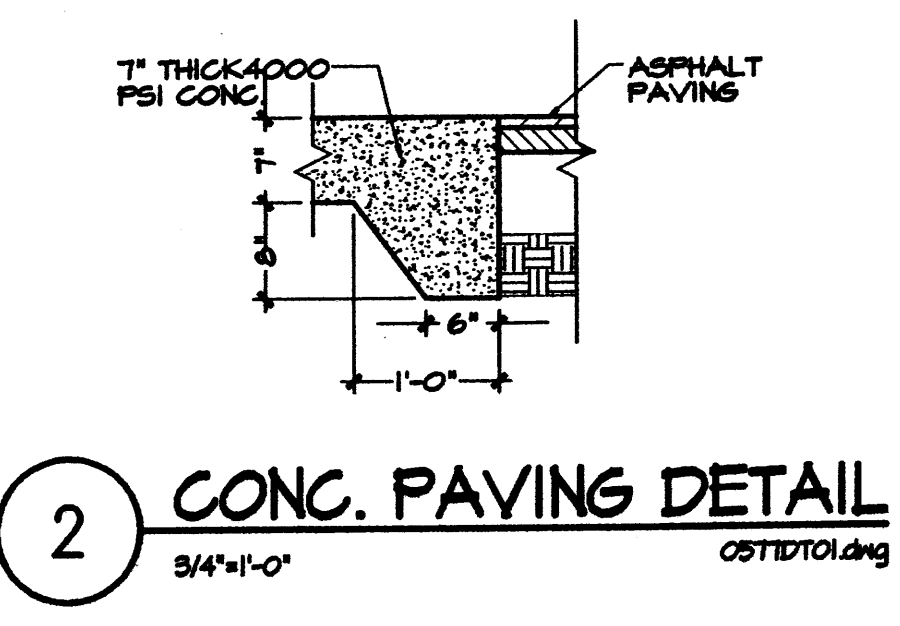


1 SITE PLAN
1"=20'-0" OST15P01.dwg

PARKING REQUIREMENTS	
OFFICE NET LEASABLE AREA:	5645 s.f.
PARKING SPACES @ 1 PER 200 =	28
WAREHOUSE NET LEASABLE AREA:	1555 s.f.
PARKING SPACES @ 1 PER 2000 =	4
TOTAL PARKING SPACES REQUIRED =	32 (2 HANDICAP)
TOTAL PARKING SPACES PROVIDED =	36 (2 HANDICAP)
ZONED SU-21P	



AMENDED SITE PLAN FOR SUBDIVISION

PROJECT NUMBER: 1001176
 APPLICATION NUMBER: 06 DRB-00107 (ASPS)

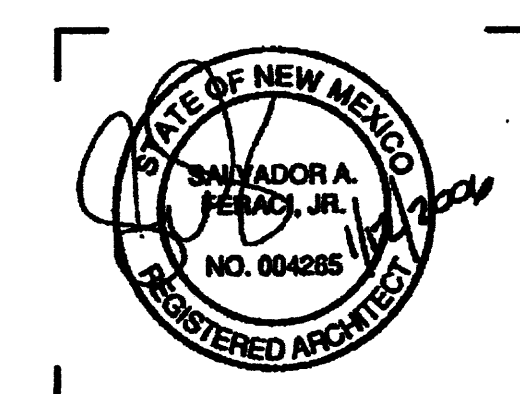
Is an Infrastructure List required? Yes No. If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division 2-22-06
 Date
 William D. Bask 2/22/06
 Date
 Water Utility Department
 Christine Sandoval 2/22/06
 Date
 Parks and Recreation Department
 Bradley L. Bingham 2/22/06
 Date
 City Engineer
 N/A
 Date
 *Environmental Health Department (conditional)
 N/A
 Date
 Solid Waste Management
 N/A
 Date
 TRB ChemLawns/Planning Department
 William A. Matson 2/22/06
 Date

*Environmental Health, if necessary

Renaissance Group
 7000 goodlett farms, ste.100
 cordova, In 38016
 901.332.5533
 fax: 901.332.5534



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6150.05-022-C Warehouse
Addition & Office Renovation
 Albuquerque, NM

Sheet Title	SITE PLAN
Project No.	0577
Drawing File No.	OST1A1
Client	REC
Date	1/12/06

