



**PROJECT INFORMATION**

**PROJECT:** MERIDIAN BUSINESS PARK NEW OFFICE WAREHOUSE BUILDING SHELL  
**LOCATION:** 7300 GALLATIN DRIVE NW, ALBUQUERQUE, NEW MEXICO LOCATED BETWEEN AIRPORT ROAD AND GALLATIN DRIVE  
**OWNER:** BERINACINI CONSTRUCTION CO. 1600 LOS VOLCANES ROAD, N.W. SUITE D ALBUQUERQUE, NEW MEXICO 87121  
**ARCHITECT:** CLAUDIO VIGIL ARCHITECTS 1501 RIO GRANDE BOULEVARD, N.W. SUITE 2 ALBUQUERQUE, NEW MEXICO 87104  
**LEGAL DESCRIPTION:** LOT 7A MERIDIAN BUSINESS PARK  
**ZONING ATLAS MAP:** K-10-Z  
**CURRENT ZONING CLASSIFICATION:** I-1 INDUSTRIAL PARK ZONE  
**PROPOSED ZONING CLASSIFICATION:** I-1 INDUSTRIAL PARK ZONE  
**BUILDING FUNCTION:** BUILDING SHELL FOR FUTURE OFFICE WAREHOUSE SPACE.  
**CONSTRUCTION TYPE:** TYPE I-1 CONSTRUCTION WITH 100% AUTOMATIC FIRE SPRINKLER SYSTEM.  
**ALLOWABLE AREA:** GROUP B AND S-1 OCCUPANCIES, TYPE I-1-N CONSTRUCTION, 100% AUTOMATIC FIRE SPRINKLER SYSTEM, AND MINIMUM 60'-0" YARDS ON ALL SIDES - UNLIMITED AREA

**SIGNATURE BLOCK**

01450-00000-05670 D.B. CASE NO. 100-1191 E.P.C. CASE NO. 7-92-57

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON 10/26/01 IS 1992, AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE: NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH.

**SITE DEVELOPMENT PLAN**  
*[Signature]* DATE 5/22/01  
**TRAFFIC ENGINEER - TRANSPORTATION DIVISION**  
*[Signature]* DATE 5/31/01  
**PARKS & RECREATION DEPARTMENT**  
*[Signature]* DATE 5/22/01  
**PUBLIC WORKS, WATER UTILITIES DIVISION**  
*[Signature]* DATE 4/30/01  
**CITY ENGINEER, ENGINEERING DIVISION / AMAFCA**

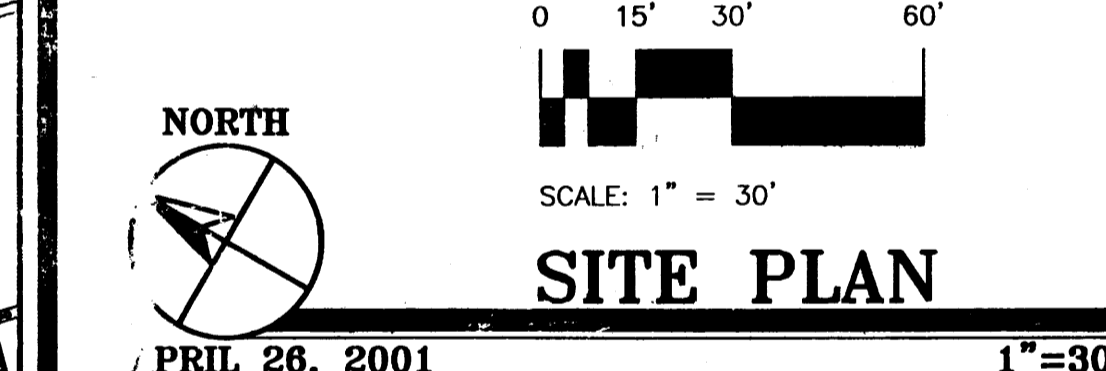
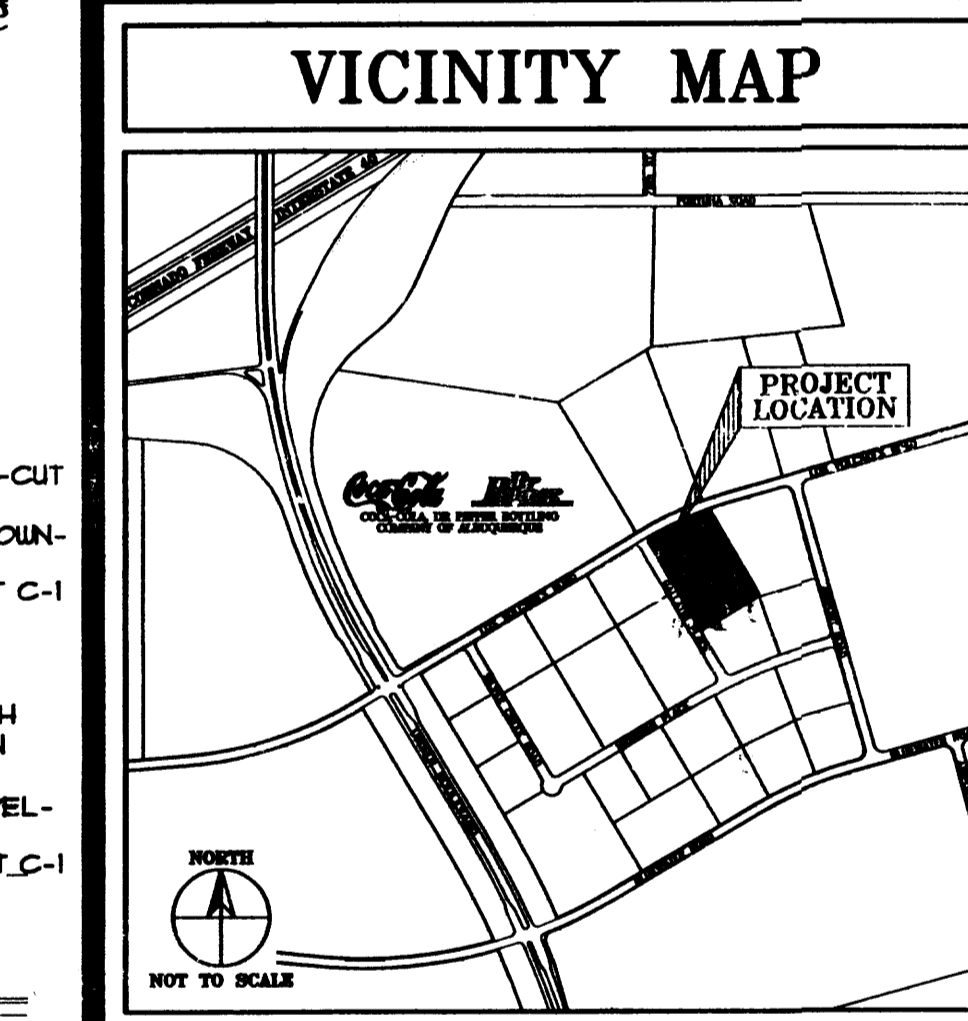
APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL  
*[Signature]* DATE 6/2/01  
**CITY PLANNER ALBUQUERQUE**  
 INTZ(10705) 4/06  
*[Signature]* DATE 4-27-01

