACTOR SHALL REPORT THE DISCOVERY OF PAST OR PRESENT SPILLS TO THE NEW MEXICO ENVIRONMENT DEPARTMENT EMERGENCY RESPONSE AT 1-(505)-822-1558 OR 1-(800)-219-6157.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING SURFACE AND UNDERGROUND WATER. CONTACT WITH SURFACE WATER BY CONSTRUCTION EQUIPMENT AND PERSONNEL SHALL BE MINIMIZED. EQUIPMENT MAINTENANCE AND REFUELING OPERATIONS SHALL BE PERFORMED IN AN ENVIRONMENTALLY SAFE MANNER IN COMPLIANCE WITH GOVERNMENT REGULATIONS.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING CONSTRUCTION NOISE AND HOURS OF OPERATION.

WHERE STORM INLETS ARE SUSCEPTIBLE TO INFLOW OF SILT OR DEBRIS FROM CONSTRUCTION ACTIVITIES, PROTECTION SHALL BE INSTALLED ON THEIR UPSTREAM SIDE.

THE CONTRACTOR SHALL MAINTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN ON-SITE AT ALL TIMES.

ROADS

ALL UNDERGROUND UTILITIES SHALL BE INSTALLED PRIOR TO SURFACING OF THE STREETS. ALL WATER VALVE BOXES AND ELECTRICAL, TELEPHONE, TELEVISION AND SEWER MANHOLES IN THE CONSTRUCTION AREA SHALL BE ADJUSTED TO FINISH GRADE.

ALL SIGNS, BARRICADES, CHANNELIZATION DEVICES, PAVEMENT MARKINGS, SIGN FRAMES AND ERECTION OF SUCH DEVICES SHALL CONFORM TO THE REQUIREMENTS OF "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" LATEST EDITION. ALL ADVANCE WARNING SIGNS SHALL BE EQUIPPED WITH TYPE A FLASHING WARNING LIGHTS. ALL CHANNELIZATION DEVICES SHALL BE EQUIPPED WITH TYPE C STEADY BURN WARNING LIGHTS.

WHEN ABUTTING NEW PAVEMENT TO EXISTING, CUT BACK EXISTING PAVEMENT TO A NEAT, STRAIGHT LINE AS REQUIRED TO REMOVE ANY BROKEN OR CRACKED PAVEMENT, APPLY TACK COAT, AND MATCH NEW PAVING TO EXISTING.

ACCESSIBLE FACILITIES

ALL SURFACES ALONG ACCESSIBLE ROUTES AND FOR HANDICAP RAMPS SHALL BE STABLE, FIRM, SLIDE RESISTANT AND SHALL COMPLY WITH UNIFORM FEDERAL ACCESSIBILITY STANDARDS.

LONGITUDINAL SLOPES ALONG ACCESSIBLE ROUTE SIDEWALKS, EXCEPT AT HANDICAP RAMPS, SHALL NOT BE STEEPER THAN 1:20. CROSS SLOPES ALONG ACCESSIBLE ROUTE SIDEWALKS EXCEPT AT HANDICAP RAMPS, SHALL NOT BE STEEPER THAN 1:48. SLOPES IN ACCESSIBLE PARKING SPACES, ACCESS AISLES AND PASSENGER LOADING ZONES SHALL NOT BE STEEPER THAN 1:48 IN ALL DIRECTIONS.

THE SITE SHALL COMPLY WITH ANSI A117.1-1992, "ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES".

UTILITIES

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE DRAWINGS HAVE BEEN OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF THE ENGINEER'S KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE DRAWINGS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE DEPICTED LOCATION, THE EXISTENCE OR THE NONEXISTENCE OF UTILITY LINES. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF WORK IN ACCORDANCE WITH CHAPTER 62, ARTICLE 14-1 THROUGH 14-8, NMSA 1978.

THE CONTRACTOR SHALL TAKE DUE PRECAUTIONARY MEASURES TO PROTECT UTILITY LINES SHOWN, AND ALL OTHER LINES NOT OF RECORD OR NOT SHOWN BY VERIFICATION OF LINE LOCATION IN THE FIELD PRIOR TO THE INSTIGATION OF THE ACTUAL PORTION OF WORK ATTRIBUTED TO THEIR LOCATION. THE CONTRACTOR SHALL VERIFY THE LOCATION AND EXISTENCE OF ALL UTILITY CONNECTION POINTS PRIOR TO STARTING CONSTRUCTION AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING FURTHER.