A1.1

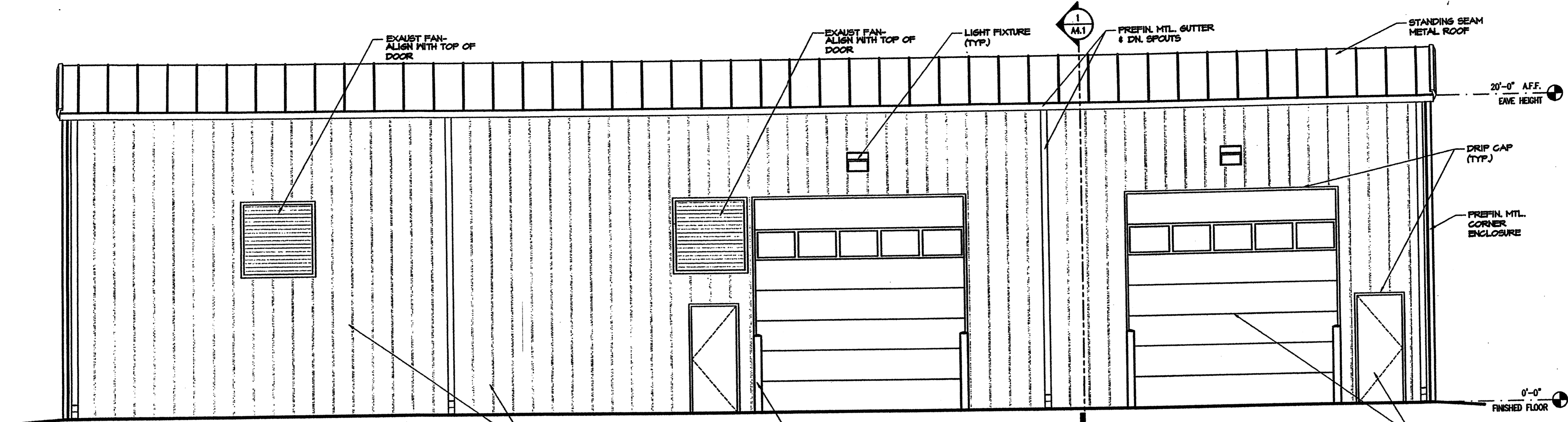
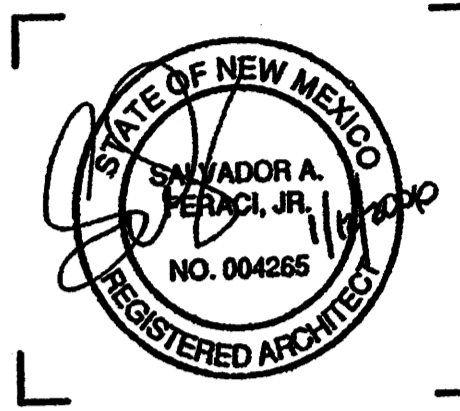
PROJECT # 1001176