- NOTE:**
- ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL CALL FOR TEMPORARY C.O.
  - 'AN AS-BUILT COPY OF THE APPROVED TOL (TRAFFIC CIRCULATION LAYOUT) MUST BE SUBMITTED BY THE DESIGNER OF RECORD, AS REQUIRED BY TRANSPORTATION DEVELOPMENT, (INCLUDING RANDOM FIELD CHECKS) WILL BE MADE BEFORE A FINAL CERTIFICATE OF OCCUPANCY IS ISSUED.' PLEASE CALL THIS OFFICE TO OBTAIN TEMPORARY C.O.
  - OVERHEAD DOCK DOORS MUST BE INSTALLED ON THE INTERIOR SIDE. THE RETRACTING EQUIPMENT MUST NOT APPEAR ON THE EXTERIOR.
  - NO FUGITIVE LIGHT WILL BE ALLOWED TO ESCAPE THE SITE.

**TOTAL BUILDING AREA:** 91,200 SQUARE FEET  
**TOTAL LOT AREA:** 253,444 SQUARE FEET, 5.8 ACRES  
**NET LOT AREA:** 162,244 SF.  
**TOTAL PARKING/PAVED AREA:** 119,385 SF.  
**TOTAL LANDSCAPE AREA REQUIRED:** 24,336 SF.  
**TOTAL LANDSCAPE AREA PROVIDED:** 35,151 SF.  
**LANDSCAPE TO PARKING AREA RATIO:** 33 TO 1  
**PARKING ANALYSIS:**  
 OFFICE AREA - 91,200 / 100 = 456 SPACES  
 WAREHOUSE AREA - 53,080 / 1000 = 410 SPACES  
 TOTAL = 87 SPACES  
 TOTAL PARKING SPACES REQUIRED = 87 PARKING SPACES  
 TOTAL PARKING SPACES PROVIDED = 155 PARKING SPACES (INCLUDES 8 VAN ACCESSIBLE PARKING SPACES)

**PARKING SPACE SIZES:**  
 REGULAR CAR PARKING SPACES = 9'-0" x 18'-0" WITH A 2'-0" OVERHANG.  
 VAN ACCESSIBLE HANDICAP PARKING SPACE = 9'-0" x 18'-0" WITH A 2'-0" OVERHANG AND A 9'-0" WIDE ACCESS STRIP.

**BICYCLE SPACES:**  
 REQUIRED PARKING - 87/20 = 435 BICYCLES  
 TOTAL BICYCLE SPACES REQUIRED = 5 BICYCLE SPACES  
 TOTAL BICYCLE SPACES PROVIDED = 8 BICYCLE SPACES  
 4 BIKE RACK POSTS AT 2 BICYCLES PER POST



**SITE PLAN LEGEND**

- [Pattern] INDICATES EXTENT OF LANDSCAPE AREAS. FOR SIZE OF EACH AREA, SEE LANDSCAPE PLAN.
- [Pattern] INDICATES EXTENT OF ASPHALTIC CONCRETE PAVING. 2" ASPHALT OVER 6" BASE COURSE.
- [Pattern] INDICATES EXTENT OF CONCRETE PAVING AND CONCRETE SIDEWALKS. CONTROL JOINTS AS SHOWN.
- PROPERTY LINE.
- - - EASEMENT BOUNDARIES.
- WATER LINE.
- SEWER LINE.
- UNDERGROUND RCP OR PVC - SEE GRADING AND DRAINAGE PLANS.
- ELEC - UNDERGROUND ELECTRICAL LINE.