CONSTRUCTION NOTICE: CONTRACTOR SHALL COORDINATE WITH THE WATER SYSTEMS DIVISION (857-8200) THREE WORKING DAYS IN ADVANCE OF ANY WORK THAT MAY AFFECT EXISTING PUBLIC WATER OR SEWER UTILITIES.

CONTRACTOR SHALL RECORD DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF "AS CONSTRUCTED" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.

SEWER LINE DISTANCES SHOWN IN PROFILE ARE MEASURED IN A HORIZONTAL LINE ALONG THE PIPE, BETWEEN CENTERS OF MANHOLES.

WATER LINES SHALL BE CONSTRUCTED WITH A MINIMUM OF 4.0 FT. COVER MEASURED FROM FINISH GRADE TO THE TOP OF PIPE.

HOUSE SEWER SERVICE LATERAL LOCATIONS ARE SHOWN GRAPHICALLY (TYPICALLY 12 L.F. ABOVE LOWER LOT LINE) AND MAY BE ADJUSTED IN THE FIELD TO AVOID DRIVEWAYS WHENEVER FEASIBLE.

SEWER/WATER MAIN LINES SHALL BE PLACED IN SEPARATE TRENCHES A MINIMUM OF 10 FEET APART HORIZONTALLY. THE WATER LINE SHALL BE PLACED A MINIMUM OF 1.5 FEET HIGHER IN ELEVATION THAN THE SEWER WHEN CLOSER THAN 10 FEET. AT ALL CROSSINGS OF WATER AND SEWER LINES THE WATER LINE SHALL BE A MINIMUM OF 1.5 FEET HIGHER THAN THE SEWER OR THE SEWER LINE SHALL BE ENCASED IN CONCRETE A DISTANCE OF 10 FEET ON EACH SIDE OF THE WATER LINE.

EXISTING VALVES TO BE OPERATED BY CITY PERSONNEL ONLY. CONTRACTOR SHALL CONTACT THE WATER SYSTEMS DIVISION (857-8200) THREE DAYS PRIOR TO NEEDING VALVES TURNED ON OR OFF.

BOTH CITY OF RIO RANCHO AND CITY OF ALBUQUERQUE PUBLIC WATER MAINS SHALL BE CONSTRUCTED OF C-900 PIPE, AND PUBLIC SEWER MAINS SHALL BE CONSTRUCTED OF SDR-35 PIPE, UNLESS OTHERWISE INDICATED.

JC-Engineering
 1924 Rosabelle Dr. NE Rio Rancho, NM 87124-5632
 (505)468-3520 Fax (505)987-9302 info@jce.com

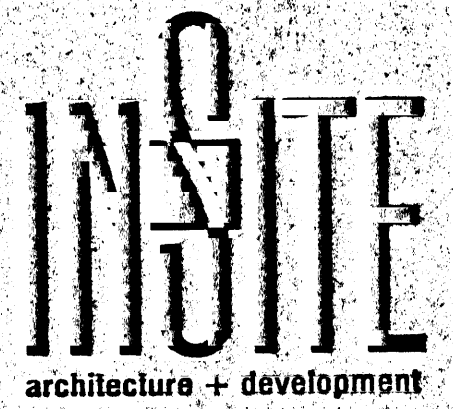


APPROVALS	REVISIONS			
DATE	NO.	DATE	BY	DESCRIPTION

PROJECT: **MASTHEAD TRACT 4AA-5A-2A**
 CLIENT: **InSite Architecture & Development**