RENOISSANCE GROUP

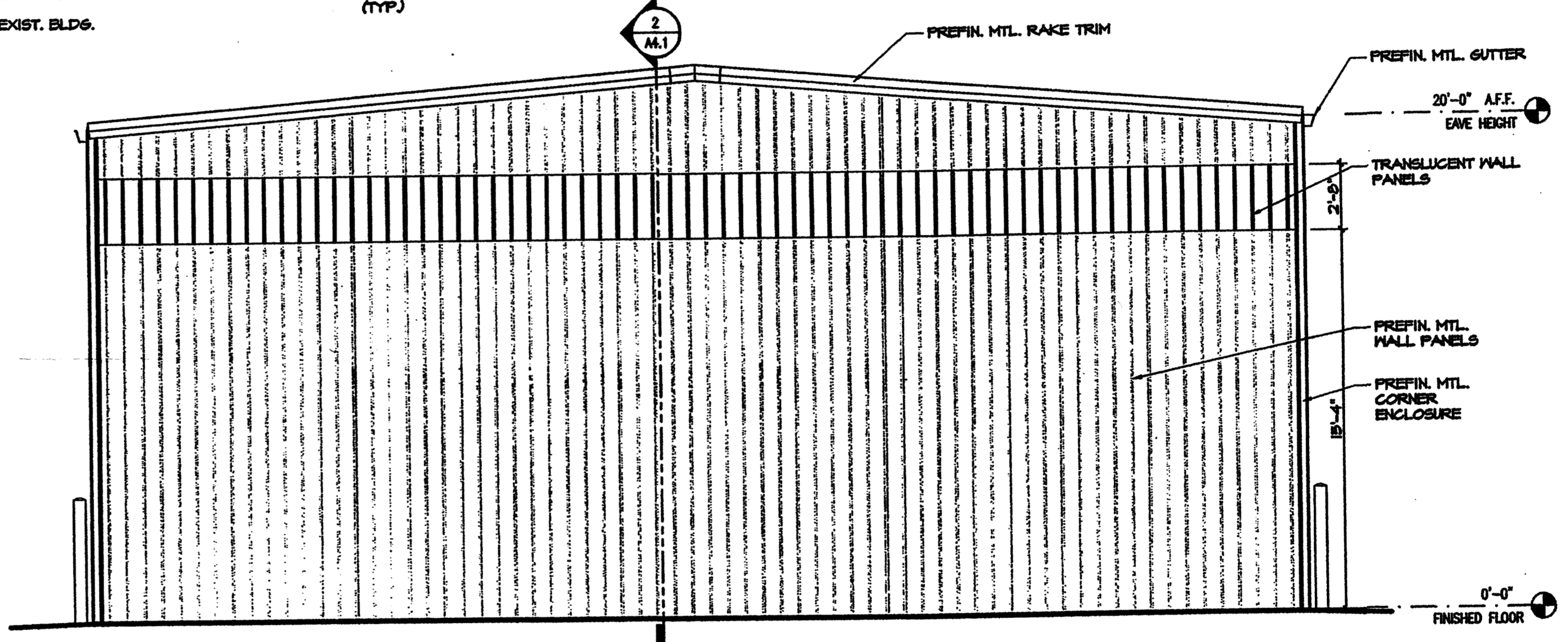


Renaissance Group

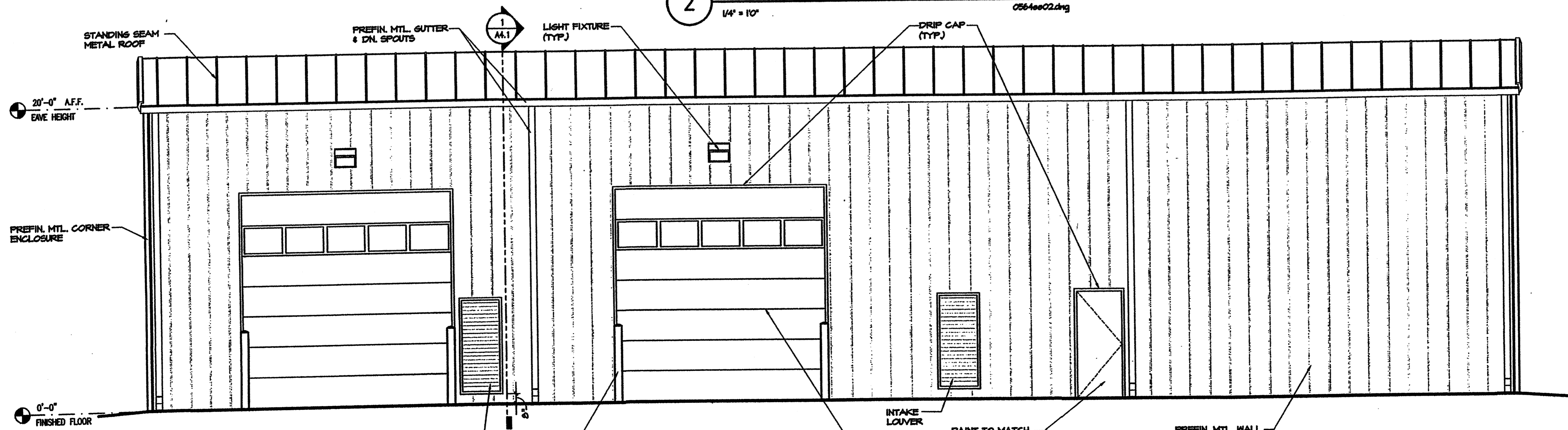
7000 Goodlett Farms, Ste. 100
Cordova, IN 48016
901.332.5533
fax: 901.332.5534