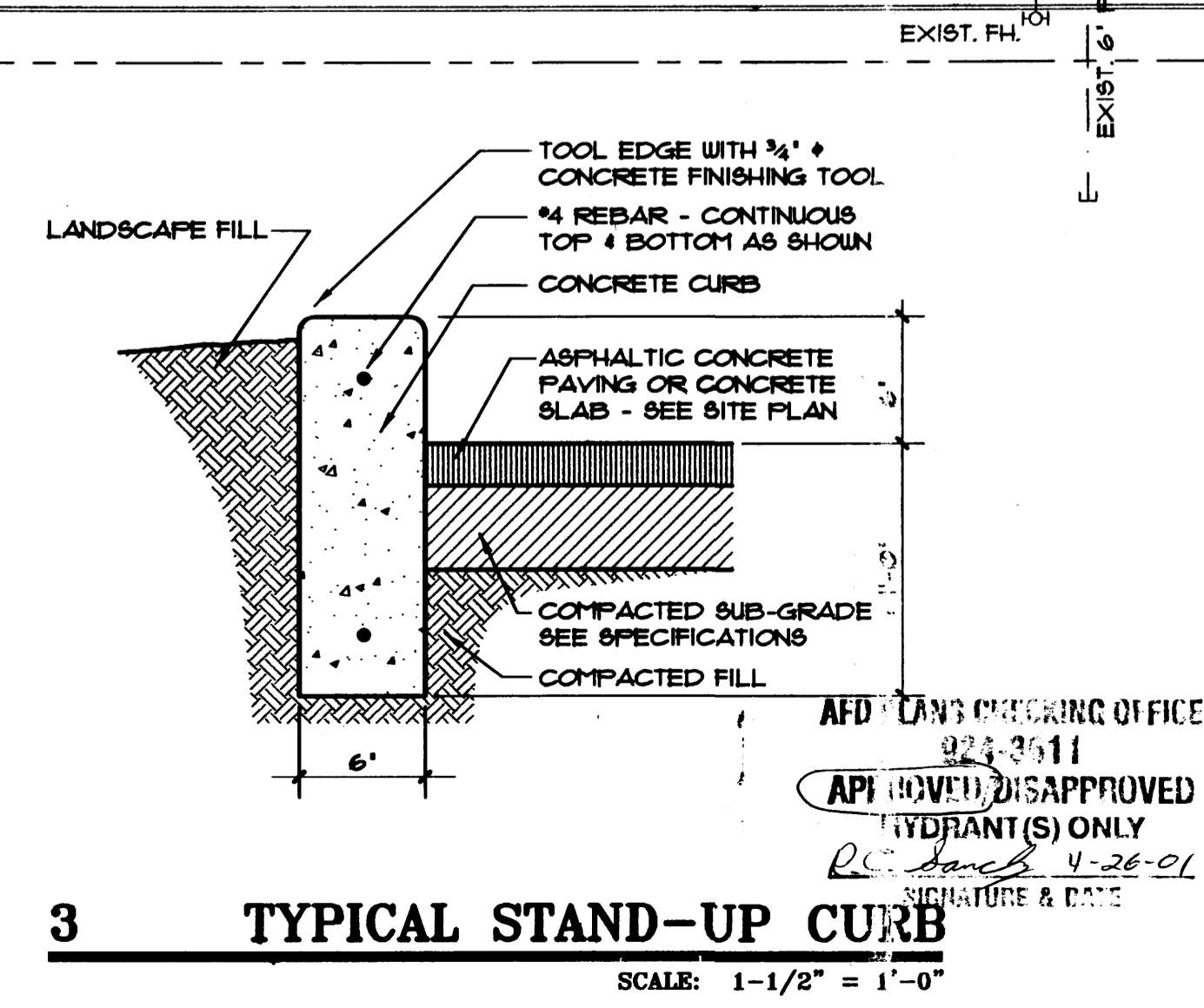
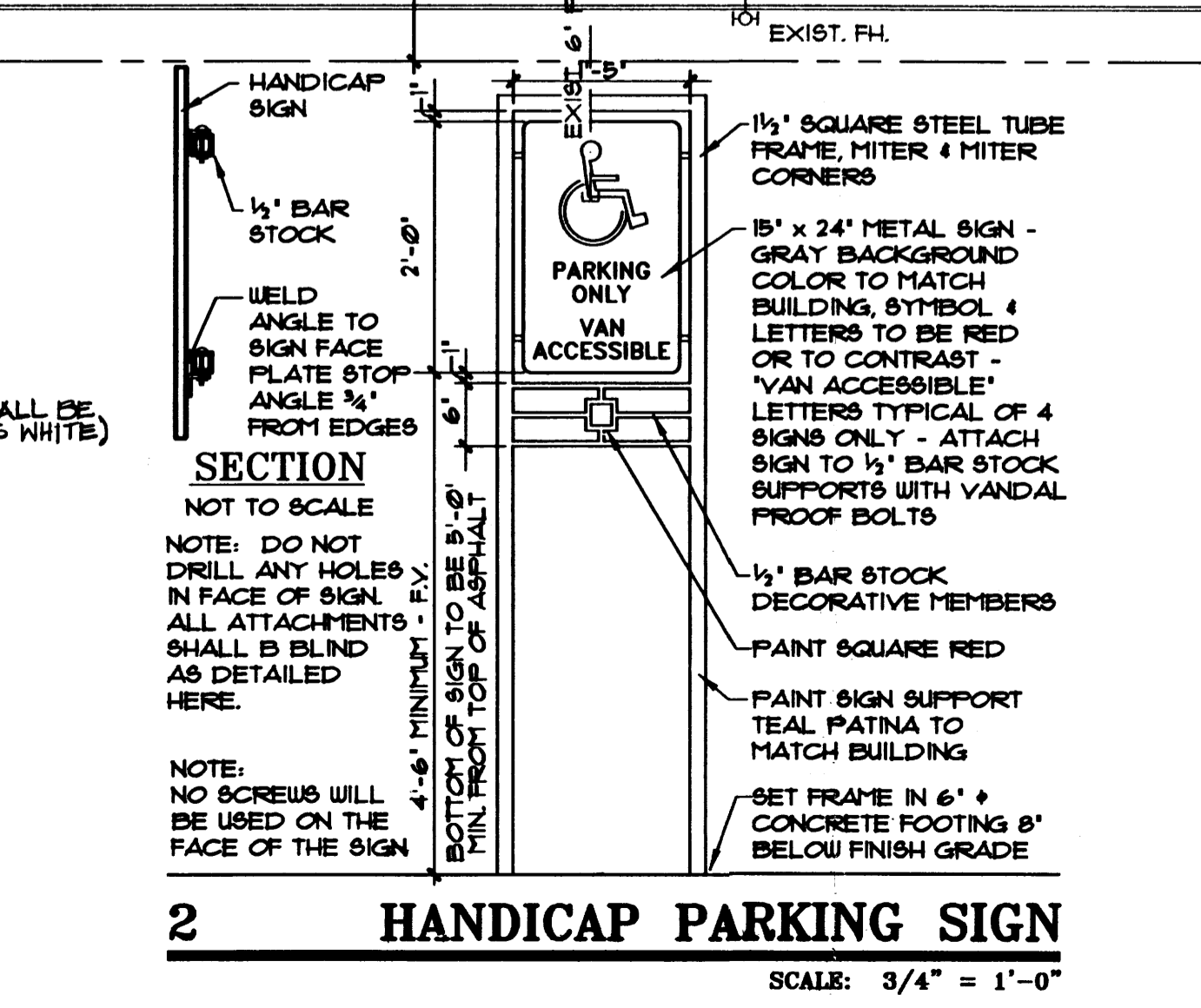
