

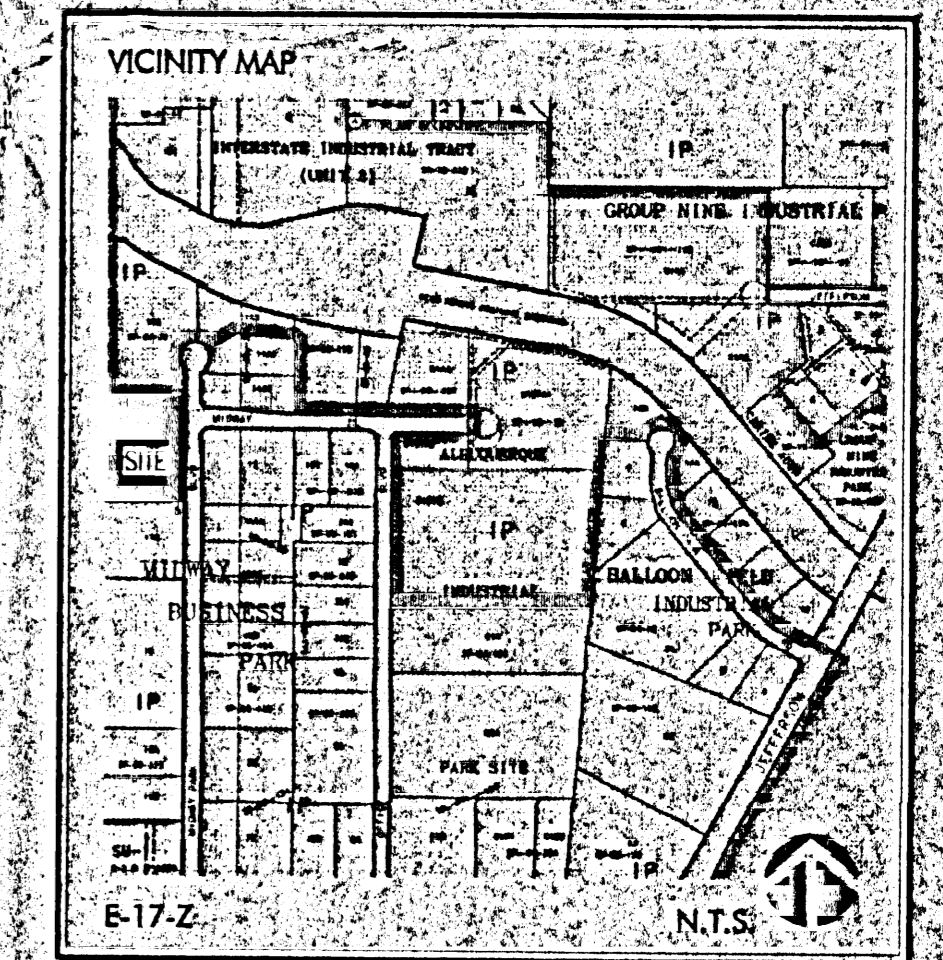
1 SITE PLAN
1" = 20'-0"