1 EAST ELEVATION
1/4" = 10"
0564ae01.dwg



2 NORTH ELEVATION (SOUTH SIMILAR)
1/4" = 10"
0564ae02.dwg



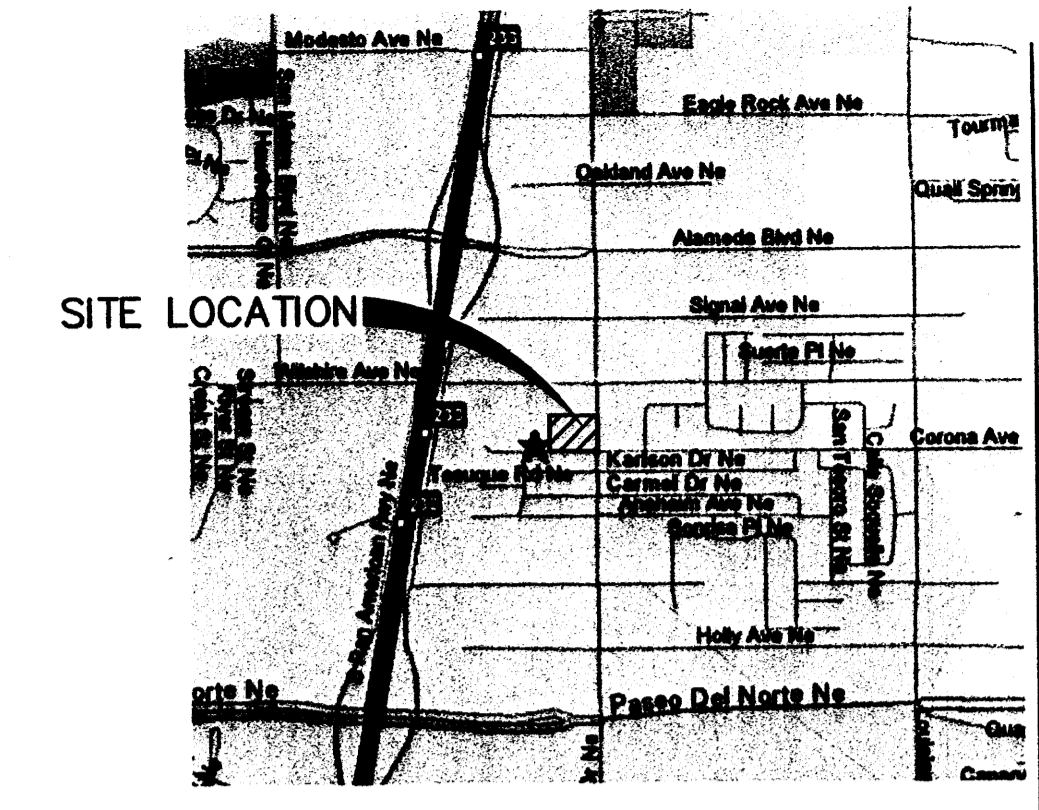
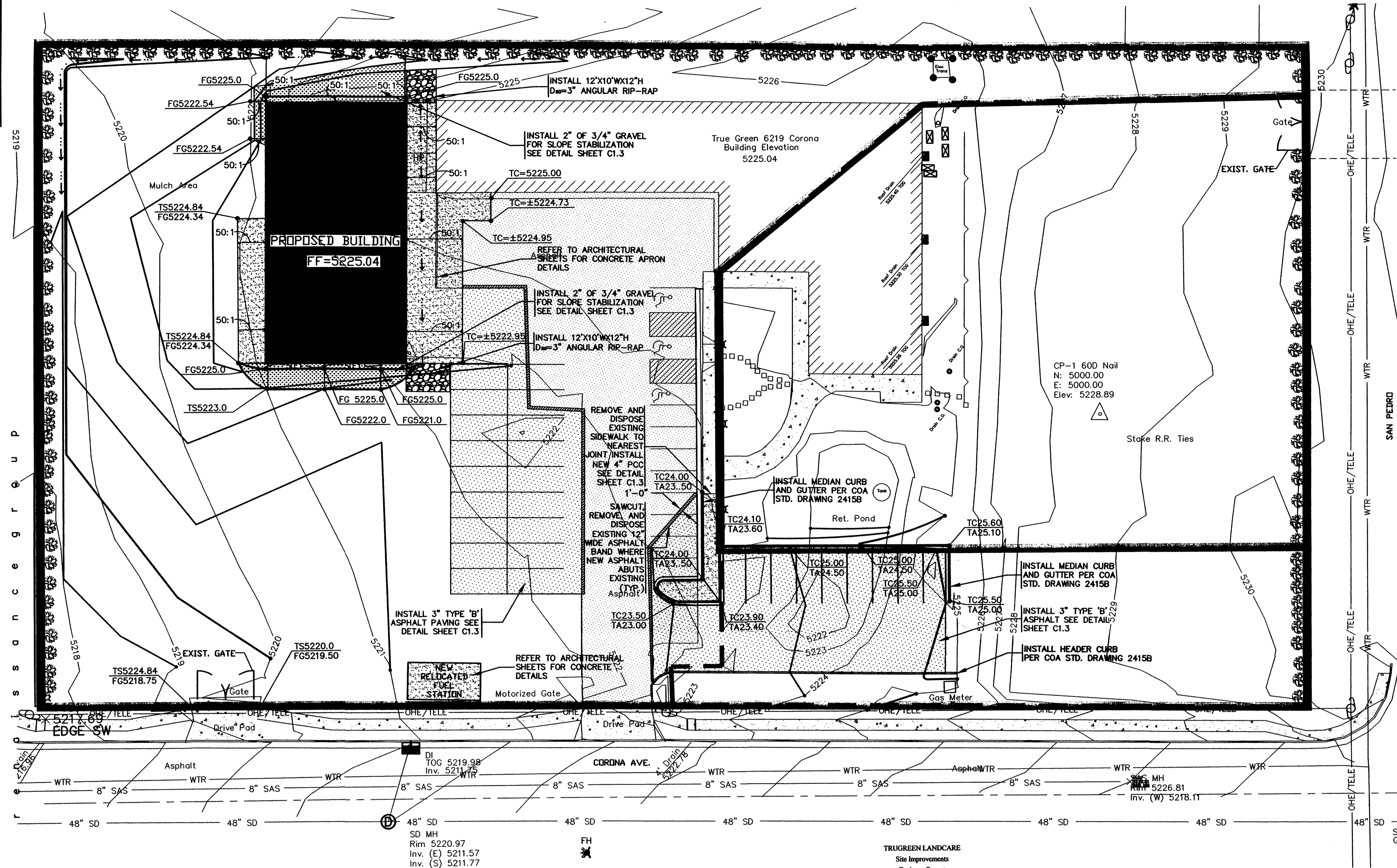
3 WEST ELEVATION
1/4" = 10"
0564ae03.dwg