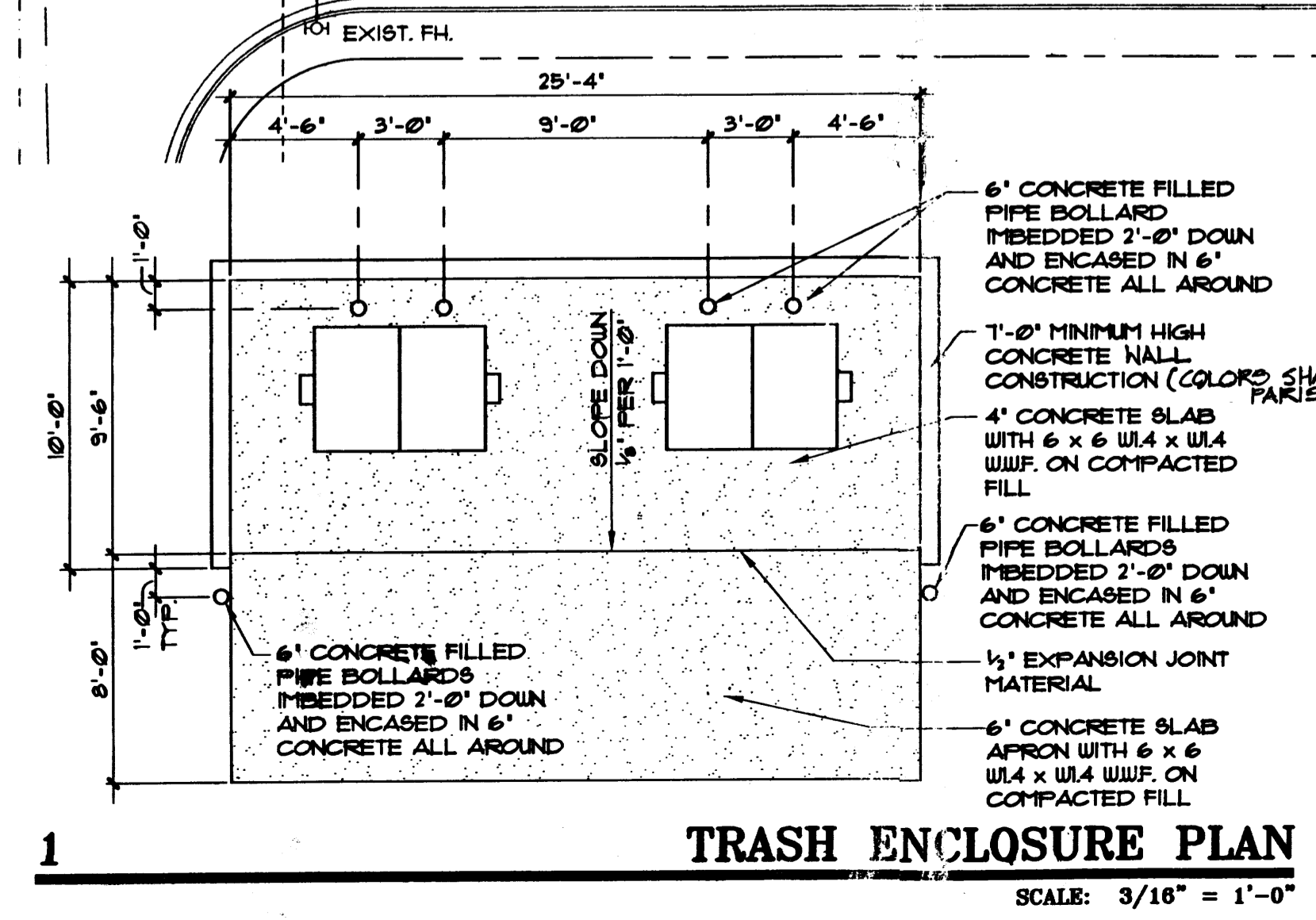