PROJECT INFORMATION

PROJECT: NEW OFFICE/WAREHOUSE
LOCATION: 5941 MIDWAY PARK, N.E.
OWNER: BRUNACINI DEVELOPMENT
ARCHITECT: TATE FISHBURN ARCHITECT
LEGAL DESCRIPTION: LOT 16, SUBDIVISION PLAN FOR "MIDWAY BUSINESS PARK" A REPLAT OF LOT "A", ALBUQUERQUE INDUSTRIAL PARK SITE, LYING WITHIN SECTIONS 26, 27 & 35, T 10 N, 4 3 E, N.M.P.M., ALBUQUERQUE, NEW MEXICO.
CURRENT ZONING CLASSIFICATION: IP
TYPE CONSTRUCTION: TYPE IIN, SPRINKLERED
OCCUPANCY: B & S1
ALLOWABLE AREA: 72,000 SQ. FT.
 TYPE IIN CONSTRUCTION & B OCCUPANCY = 12,000
 INCREASE 43.5' X 2.5% = 100% = 24,000
 TRIPLE FOR SPRINKLER = 72,000
GROSS BUILDING AREA: 38,400' S.F.
NET USABLE AREA: 38,400' S.F.
OCCUPANT LOAD: 38,400/500 = 77 OCCUPANTS
EXIT WIDTH REQUIRED: 15.4 INCHES
EXIT WIDTH PROVIDED: 288 INCHES
NUMBER OF EXITS PROVIDED: EIGHT TOTAL
TOTAL LOT AREA: 3 ACRES +/-
PARKING ANALYSIS: WAREHOUSE AREA = 30,720
 OFFICE AREA = 7,680
 REQUIRED WAREHOUSE = 30,720/2000 = 15
 REQUIRED OFFICE = 7680/200 = 39
TOTAL REQUIRED PARKING SPACES = 55 SPACES
SPACES PROVIDED = 87 SPACES
INCLUDING 4 HANDICAP
SEISMIC ZONE: 2B
RELATED CASE: DRB-99-179
SITE LIGHTING NOTE: SITE LIGHTING SHALL BE BUILDING MOUNTED WALL PACKS WITH CUT OFF ANGLE THAT WILL NOT ALLOW ANY LIGHT TO SPILL ONTO ADJACENT PROPERTIES.

TATE FISHBURN ARCHITECTS
ARCHITECT SEAL

ENGINEER SEAL

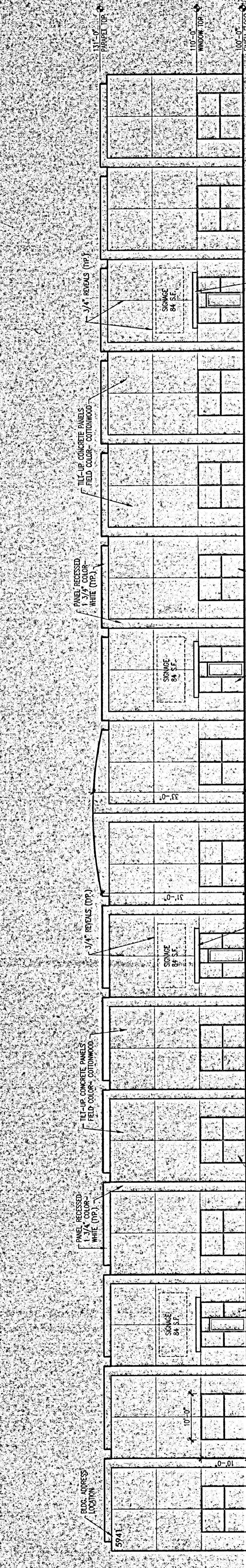


PROJECT
 NEW TILT-UP OFFICE/WAREHOUSE
 FOR BRUNACINI DEVELOPMENT
 AT 5941 MIDWAY PARK, N.E.
 ALBUQUERQUE, NEW MEXICO

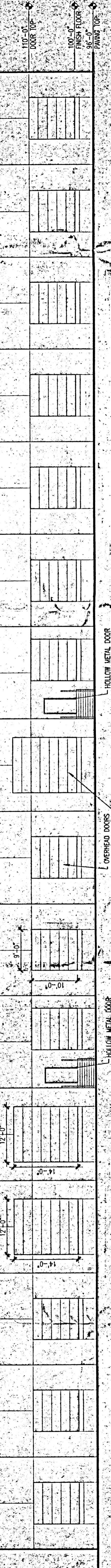
PROJECT NO: 1001202
 CASE NO: 01450-00000-00544
 SITE DEVELOPMENT PLAN FOR LOT 16, SUBDIVISION PLAN FOR "MIDWAY BUSINESS PARK" A REPLAT OF "A", ALBUQUERQUE INDUSTRIAL PARK SITE LYING WITHIN SECTIONS 26, 27, & 35, T 10 N, 4 3 E, N.M.P.M., ALBUQUERQUE, NEW MEXICO.