PROJECT NUMBER: 1001176
APPLICATION NUMBER: 06 DRB-00107(ASPS)

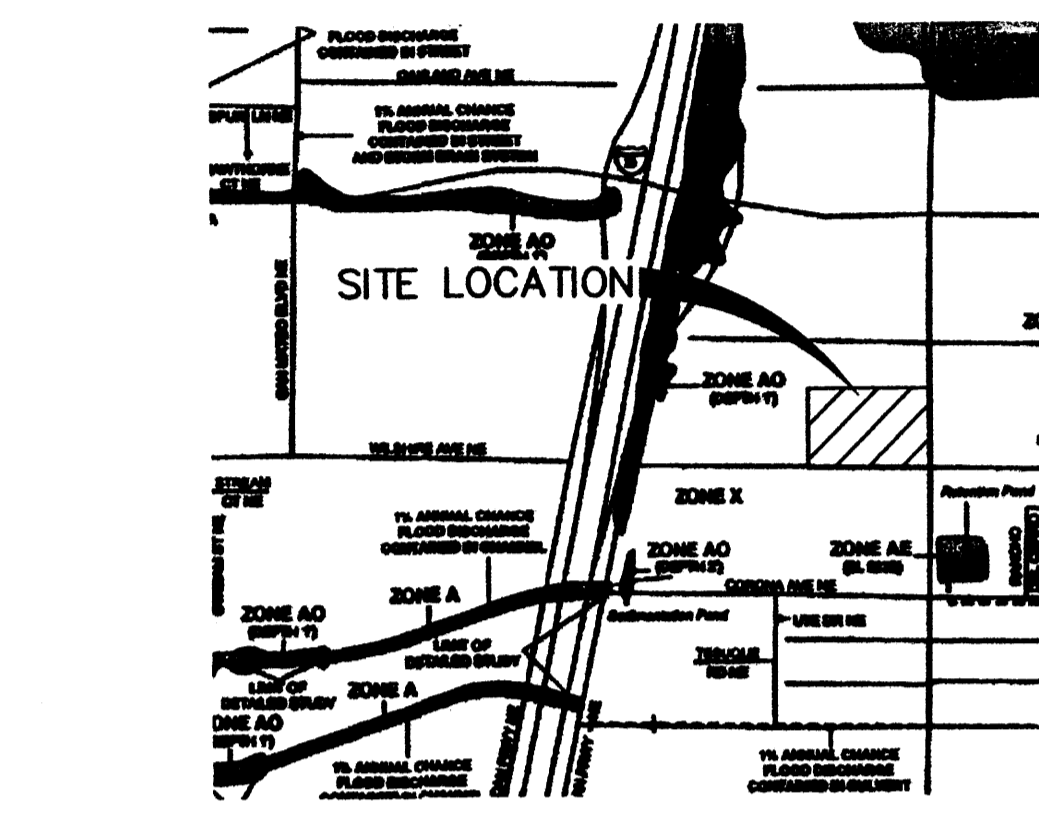
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Albuquerque, NM

Sheet Title	EXTERIOR ELEVATIONS
Project No.	0577
Drawing File No.	05T1A1
Date	REG
Scale	1/1208