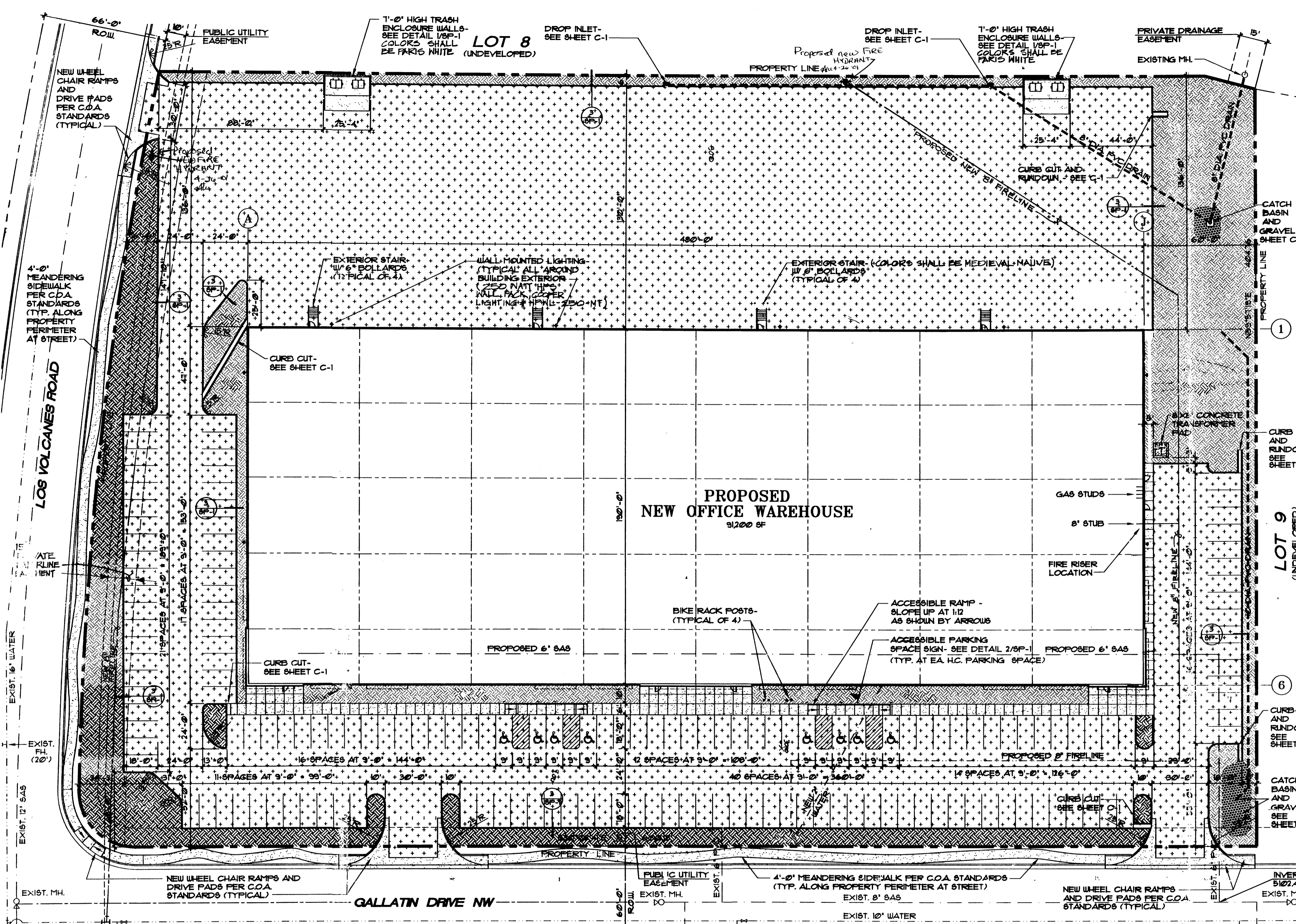
**CLAUDIO VIGIL ARCHITECTS**