<i>Mike White</i>	5/17/01	DATE
TRAFFIC ENGINEER, TRANSPORTATION DIVISION		
<i>Marianne E. Brubaker</i>	5/17/01	DATE
PARKS & RECREATION DEPARTMENT		
<i>Robert J. Price</i>	5/17/01	DATE
PUBLIC WORKS, WATER UTILITIES DIVISION		
<i>John D. Mc...</i>	5/17/01	DATE
CITY ENGINEER, ENGINEERING DIVISION / AMMOC		
<i>James B. ...</i>	5/17/01	DATE
SOLID WASTE		
APPROVAL & CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL		
<i>Jan 25</i>	5/17/01	DATE
PLANNER, ALBUQUERQUE PLANNING DEPARTMENT		

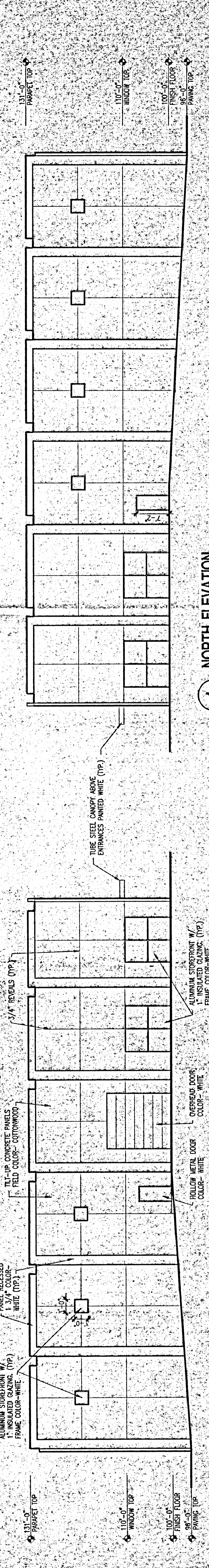
REVISIONS:
 DATE: MAY 2, 2001
 NORTH SCALE: 1" = 20'-0"
 DRAWING NAME: SITE DEVELOPMENT PLAN
 SHEET NUMBER: 1 OF 2



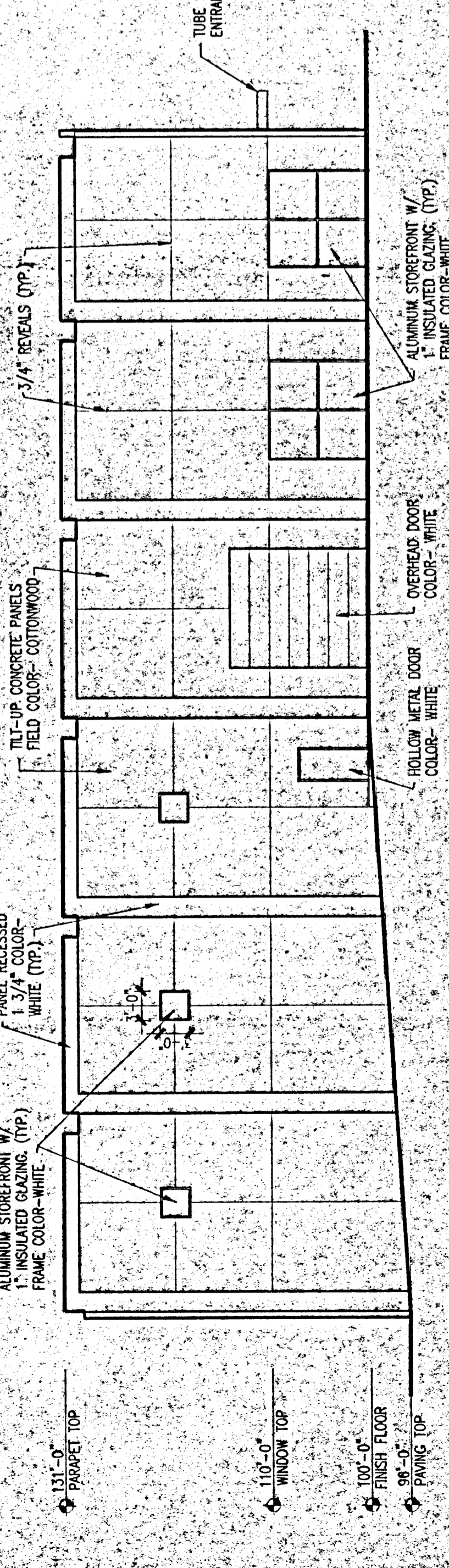
1 EAST ELEVATION
 3/32" = 1'-0"