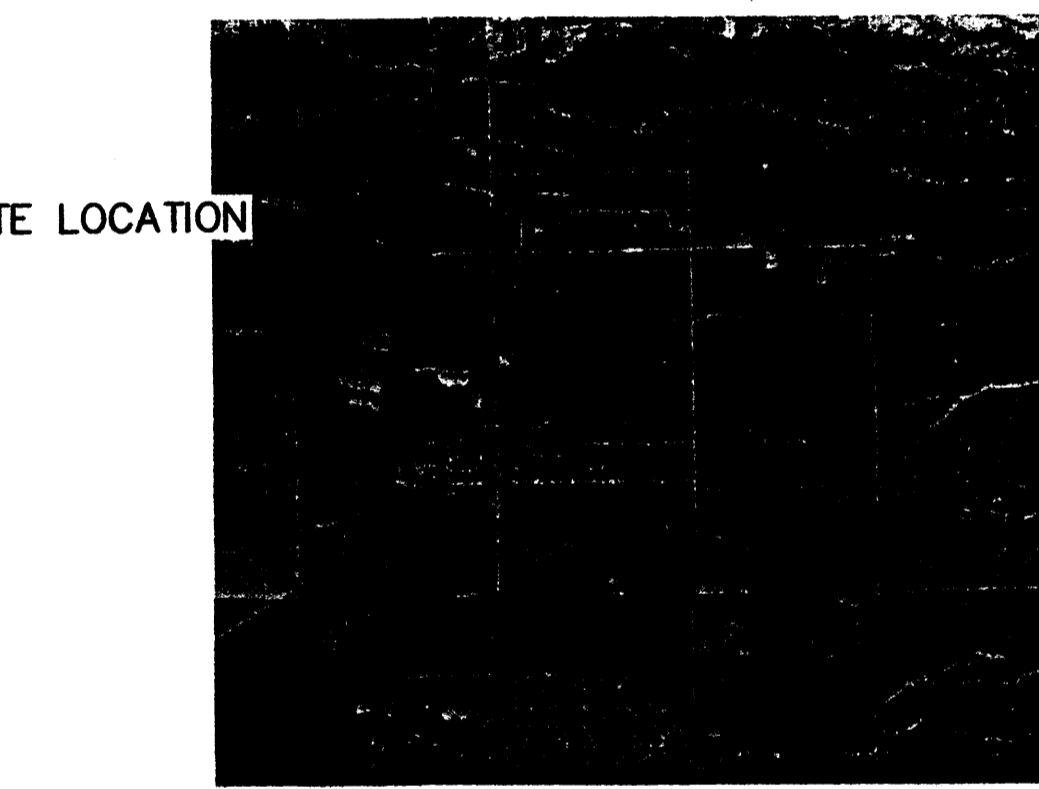
A3.1



SITE LOCATION
ZONE ATLAS MAP NO. C-18



FLOOD INSURANCE MAP
REFERENCE: FLOOD INSURANCE STUDY
PANEL 356



SOILS MAP
REFERENCE: SCS BERNALILLO COUNTY SOIL SURVEY
SHEET NO. 11

LEGEND

	EXISTING INDEX CONTOUR		PROPOSED 3/4" GREY CRUSHED ANGULAR GRAVEL
	EXISTING INTERMEDIATE CONTOUR		PROPOSED RIP RAP
	EXISTING ASPHALT		12" WIDE ASPHALT SAWCUT
	EXISTING CONCRETE		
	EXISTING RETAINING WALL		
	EXISTING MEDIAN CURB & GUTTER		
	PROPOSED INDEX CONTOUR		
	PROPOSED INTERMEDIATE CONTOUR		
	EXISTING BASIN		
	PROPOSED BASIN		
	PROPOSED SWALE		
	PROPOSED ASPHALT		
	PROPOSED CONCRETE		

Site Location: 6219 Corona Avenue NE, Albuquerque, New Mexico 87113.

Methodology: Section 22.2 of the City of Albuquerque DPM was followed to calculate design volume. The charts and formulas in Part A were followed using the 100-year frequency 6-hour rainfall as the design storm. The site is located in Precipitation Zone 3 as designated in Table A-1. The total peak discharge was calculated as per section A.6.

Existing Conditions: The existing topography of the site slopes from east to west. Slopes on the site range between 2% and 15%. In general the east side of the site drains west to an existing retention pond. The west side of the site drains overland to the southwest corner of site and into Corona Avenue. The Soil Survey of Bernalillo County and Parts of Sandoval and Valencia Counties, New Mexico, designates the existing soil as Embudo gravelly fine sand loam, 0 to 5 percent slopes. It has the profile described as representative of the series. Runoff is medium and the hazard of water erosion is moderate. It is subject to periodic flooding. Control of moisture is required for proper compaction.

Hydrologic Analysis: Existing basins 101 and 102 delineate the pre-development watershed boundaries. Basin 101 is approximately 1.43 acres, and consists of a parking lot, section of the existing building, concrete pad, fueling station, isolated landscaped areas, and undeveloped areas. Presently, the flow for Basin 101 is conveyed overland to Corona Avenue. Basin 102 is approximately 0.98 acre, and consists of a retention pond, landscaped areas, section of the existing building, and undeveloped areas. Presently, Basin 102 flow is conveyed overland to the retention pond.

Existing volumetric runoff and peak discharge quantities are as shown below:

Basin	Area (ac)	Treatment				V ₅₀ (ac-ft)	Q ₅₀ (cfs)
		A (%)	B (%)	C (%)	D (%)		
101	1.43	0	7	63	30	0.19	5.53
102	0.98	0	15	70	15	0.11	3.48
Total	2.41					0.30	9.01