**MERIDIAN LOT 7A  
 NEW OFFICE WAREHOUSE  
 7300 GALLATIN DRIVE NW  
 ALBUQUERQUE, NEW MEXICO**

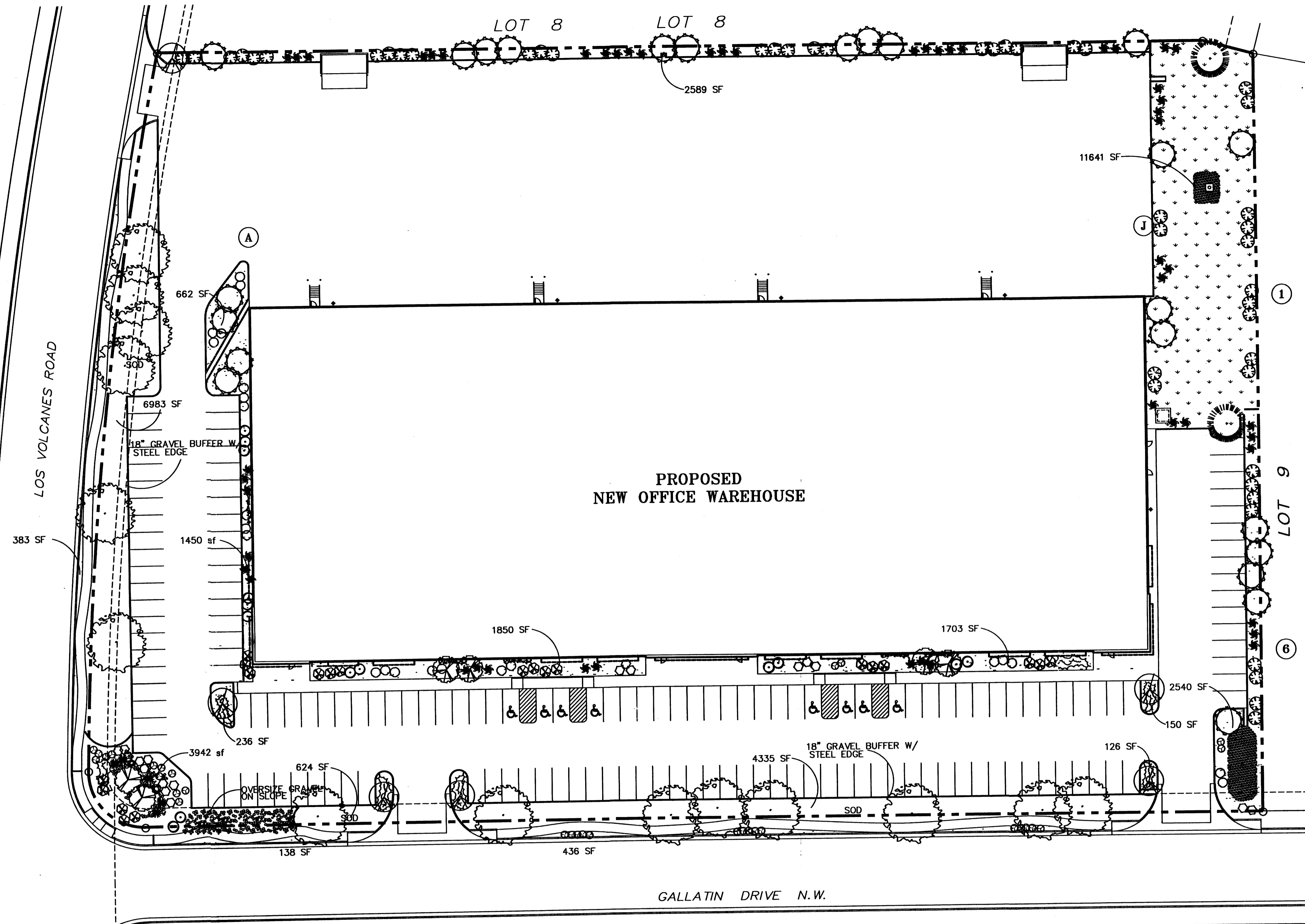
**SHEET SP-1**  
 PROJECT NUMBER 01010

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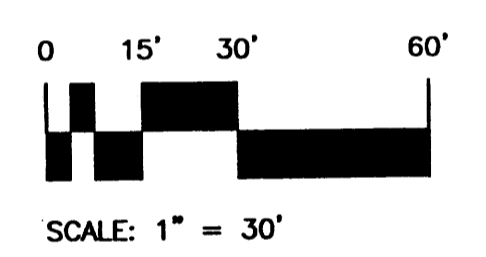


APD LAND ENGINEERING OFFICE 923-2611  
 API (REVISED) DISAPPROVED HYDRANT(S) ONLY  
 RC [Signature] 4-26-01  
 SIGNATURE & DATE



**PLANT LEGEND**

- ASH (H) OR HONEY LOCUST (H) 14  
Fraxinus pennsylvanica  
Gleditsia triacanthos  
2" Cal.
- FLOWERING PEAR (H) 6  
Pyrus calleryana  
2" Cal.
- AUSTRIAN PINE (H) 2  
Pinus nigra  
6'-8'
- DESERT WILLOW (L) 23  
Chilopsis linearis  
15 Gal.
- NEW MEXICO OLIVE (M) 6  
Forestiera neomexicana  
15 Gal.
- INDIAN HAWTHORN (M) 21  
Raphiolepis indica  
5 Gal.
- RUSSIAN SAGE (M) 14  
Perovskia atriplicifolia  
5 Gal.
- APACHE PLUME (L) 23  
Falugia paradoxa  
5 Gal.
- MUGHO PINE (M) 5  
Pinus mugho  
5 Gal.
- MAIDENGRASS (M) 53  
Miscanthus sinensis  
5 Gal.
- RED TRUMPET VINE (M) 5  
Campsis radicans  
1 Gal.
- TAM JUNIPER (M) 21  
Juniperus sabina  
1 Gal.
- AUTUMN SAGE (M) 18  
Salvia greggii  
1 Gal.
- CHAMISA (L) 46  
Chrysothamnus nauseosus  
1 Gal.
- WILDFLOWER 31  
1 Gal.
- OVERSIZED GRAVEL & BOULDERS
- 3/4" GRAY GRAVEL WITH FILTER FABRIC
- CRIMP STRAW/NATIVE SEED
- COMMERCIAL GRADE STEEL EDGING



**LANDSCAPE PLAN**

1"=30'-0"

**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque, Water Conservation Landscaping and Water Waste Ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping, and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

3/4" Gray Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

**LANDSCAPE CALCULATIONS**

|  |                     |
|--|---------------------|
| NET LANDSCAPE AREA                           |                     |
| TOTAL LOT AREA                               | 253,444 square feet |
| TOTAL BUILDINGS AREA                         | 91,200 square feet  |
| OFFSITE AREA                                 | 6,960 square feet   |
| NET LOT AREA                                 | 155,284 square feet |
| LANDSCAPE REQUIREMENT                        | 20%                 |
| TOTAL LANDSCAPE REQUIREMENT                  | 31,057 square feet  |
| TOTAL LANDSCAPE PROVIDED                     | 40,488 square feet  |
| TOTAL BED PROVIDED                           | 16,505 square feet  |
| TOTAL NATIVE SEED PROVIDED                   | 11,641 square feet  |
| TOTAL SOD REQUIRED (30% OF PROVIDED LS AREA) | 12,332 square feet  |
| TOTAL SOD PROVIDED                           | 12,342 square feet  |

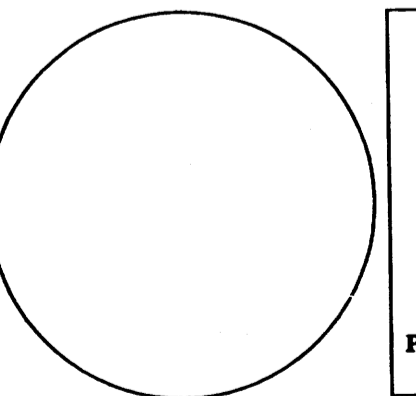


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it@hilltoplandscaping.com

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**CLAUDIO VIGIL ARCHITECTS**

