

**GENERAL SHEET NOTES**

TOTAL SF = 6960 SF

**REQUIRED PARKING**

TOTAL PROJECT SPACES 6960 SF / 200 (RETAIL) =  
 TOTAL MOTOR CYCLE SPACES=  
 TOTAL BIKE PARKING SPACES=

REQUIRED	PROVIDED
35, 2 ACCESSIBLE	43, 2 ACCESSIBLE
2	2
2	16

**LEGEND**

- NEW ASPHALT AND ASPHALT OVERLAY, SEE CONCEPTUAL GRADING AND DRAINAGE PLAN
- COMMON AREA PLAZA SURFACE
- CONCRETE PAVING
- LANDSCAPED AREA- SEE LANDSCAPE PLAN
- SITE LIGHTING POLE, 16' TALL
- EXISTING POWER POLE

**SIGNAGE LEGEND**

- VAN ACCESSIBLE PARKING SPACE
- ACCESSIBLE PARKING SPACE
- DO NOT ENTER SIGN
- NO LEFT TURN SIGN
- STOP SIGN
- ONE WAY SIGN
- SIGN FACE, TYP
- LOCATION OF FREE STANDING SIGNAGE SIGN FACE, SEE ELEVATIONS

**ALL PERMANENT STRUCTURES TYPE II-B CONSTRUCTION BUILDINGS**

**INTERSTATE AND ARTERIAL STREET FRONTAGE**

THIS SITE: 657.41 LF (FROM SURVEY)  
 HISTORIC SC ZONE PARCEL: 657.41 LF + 478 LF (FROM ABQ GIS) = 1135.11 LF  
 IN SC ZONES ONE FREE STANDING SIGN IS ALLOWED PER 300 LF OF STREET FRONTAGE, THEREFORE PROPOSED 2 FREE STANDING SIGNS ARE ALLOWED.  
 NO EXISTING ON-PREMISE FREE STANDING SIGN EXISTS ON SITE OR ON HISTORIC SC ZONED PARCEL.

**NOTE: SEE ATTACHED SURVEY AND EASEMENT DOCUMENT FOR SITE EASEMENT RECORDING DOCUMENTS**

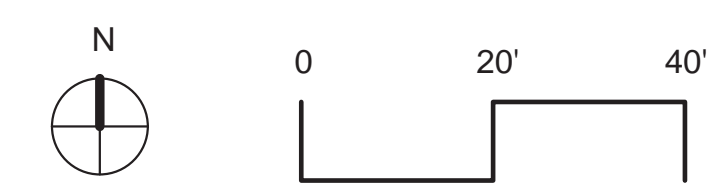
**AMAFCA SLOPE AND DRAINAGE EASEMENTS ARE NOT USED AND WILL NOT BE USED BY AMAFCA - ENCROACHMENT PERMITS WILL BE ATTAINED**

**ENCROACHMENT PERMIT NOT REQUIRED BY PNM**

**ALL WORK CONDUCTED CONCURRENTLY. NO PHASING**



VICINITY MAP



1 SITE PLAN  
 1" = 20'-0"

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CONSULTANTS

PROJECT

PROJECT

PROJECT

ADDRESS

PROJECT

No.	Date	Revision	Description
1	9/19/14	1	EPC COMMENTS FOR DRB

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**SITE PLAN**

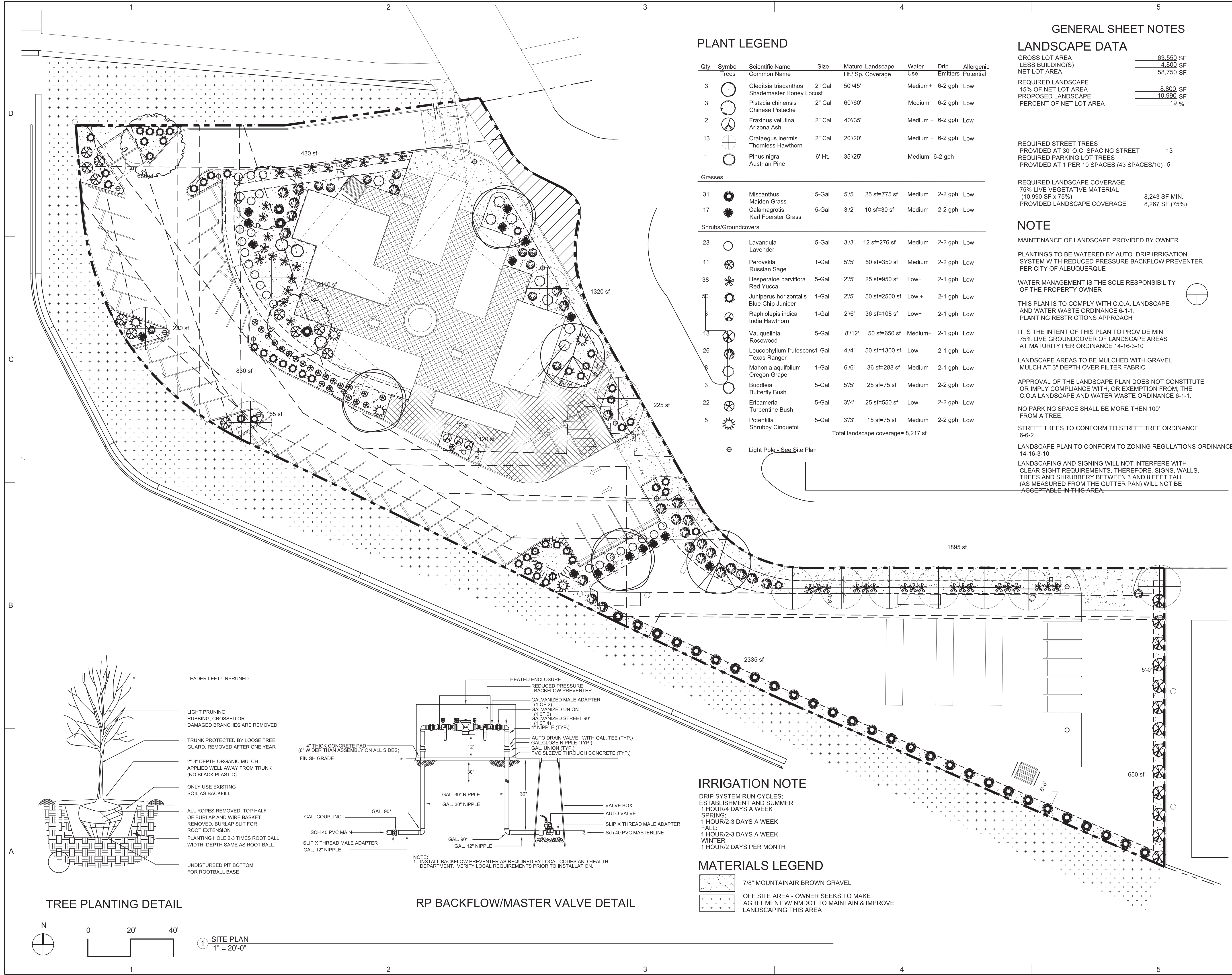
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GREEN JEANS CO.

GREEN JEANS FARMERY

3600 CUTLER NE

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**PLANT LEGEND**

Qty.	Symbol	Scientific Name Common Name	Size	Mature Ht./ Sp. Coverage	Water Use	Drip Emitters	Allergenic Potential
3	○	Gleditsia triacanthos Shademaster Honey Locust	2" Cal	50'/45'	Medium+	6-2 gph	Low
3	○	Pistacia chinensis Chinese Pistache	2" Cal	60'/60'	Medium	6-2 gph	Low
2	○	Fraxinus velutina Arizona Ash	2" Cal	40'/35'	Medium +	6-2 gph	Low
13	○	Crataegus inermis Thornless Hawthorn	2" Cal	20'/20'	Medium +	6-2 gph	Low
1	○	Pinus nigra Austrian Pine	6" HL	35'/25'	Medium	6-2 gph	
<b>Grasses</b>							
31	●	Miscanthus Maiden Grass	5-Gal	5'/5'	25 sf=775 sf	Medium	2-2 gph Low
17	●	Calamagrostis Karl Foerster Grass	5-Gal	3'/2'	10 sf=30 sf	Medium	2-2 gph Low
<b>Shrubs/Groundcovers</b>							
23	○	Lavandula Lavender	5-Gal	3'/3'	12 sf=276 sf	Medium	2-2 gph Low
11	○	Perovskia Russian Sage	1-Gal	5'/5'	50 sf=350 sf	Medium	2-2 gph Low
38	○	Hesperaloe parviflora Red Yucca	5-Gal	2'/5'	25 sf=950 sf	Low+	2-1 gph Low
50	○	Juniperus horizontalis Blue Chip Juniper	1-Gal	2'/5'	50 sf=2500 sf	Low +	2-1 gph Low
8	○	Raphiolepis indica India Hawthorn	1-Gal	2'/6'	36 sf=108 sf	Low+	2-1 gph Low
13	○	Vauquelinia Rosewood	5-Gal	8'/12'	50 sf=650 sf	Medium+	2-1 gph Low
26	○	Leucophyllum frutescens Texas Ranger	1-Gal	4'/4'	50 sf=1300 sf	Low	2-1 gph Low
9	○	Mahonia aquifolium Oregon Grape	1-Gal	6'/6'	36 sf=288 sf	Medium	2-1 gph Low
3	○	Buddleia Butterfly Bush	5-Gal	5'/5'	25 sf=75 sf	Medium	2-2 gph Low
22	○	Ericameria Turpentine Bush	5-Gal	3'/4'	25 sf=550 sf	Low	2-2 gph Low
5	○	Potentilla Shrubby Cinquefoil	5-Gal	3'/3'	15 sf=75 sf	Medium	2-2 gph Low
Total landscape coverage= 8,217 sf							
	⊕	Light Pole - See Site Plan					