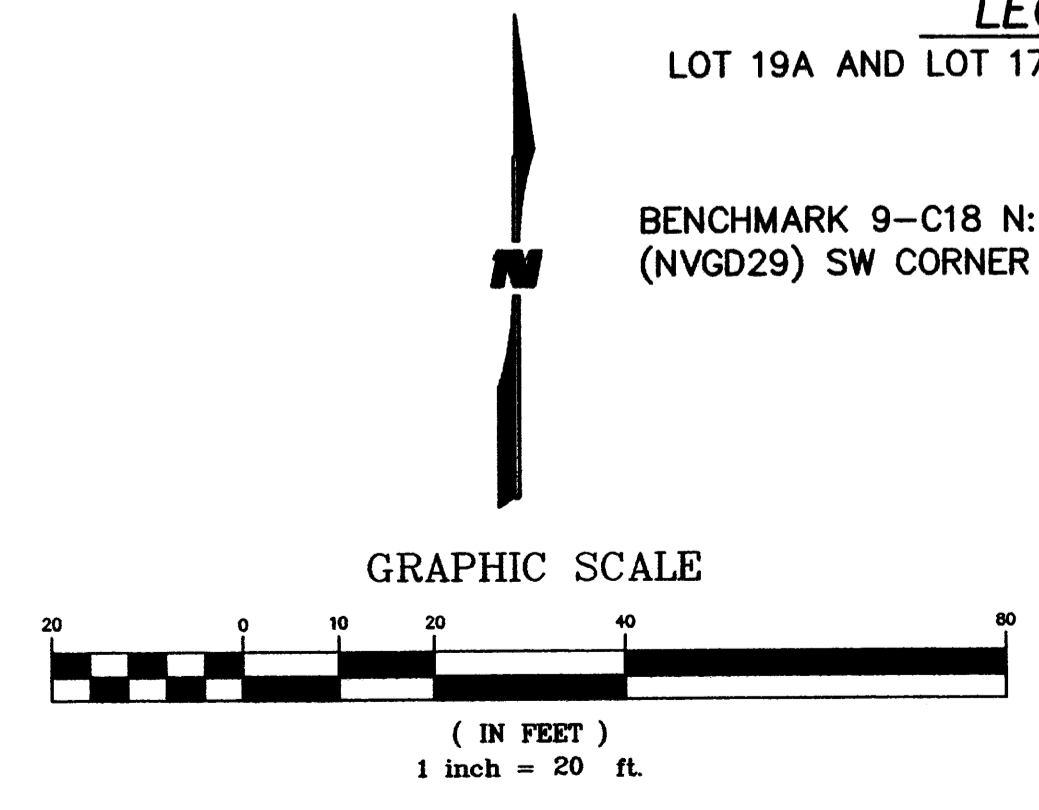
Proposed Conditions: The purpose of this Grading & Drainage Plan is to secure a Grading & Drainage Plan and Building Permit approval for the proposed site improvements. Improvements include a building addition, and new additional parking.

Hydrologic Analysis: Basins 201 and 202 represent post-development conditions. Basin 201 increased in size to 1.70 acres to include additional parking. Land treatment D increased due to required paved parking and the proposed new building. Basin 201 will continue to be conveyed flow overland to Corona Avenue. Basin 202 decreased in size to 0.71 acre due to decrease in retention pond size. Basin 202 will continue to convey flow overland to the regraded retention pond.

Proposed volumetric runoff and peak discharge quantities are as shown below:

Basin	Area (ac)	Treatment				V ₅₀ (ac-ft)	Q ₅₀ (cfs)
		A (%)	B (%)	C (%)	D (%)		
201	1.70	0	5	54	40	0.24	6.83
202	0.71	0	20	60	20	0.08	2.54
Total	2.41					0.32	9.39

Conclusion: Site Improvements by TruGreen LandCare include re-grading the existing retention pond, general site grading & drainage, installation of concrete curb & gutter, and flatwork. There is minimal runoff increase of 0.03 ac-ft and peak discharge rate of 0.38 cfs. Basin 101 presently discharges southwardly to Corona Avenue, whereby flows are captured via curb inlets. This Drainage Report recommends no change to existing 48" city storm drain system to accommodate Basin 201 flow. The re-graded retention pond will have an approximate capacity of 0.08 ac-ft, and will capture Basin 202 flow. The Average End Area Method was used to calculate capacity of the re-graded retention ponds. Although flow from Basin 202 can be free discharged into the city storm drain system the retention pond will be used as a form of landscaping and water quality feature.



PROJECT NUMBER: 1001176
APPLICATION NUMBER: 06DRB-00107(ASPS)

LEGAL DESCRIPTION
LOT 19A AND LOT 17, BLOCK 14, N ABQ ACRES TR A UNIT B

BENCH MARK
BENCHMARK 9-C18 N:1521435.09 E:402255.61 ELEV: 5229.79 (NVDG29) SW CORNER OF WILSHIRE/SAN PEDRO



4900 LANG AVE. NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 348-4000



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cordova, tn 38016
901.332.5533
fax: 901.332.5534

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Albuquerque, NM

GRADING AND DRAINAGE PLAN
Sheet Title
X5218102
Project No.
JGH
Drawn by
12/15/05
Date

C1.1
Sheet No.