SHEET TITLE: **GENERAL CIVIL NOTES**

SHEET NO. **C4.0**

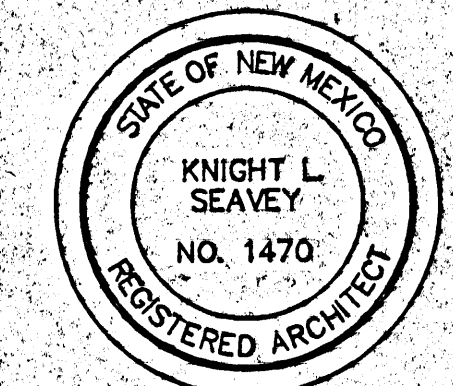


ADDRESS: 57 ROCK POINT PLACE NE
ALBUQUERQUE, NM 87122
TELEPHONE: (505) 858-0100
FAX: (505) 858-1088
KS email: knight@streck.com
JWC email: judoerj@msl.net
CONTRACTOR: DUNCAN BLDG CONTRACTORS
3200 CARLISLE BLVD, NE
ALBUQUERQUE, NM 87110
TELEPHONE: (505) 888-4528
FAX: (505) 888-4528

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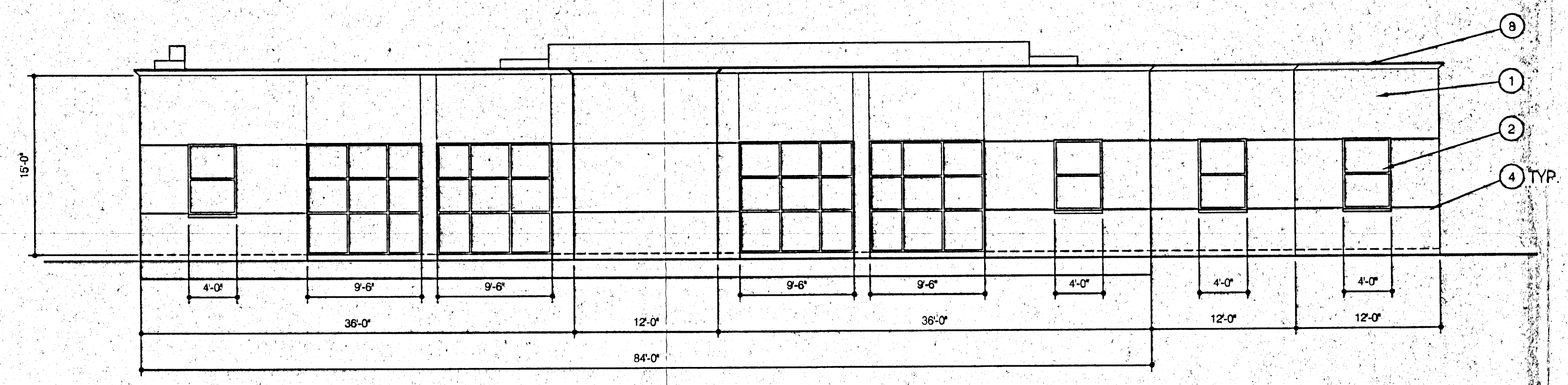
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CONSULTANT 2:	CONSULTANT
CONSULTANT 3:	CONSULTANT
CONSULTANT 4:	CONSULTANT
CONSULTANT 5:	CONSULTANT
CONSULTANT 6:	CONSULTANT
CONSULTANT 7:	CONSULTANT

TITLE:	ELEVATIONS
DATE ISSUED:	04/12/09
UPDATED:	06/08/09
EDITION:	DESIGN
PROJECT ID:	MASTHEAD
FILE:	MAST-CL.DWG
FILE PATH:	C:\ACTIVE\MASTHEAD\DWG
CREATED BY:	JWC
SCALE:	1"=8'
DISCIPLINE:	ARCHITECTURAL
CONSULTANT:	INSITE