**GENERAL SHEET NOTES**

**LANDSCAPE DATA**

GROSS LOT AREA	63,550 SF
LESS BUILDING(S)	4,800 SF
NET LOT AREA	58,750 SF
REQUIRED LANDSCAPE 15% OF NET LOT AREA	8,800 SF
PROPOSED LANDSCAPE	10,990 SF
PERCENT OF NET LOT AREA	19 %

REQUIRED STREET TREES  
PROVIDED AT 30' O.C. SPACING STREET 13  
REQUIRED PARKING LOT TREES  
PROVIDED AT 1 PER 10 SPACES (43 SPACES/10) 5

REQUIRED LANDSCAPE COVERAGE  
75% LIVE VEGETATIVE MATERIAL  
(10,990 SF x 75%) 8,243 SF MIN.  
PROVIDED LANDSCAPE COVERAGE 8,267 SF (75%)

**NOTE**

MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1. PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY PER ORDINANCE 14-16-3-10

LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1.

NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE.

STREET TREES TO CONFORM TO STREET TREE ORDINANCE 6-6-2.

LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS ORDINANCE 14-16-3-10.

LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.

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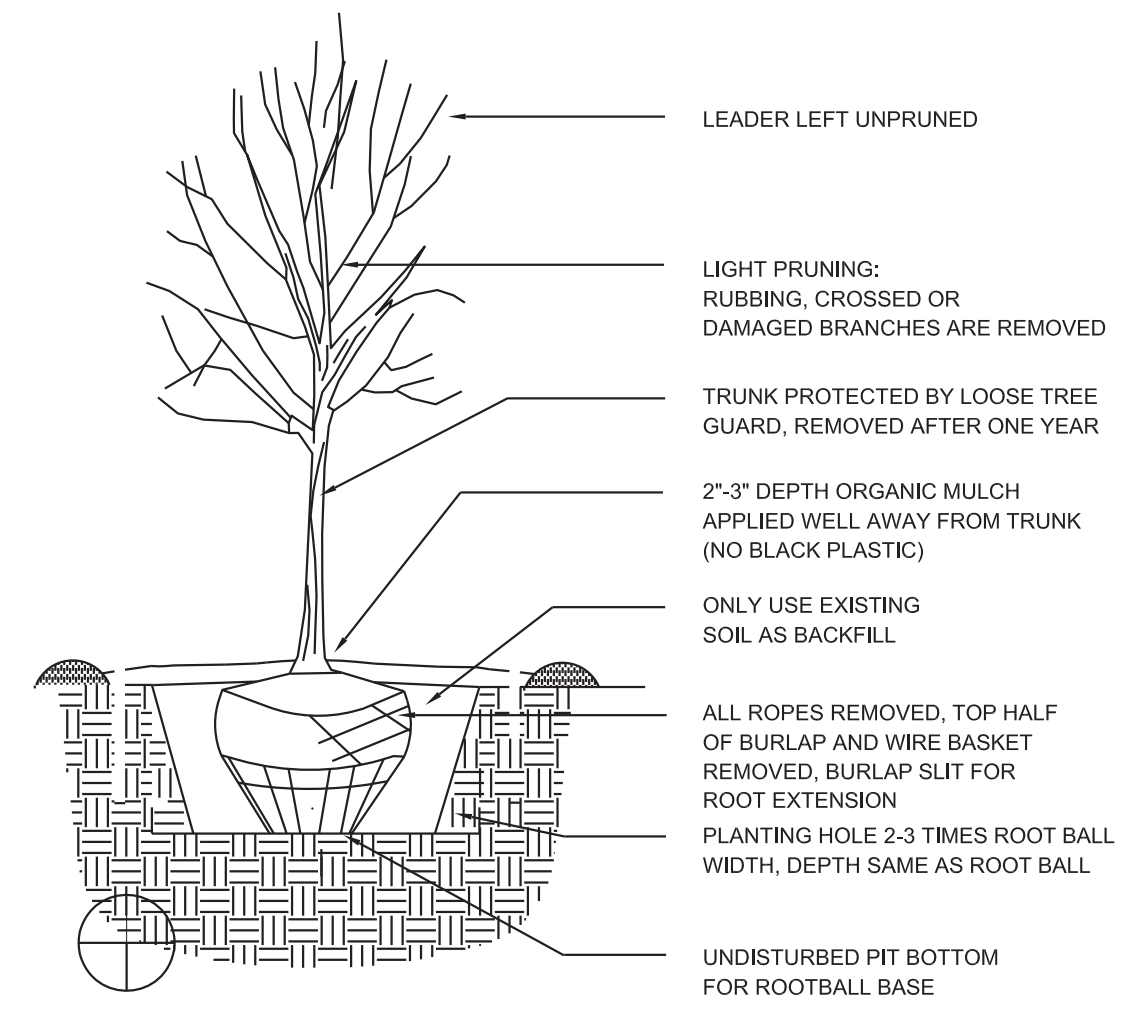
**PROJECT**

**GREEN JEANS CO.**

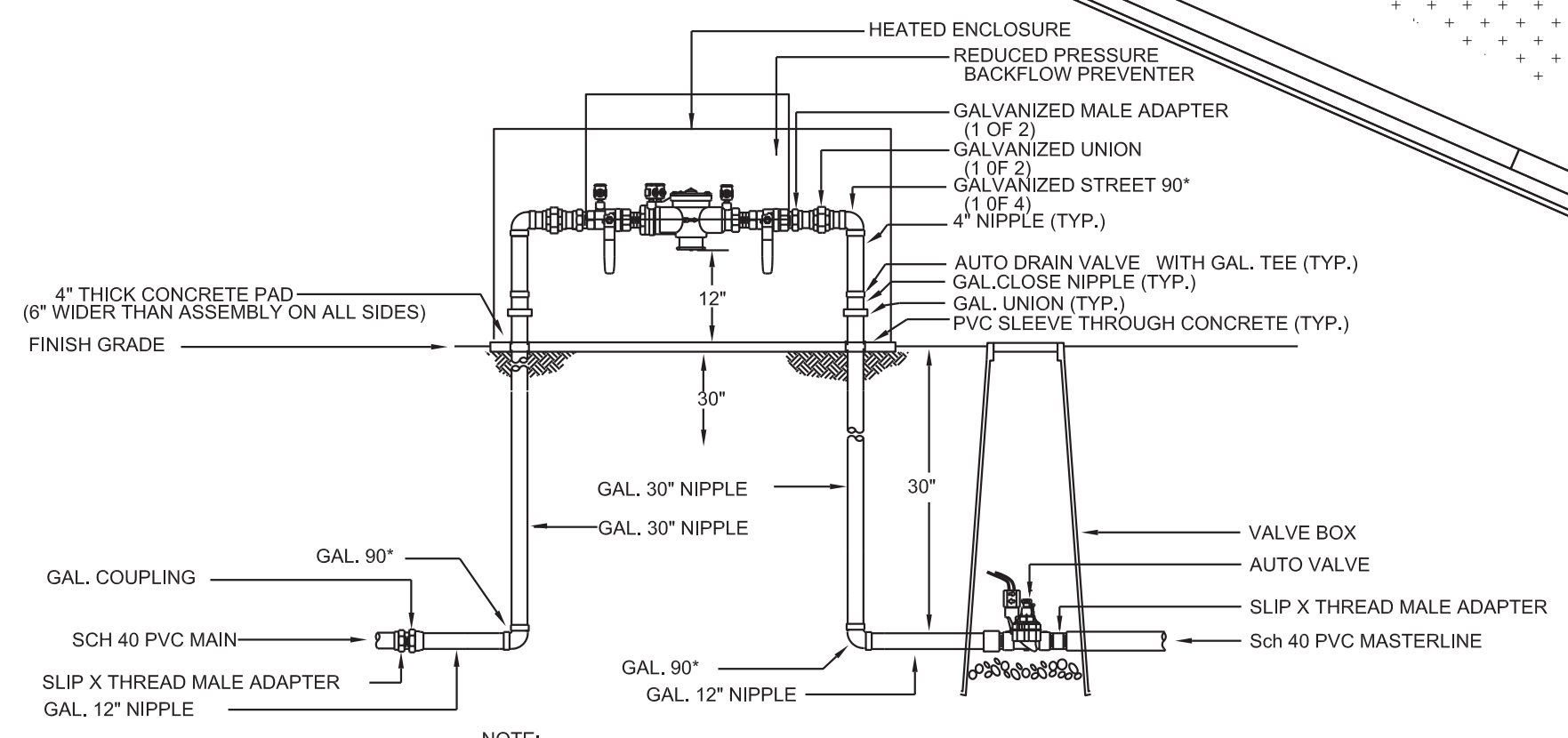
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**ADDRESS**