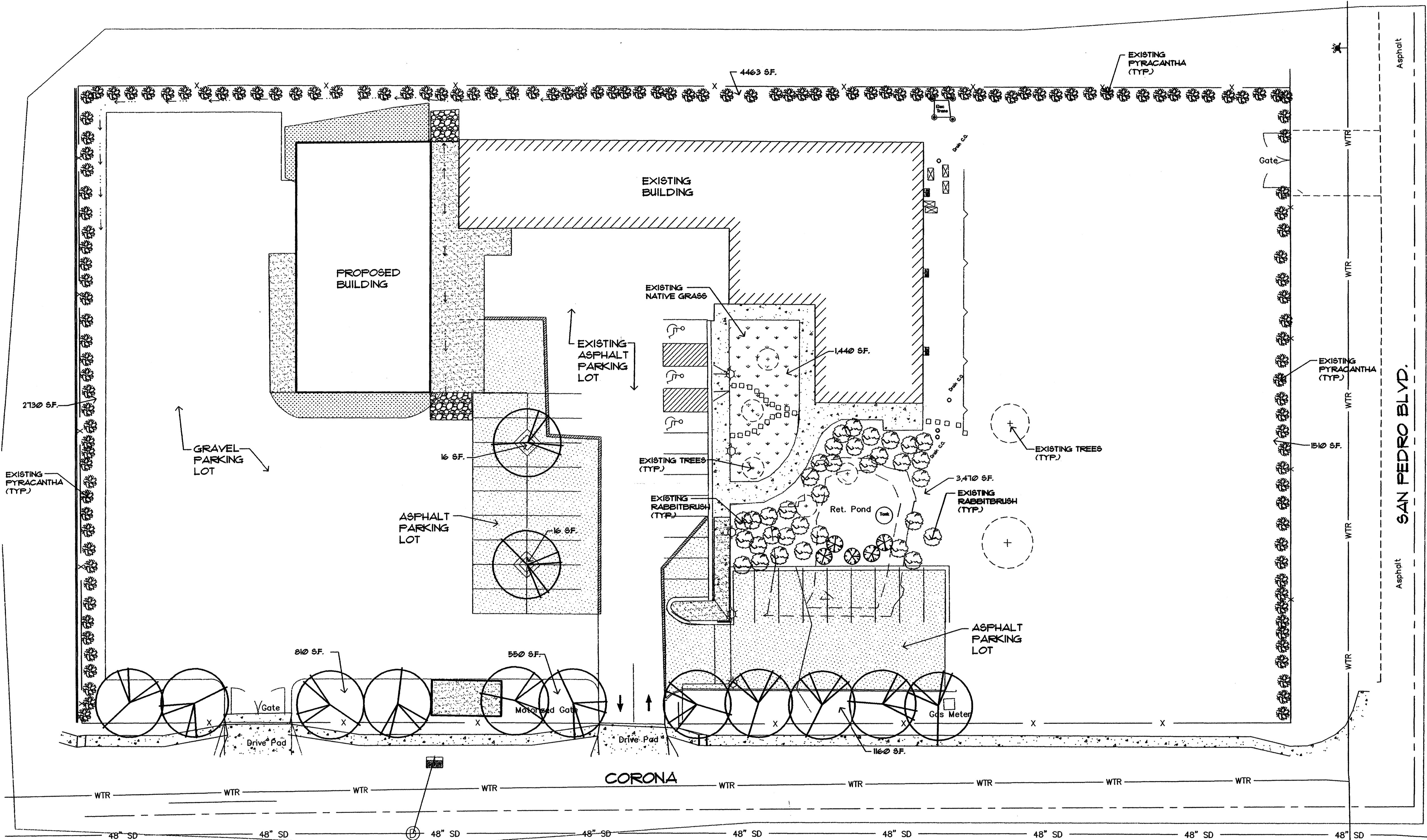


Renaissance Group

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PROJECT NUMBER: 1001176
APPLICATION NUMBER: 06DRB-00107(ASPS)

0 10 20 40 60
SCALE: 1" = 20'-0"

WILSON & COMPANY
4900 LANG AVE. NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 348-4000

Sheet Title
Project No. X5218102
JGH
01/17/06
Date

LS1.0

PLANT LIST						
SYMB	COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE INSTALLED	SIZE MATURE	WATER USE
	TREES Modesto Ash	Fraxinus velutina 'Modesto'	3	2-1/2"	35' ht., 30" spd.	Medium +
	SHRUBS Rabbitbrush	Ericameria nauseosus	5	5-Gal, 12" tall	6' ht., 4 spd.	Low

NOTES:

- THIS PLAN IS IN COMPLIANCE WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPING AND WASTE WATER ORDINANCE, ENACTMENT NO. 18-1995.
- THIS PLAN IS IN COMPLIANCE WITH THE CITY OF ALBUQUERQUE STREET TREE ORDINANCE.
- GROUND COVER THROUGHOUT ALL PLANTING BEDS SHALL BE A 3" DEPTH OF 1" ADOBE ROSE CRUSHED GRANITE WITH WEED BARRIER FABRIC.

LANDSCAPE REQUIREMENTS

TOTAL LOT AREA: 124,894 SF.
BUILDING AREA: 13,571 SF.
NET LOT AREA: 91,323 SF.
TOTAL LANDSCAPE AREA REQUIRED (5% OF NET) 13,698 SF.
TOTAL LANDSCAPE AREA PROVIDED (16.4% OF NET) 14,932 SF.

LANDSCAPE IRRIGATION WILL BE A DRIP IRRIGATION SYSTEM ON AUTOMATIC CONTROLLER WITH REDUCED PRESSURE BACKFLOW PREVENTER.

MAINTENANCE OF THE LANDSCAPE SHALL BE THE RESPONSIBILITY OF THE OWNER.