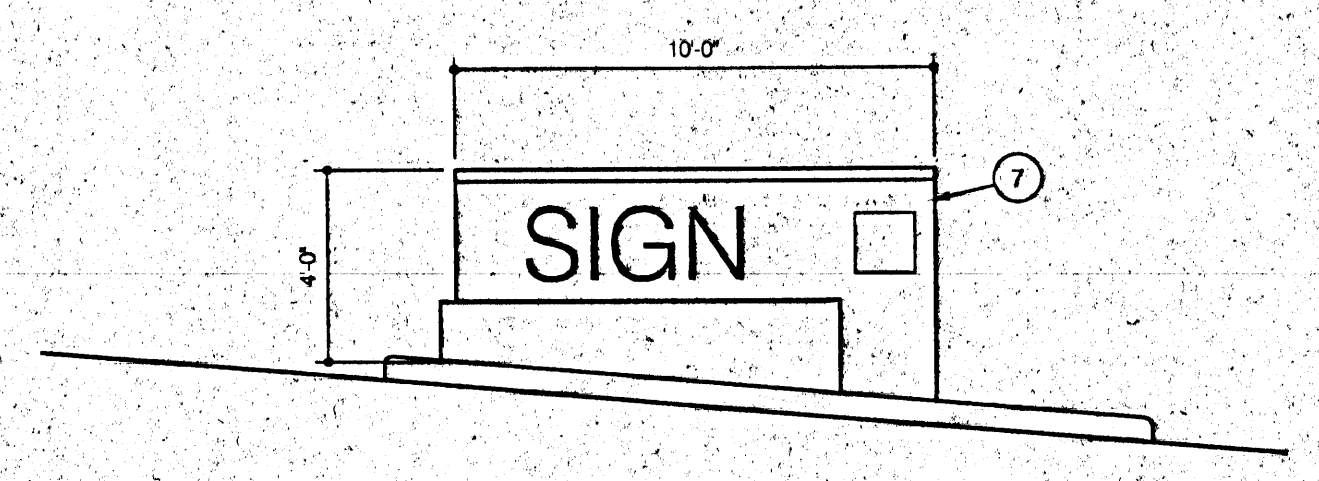
EXTERIOR ELEVATION NOTES

- EXTERIOR FINISH: SYNTHETIC STUCCO. MAIN COLOR: DRYVIT PEARL ASH OR EQUAL. ACCENT COLOR AT RECESSED WALLS: DRYVIT SUNSET YELLOW OR EQUAL.
- KAWNEER ALUMINUM GLAZING SYSTEM WITH 1" INSULATED CLEAR GLASS. FRAME COLOR: KAWNEER CHARCOAL OR EQUAL. DOOR COLOR: CLEAR ANODIZED ALUMINUM.
- PLAZA WALL BEYOND.
- STUCCO CONTROL JOINT.
- PLAZA WALL FINISH: SYNTHETIC STUCCO. COLOR: DRYVITSTEEL BLUE OR EQUAL.
- TENANT SIGNAGE LOCATION - ACTUAL SIZE TO BE DETERMINED AT TIME OF TENANT IMPROVEMENT. SIZE LIMITED TO THIS DESIGNATED AREA. MAXIMUM 30" HIGH X 20' LONG, INDEPENDENT REVERSE CHANNEL BACKLIT LETTERS.
- FREE STANDING MONUMENT SIGN AT ENTRANCE DRIVEWAY, NOT TO EXCEED 75 SF. SYNTHETIC STUCCO FINISH: DRYVIT PEARL ASH BASE WITH STEEL GRAY ACCENT.
- CAST STONE PARAPET CAP - BUFF COLOR.



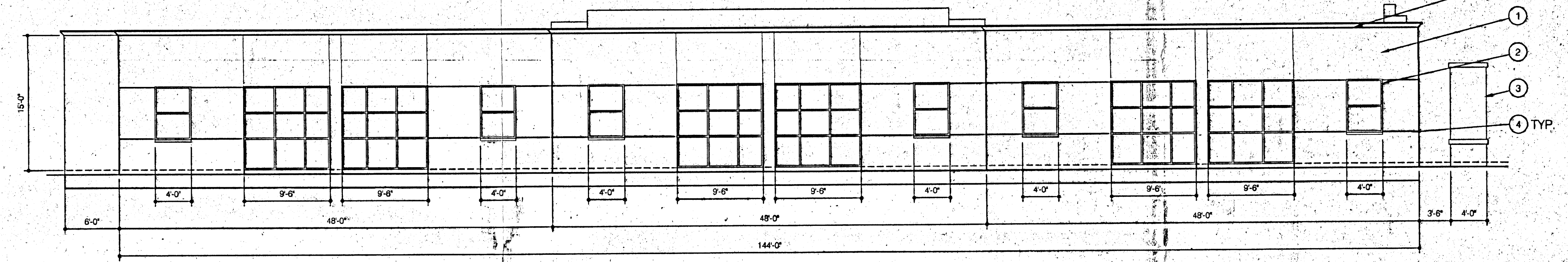
South Elevation

SCALE: 1/8"=1'-0"