**3600 CUTLER NE**



**TREE PLANTING DETAIL**



**RP BACKFLOW/MASTER VALVE DETAIL**

**IRRIGATION NOTE**

DRIP SYSTEM RUN CYCLES:  
ESTABLISHMENT AND SUMMER:  
1 HOUR/4 DAYS A WEEK  
SPRING:  
1 HOUR/2-3 DAYS A WEEK  
FALL:  
1 HOUR/2-3 DAYS A WEEK  
WINTER:  
1 HOUR/2 DAYS PER MONTH

**MATERIALS LEGEND**

- 7/8" MOUNTAINAIR BROWN GRAVEL
- OFF SITE AREA - OWNER SEEKS TO MAKE AGREEMENT W/ MMDOT TO MAINTAIN & IMPROVE LANDSCAPING THIS AREA

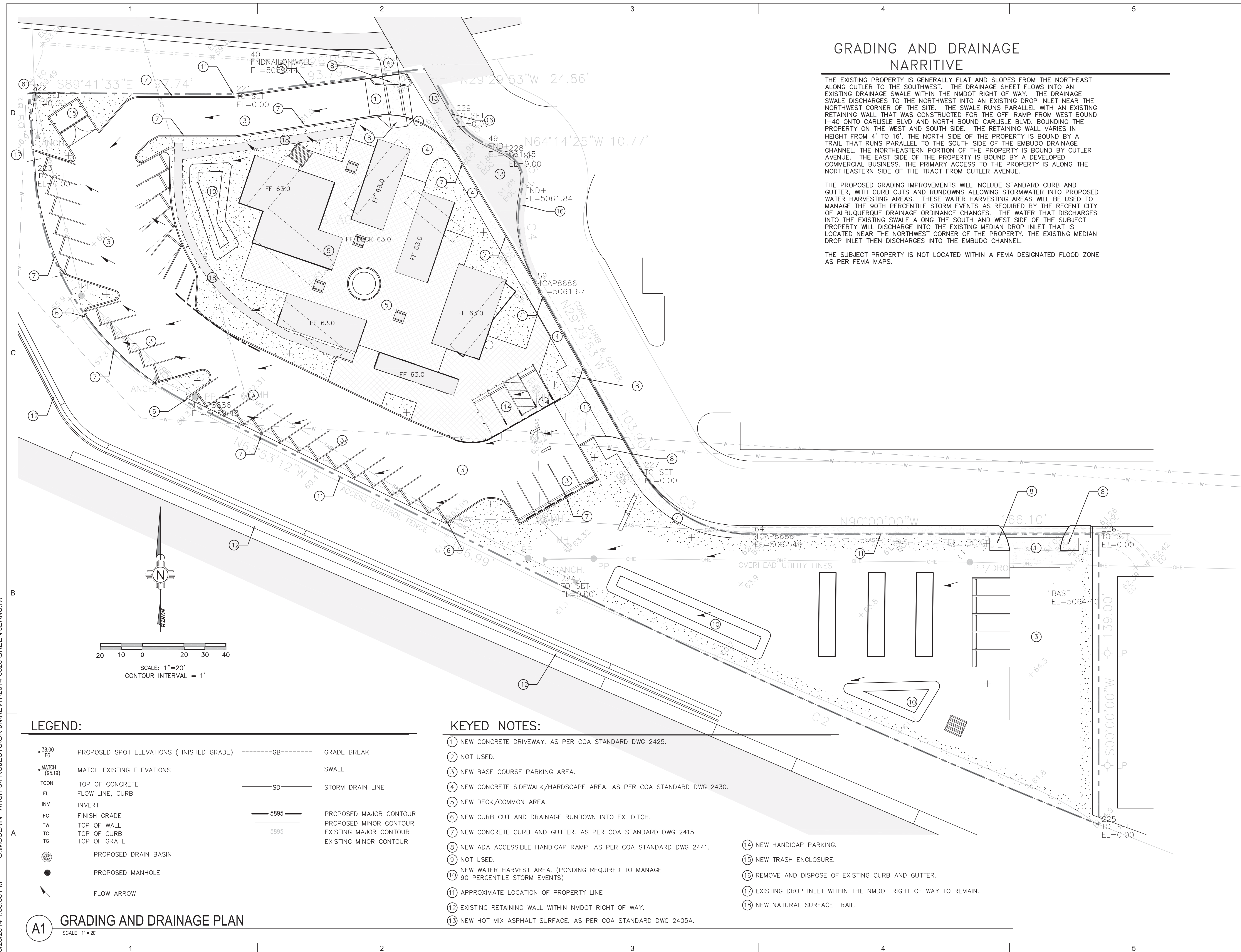


1 SITE PLAN  
1" = 20'-0"

1	9/19/14	EPC COMMENTS FOR DRB APPROVAL
No.	Date	Description
Date	9/19/2014	
Project Number	Project Number	
Project File	Project File	
Drawn By	DL	
Checked By		

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SHEET TITLE  
**LANDSCAPE  
PLAN**



### GRADING AND DRAINAGE NARRATIVE

THE EXISTING PROPERTY IS GENERALLY FLAT AND SLOPES FROM THE NORTHEAST ALONG CUTLER TO THE SOUTHWEST. THE DRAINAGE SHEET FLOWS INTO AN EXISTING DRAINAGE SWALE WITHIN THE NMDOT RIGHT OF WAY. THE DRAINAGE SWALE DISCHARGES TO THE NORTHWEST INTO AN EXISTING DROP INLET NEAR THE NORTHWEST CORNER OF THE SITE. THE SWALE RUNS PARALLEL WITH AN EXISTING RETAINING WALL THAT WAS CONSTRUCTED FOR THE OFF-RAMP FROM WEST BOUND I-40 ONTO CARLISLE BLVD AND NORTH BOUND CARLISLE BLVD. BOUNDING THE PROPERTY ON THE WEST AND SOUTH SIDE. THE RETAINING WALL VARIES IN HEIGHT FROM 4' TO 16'. THE NORTH SIDE OF THE PROPERTY IS BOUND BY A TRAIL THAT RUNS PARALLEL TO THE SOUTH SIDE OF THE EMBUDO DRAINAGE CHANNEL. THE NORTHEASTERN PORTION OF THE PROPERTY IS BOUND BY CUTLER AVENUE. THE EAST SIDE OF THE PROPERTY IS BOUND BY A DEVELOPED COMMERCIAL BUSINESS. THE PRIMARY ACCESS TO THE PROPERTY IS ALONG THE NORTHEASTERN SIDE OF THE TRACT FROM CUTLER AVENUE.

THE PROPOSED GRADING IMPROVEMENTS WILL INCLUDE STANDARD CURB AND GUTTER, WITH CURB CUTS AND RUNDOWNS ALLOWING STORMWATER INTO PROPOSED WATER HARVESTING AREAS. THESE WATER HARVESTING AREAS WILL BE USED TO MANAGE THE 90TH PERCENTILE STORM EVENTS AS REQUIRED BY THE RECENT CITY OF ALBUQUERQUE DRAINAGE ORDINANCE CHANGES. THE WATER THAT DISCHARGES INTO THE EXISTING SWALE ALONG THE SOUTH AND WEST SIDE OF THE SUBJECT PROPERTY WILL DISCHARGE INTO THE EXISTING MEDIAN DROP INLET THAT IS LOCATED NEAR THE NORTHWEST CORNER OF THE PROPERTY. THE EXISTING MEDIAN DROP INLET THEN DISCHARGES INTO THE EMBUDO CHANNEL.

THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A FEMA DESIGNATED FLOOD ZONE AS PER FEMA MAPS.