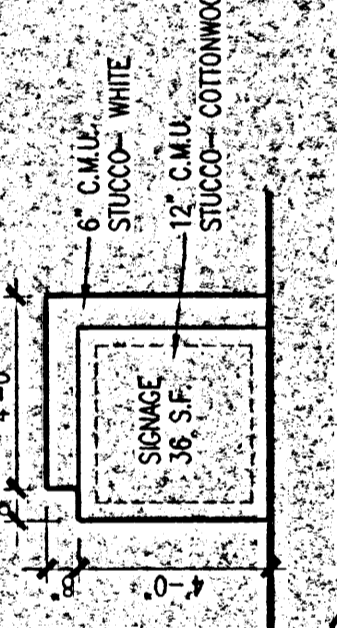
2 WEST ELEVATION
 3/32" = 1'-0"



4 NORTH ELEVATION
 3/32" = 1'-0"



3 SOUTH ELEVATION
 3/32" = 1'-0"



5 MONUMENT SIGN
 1/4" = 1'-0"

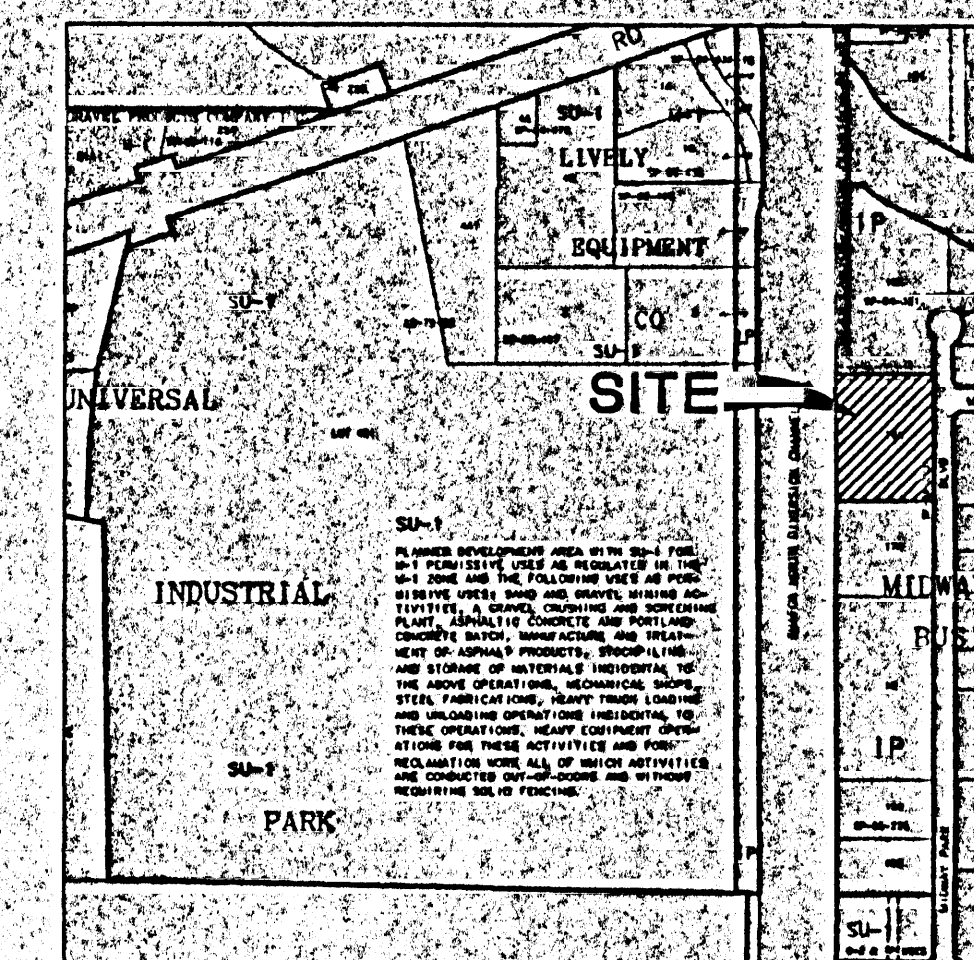
NORTH DIVERSION CHANNEL (AMAFCA FACILITY)