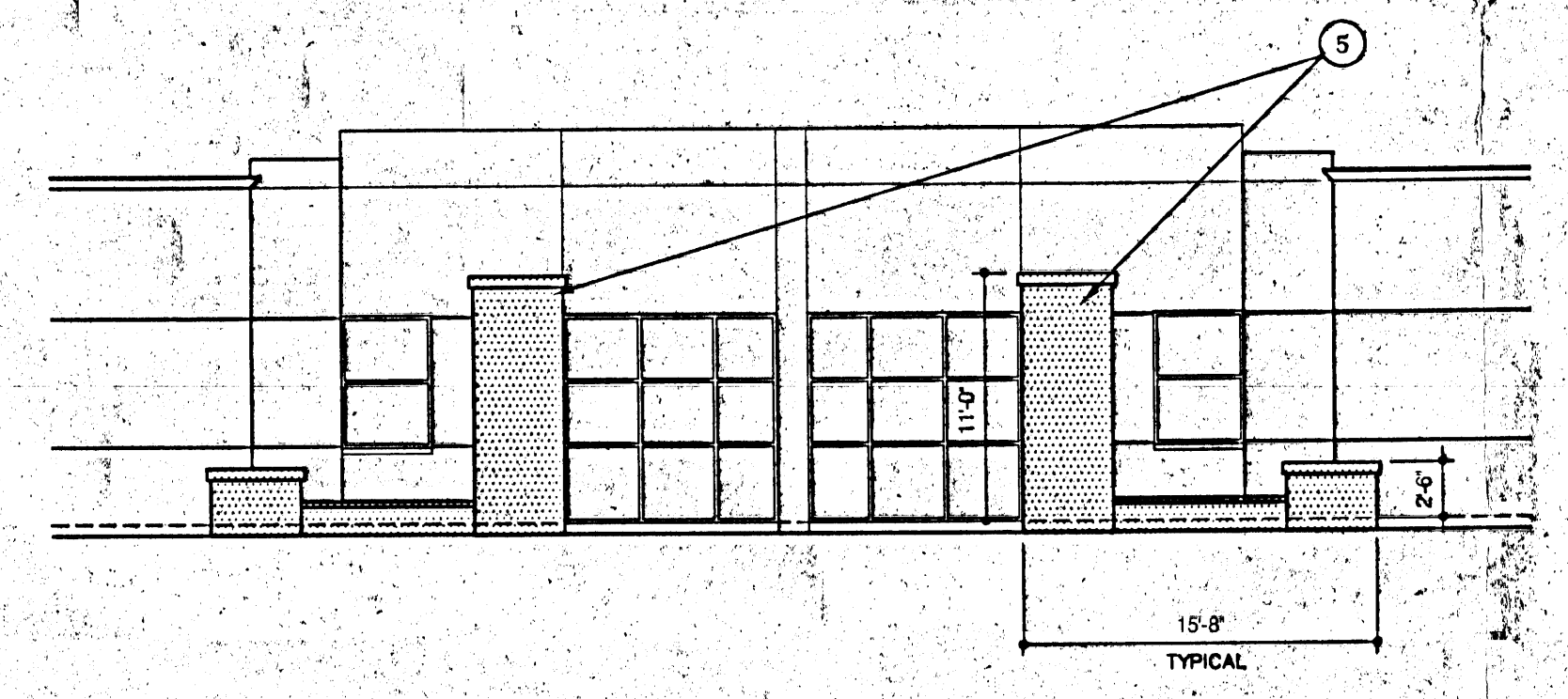
Entry Sign

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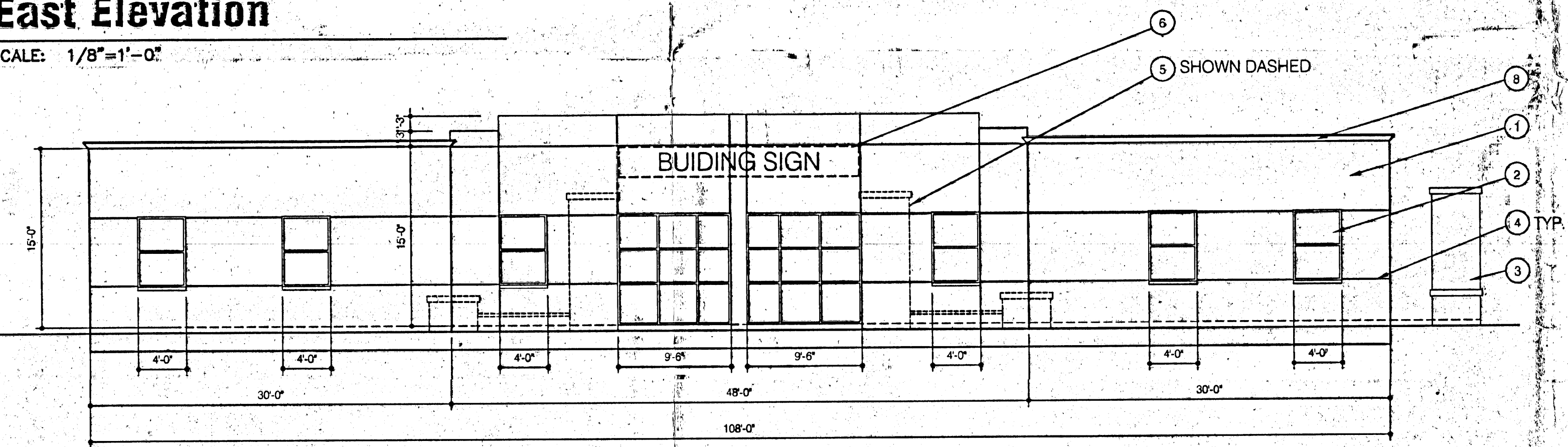
East Elevation

SCALE: 1/8"=1'-0"