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**GREEN JEANS CO.**

**GREEN JEANS FARMERY**

ADDRESS  
**3600 CUTLER NE**

1	9/19/14	Address EPC comments for DRB meeting
No.	Date	Description
		09/19/2014
Project Number		
Project File		
Drawn By		JMJ
Checked By		Checker

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SHEET TITLE  
**CONCEPTUAL GRADING & DRAINAGE PLAN**

SHEET **3** OF

**LEGEND:**

• 38.00 FG	PROPOSED SPOT ELEVATIONS (FINISHED GRADE)	-----GB-----	GRADE BREAK
• MATCH (95.19)	MATCH EXISTING ELEVATIONS	-----SW-----	SWALE
TCON	TOP OF CONCRETE	-----SD-----	STORM DRAIN LINE
FL	FLOW LINE, CURB	-----5895-----	PROPOSED MAJOR CONTOUR
INV	INVERT	-----5895-----	EXISTING MAJOR CONTOUR
FG	FINISH GRADE	-----5895-----	EXISTING MINOR CONTOUR
TW	TOP OF WALL		
TC	TOP OF CURB		
TG	TOP OF GRATE		
⊙	PROPOSED DRAIN BASIN		
●	PROPOSED MANHOLE		
→	FLOW ARROW		

- KEYED NOTES:**
- 1 NEW CONCRETE DRIVEWAY. AS PER COA STANDARD DWG 2425.
  - 2 NOT USED.
  - 3 NEW BASE COURSE PARKING AREA.
  - 4 NEW CONCRETE SIDEWALK/HARDSCAPE AREA. AS PER COA STANDARD DWG 2430.
  - 5 NEW DECK/COMMON AREA.
  - 6 NEW CURB CUT AND DRAINAGE RUNDOWN INTO EX. DITCH.
  - 7 NEW CONCRETE CURB AND GUTTER. AS PER COA STANDARD DWG 2415.
  - 8 NEW ADA ACCESSIBLE HANDICAP RAMP. AS PER COA STANDARD DWG 2441.
  - 9 NOT USED.
  - 10 NEW WATER HARVEST AREA. (PONDING REQUIRED TO MANAGE 90 PERCENTILE STORM EVENTS)
  - 11 APPROXIMATE LOCATION OF PROPERTY LINE
  - 12 EXISTING RETAINING WALL WITHIN NMDOT RIGHT OF WAY.
  - 13 NEW HOT MIX ASPHALT SURFACE. AS PER COA STANDARD DWG 2405A.
  - 14 NEW HANDICAP PARKING.
  - 15 NEW TRASH ENCLOSURE.
  - 16 REMOVE AND DISPOSE OF EXISTING CURB AND GUTTER.
  - 17 EXISTING DROP INLET WITHIN THE NMDOT RIGHT OF WAY TO REMAIN.
  - 18 NEW NATURAL SURFACE TRAIL.

**A1 GRADING AND DRAINAGE PLAN**  
SCALE: 1"=20'

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GENERAL SHEET NOTES

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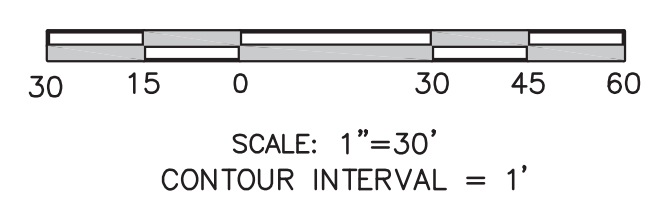
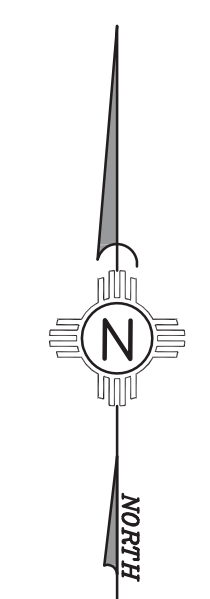
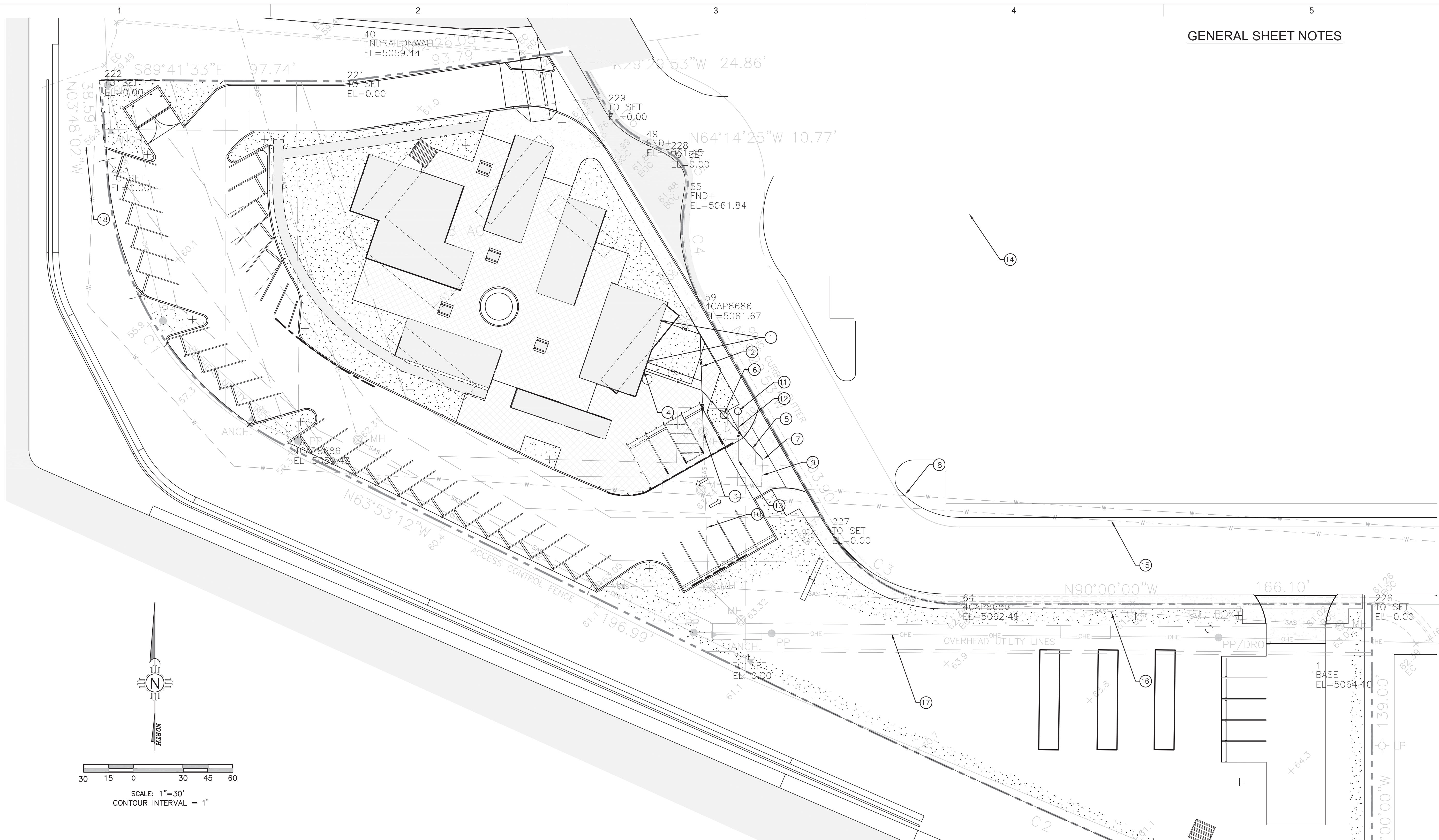
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Project Number		2014-0619
Project File		
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Checked By		VAM

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SHEET TITLE

**CONCEPTUAL  
UTILITY PLAN**



LEGEND:

38.00 FG	PROPOSED SPOT ELEVATIONS (FINISHED GRADE)	-----GB-----	GRADE BREAK
MATCH (95.19)	MATCH EXISTING ELEVATIONS	-----SW-----	SWALE
TCON	TOP OF CONCRETE	-----SD-----	STORM DRAIN LINE
FL	FLOW LINE, CURB	-----5895-----	PROPOSED MAJOR CONTOUR
INV	INVERT	-----5895-----	PROPOSED MINOR CONTOUR
FG	FINISH GRADE	-----5895-----	EXISTING MAJOR CONTOUR
TW	TOP OF WALL	-----5895-----	EXISTING MINOR CONTOUR
TC	TOP OF CURB		
TG	TOP OF GRATE		
⊙	PROPOSED DRAIN BASIN		
●	PROPOSED MANHOLE		
→	FLOW ARROW		

KEYED NOTES:

- ① NEW 4" SANITARY SERVICE WITH DOUBLE CLEANOUTS LOCATION TO PROPOSED BUILDING. SEE MECHANICAL PLANS FOR INVERT AND EXACT LOCATION PRIOR TO CONSTRUCTION.
- ② NEW 4" SANITARY SEWER SERVICE LINE. MIN. SLOPE = 2.0%.
- ③ CONNECT NEW 4" SANITARY SEWER SERVICE TO EXISTING SEWER MANHOLE. CONTRACTOR SHALL FIELD VERIFY LOCATION AND ELEVATION PRIOR TO CONSTRUCTION. AS PER COA STANDARD DWGS 211B 2125.
- ④ NEW 2" DOMESTIC WATER SERVICE LOCATION TO PROPOSED BUILDING. SEE MECHANICAL PLANS FOR INVERT AND EXACT LOCATION PRIOR TO CONSTRUCTION.
- ⑤ NEW 2" DOMESTIC WATER SERVICE LINE. AS PER COA STANDARD DWG 2301, 2315, 2363.
- ⑥ NEW 2" ABCWUA APPROVED WATER METER WITH METER BOX. AS PER COA STANDARD DWG 2367, 2369.
- ⑦ CONNECT NEW 2" DOMESTIC WATER SERVICE TO EXISTING 2" WATER STUBOUT. CONTRACTOR SHALL FIELD VERIFY LOCATION PRIOR TO CONSTRUCTION. AS PER COA STANDARD DWG 2425.
- ⑧ EXISTING 6" WATER MAIN TO REMAIN.
- ⑨ EXISTING 2" WATER SERVICE STUBOUT TO REMAIN.
- ⑩ EXISTING 4" SANITARY SEWER SERVICE STUBOUT TO REMAIN.
- ⑪ NEW 6" ABCWUA APPROVED FIRE HYDRANT WITH GATE VALVE AND BOX. AS PER COA STANDARD DWG 2326, 2340.
- ⑫ NEW 6" FIRE LINE. AS PER COA STANDARD DWG 2315, 2301.
- ⑬ CONNECT NEW 6" FIRE LINE TO EXISTING 6" WATER STUBOUT. CONTRACTOR SHALL FIELD VERIFY LOCATION PRIOR TO CONSTRUCTION.
- ⑭ EXISTING PRIVATE FIRE HYDRANT. AS PER COA STANDARD DWG 2301.
- ⑮ EXISTING 36" WATER TRANSMISSION LINE TO REMAIN.
- ⑯ EXISTING 27" SANITARY SEWER COLLECTOR LINE TO REMAIN.
- ⑰ EXISTING OVERHEAD ELECTRIC TRANSMISSION LINE TO REMAIN.
- ⑱ EXISTING STORM DRAIN INLET TO REMAIN.

**A1 GRADING AND DRAINAGE PLAN**  
SCALE: 1"=20'

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GENERAL SHEET NOTES



KEYNOTE LEGEND

- 1 PAINTED SHIPPING CONTAINER, COLOR SHERWIN WILLIAMS 6523 DENIM
- 2 GLASS STOREFRONT DOORS, PAIR 3'-0" x 8'-6"
- 3 ROOF TOP DECK
- 4 STAINLESS STEEL CABLE RAIL
- 5 ROOF EDGE FLASHING, COLOR SHERWIN WILLIAMS 6523 DENIM
- 6 GLASS STOREFRONT
- 7 GLASS STOREFRONT DOOR, 3'-0" x 8'-6"
- 8 GLASS STOREFRONT DOOR, 3'-0" x 7'-0"

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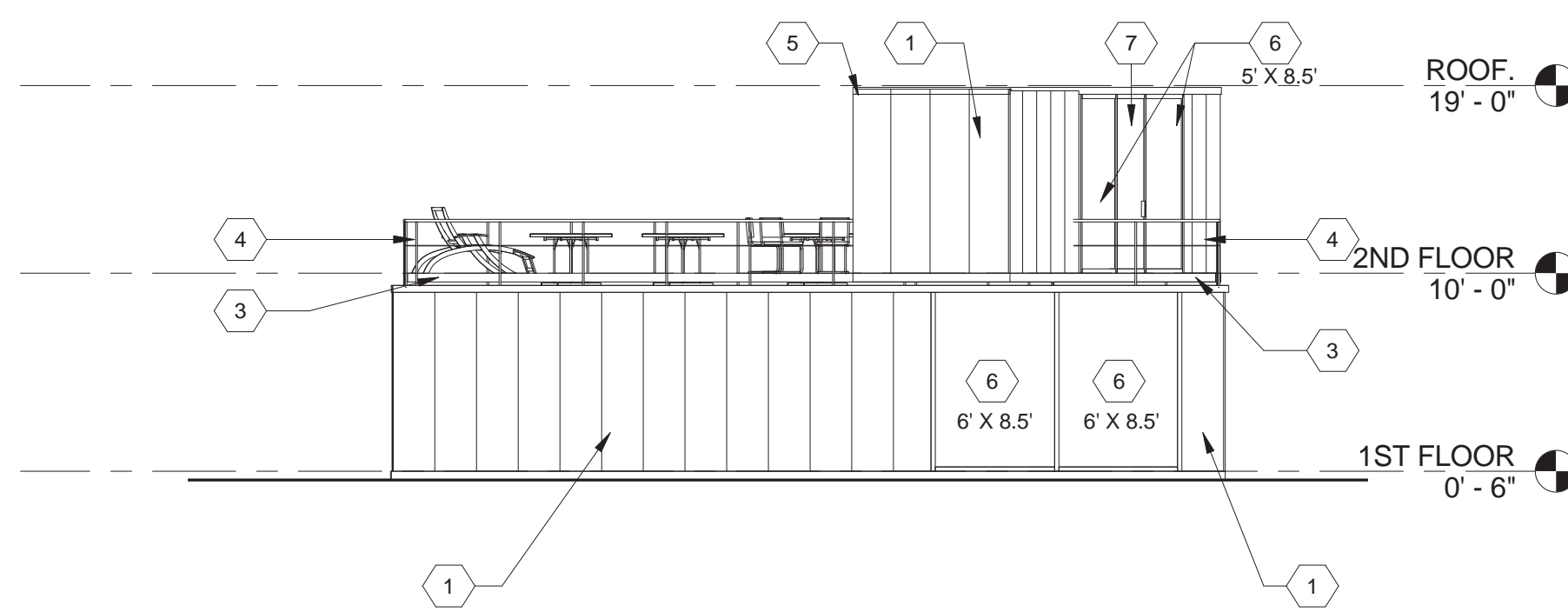
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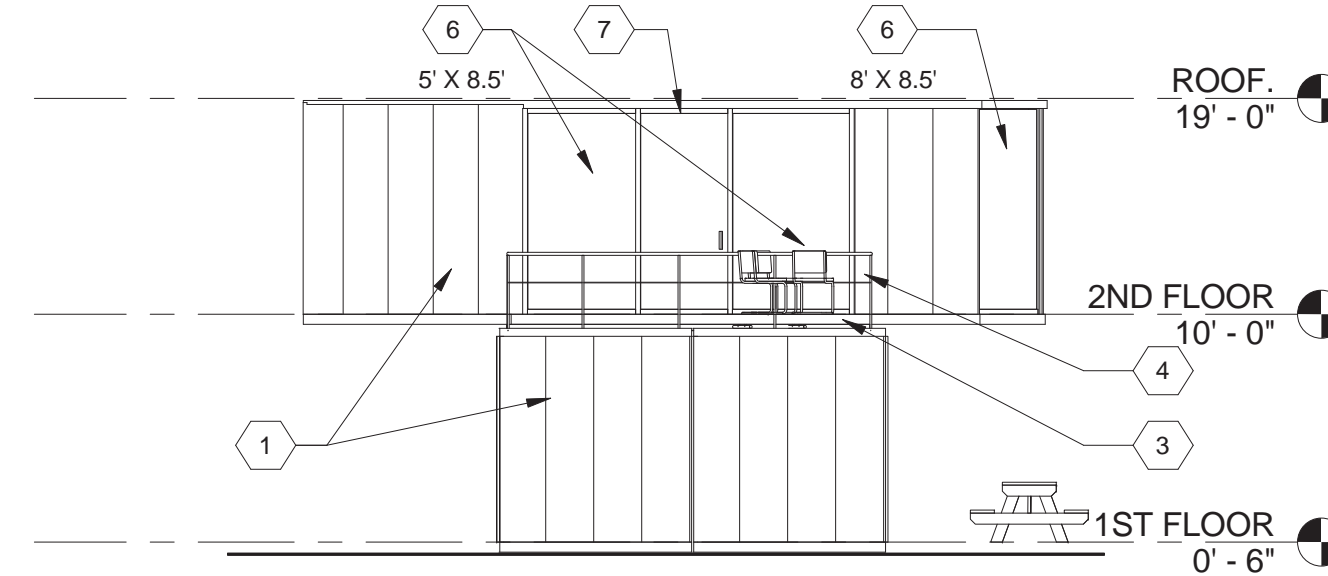
ELEVATION