EXISTING PEDESTRIAN BRIDGE OVER SIDE CHANNEL INLET

EXISTING EARTHEN SIDE CHANNEL

CONSTRUCT 10" RIPRAP SWALE, D50 = 3" OVER NON-WOVEN FILTER FABRIC

CONSTRUCT 10" RIPRAP SWALE, D50 = 3" OVER NON-WOVEN FILTER FABRIC



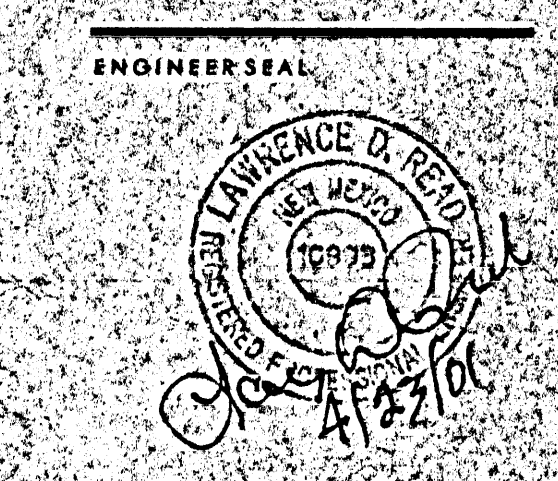
VICINITY MAP E-16-Z

LEGAL DESCRIPTION

LOT 18-A, MIDWAY BUSINESS PARK

KEYED NOTES

- BUILD 24" WIDE SIDEWALK CULVERT PER COA STANDARD DETAIL 2236.
- BUILD WHEELCHAIR RAMP PER DETAIL 1/01.
- GRADE BREAK.
- CONSTRUCT NEW 30" PRIVATE ENTRANCE PER COA STANDARD DETAIL 2426.
- PROVIDE 6" X 18" CONCRETE HEADER CURB.
- PROVIDE DEEP TURNDOWN ON SIDEWALK. BOTTOM OF TURNDOWN SHALL BE 8" MINIMUM BELOW TOP OF ASPHALT.
- GRADE CHANGE IN FINISHED ASPHALT SURFACE.
- PROVIDE 18" WIDE CONCRETE RUN DOWN AT BACK OF ISLAND. INVERT SHALL MATCH ADJACENT TOP OF PAVEMENT GRADE.



SO-19 FORM

NOTICE TO CONTRACTOR

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED WITHIN THE CITY RIGHT-OF-WAY SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH C.O.A. STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION 1986.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 260-1990, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMUM AMOUNT OF DELAY.
- BACKFILL COMP ACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER SERVED.

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO CONSTRUCTION OF ANY SIDEWALK OR PAVEMENT.
- BACKFILL COMP ACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
- TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE CITY ENGINEER.
- SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- IF CURB IS DEPRESSED FOR A DRIVEPAD OR A HANDICAP RAMP, THE DRIVEPAD OR RAMP SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF THE CURB AND GUTTER.
- ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED, INSPECTED AND APPROVED PRIOR TO FINAL ACCEPTANCE.

APPROVALS	ENGINEER'S	DATE
A.C.E./DESIGN		
INSPECTOR		
A.C.E./FIELD		

DATE	APRIL 16, 2001
SCALE	1" = 20'-0"
DRAWING NAME	GRADING PLAN
SHEET NUMBER	C-2

C-2

FINISH FLOOR ELEV. 5109.58
NEW WAREHOUSE
38,400 SQ. FT. +/-

BASIN B

BASIN C

BASIN D

MIDWAY PARK BOULEVARD, N.E.

CURVE C1
PT. # ELEV.

RET. 18.03
1 7.83
2 7.64
3 7.47
RET. 17.24

CURVE C2
PT. # ELEV.