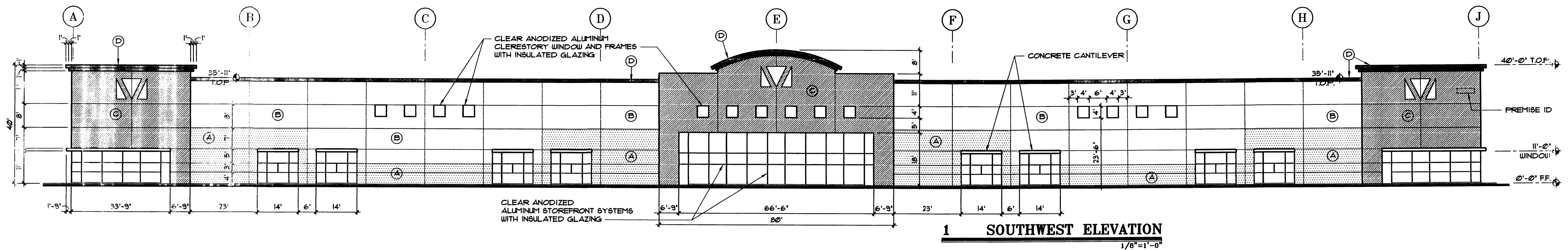
**MERIDIAN LOT 7  
NEW OFFICE WAREHOUSE  
7300 GALLATIN DRIVE NW  
ALBUQUERQUE, NEW MEXICO**



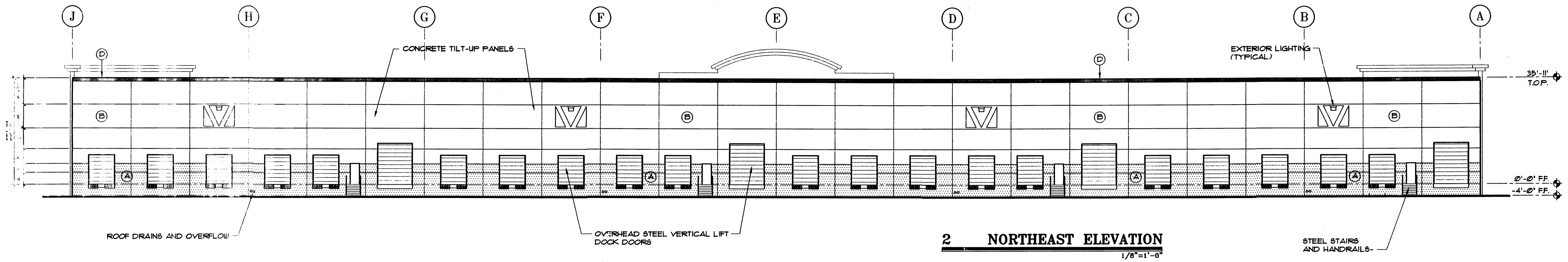
SHEET  
**L-1**  
PROJECT NUMBER  
01010