5.3

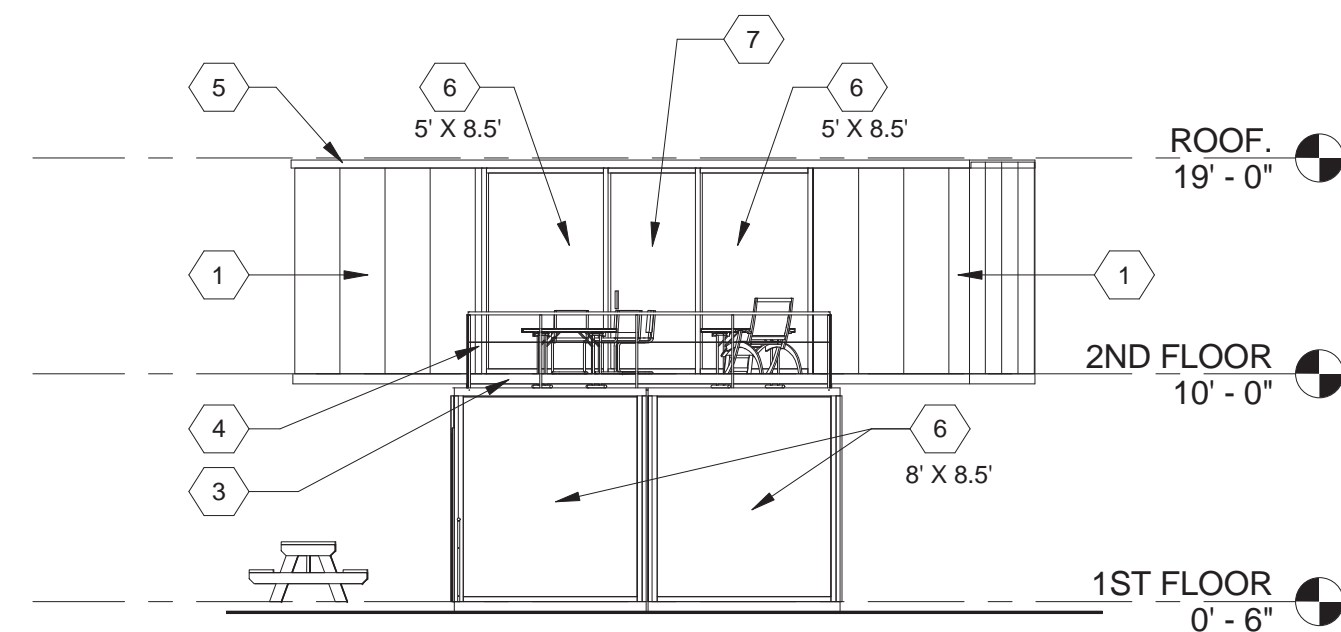
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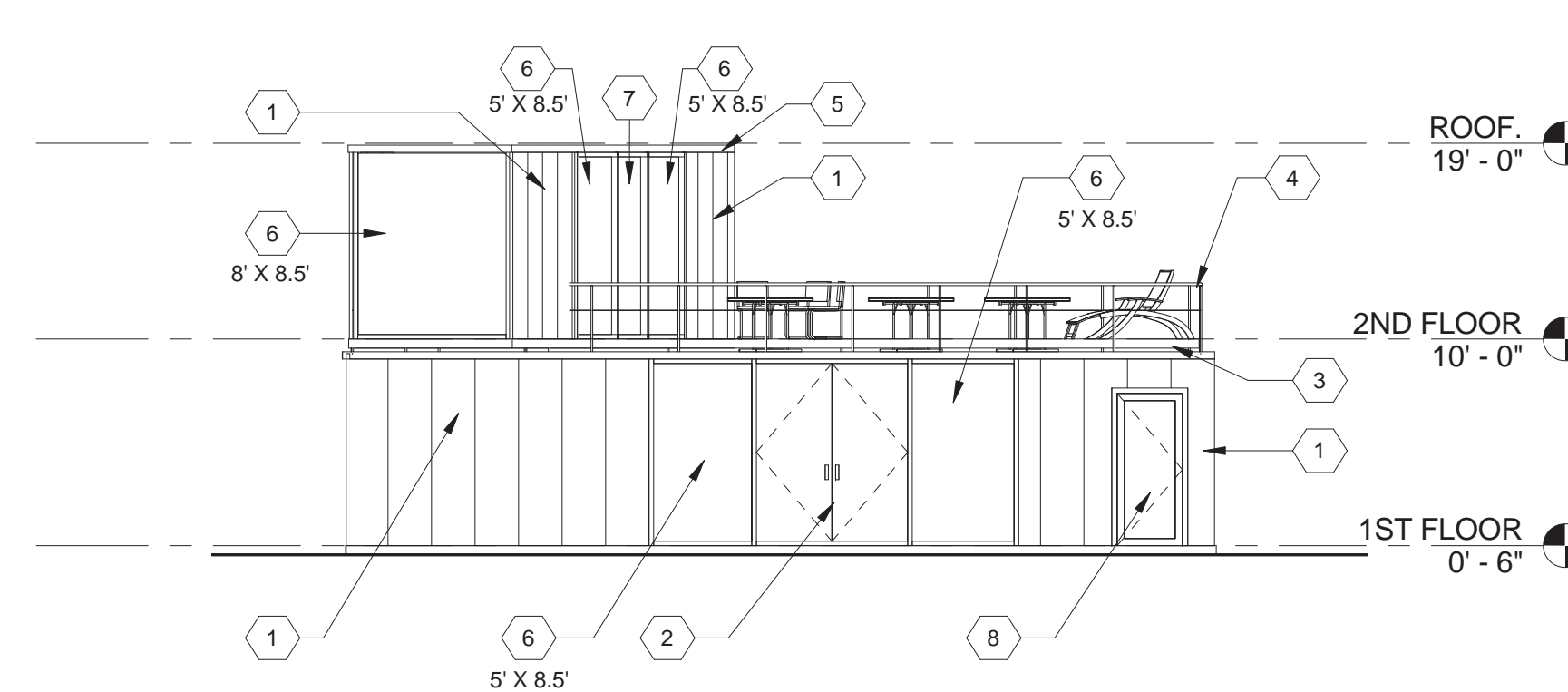
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1/8" = 1'-0"



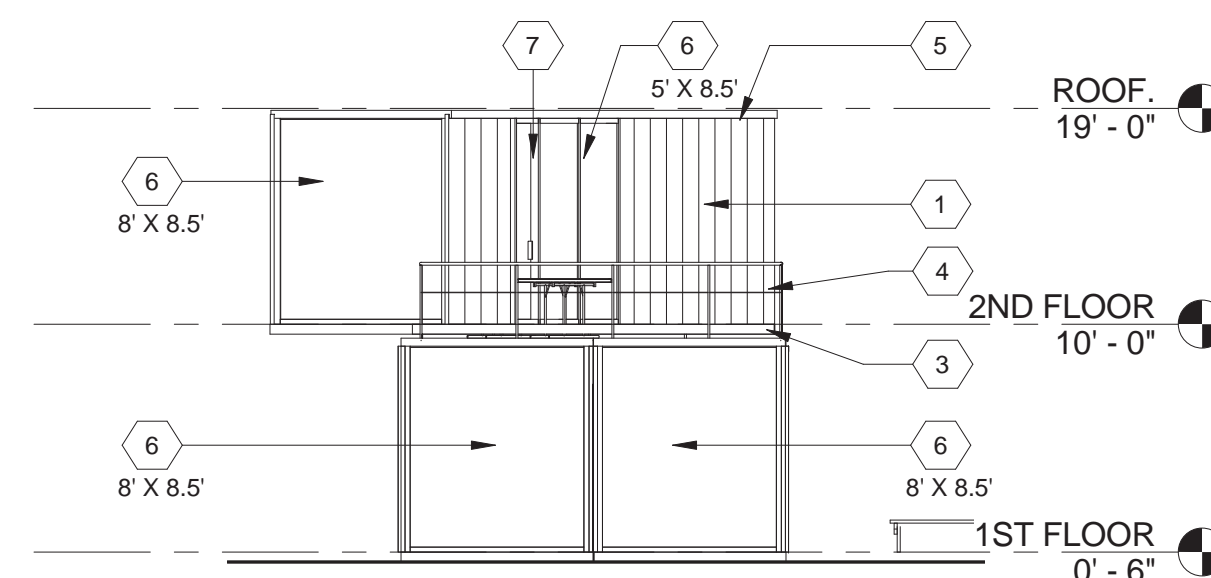
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1/8" = 1'-0"