RET. 17.86
1 7.81
2 7.35
3 7.09
RET. 16.83

5100

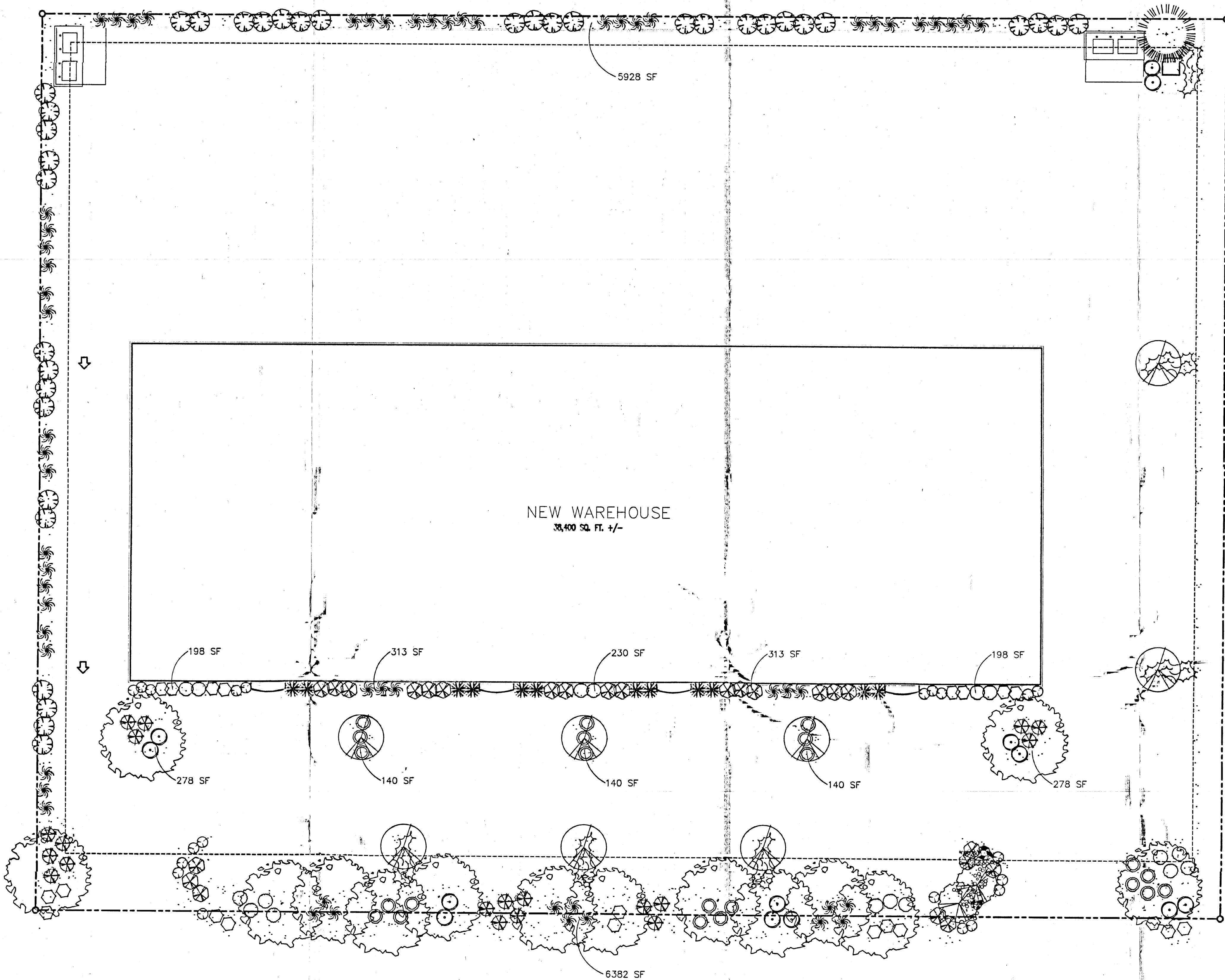
5100

5105

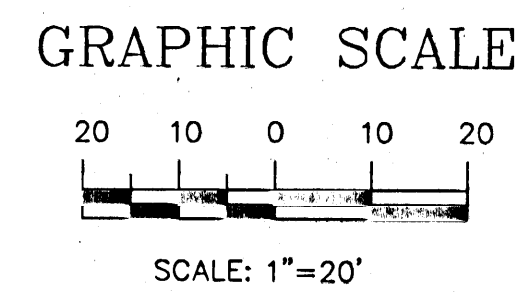
BUILD CMU RETAINING WALL HEIGHT VARIES 2'-0" TO 2'-6"