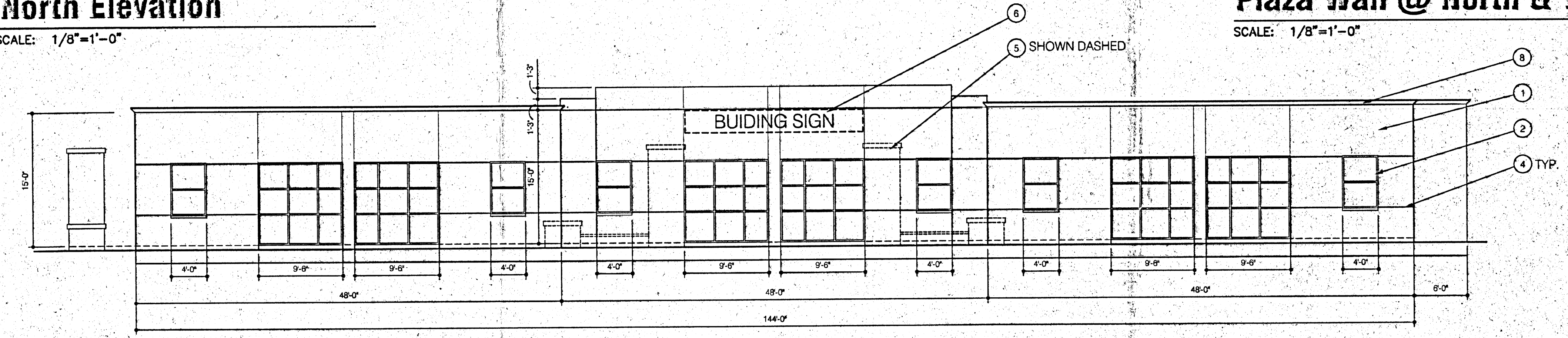
Plaza Wall @ North & West

SCALE: 1/8"=1'-0"



North Elevation

SCALE: 1/8"=1'-0"



West Elevation

SCALE: 1/8"=1'-0"

EXTERIOR ELEVATIONS - PHASE 1

SCALE: 1"=8'-0"