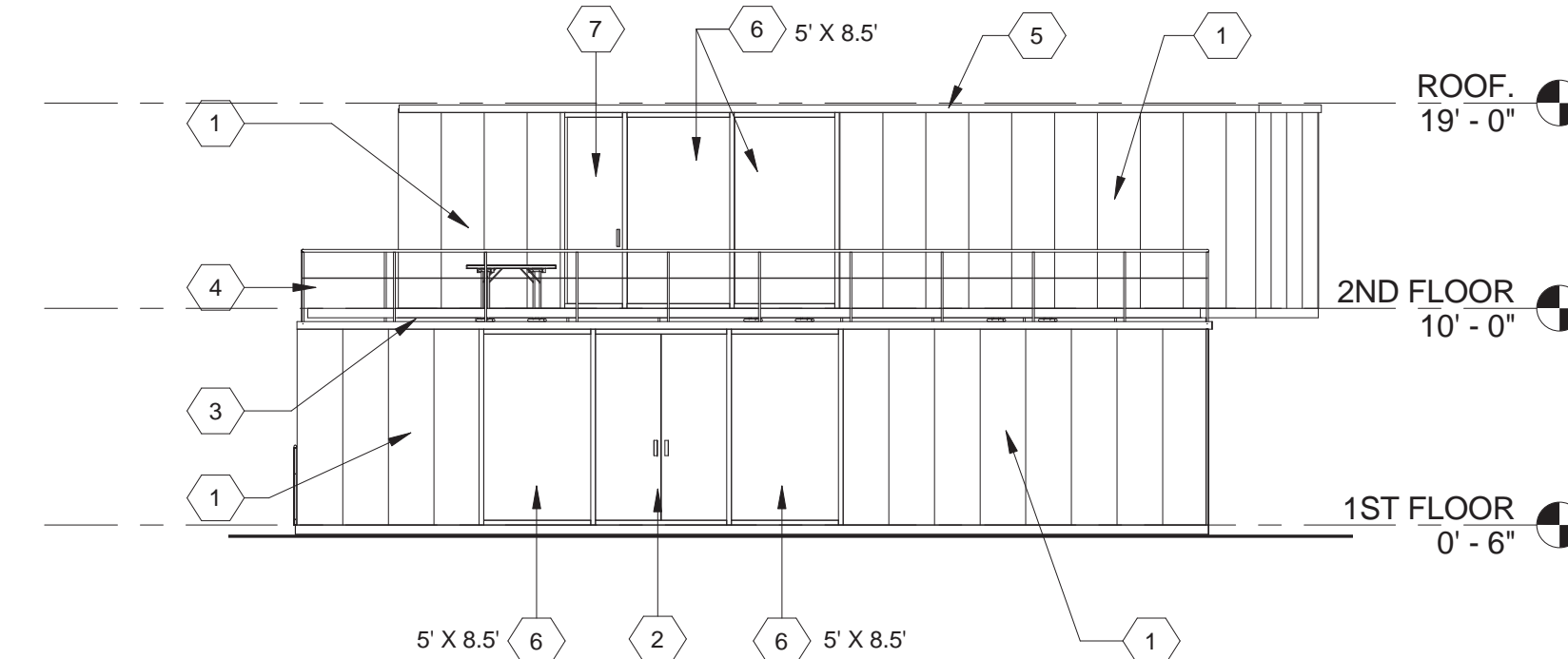
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1/8" = 1'-0"



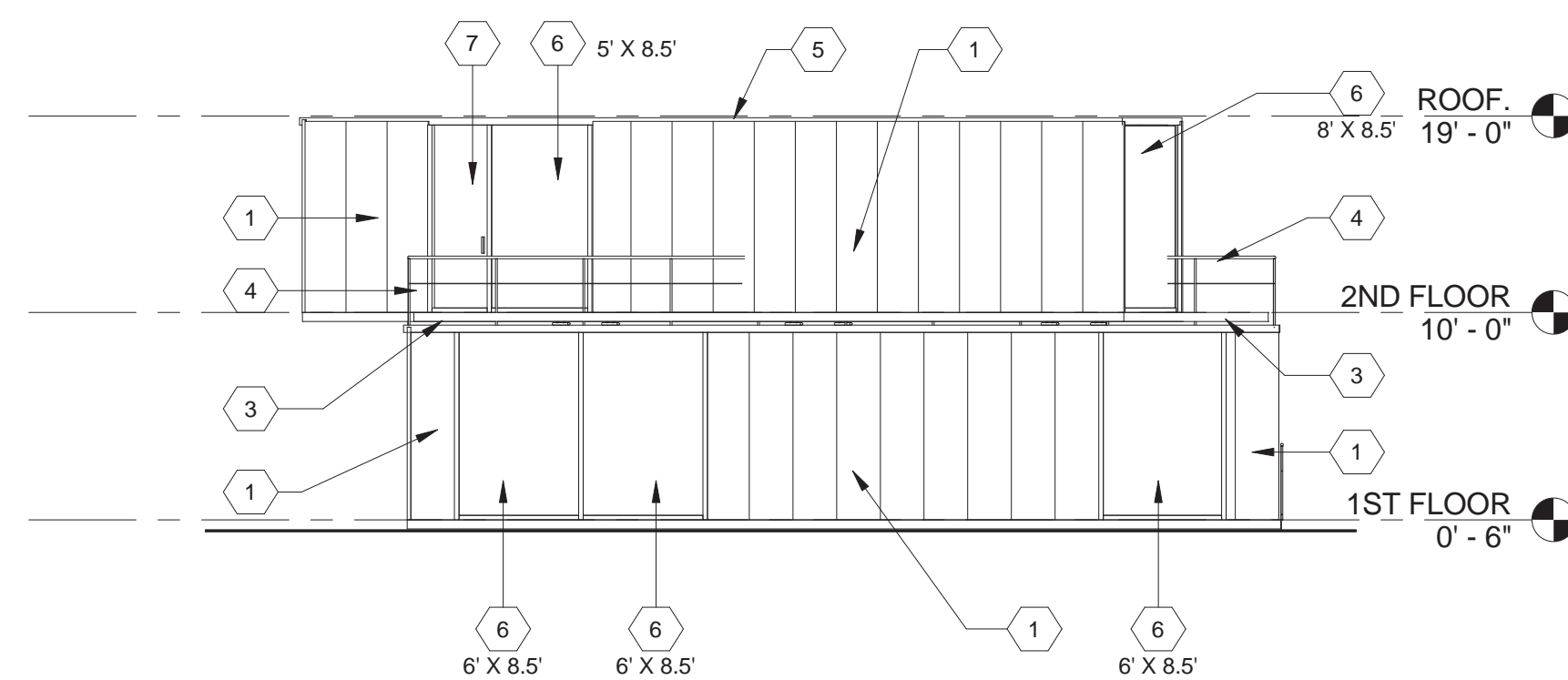
8 TENANT 3 - WEST ELEVATION  
1/8" = 1'-0"



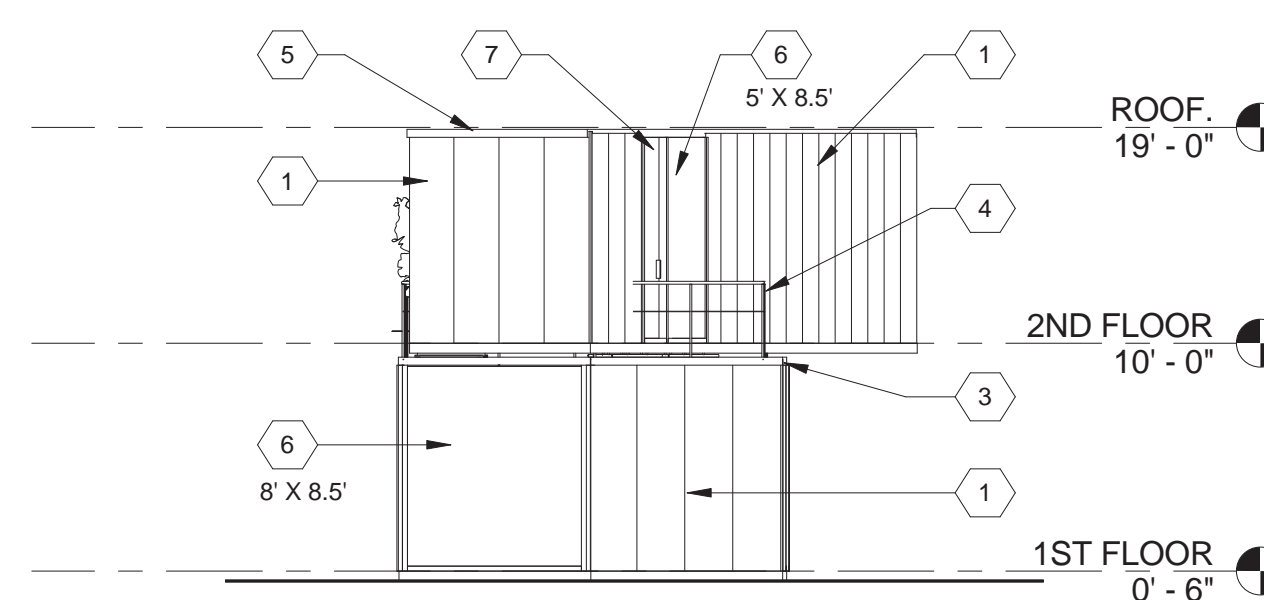
1 TENANT 4 - EAST  
1/8" = 1'-0"