EXISTING CONCRETE STORM WATER CHANNEL

LIMIT OF CONSTRUCTION MATCH EXIST. PVMT. AND VALLEY GUTTER ELEVATION



MIDWAY PARK BOULEVARD, N. E.



PLANT LEGEND

	ASH (H) OR HONEY LOCUST (H) 14 Fraxinus pennsylvanica Gleditsia triacanthos 2" Cal.		MAIDENGRASS (M) 59 Miscanthus sinensis 5 Gal.
	FLOWERING PEAR (H) 8 Pyrus calleryana 2" Cal.		SILVERBERRY (M) 19 Elaeagnus pungens 5 Gal.
	AUSTRIAN PINE (H) 1 Pinus nigra 6"-8"		ROSEMARY (M) 22 Rosmarinus officinalis 5 Gal.
	NEW MEXICO OLIVE (M) 2 Forestiera neomexicana 15 Gal.		TAM JUNIPER (M) 18 Juniperus sabina 1 Gal.
	INDIAN HAWTHORN (M) 24 Raphiolepis indica 5 Gal.		AUTUMN SAGE (M) 21 Salvia greggii 1 Gal.
	RUSSIAN SAGE (M) 13 Perovskia atriplicifolia 5 Gal.		1/2 CHAMISA / 1/2 APACHE PLUME (L) 37 Chrysothamnus nauseosus 1 Gal.
	APACHE PLUME (L) 17 Fallugia paradoxa 5 Gal.		WILDFLOWER 21 1 Gal.
	MUGHO PINE (M) 12 Pinus mugho 5 Gal.		OVERSIZED GRAVEL & BOULDERS
			3/4" GRAY GRAVEL WITH FILTER FABRIC

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque, Water Conservation Landscaping and Water Waste Ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping, and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

3/4" Gray Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

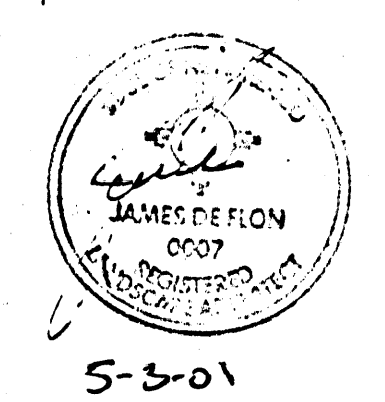
LANDSCAPE CALCULATIONS

NET LANDSCAPE AREA	
TOTAL LOT AREA	131,190 square feet
TOTAL BUILDINGS AREA	38,400 square feet
OFFSITE AREA	2,803 square feet
NET LOT AREA	89,987 square feet
LANDSCAPE REQUIREMENT	15%
TOTAL LANDSCAPE REQUIREMENT	13,498 square feet
TOTAL LANDSCAPE PROVIDED	14,538 square feet
TOTAL BED PROVIDED	14,538 square feet
TOTAL SOD PROVIDED	0 square feet
TOTAL NATIVE SEED PROVIDED	0 square feet

STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Name of Street: MIDWAY PARK BLVD. N.E.
Required #: 12 Provided #: 12



The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS

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Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
it@hilltoplandscaping.com

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T A T E F I S H B U R N
A R C H I T E C T
ARCHITECT SEAL

ENGINEER SEAL

PROJECT
NEW TILT-UP OFFICE/WAREHOUSE
FOR BRUNACINI DEVELOPMENT
5941 MIDWAY PARK, N.E.
ALBUQUERQUE, NEW MEXICO

REVISIONS

DATE APRIL 9, 2001

NORTH SCALE
1"=20'-0"

DRAWING NAME
LANDSCAPE PLAN

SHEET NUMBER

L-1