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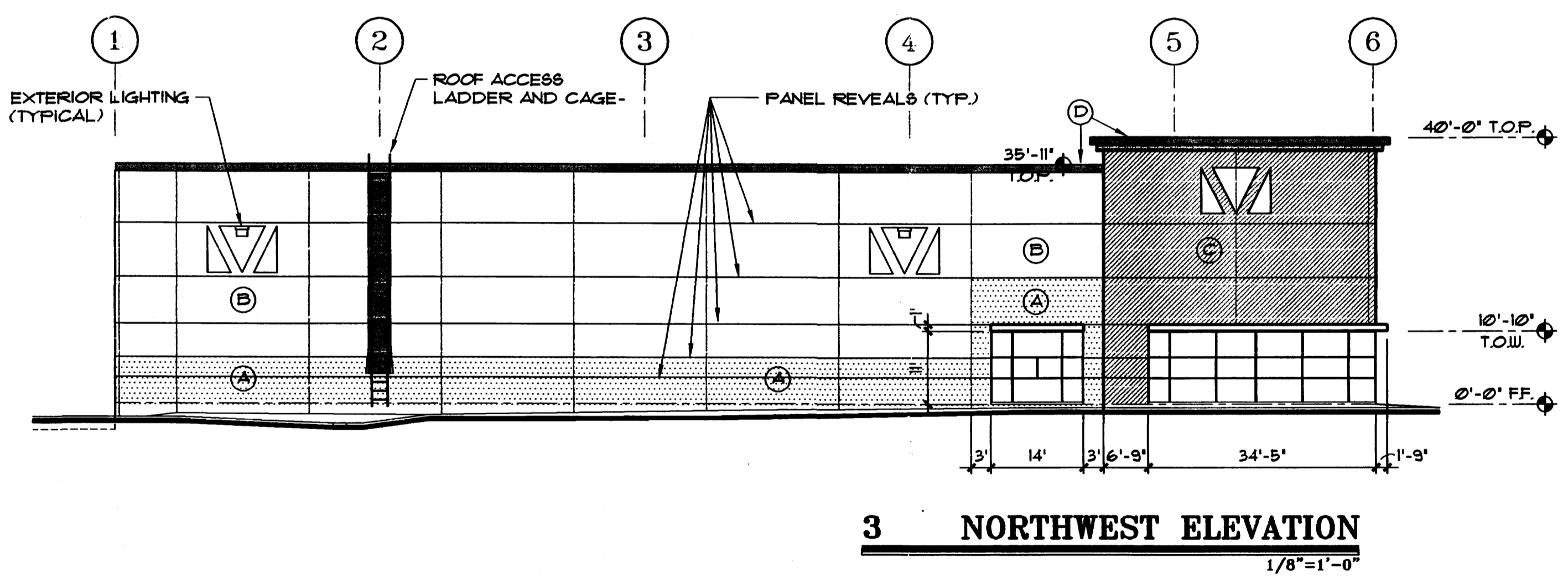
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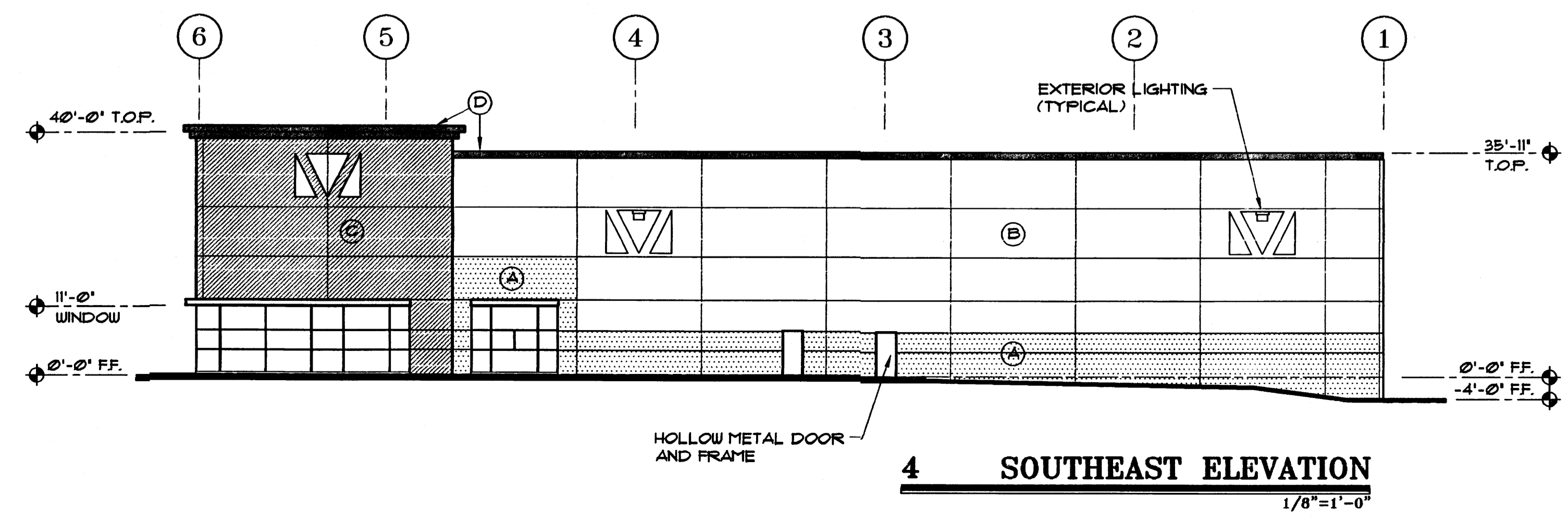
**1 SOUTHWEST ELEVATION**  
1/8"=1'-0"



**2 NORTHEAST ELEVATION**  
1/8"=1'-0"

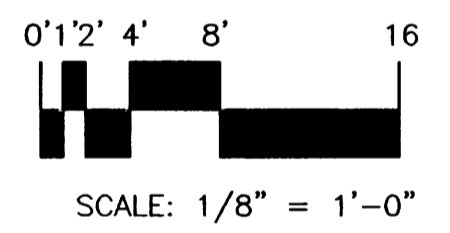


**3 NORTHWEST ELEVATION**  
1/8"=1'-0"



**4 SOUTHEAST ELEVATION**  
1/8"=1'-0"

| COLORS |                                 |
|--------|---------------------------------|
| (A)    | BONFIRE SW 2321 (kiva citta)    |
| (B)    | PARIS WHITE SW 2088             |
| (C)    | MEDIEVAL MAUVE SW 2145          |
| (D)    | LONDON FOG SW 2106 (open green) |

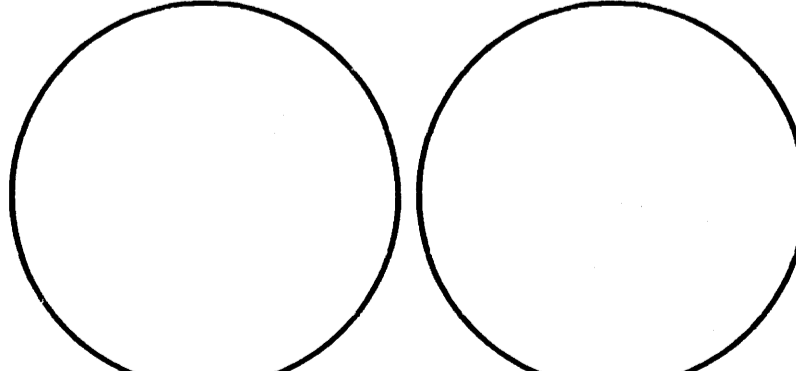


**EXTERIOR ELEVATIONS**

MAY 30, 2001 1/8"=1'-0"

  
**CLAUDIO VIGIL ARCHITECTS**

**MERIDIAN LOT 7A**  
**NEW OFFICE WAREHOUSE**  
 7300 GALLATIN DRIVE NW  
 ALBUQUERQUE, NEW MEXICO

|   |   |
|---|---|
|  | <p><b>SHEET</b></p> <p><b>A-2</b></p> <p>PROJECT NUMBER<br/>01010</p> |
|---|---|

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