2 TENANT 4 - NORTH  
1/8" = 1'-0"

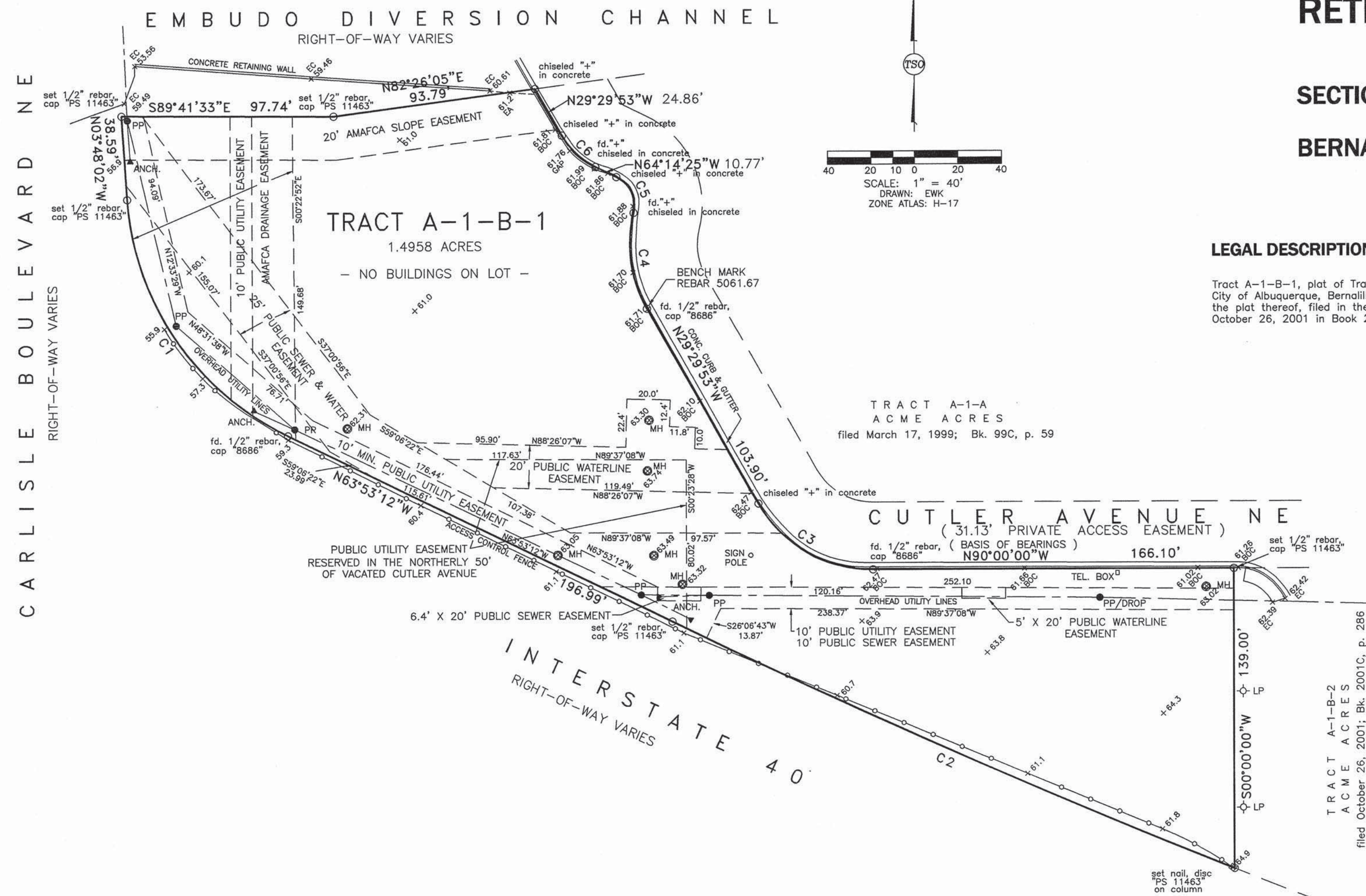


3 TENANT 4 - SOUTH  
1/8" = 1'-0"



4 TENANT 4 - WEST  
1/8" = 1'-0"





**RETRACEMENT SURVEY**  
**TRACT A-1-B-1**  
**ACME ACRES**  
**SECTION 11, T.10N., R.3E., N.M.P.M.**  
**CITY OF ALBUQUERQUE**  
**BERNALILLO COUNTY, NEW MEXICO**  
**FEBRUARY 26, 2014**

**LEGAL DESCRIPTION**

Tract A-1-B-1, plat of Tracts A-1-B-1, A-1-B-2 and A-1-B-3, Plat of ACME ACRES, City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on October 26, 2001 in Book 2001C, page 286.No. 2012000473.

**LEGEND**

- SPOT ELEVATION  
UNLESS OTHERWISE INDICATED, SPOT ELEVATIONS ARE TO NATURAL GRADE
- EA EDGE OF ASPHALT
- EC EDGE OF CONCRETE
- BOC BACK OF CURB
- MH SANITARY SEWER MANHOLE
- PP POWER POLE
- ANCH ANCHOR
- LP LIGHT POLE
- OVERHEAD POWER LINE
- 1-40 ACCESS CONTROL FENCE

**SURVEYOR'S NOTES**

1. Bearings are based on the plat of Tracts A-1-B-1, A-1-B-2 AND A-1-B-3, ACME ACRES, filed October 26, 2001; Book 2001C, page 286, records of Bernalillo County, New Mexico.
2. Bearings and distances are field measurements between recovered monuments and agree with recorded plat. Corners reset are to dimensions appearing on recorded plat.
3. a. ACME ACRES Tract A-1-A, filed March 17, 1999; Bk. 99C, p. 59  
 b. ACME ACRES Tract A-1-B, filed March 3, 2000; Bk. 2000C, p. 67  
 c. ACME ACRES Tracts A-1-B-1, A-1-B-2 and A-1-B-3, filed October 10, 2001, Bk. 2001C, p. 286
4. Date of field survey: February 26, 2014
5. Owner of record: Sandia Presbyterian Church and Glory Christian Fellowship, source: Bernalillo County Assessor's records.
6. This survey does not constitute a title search by The Survey Office, LLC to determine ownership, easements, rights-of-way, encumbrances of record. For all information regarding easements, right-of-way, encumbrances of record, The Survey Office, LLC relied solely upon the Plat, County Addition, and did not benefit from the use of a current Title Commitment.

CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BEARING	CHORD LENGTH
C1	132.00'	138.53'	60°07'49"	76.41'	S33°49'42"E	132.26'
C2	3819.72'	283.30'	4°14'58"	141.71'	S65°59'47"E	283.23'
C3	60.50'	63.89'	60°30'07"	35.28'	S59°44'57"E	60.96'
C4	60.50'	46.08'	43°38'08"	24.22'	S07°40'49"E	44.97'
C5	14.50'	19.84'	78°22'40"	11.82'	N25°03'05"W	18.32'
C6	35.50'	21.53'	34°44'32"	11.11'	S46°52'09"E	21.20'

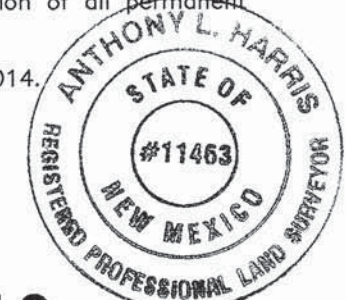
**SURVEYOR'S CERTIFICATE:**

State of New Mexico )  
 County of Bernalillo )

I, Anthony L. Harris, a Professional Surveyor, licensed under the laws of the State of New Mexico, do hereby certify that I have surveyed the above described property and that the plat hereon drawn is a true and correct representation of said survey, to the best of my knowledge and belief, and meets the minimum standards for land surveys in the State of New Mexico; that the bearings and distances shown hereon are based on the Plat or Deed of Record, unless otherwise indicated herein; that it shows all easements shown on the plat of record; that there are no encroachments from the said property onto adjoining properties or onto said property, unless shown hereon and that it shows the location of all permanent improvements pertinent to the said survey.

Given under my hand and seal this 25th day of March 2014.

*Anthony L. Harris*  
 ANTHONY L. HARRIS, N.M.L.S. NO. 11463



**THE SURVEY OFFICE, LLC**  
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